

SHEPHERDSTOWN PLANNING COMMISSION AGENDA
REGULAR MEETING AND PUBLIC HEARING

Monday, May 19, 2025
6:00 p.m.
TOWN HALL
104 NORTH KING STREET, SHEPHERDSTOWN

1. Call to Order:

2. Approval of Previous Months' Minutes:

- a. April 21, 2025, Meeting Minutes

3. Visitors

4. Conflicts of Interest:

5. Staff Report:

- a. Pre-application Conference: 107 Princess Street

6. Applications:

- a. **25-05** 310 W. German Street

Placement of an 8' W x 12' L Cape Cod style prefabricated shed in the west rear side yard. The roof will be constructed of dark bronze standing seam metal and the siding constructed of 6" lap siding by LP Smartside.

- b. **25-06** 109 North Princess Street

Placement of 8 x 8 wooden shed to be constructed on site and to be painted white and black in color to match existing house.

- c. **25-07** 126 West German Street
Business Sign

- d. **25-08** 115 East German Street
White vinyl fence for patio

- e. **25-11** 72 Shepherd Village Circle
Screened -in back porch

SHEPHERDSTOWN PLANNING COMMISSION AGENDA
REGULAR MEETING AND PUBLIC HEARING

Monday, May 19, 2025
6:00 p.m.
TOWN HALL
104 NORTH KING STREET, SHEPHERDSTOWN

- f. **25-12** 110 College Street
New construction

- g. **25-13** 329 West German Street
Solar panels

- h. **24-03** 102 College Street
Install new metal roof, porch covering (previously approved)

7. Continuing Business:

- a. Review of Shepherdstown PUD Ordinance

8. New Business:

9. Adjournment:

SHEPHERDSTOWN PLANNING COMMISSION MINUTES
REGULAR MEETING AND PUBLIC HEARING

Monday, April 21, 2025
6:00 p.m.
TOWN HALL
104 NORTH KING STREET, SHEPHERDSTOWN

1. Call to Order: 6:03pm

2. Approval of Previous Months' Minutes:

- a. March 17, 2025 Meeting Minutes- Motion to approve minutes with amendment to include second by Rebecca Parmesano on the motion to defer application 25-05 to the May 2025 Planning Commission Meeting: Linus Bicker / 2ND James Gatz/ All Aye

3. Visitors:

- a. Jim Auxer
- b. Steve Pearson

4. Conflicts of Interest:

- a. None

5. Staff Report:

- a. Gino Sisco and Ebonée Helmick provided an update to the Planning Commission on the proposed Motivan/Wallace Minor Subdivision Pre-Application meeting held on Thursday, April 3, 2025.

6. Applications:

- a. 25-09- Motivans/Wallace Minor Subdivision
- b. Motion to approve Application 25-09 Motivans/Wallac Minor Subdivision: Madge Morningstar / 2nd James Gatz / No Discussion / All Aye

7. Continuing Business:

- a. Continued Discussion of 2025 Comprehensive Plan
 - i. The Planning Commission continued to review the Comprehensive Plan document and agreed to incorporate minor edits and a priority matrix. The edits will be completed by Monday, April 28, 2025. The

SHEPHERDSTOWN PLANNING COMMISSION MINUTES
REGULAR MEETING AND PUBLIC HEARING

Monday, April 21, 2025

6:00 p.m.

TOWN HALL

104 NORTH KING STREET, SHEPHERDSTOWN

updated document will be forwarded to Marcus Carnegie of Thrasher
who will incorporate graphics.

- ii. Motion to move the 2025 Comprehensive Plan document to the Shepherdstown Town Council for review and approval with completed edits and graphics: Ebonée Helmick / 2nd Rebecca Parmesano / No Discussion / All Aye

b. Review of Shepherdstown PUD Ordinance

- i. Deferred until next meeting May 19, 2025, meeting

8. New Business: None

9. Adjournment: Motion to adjourn Rebecca Parmesano / 2nd by Linus Bicker @
7:57pm



Application Number 25 - 05

Application for Certificate of Appropriateness & Project Permit

Corporation of Shepherdstown, West Virginia

Should you have any questions regarding this application, please contact:
Andy Beall (Phone 304-876-6858, E-Mail abeall@shepherdstown.us)

PLEASE PRINT OR TYPE CLEARLY

Applicant's Name: FRANK & ROBIN VON FINTEL
(Must be Property Owner)

Mailing Address: 149 GENERAL MCCLELLAN COURT
HARPERS FERRY, WV 25425

Day Time Telephone Number: 304-657-7970

E-Mail Address: ROBINVONFINTEL@GMAIL.COM

Street Address of Proposed Work: 310 W GERMAN STREET, SHEPHERDSTOWN, WV 25443

Lot Number/Legal Description: _____
(If no address exists)

Current Zoning: RESIDENTIAL Current Land Use: RESIDENTIAL

Note: See zoning maps at Town Hall for correct zoning classification

Description of Work: Prepare shed foundation site (level ground and add 3" deep 3/4" base / gravel) and install a 8' W x 12' L Cape Cod Style prefabricated shed. The shed will be placed in the side yard (10' from side lot line) and approx. 65' from the front lot line and 129' from the rear lot line. The shed would be placed between two large trees. The roof will be standing seam in dark bronze and the siding will be 6" lap siding by LP Smartside.

Cost Estimate: \$7,000 Project Category (Descriptions on Next Page): I

Contractor performing work: Pine Creek Structures, Martinsburg, WV

Contractor's Business License #: PA049068

A copy of the contractor's Shepherdstown business license or license application MUST be attached. The applicant is responsible for making sure all contractors working on this project have a Shepherdstown business license (which can be applied for at town hall). Work started without a business license could result in a stop work order on the project.



Application Number _____ - _____

Application for Project Permit
(Checklist of Required Information for Applications)

Provide information required for appropriate category of work. Staff will ensure completion of checklist material prior to applications' inclusion on meeting agenda.

Category I- Minor Projects such as awnings, porch railings, window boxes, satellite dishes, solar panels, signs, fences, non-permanent storage sheds and other minor changes.

- PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.
- MATERIAL AND COLOR SAMPLES for exterior finishes

Category II- Driveways, decks, carports, porch enclosures and window, roof or siding replacement.

Category III- New construction of and/or additions to residential, commercial, and industrial structures.

Category IV- Demolition or Relocation of a Structure

(Categories II and III):

- _____ SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting. (SAMPLE ATTACHED)
- _____ Gross & net land area of property
- _____ Setback from property boundaries
- _____ Existing & proposed topography (only if regrading of the property is required)
- _____ Existing & proposed accessory structures.
- _____ Existing & proposed street right-of-way & entrance
- _____ Sidewalk, handicap access, Category IV only
- _____ MATERIAL AND COLOR SAMPLES for exterior finishes
- _____ ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements
- _____ ZONING INFORMATION shall be defined in the application as required:
 - _____ Dwelling density- net (residential application only)
 - _____ Flood plain designation if any (mapping available in Town Hall)
 - _____ Cost estimates and property appraisals for applications seeking exemptions from Chapter 12- Floodplain provisions

Category IV- Demolitions:

- _____ Historic designation of structures to be demolished (documents available in Town Hall)
- _____ Complete description of structure(s) or part(s) of structure(s) to be demolished.
- _____ At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.



Application Number _____ - _____

Checklist of Required Information for Applications Continued

All Categories:

_____ Copy of general contractor's Shepherdstown business license or license application.

Section 9-905 Remedies and penalties

The owner or agent of a building or premises in or upon which a violation of any provision of the Planning and Zoning Title has been committed or shall exist, or the leasee or tenant of an entire building or entire premise in or upon which violation has been committed or shall exist, or the agent, architect, building contractor or any other person who commits, takes part or assists in any violation or who maintains any building or premises in or upon which such violation shall exist, shall be guilty of a misdemeanor and shall be punished by a fine not to exceed one hundred (100) dollars. Each and every day that such violation continues may constitute a separate offense.

Please read the following paragraph carefully and sign.

Attach documents specified in the checklist on the back of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time in order to determine compliance with the Commission's approval. **I understand that my presence at the assigned application review meeting is required.** Application must be signed by owner or his/her agent.

Date: 2/9/2025

Owner's Signature: 

Print Name: Frank & Robin von Fintel

Fees shall be paid to the Town Treasurer/Clerk and must accompany the application. If work begins without the required permit, double the cost of said permit will be applied.

Zoning Officer Comments:

Fee Paid \$50
Date Paid 2/10/2025

CHR 487



Application Number _____ - _____

THE SHEPHERDSTOWN TOWN COUNCIL ORDAINS:

Section 9-902 of Chapter 8 paragraph XIV be amended as follows:

Please check all boxes that may apply (Application Fees Due Upon Submittal):

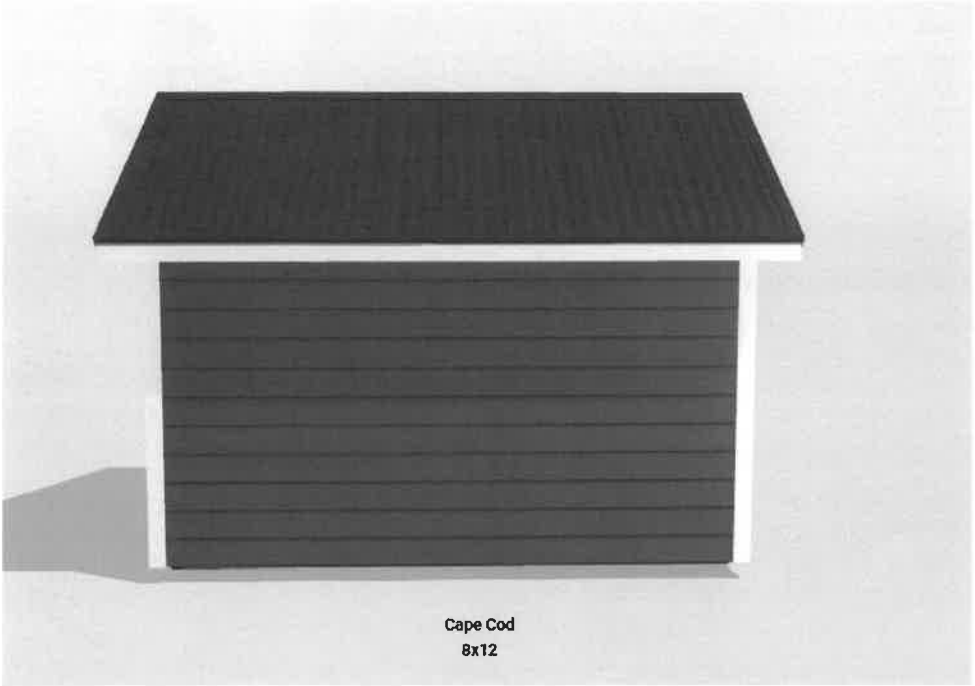
	<p><u>Category I:</u></p> <p>Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p> <p style="text-align: right;">\$50.00</p>
	<p><u>Category II:</u></p> <p>Window replacement, roof replacement, siding replacement, porch enclosure, driveways, carports, and decks.</p> <p style="text-align: right;">\$100.00</p>
	<p><u>Category III:</u></p> <p>New construction of and/or additions to residential, commercial, and industrial structures.</p> <p style="text-align: right;">\$300 + \$0.50 per sq. ft.</p> <p>New construction of garages & other accessory buildings (permanently attached to the ground).</p> <p style="text-align: right;">\$50 + \$0.10 per sq. ft.</p>
	<p><u>Category IV:</u></p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ol style="list-style-type: none"> 1. Reason for the demolition/relocation (including historic documentation). 2. Describe the structure's condition in detail. 3. Describe the proposed reuse of the site, including full drawings of new structure & landscaping. 4. Evidence of relevant funding or financial concerns. 5. Timeframe for project <p>\$50.00 Accessory Buildings \$150.00 Non-Contributing Structures (< 50 years old) \$500.00 Contributing Structures (≥ 50 years old)</p>
<p>Certificate of Appropriateness Advertisement Fee: \$15</p>	

Proposed Shed Design





Cape Cod
8x12



Cape Cod
8x12

Proposed Location of Shed



Workshop

HLC Workshop – March 10, 2025

310 W German Street - Proposed Garage Design & Placement

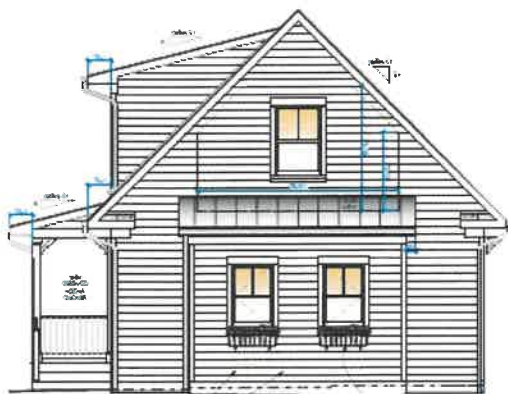
Proposed Design

This garage design was originally envisioned as an attached garage in an earlier iteration of the main house addition. Its exterior aesthetic seamlessly extends the architectural style of the addition, ensuring a cohesive and harmonious design. It is shown below as a standalone structure (42' X 24').

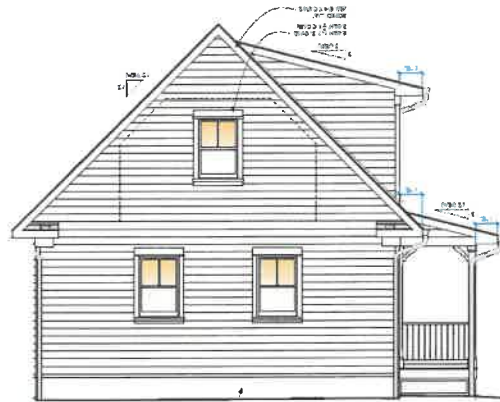
View from East Lot Line



View from German Street



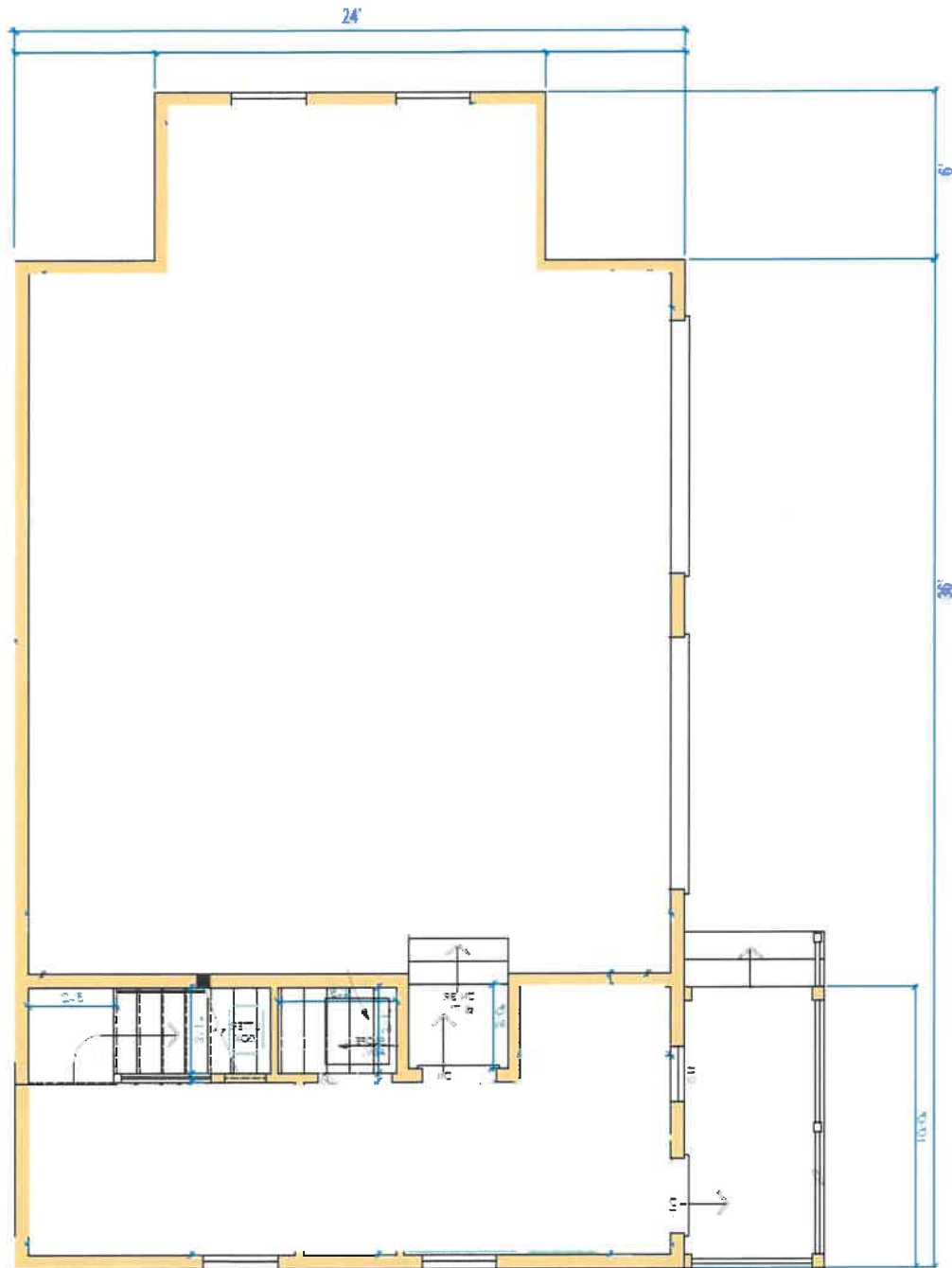
View from Back Alley



The garage will be built as an unfinished space with the potential to build two rooms and a bathroom on the 2nd floor in future. The building will have electricity.

The two planned changes from what is depicted is we would likely change the main roof material from standing seam metal to asphalt shingles. The dormer and porch roofs would remain standing seam metal. The other change would be to select windows to match the main house addition.

Other changes may involve adding some windows to the rear of the garage.



Proposed Placement

The garage placement is shown in red in the plat map below. The area in gray represents the proposed gravel driveway.

The proposal is to locate the garage at the rear of the lot, adjacent to the left lot line, which sits at the highest elevation in that area. This placement is intended to mitigate flood risk, as the lot is prone to flooding. Additionally, we propose orienting the garage doors to face inward toward the lot, similar to a side-load garage. This design minimizes the need to remove several mature trees situated between the garage site and the alley.





Application for Project Permit

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application # 25-06

This application is required for projects within the corporate limits of Shepherdstown (both in and out of the Historic District), that involve modifications to structural square footage. Examples include decks, porches, driveways, carports, accessory structures, and new construction of and/or additions to residential, commercial, and industrial structures. A review of the application shall be approved or rejected by the Planning Commission. If approved, the project permit is valid for one year from the date of issuance. [Please reference Title 9, Section-902](#).

Applicant's Name: Meredith Houck + Matthew Brinkley
(Must be Property Owner)

Mailing Address: P.O. Box 298
Shepherdstown WV 25443
City State Zip

Telephone: 336-420-1931 **Email** meredithhouck@gmail.com

Street Address of Proposed Work: 109 N Princess St

Current Zoning: R-1 **Current Land Use:** Residential

Note: Reference [this map](#) for zoning Classifications.

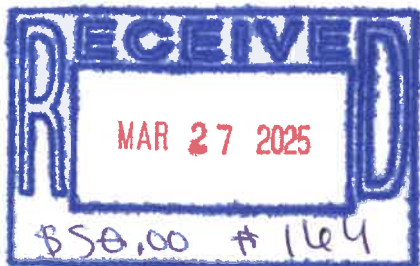
Description of Work:

Project Category: 1
(see descriptions on next page)

Contractor Performing the Work: Morgan Lawn + Services LLC

Contractor's Business License: 2025-004, 745

A copy of the contractor's Shepherdstown business license or license application MUST be attached.



-Ro



Application for Project Permit

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application # _____

Check all the areas that apply:

Category I- Minor Projects such as awnings, porch railings, window boxes, satellite dishes, solar panels, signs, fences, non-permanent storage sheds and other minor changes.

PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

MATERIAL AND COLOR SAMPLES for exterior finishes

Category II- Driveways, decks, carports, porch enclosures and window, roof, or siding replacement.

Category III- New construction of and/or additions to residential, commercial, and industrial structures.

(Categories II and III):

SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting.

Gross & net land area of property

Setback from property boundaries

Existing & proposed topography (only if regrading of the property is required)

Existing & proposed accessory structures.

Existing & proposed street right-of-way & entrance

Sidewalk, handicap access, Category IV only

MATERIAL AND COLOR SAMPLES for exterior finishes

ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements.

ZONING INFORMATION shall be defined in the application as required:

Dwelling density- net (residential application only)

Flood plain designation if any (mapping available in Town Hall)

Cost estimates and property appraisals for applications seeking exemptions from Chapter 12- Floodplain provisions.

Category IV- Demolitions or Relocation of a Structure:

Historic designation of structures to be demolished (documents available in Town Hall)

Complete description of structure(s) or part(s) of structure(s) to be demolished.

At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.



All Categories:

Copy of general contractor's Shepherdstown business license or license application.



Application for Project Permit

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application # _____

Remedies and penalties

The owner or agent of a building or premises in or upon which a violation of any provision of the Planning and Zoning Title has been committed or shall exist, or the leasee or tenant of an entire building or entire premise in or upon which violation has been committed or shall exist, or the agent, architect, building contractor or any other person who commits, takes part or assists in any violation or who maintains any building or premises in or upon which such violation shall exist, shall be guilty of a misdemeanor and shall be punished by a fine not to exceed one hundred (100) dollars. Each and every day that such violation continues may constitute a separate offense. Reference Title 9-905.

Please read the following paragraph carefully and sign.

Attach documents specified in the checklist of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time to determine compliance with the Commission's approval. **I UNDERSTAND THAT MY PRESENCE AT THE ASSIGNED APPLICATION REVIEW MEETING IS REQUIRED.** Application must be signed by owner or his/her agent.

Date: March 27, 2025

Signature: Meredith Leigh Houck
(Owner)

Print Name: Meredith Leigh Houck

For Office Use:

Permit Number: _____

Zoning Officer Comments:

Fee Paid
Date Paid



Application for Project Permit

104 N King St

PO Box 248 (for mailing)

Shepherdstown, WV 25443

Application # _____

Application Fees

Please check all boxes that may apply. Reference Section 9-902 of Chapter 8 paragraph XIV for more information. Application fees due upon submittal. Fees should be payable to the Town Treasurer/Clerk and must accompany the application. **If work begins without the required permit, double the cost of said permit will be applied.**

✓	<p>Category I:</p> <p>\$50.00 - Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p>
	<p>Category II:</p> <p>\$100.00 - Window replacement, roof replacement, siding replacement, porch enclosure, driveways, carports, and decks.</p>
	<p>Category III:</p> <p>\$300 + \$0.50 per sq ft - New construction of and/or additions to residential, commercial, and industrial structures.</p> <p>\$50 + \$0.10 per sq ft - New construction of garages & other accessory buildings (permanently attached to the ground).</p>
	<p>Category IV:</p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ul style="list-style-type: none"> • Reason for the demolition/relocation (including historic documentation). • Describe the structure's condition in detail. • Describe the proposed reuse of the site, including full drawings of new structure & landscaping. • Evidence of relevant funding or financial concerns. • Timeframe for project <p>\$50.00 - Accessory Buildings \$150.00 - Non-Contributing Structures (< 50 years old) \$500.00 - Contributing Structures (≥ 50 years old)</p>

CORPORATION OF SHEPHERDSTOWN
Jefferson County, West Virginia

LICENSE #

2025-004,745

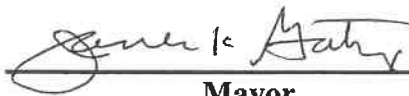
ISSUED TO:

\$21.00

MORGAN LAWN AND SERVICES LLC
80 VOLUNTEER WAY
SHEPHERDSTOWN WV 25443

<u>ACCOUNT#</u>	<u>YEAR ENDING</u>	<u>EFF. DATE</u>	<u>EXP. DATE</u>	<u>FILING FEE</u>
2164-00	2025	7/01/24	6/30/25	\$1.00

<u>LICENSE TYPE(S)</u>	<u>AMOUNT</u>	<u>DESCRIPTION</u>
125	\$20.00	General Business



Mayor



Recorder

Authorized to operate the business indicated by payment of fee, for a period of one year, from July 1, 2024 to June 30, 2025.

Corporation of Shepherdstown



Town Clerk



**MUNICIPAL
LICENSE**

2024 – 2025

**WEST VIRGINIA
STATE TAX DEPARTMENT
BUSINESS REGISTRATION
CERTIFICATE**

ISSUED TO:
**MORGAN LAWN AND SERVICES LLC
80 VOLUNTEER WAY
SHEPHERDSTOWN, WV 25443-0000**

BUSINESS REGISTRATION ACCOUNT NUMBER: 2260-6024

This certificate is issued on: 12/3/2013

*This certificate is issued by
the West Virginia State Tax Commissioner
in accordance with Chapter 11, Article 12, of the West Virginia Code.*

*The person or organization identified on this certificate is registered
to conduct business in the State of West Virginia at the location above.*

This certificate is not transferrable and must be displayed at the location for which issued.
This certificate shall be permanent until cessation of the business for which the certificate of registration
was granted or until it is suspended, revoked or cancelled by the Tax Commissioner.

Change in name or change of location shall be considered a cessation of the business and a new
certificate shall be required.

TRAVELING/STREET VENDORS: Must carry a copy of this certificate in every vehicle operated by them.
CONTRACTORS, DRILLING OPERATORS, TIMBER/LOGGING OPERATIONS: Must have a copy of
this certificate displayed at every job site within West Virginia.

Site Plan for 109 N Princess St
Backyard Renovation

Project Plan

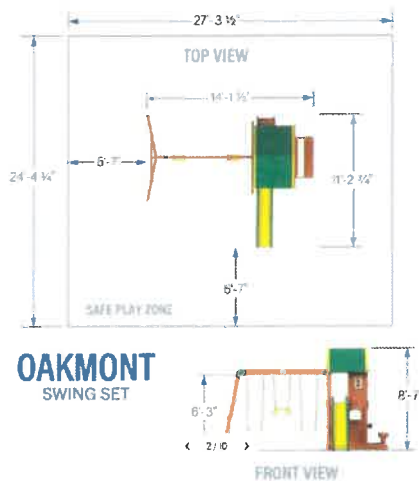
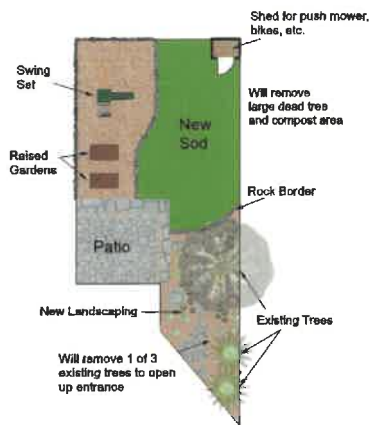
- To remove existing ponds in backyard and create a more functional space that includes a swing set, shed for storage, new sod and landscaping based on the plans shown below.

Contractor Request

- Permit for constructing the 8x8 wooden shed
- Shed will come primed and ready for paint and will be constructed on site
- Shed will be painted in white and black colors to match the house

Contact Info

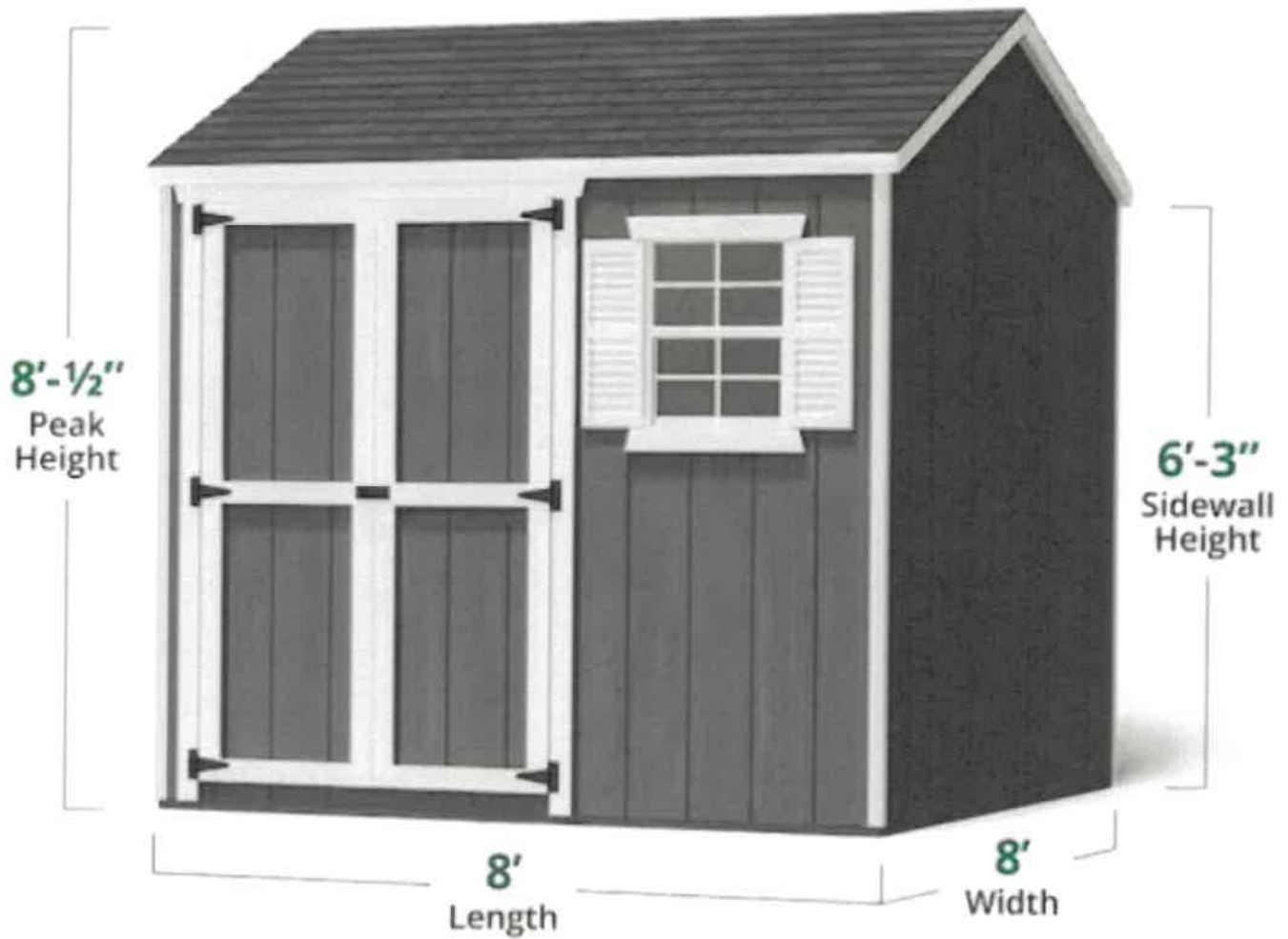
- Justin Morgan
- 304-676-9537
- morganlawnllc@gmail.com



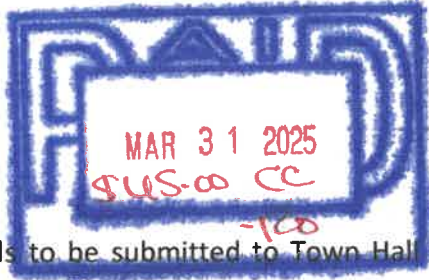
8x8

Value Workshop

64
SQ. FT.



Hover Image to Zoom



25-07

Application for Sign Permit

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

This application needs to be submitted to Town Hall for approval of any signage. Please reference Title 9, Section-210.

Name of applicant: Mohalu Wellness / Troy Lozinski
(include name of business)

Mailing address: 453 Symington Drive

Martinsburg WV 25404
City State Zip

Telephone: 814-937-0880 **Email** Troy.lozinski@gmail.com

Street address of proposed work: 126 W. German Street

Telephone: N/A **Email:** N/A

Prior to your application being accepted you are required to provide the following:

(Please initial each indicating it has been provided)

JML Total square footage of all existing signs on building = 0'

JML Linear width of storefront in feet = 28'

JML Total square footage of proposed sign(s) = 3.75'

JML Drawing or picture of building showing placement of sign(s)

JML Drawing or picture of sign(s) with dimensions & material composition = wood

JML Drawing or picture of bracket or method of mounting sign

Hanging Sign(s) only:

JML Bottom of sign is required to be a minimum 7ft above sidewalk

JML Outer edge of sign may not extend closer than 3ft from curb face

I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time to determine compliance with Commission's approval. Application must be signed by owner or his/her agent.

Date: 10 March, 2025

Signature: Troy Lozinski
(Applicant)

If you are a tenant, you must obtain the owner's signature acknowledging and approving the proposed work. This must be done prior to submission of application.

Date: 10 March 2025

Signature: Brian P. Romine
(Owner)

Print Name: Brian P. Romine

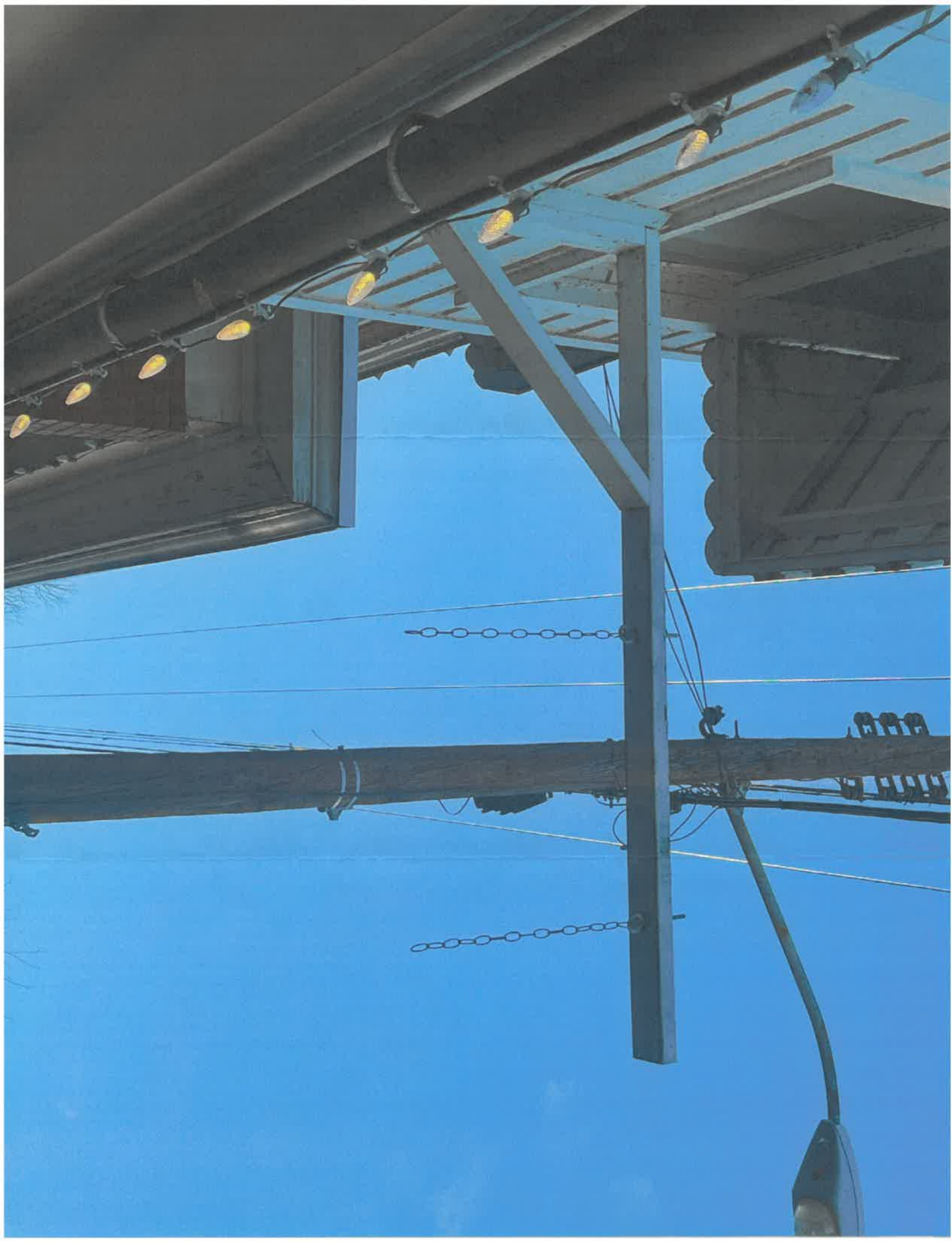


Please reference Title 9 of Town Ordinance for specifics
Please contact Andy Beall with any questions. (304) 876-6858 • abeall@shepherdstown.gov

22.91 in

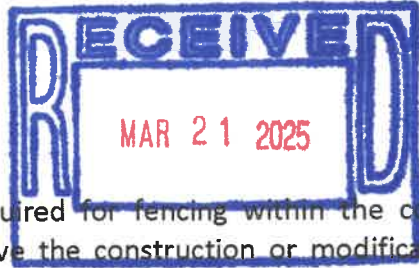
22.91 in







25-08



fo

Application for Fence Permit

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

This application is required for fencing within the corporate limits of Shepherdstown (for residents and businesses), that involve the construction or modification to fencing. A review of the application shall be approved or rejected by the Planning Commission. If approved, the project permit is valid for one year from the date of issuance. Please reference [Title 9, Section-803](#).

Applicant's Name: Mary Lowe (Emmanuel Spanos)
(Must be Property Owner)

Street Address of Proposed Fence: 115 E German St.

Mailing Address: 174 P.O. Box 301 S King St
Shepherdstown WV 25443
City State Zip

Telephone: 304-870-4830 **Email:** Lets eat@pcna.govt.wv.com

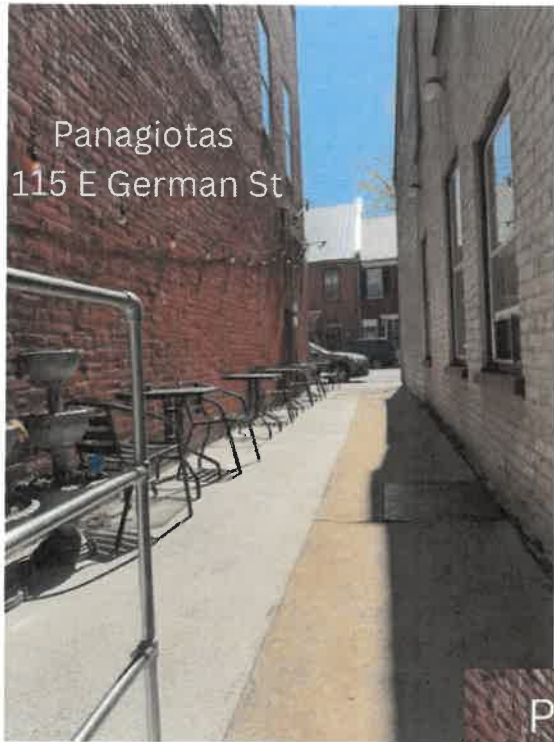
Description of Work: cell# 304-839-6616
304.919.5198
Fence for Patio, White Vinyl, with posts in flower pots
\$500

Contractor Performing the Work: Emmanuel Spanos

Contractor's Business License: _____
A copy of the contractor's Shepherdstown business license or license application **MUST** be attached.

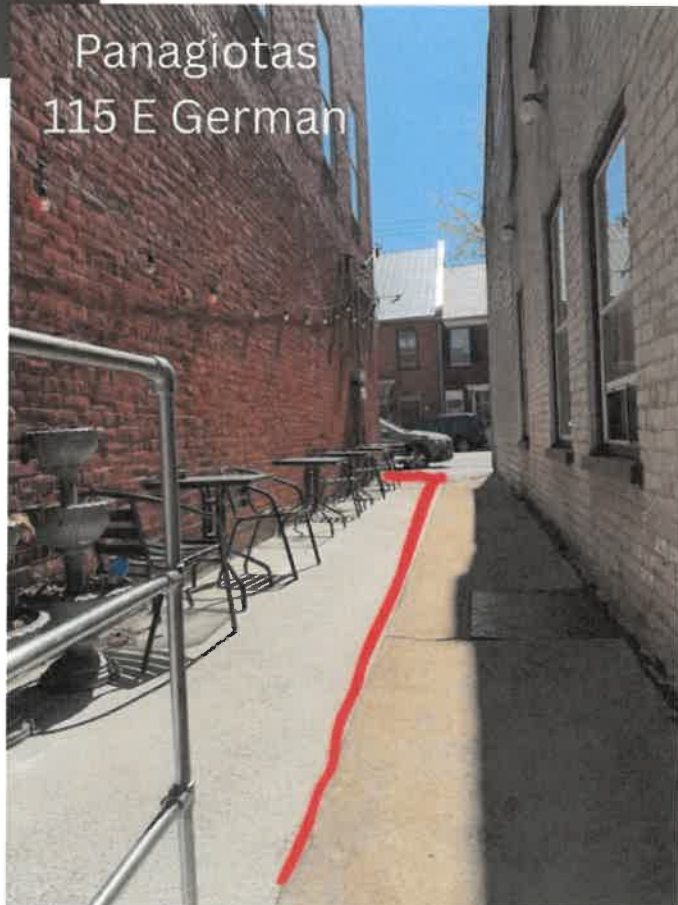
- Project Category I - provide the following:**
- PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.
 - MATERIAL AND COLOR SAMPLES for exterior finishes
 - SITE PLAN is required. See sample site plan (link to diagram) Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting.
 - Setback from property boundaries

Date: 3/13/25 **Signature:** [Signature]
(Applicant) **Print Name:** Emmanuel Spanos




Panagiotas
115 E German St

Before



Panagiotas
115 E German

After

 The Red Line, represents where the lattice fence will go



White Vinyl Lattice Fence
held in place by 4x4 posts,
cement in flower pots.



Panagiotas
115 E German St



Gate



Before



115 E German St
Shepherdstown, WV 25425
304-870-4830



Vase with a 4x4
piece of Wood



After.

Lattice Fence.

- will not be on side walk
- Lattice fence is 4ft high
- Will not block ally

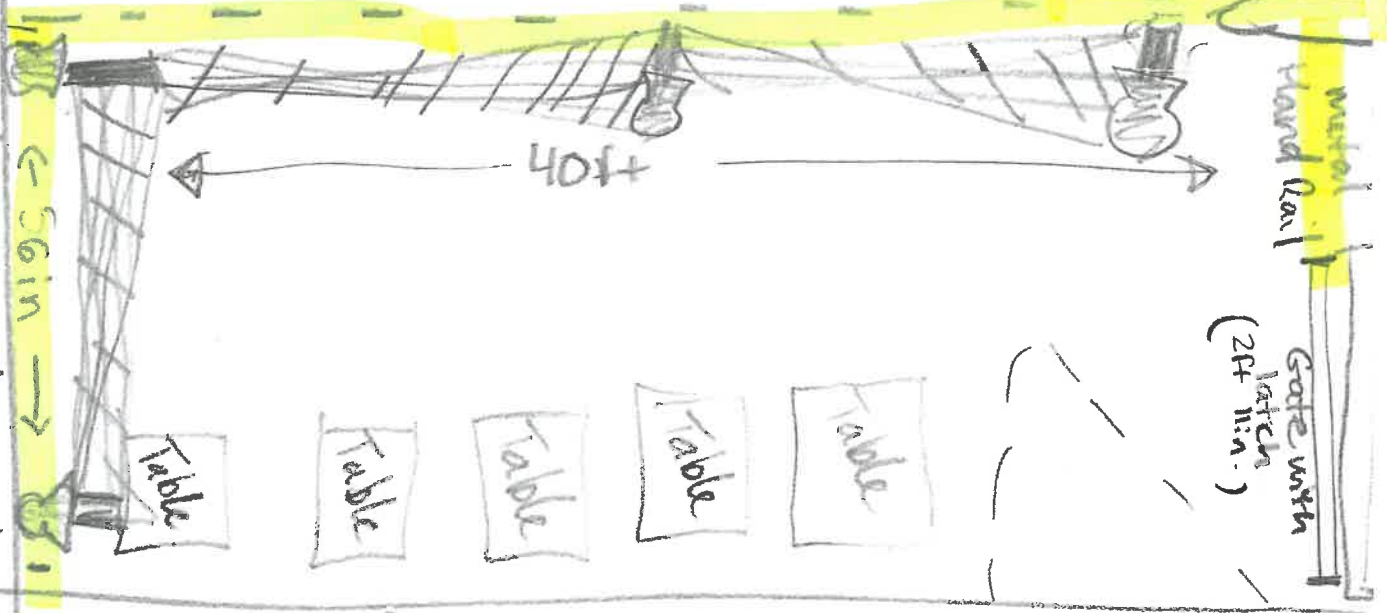
107 E
German
Building

Picture of →
Clearer Drain.
W/ SERRIS
OF fence —
to property
lines
White Vinyl →
Lattice

White Vinyl →
Lattice

(Ally)

Sidewalk



Door

115 E German

Panglotas

Building

White vase with
post. white lattice
4ft tall
Vinyl



Application for Project Permit

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application # 25-11

This application is required for projects within the corporate limits of Shepherdstown (both in and out of the Historic District), that involve modifications to structural square footage. Examples include decks, porches, driveways, carports, accessory structures, and new construction of and/or additions to residential, commercial, and industrial structures. A review of the application shall be approved or rejected by the Planning Commission. If approved, the project permit is valid for one year from the date of issuance. **Please reference Title 9, Section-902.**

Applicant's Name: Tim Terman
(Must be Property Owner)

Mailing Address: 72 Shepherd Village Circle
Shepherdstown WV 25443
City State Zip

Telephone: 304 276 8306 **Email:** Southporttim@gmail.com

Street Address of Proposed Work: 72 Shepherd Village Circle

Current Zoning: RESIDENTIAL **Current Land Use:** Residential

Note: Reference [this map](#) for zoning Classifications.

Description of Work:
Screwed-in back porch

Project Category: II RAY CASANO
(see descriptions on next page)

Contractor Performing the Work: Rawson Handyman

Contractor's Business License: WV 056812

A copy of the contractor's Shepherdstown business license or license application **MUST** be attached.





Application for Project Permit

104 N King St

PO Box 248 (for mailing)

Shepherdstown, WV 25443

Application # 25-11

Check all the areas that apply:

Category I- Minor Projects such as awnings, porch railings, window boxes, satellite dishes, solar panels, signs, fences, non-permanent storage sheds and other minor changes.

PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

MATERIAL AND COLOR SAMPLES for exterior finishes

Category II- Driveways, decks, carports, porch enclosures and window, roof, or siding replacement.

Category III- New construction of and/or additions to residential, commercial, and industrial structures.

(Categories II and III):

SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting.

Gross & net land area of property

Setback from property boundaries

Existing & proposed topography (only if regrading of the property is required)

Existing & proposed accessory structures.

Existing & proposed street right-of-way & entrance

Sidewalk, handicap access, Category IV only

MATERIAL AND COLOR SAMPLES for exterior finishes

ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements.

ZONING INFORMATION shall be defined in the application as required:

Dwelling density- net (residential application only)

Flood plain designation if any (mapping available in Town Hall)

Cost estimates and property appraisals for applications seeking exemptions from Chapter 12- Floodplain provisions.

Category IV- Demolitions or Relocation of a Structure:

Historic designation of structures to be demolished (documents available in Town Hall)

Complete description of structure(s) or part(s) of structure(s) to be demolished.

At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.

All Categories:

Copy of general contractor's Shepherdstown business license or license application.

Please reference Title 9 of Town Ordinance for specifics

Please contact Andy Beall with any questions. (304) 876-6858 • abeall@shepherdstown.gov



Application for Project Permit

104 N King St

PO Box 248 (for mailing)

Shepherdstown, WV 25443

Application # 25-11

Remedies and penalties

The owner or agent of a building or premises in or upon which a violation of any provision of the Planning and Zoning Title has been committed or shall exist, or the leasee or tenant of an entire building or entire premise in or upon which violation has been committed or shall exist, or the agent, architect, building contractor or any other person who commits, takes part or assists in any violation or who maintains any building or premises in or upon which such violation shall exist, shall be guilty of a misdemeanor and shall be punished by a fine not to exceed one hundred (100) dollars. Each and every day that such violation continues may constitute a separate offense. Reference Title 9-905.

Please read the following paragraph carefully and sign.

Attach documents specified in the checklist of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time to determine compliance with the Commission's approval. **I UNDERSTAND THAT MY PRESENCE AT THE ASSIGNED APPLICATION REVIEW MEETING IS REQUIRED.** Application must be signed by owner or his/her agent.

Date: April 25 2025

Signature: 
(Owner)

Print Name: TIM TETMAN

For Office Use:

Permit Number: _____

Zoning Officer Comments:

Fee Paid
Date Paid



Application for Project Permit

104 N King St

PO Box 248 (for mailing)

Shepherdstown, WV 25443

Application # 25-11

Application Fees

Please check all boxes that may apply. Reference Section 9-902 of Chapter 8 paragraph XIV for more information. Application fees due upon submittal. Fees should be payable to the Town Treasurer/Clerk and must accompany the application. **If work begins without the required permit, double the cost of said permit will be applied.**

<p><u>Category I:</u></p> <p>\$50.00 - Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p>
<p><u>Category II:</u></p> <p>\$100.00 - Window replacement, roof replacement, siding replacement, porch enclosure, driveways, carports, and decks.</p>
<p><u>Category III:</u></p> <p>\$300 + \$0.50 per sq ft - New construction of and/or additions to residential, commercial, and industrial structures.</p> <p>\$50 + \$0.10 per sq ft - New construction of garages & other accessory buildings (permanently attached to the ground).</p>
<p><u>Category IV:</u></p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ul style="list-style-type: none">• Reason for the demolition/relocation (including historic documentation).• Describe the structure's condition in detail.• Describe the proposed reuse of the site, including full drawings of new structure & landscaping.• Evidence of relevant funding or financial concerns.• Timeframe for project <p>\$50.00 - Accessory Buildings \$150.00 - Non-Contributing Structures (< 50 years old) \$500.00 - Contributing Structures (≥ 50 years old)</p>

TERMIN BACK PORCH PROJECT

Specifications – Dated 4/8/2025

GENERAL NOTES

The intention for the project is to match the materials (including finish and color) or existing back porches found throughout Shepherd Village as much as possible. The Contractor should examine existing structures and make an effort to replicate the architecture as a guide to selection of materials, products, finishes, colors.

Suggested specific materials and products to achieve this intent are described below.

The Drawings do not, in general, show actual fasteners such as screws and nails throughout the project. Fasteners are shown only for reference in specific & limited product details. The Contractor should follow fastening instructions per product recommendations and best practices of the construction industry.

ROUGH CARPENTRY

All structural members exposed to the elements or ground contact shall be pressure treated. Member sizing shall be as noted on the Drawings. Any substitutions must be approved by the Owner.

Structural posts in the New Work shall be of pressure treated wood even where they are covered.

All exposed rough carpentry shall be painted with an opaque stain that matches the adjacent existing colors as closely as possible. Where an exact match is not possible, the new stain color should be slightly darker (not lighter) than the existing finish.

TRIM

PRODUCT - Trim is called out in the Drawings as '1x2', '1x4', '1x6' or '1x8' as needed. All such trim materials shall be of **LP SmartSide 440 Series – Cedar Texture**. The actual thickness of this product is 0.625, and the widths are typical for the noted nominal dimensions (so 0.625" X 1.5" for a 1x2, 0.625" X 3.5 for a 1x4, and so on).

The Contractor should consult product literature for these products for additional information about available lengths (generally 8 or 12.5 ft long), fastening, storing, etc.

COLOR - Unless otherwise noted on the Drawings, all trim shall be painted Bright White – at least 2 coats of good quality latex exterior paint in a Satin or Semi-Gloss finish. Match existing house trim finish as closely as possible.

Some of the trim material may come pre-painted. Verify color match with existing house trim. Most of the trim materials come from the manufacturer pre-primed.

SEALANT - All joints and seams between adjacent pieces of trim shall be sealed using good quality silicone or latex caulk – Bright White. Contractor should consult the trim manufacturer recommendations regarding sealant. Ideally, all sealant shall be installed BEFORE the painting.

BEADBOARD (Ceilings & End Fascia)

Material called out in the Drawings as 'beadboard' shall be **LP SmartSide 38 Series** – Cedar Texture. The actual thickness of this product is 0.354", and is typically available in 4x8 (foot) sheets.

The Contractor should consult product literature for this product for additional information about fastening, storing, etc.

COLOR - Unless otherwise noted on the Drawings, all beadboard shall be painted Bright White – at least 2 coats of good quality latex exterior paint in a Satin or Semi-Gloss finish. Match existing house porch ceilings finish as closely as possible.

SEALANT - All joints and seams between adjacent pieces of trim & beadboard shall be sealed using good quality silicone or latex caulk – Bright White. Contractor should consult the beadboard manufacturer recommendations regarding sealant. Ideally, all sealant shall be installed BEFORE the painting.

STANDING SEAM METAL ROOFING

26-gauge galvalume double lock standing seam roof

Panels width 16 inches

Mechanically fastened

1 – 2 inch tall double locked seams with Kynar painted finish matching front porch roof.

Color : Dove Grey. Verify match with front porch roof (as close as possible).

Example Product : **Western States MS2 Mechanically Seamed**

Roof must be rated for 1:12 minimum pitch.

Contractor should consult with Owner regarding final selection.

The Drawings reflect the standard details for the **Horizon-Loc** product and should be modified per the manufacturer recommended installation and materials of the final product selected.

ALTERNATE PRODUCT

With the permission of the Owner, the **Horizon-Loc** product used on existing front porch may be used instead of the spec above. Horizon-Loc is not warranted for use on porch roofs with pitch less than 3:12, but might be allowed since this is not an interior space, assuming the Owner is willing to accept the added risk of damage to the porch structure and finishes.

METAL FLASHING

Metal flashing used to protect the top edge of trim shall be aluminum or stainless steel, with a drip edge. The visible edge of the flashing must be straight and tight to the trim it is covering. See examples where this has been done on existing house trim as an example. The flashing must be painted to match the trim, preferably pre-painted (powder coated?) and pre 'broken'.

The top edge of all flashing (where it attaches to the wall) must be sealed with tape intended for that purpose (compatible with the house wrap and the metal flashing. The tape should also cover the nail or screw heads fastening the metal flashing to the wall (to prevent water from running behind the metal flashing).

GUTTERS

Gutters and downspouts shall be similar in size, profile and color (white) to those on the existing house.

Roof flashing must be installed to ensure that water from the roof empties into and not behind the gutters (seems obvious, but this has been a problem in some houses at SV in the past).

Water from the house roof should not be collected and then discharged in one location onto the porch roof, creating the potential for a concentrated stream that may overrun the porch gutter. As described in the Drawings, it may be better to remove the existing section of house gutter above the new porch and install fascia that will ensure that water from the roof is discharged evening onto the porch roof. The Contractor shall discuss options with the Owner and determine the best arrangement to ensure all water is conveyed to the ground and does not overrun the gutters.

NEW FLOOR MATERIAL & CONSTRUCTION

Because of the level of grade surrounding the rear of the house, a TBD option must be worked out between the Owner (with input from the HOA) and Contractor. Currently envisioned options are wood framed decking (option 1) or concrete slab (option 2). Whichever option is implemented, the new construction must not:

- a. Disrupt the flow of stormwater in a way that will impact run off onto neighboring properties OR cause groundwater to flow back toward the house foundation.
- b. Damage the existing house foundation
- c. Damage the existing house foundation drainage system.

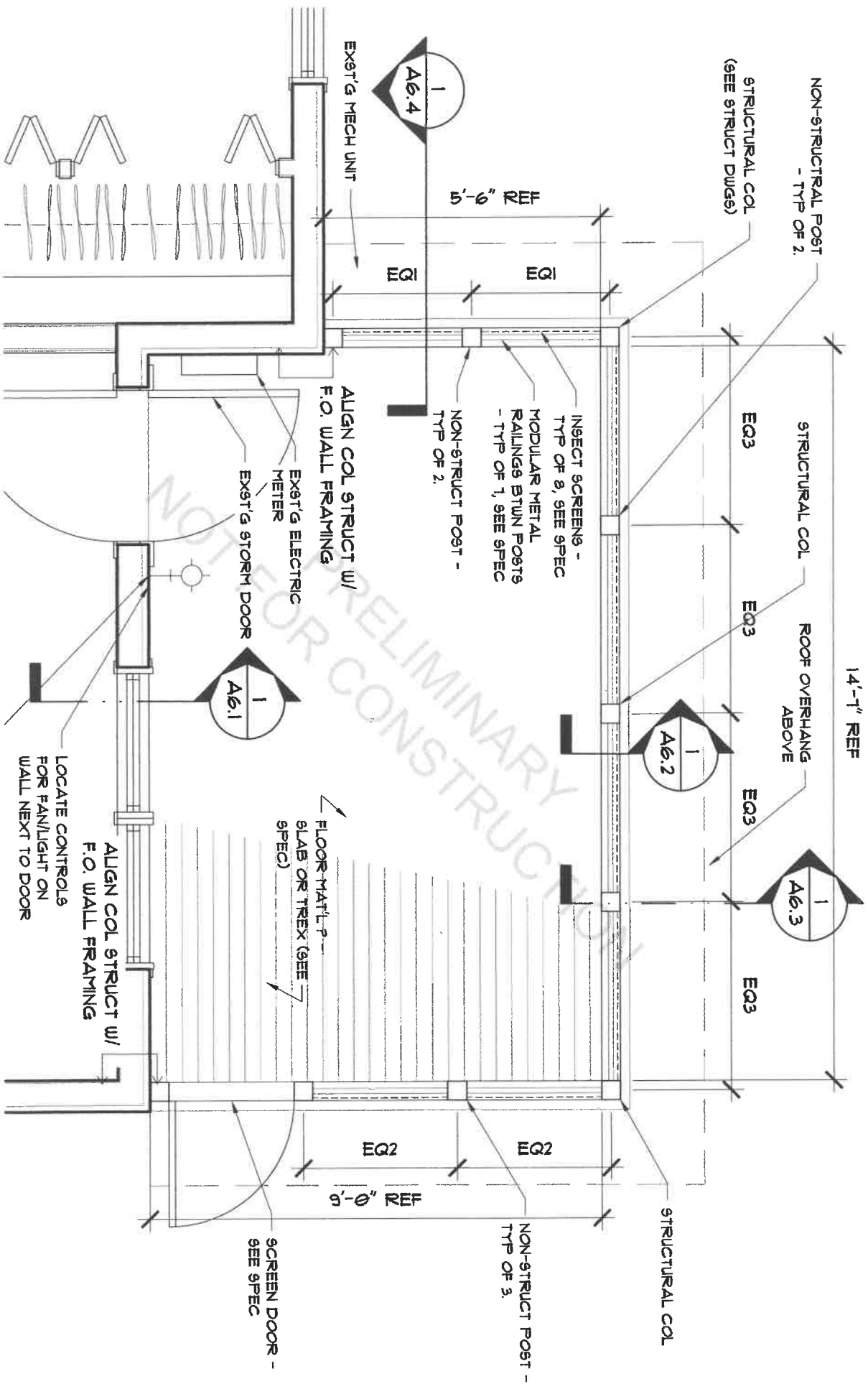
Option 1 – FRAMED DECKING

All structural members shall be pressure treated and sealed as needed to prevent decay.

DECKING FINISH PRODUCT: **Trex Enhance Basic**

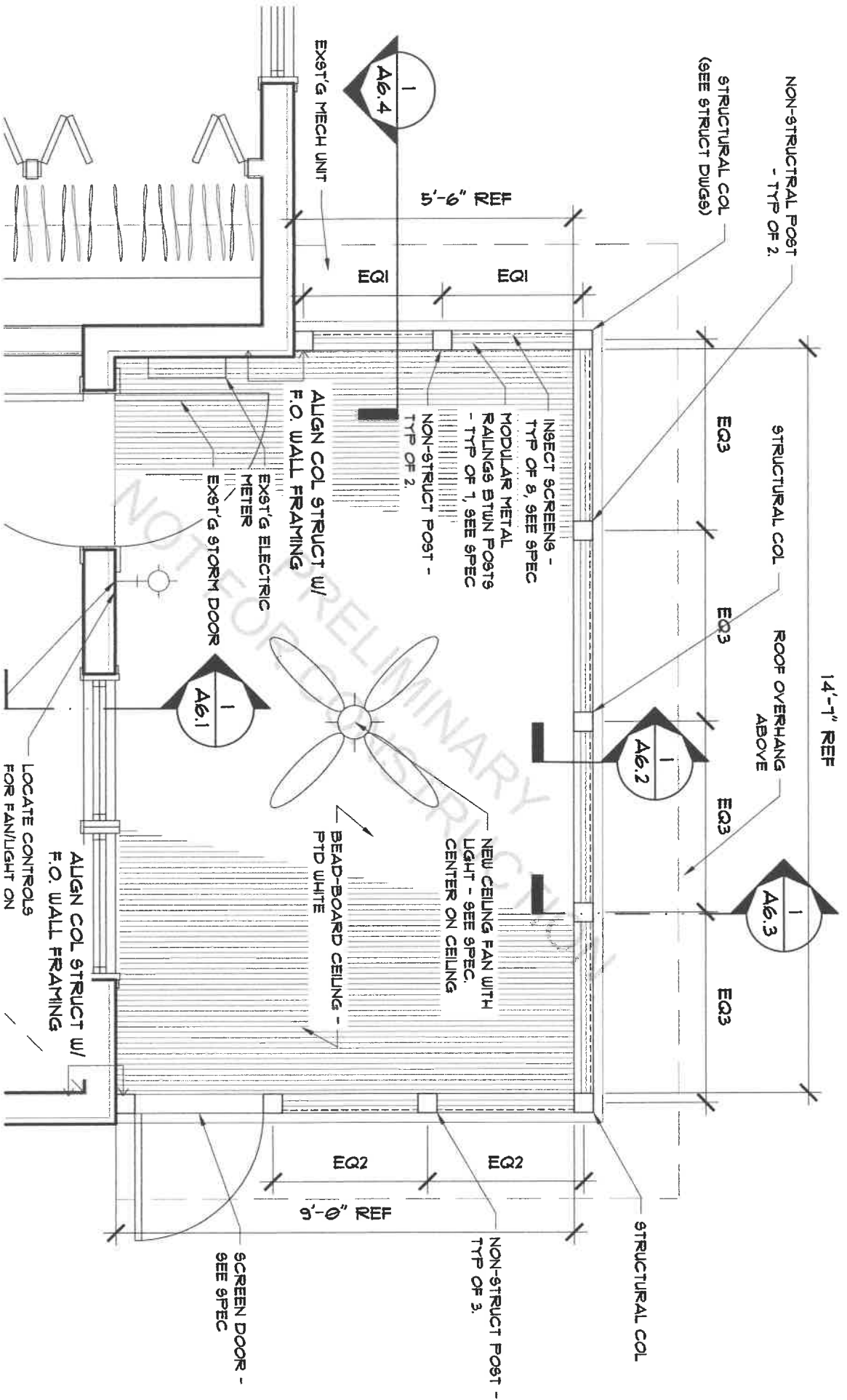
COLOR: Clam Shell (a medium gray)

DIMENSIONS: 5.5" wide x 0.94" thick. Available in lengths of 8', 12' or 16'.



A1.1 - ARCHITECTURAL FLOOR PLAN
B-UNIT DUPLEX BACK PORCH PROJECT - MPB - 7/18/2024

NOT FOR PRELIMINARY CONSTRUCTION



A1.2 - ARCHITECTURAL REFLECTED CEILING PLAN

B-UNIT DUPLEX BACK PORCH PROJECT - MPB - 7/18/2024

ADJUST DEPTH OF SIDE EAVE AS REQ'D
TO AVOID EXISTING MECH EQUIP & VENTS

1'-6"

1'-5 3/4" REF

1'-5 3/4" REF

1'-6"

ALIGN END RAFTERS WITH F.O.
COLUMN - SEE ARCH DTL'S

4X4 P.T. COL (TYP OF 3) -
ALIGN W/ EDGE OF HOUSE
FRAMING

ADJUST COLUMN LOCATION
TO AVOID CONFLICT BETWEEN
NEW PORCH & EXIST'G MECH
EQUIPMENT.

ADD'L RAFTER NEXT TO WALL
AS NEEDED TO SECURE ROOF
SHEATHING

(2) 2X8 BEAM BELOW (NOT
SHOWN) - SEE ARCH DTL'S.
SUPPORTED @ HOUSE BY
HANGERS ATTACHED TO
WALL CORNER FRAMING.

EXIST'G
F.O. FRAMING

2X6 LEDGER - SEE ARCH DTL'S
- FASTEN TO WALL STUDS

EXIST'G HOUSE STRUCTURE
WALL FRAMING

2X6 BLOCKING BETWEEN RAFTER ENDS
(2) 2X8 CONTINUOUS BEAM
- SEE ARCH DTL'S.
SISTER 2X8'S, FASTEN W/ SCREWS,
STAGGER JOINTS

ADJUST SPACING AS NEEDED FOR ALIGNMENT AS NOTED.

2X6 @ 16" O.C. -

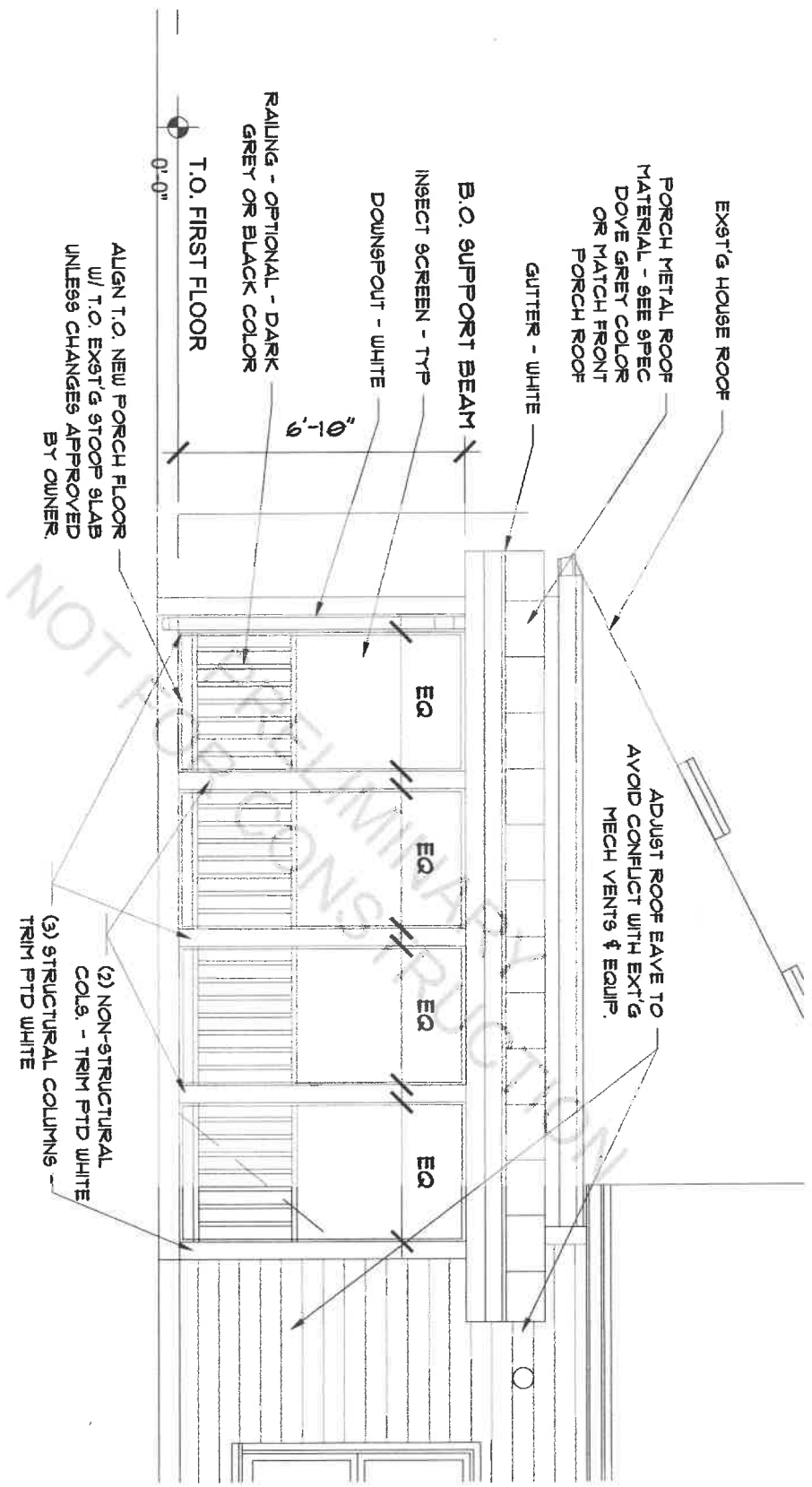
9'-4"

1'-6"

NOT FOR CONSTRUCTION PRELIMINARY

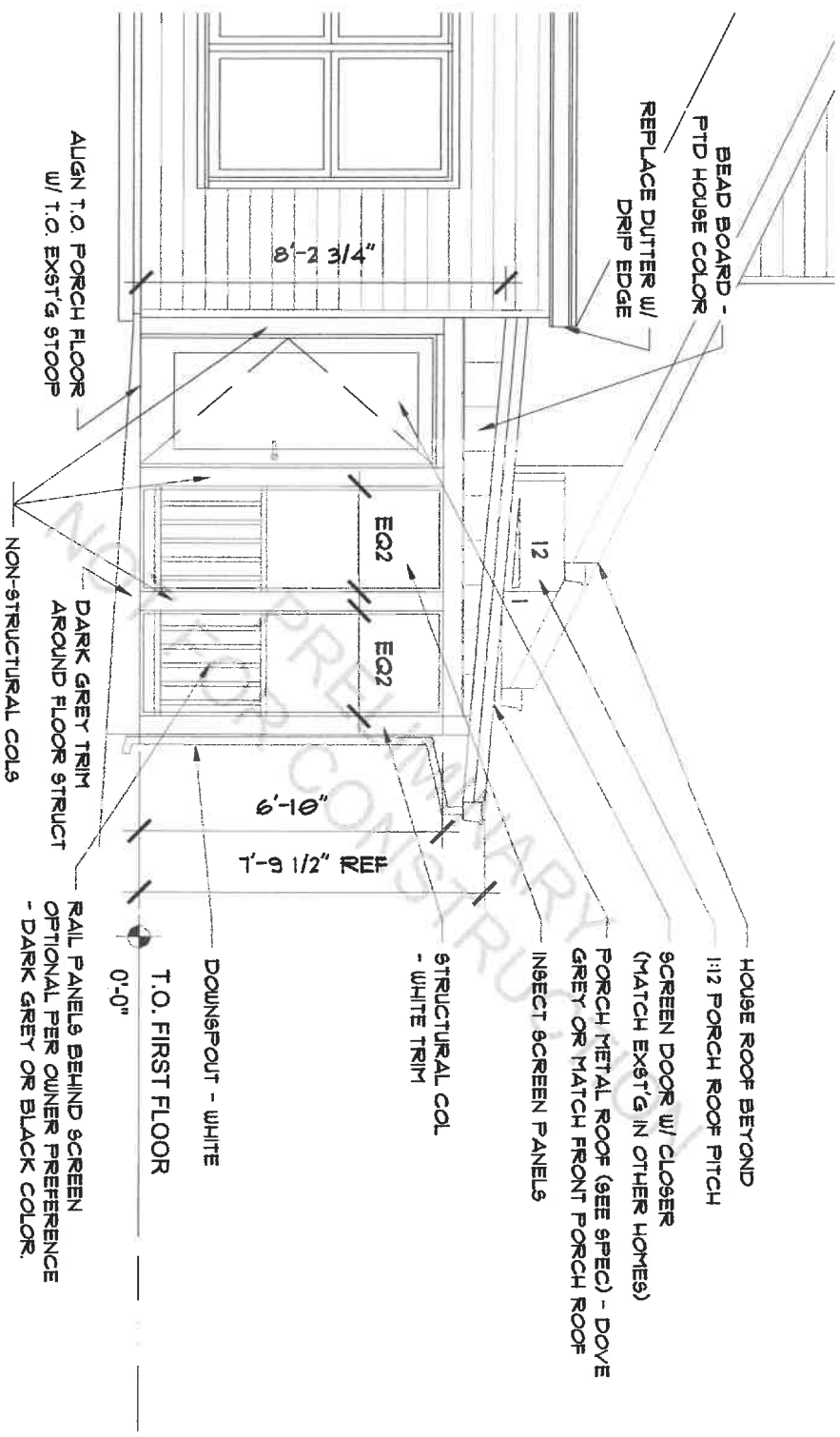
51.1 - STRUCTURAL FRAMING PLAN - ROOF

B-UNIT DUPLEX PORCH - MPB - 4/7/2025



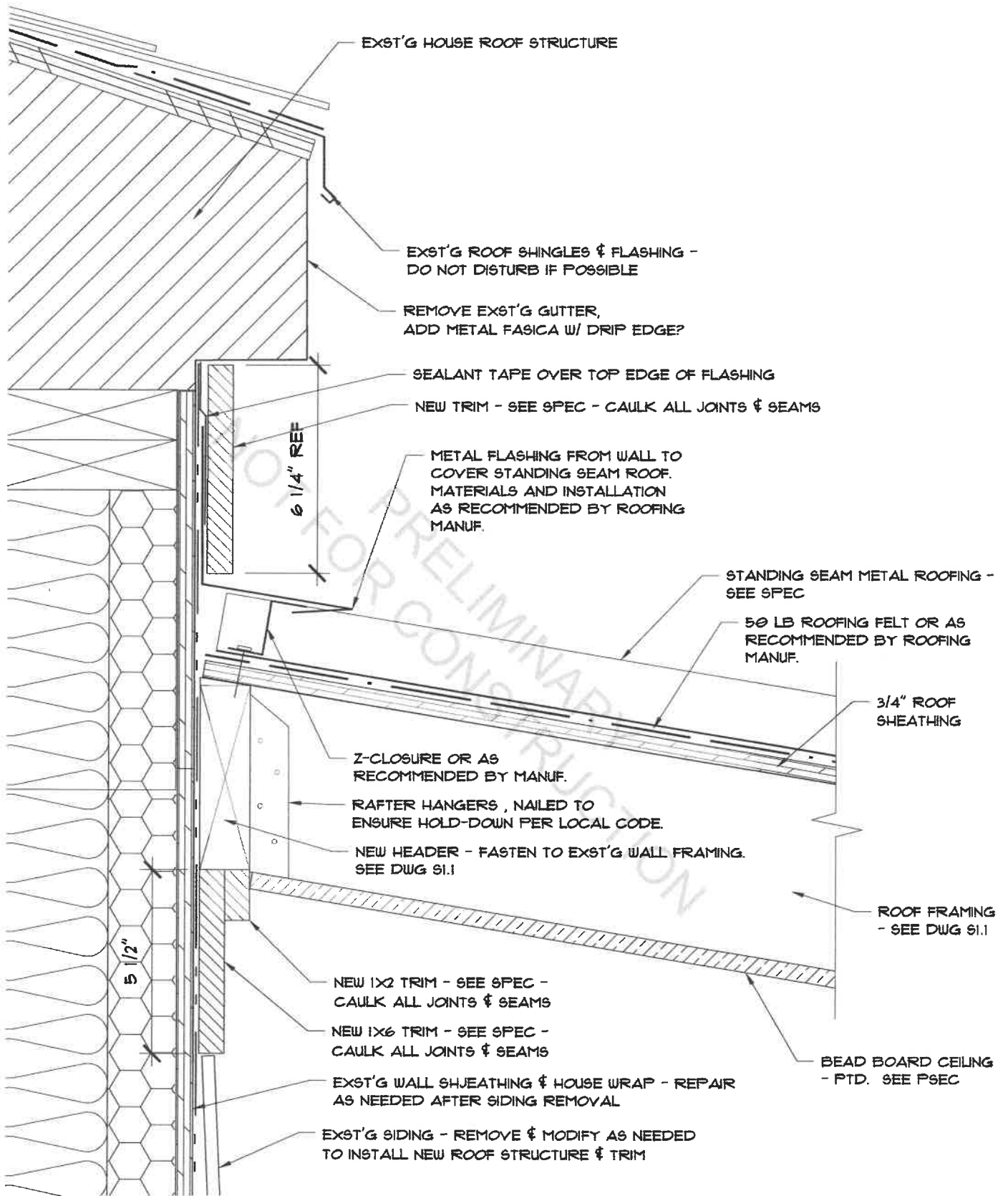
A2.1 - TERMIN BACK PORCH REAR ELEVATION

MPB - 4/1/2025



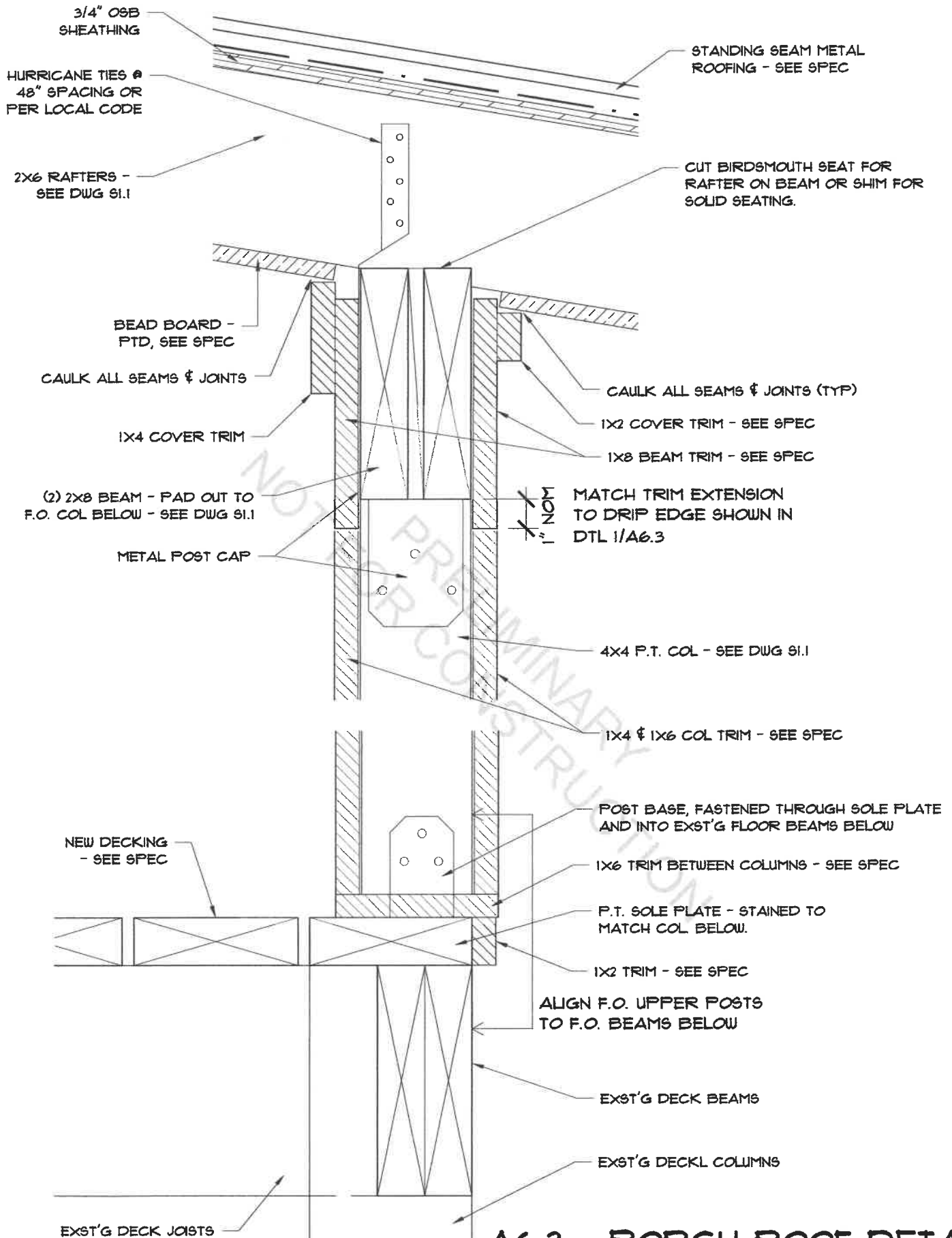
A2.2 - TERMIN BACK PORCH SIDE ELEVATION

MPB - 4/1/2025

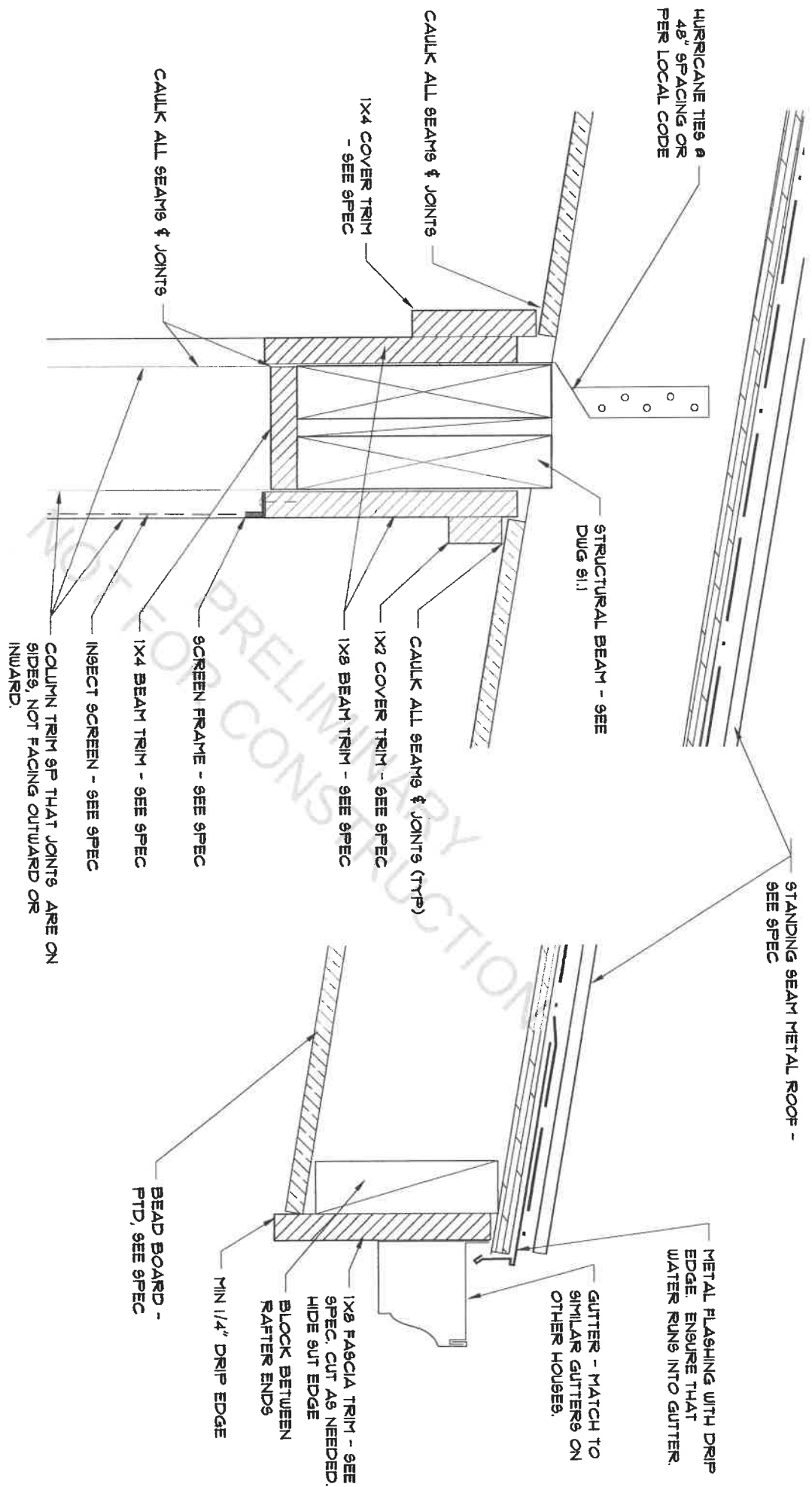


A6.1 - PORCH ROOF DETAIL @ HOUSE

HIATT BACK PORCH ROOF PROJECT - MPB - 1/18/2024

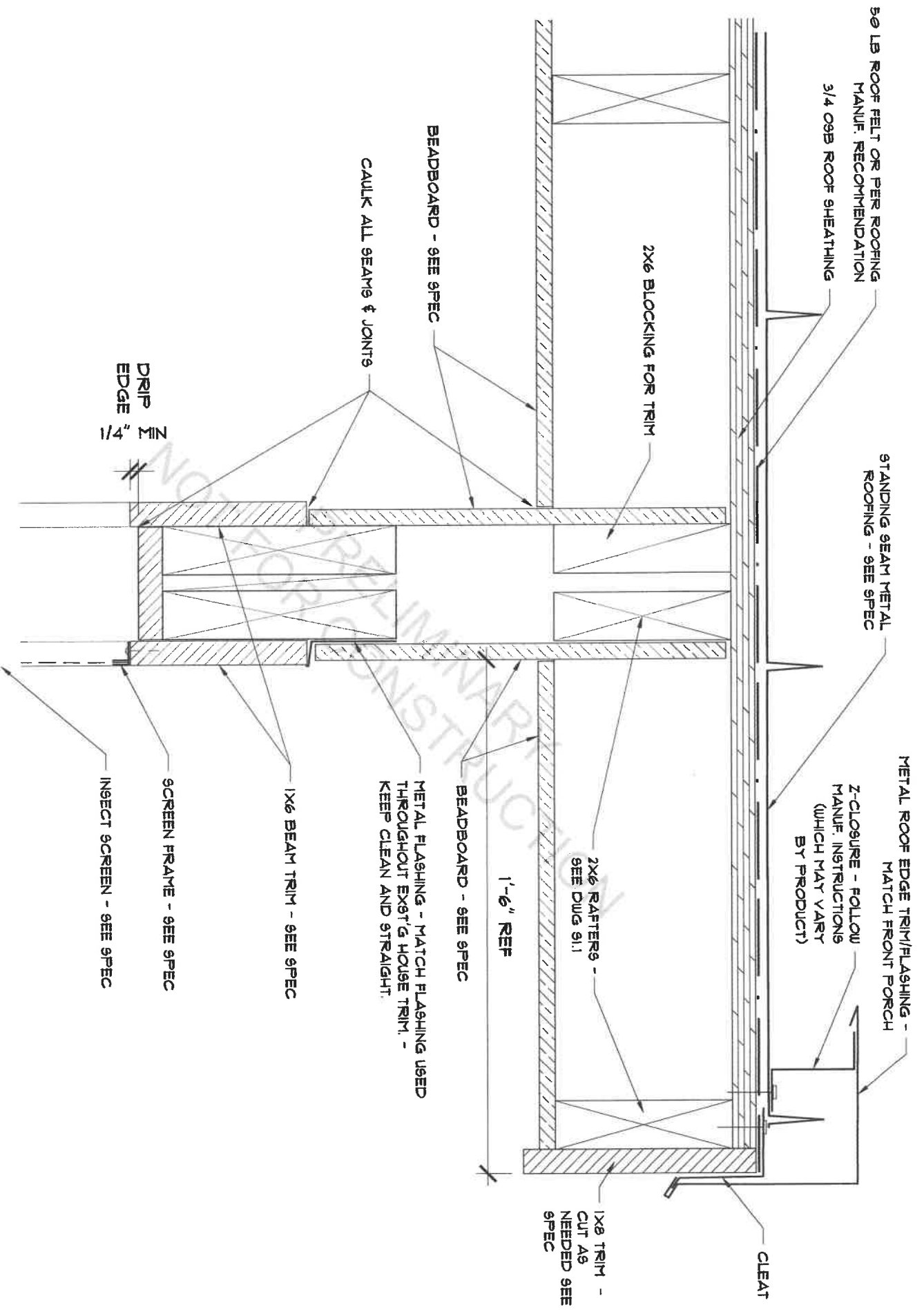


A6.2 - PORCH ROOF DETAIL
 HIATT BACK PORCH ROOF PROJECT -
 MPB - 7/18/2024



A6.3 - PORCH ROOF BEAM DETAIL

HIATT BACK PORCH ROOF PROJECT - MPB - 1/18/2024



A6.4 - PORCH ROOF END DETAIL
 HIATT BACK PORCH ROOF PROJECT - MPB - 1/18/2024



CONTRACTOR LICENSE

AUTHORIZED BY THE
West Virginia Contractor
Licensing Board

NUMBER: WV056812

CLASSIFICATION:

RESIDENTIAL
SPECIALTY
DRYWALL
PAINTING
FLOOR COVERING

EUTIMIO CASIANO
DBA RANSON HANDYMAN
1222 STALLION STREET
RANSON, WV 25438

DATE ISSUED

EXPIRATION DATE

OCTOBER 19, 2024

OCTOBER 19, 2025

Authorized Signature

Chair, West Virginia Contractor
Licensing Board



A copy of this license must be readily available for inspection by the Board on every job site where contracting work is being performed. This license number must appear in all advertisements, on all bid submissions, and on all fully executed and binding contracts. This license is non-transferable. This license is being issued under the provisions of West Virginia Code, Chapter 30, Article 42.



Application for Project Permit

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application # 25-12

This application is required for projects within the corporate limits of Shepherdstown (both in and out of the Historic District), that involve modifications to structural square footage. Examples include decks, porches, driveways, carports, accessory structures, and new construction of and/or additions to residential, commercial, and industrial structures. A review of the application shall be approved or rejected by the Planning Commission. If approved, the project permit is valid for one year from the date of issuance. [Please reference Title 9, Section-902](#).

Applicant's Name: JL Moore Inc Michelle Shipley Garry Shipley
(Must be Property Owner)

Mailing Address: PO Box 1355
Shepherdstown WV 25443
City State Zip

Telephone: 304-279-2208 **Email** ghshipley@hotmail.com

Street Address of Proposed Work: 110 College St

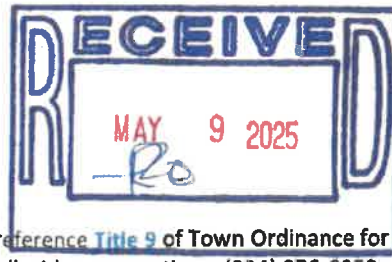
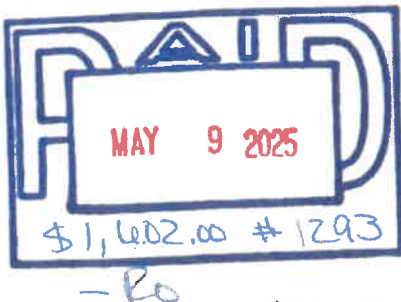
Current Zoning: R1 **Current Land Use:** Vacant
Note: Reference [this map](#) for zoning Classifications.

Description of Work:

Project Category: Category 3
(see descriptions on next page)

Contractor Performing the Work: JL Moore Inc Garry Shipley

Contractor's Business License: WV000216
A copy of the contractor's Shepherdstown business license or license application MUST be attached.





Application for Project Permit

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application # 25-12

Check all the areas that apply:

Category I- Minor Projects such as awnings, porch railings, window boxes, satellite dishes, solar panels, signs, fences, non-permanent storage sheds and other minor changes.

PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

MATERIAL AND COLOR SAMPLES for exterior finishes

Category II- Driveways, decks, carports, porch enclosures and window, roof, or siding replacement.

Category III- New construction of and/or additions to residential, commercial, and industrial structures.

(Categories II and III):

SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting.

Gross & net land area of property

Setback from property boundaries

Existing & proposed topography (only if regrading of the property is required)

Existing & proposed accessory structures.

Existing & proposed street right-of-way & entrance

Sidewalk, handicap access, Category IV only

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ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements.

ZONING INFORMATION shall be defined in the application as required:

Dwelling density- net (residential application only)

Flood plain designation if any (mapping available in Town Hall)

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Complete description of structure(s) or part(s) of structure(s) to be demolished.

At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.

All Categories:

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Please reference [Title 9](#) of Town Ordinance for specifics
Please contact Andy Beall with any questions. (304) 876-6858 • abeall@shepherdstown.gov



Application for Project Permit

104 N King St

PO Box 248 (for mailing)

Shepherdstown, WV 25443

Application # 25-12

Remedies and penalties

The owner or agent of a building or premises in or upon which a violation of any provision of the Planning and Zoning Title has been committed or shall exist, or the leasee or tenant of an entire building or entire premise in or upon which violation has been committed or shall exist, or the agent, architect, building contractor or any other person who commits, takes part or assists in any violation or who maintains any building or premises in or upon which such violation shall exist, shall be guilty of a misdemeanor and shall be punished by a fine not to exceed one hundred (100) dollars. Each and every day that such violation continues may constitute a separate offense. Reference Title 9-905.

Please read the following paragraph carefully and sign.

Attach documents specified in the checklist of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time to determine compliance with the Commission's approval. **I UNDERSTAND THAT MY PRESENCE AT THE ASSIGNED APPLICATION REVIEW MEETING IS REQUIRED.** Application must be signed by owner or his/her agent.

Date: 4.25.25

Signature: Garry Shipley
(Owner)

Print Name: Garry Shipley

For Office Use:

Permit Number: _____

Zoning Officer Comments:

Fee Paid
Date Paid



Application for Project Permit

104 N King St

PO Box 248 (for mailing)

Shepherdstown, WV 25443

Application # 25-12

Application Fees

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	<p><u>Category I:</u></p> <p>\$50.00 - Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p>
	<p><u>Category II:</u></p> <p>\$100.00 - Window replacement, roof replacement, siding replacement, porch enclosure, driveways, carports, and decks.</p>
X	<p><u>Category III:</u></p> <p>\$300 + \$0.50 per sq ft - New construction of and/or additions to residential, commercial, and industrial structures.</p> <p>\$50 + \$0.10 per sq ft - New construction of garages & other accessory buildings (permanently attached to the ground).</p>
	<p><u>Category IV:</u></p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ul style="list-style-type: none">• Reason for the demolition/relocation (including historic documentation).• Describe the structure's condition in detail.• Describe the proposed reuse of the site, including full drawings of new structure & landscaping.• Evidence of relevant funding or financial concerns.• Timeframe for project <p>\$50.00 - Accessory Buildings \$150.00 - Non-Contributing Structures (< 50 years old) \$500.00 - Contributing Structures (≥ 50 years old)</p>



J.L. MOORE

110 College St Proposal

110 College St Lot: 56x100

Single family dwelling: 2259 finished sq ft (4 bed/3bath)

- One story: First floor finished (1302sq ft)
- Basement: Finished (957sq ft) Unfinished (345sq ft)
- Concrete foundation
- Structure to be framed 2x6 with wood sheeting
- Roof system truss
- Architectural shingles
- Hardie board: neutral color ie. Tan

Gross and net land area of property

- House 31x42: 1302sq ft
- Porch 6x24: 144sq ft
- Driveway 12x30: 360sq ft

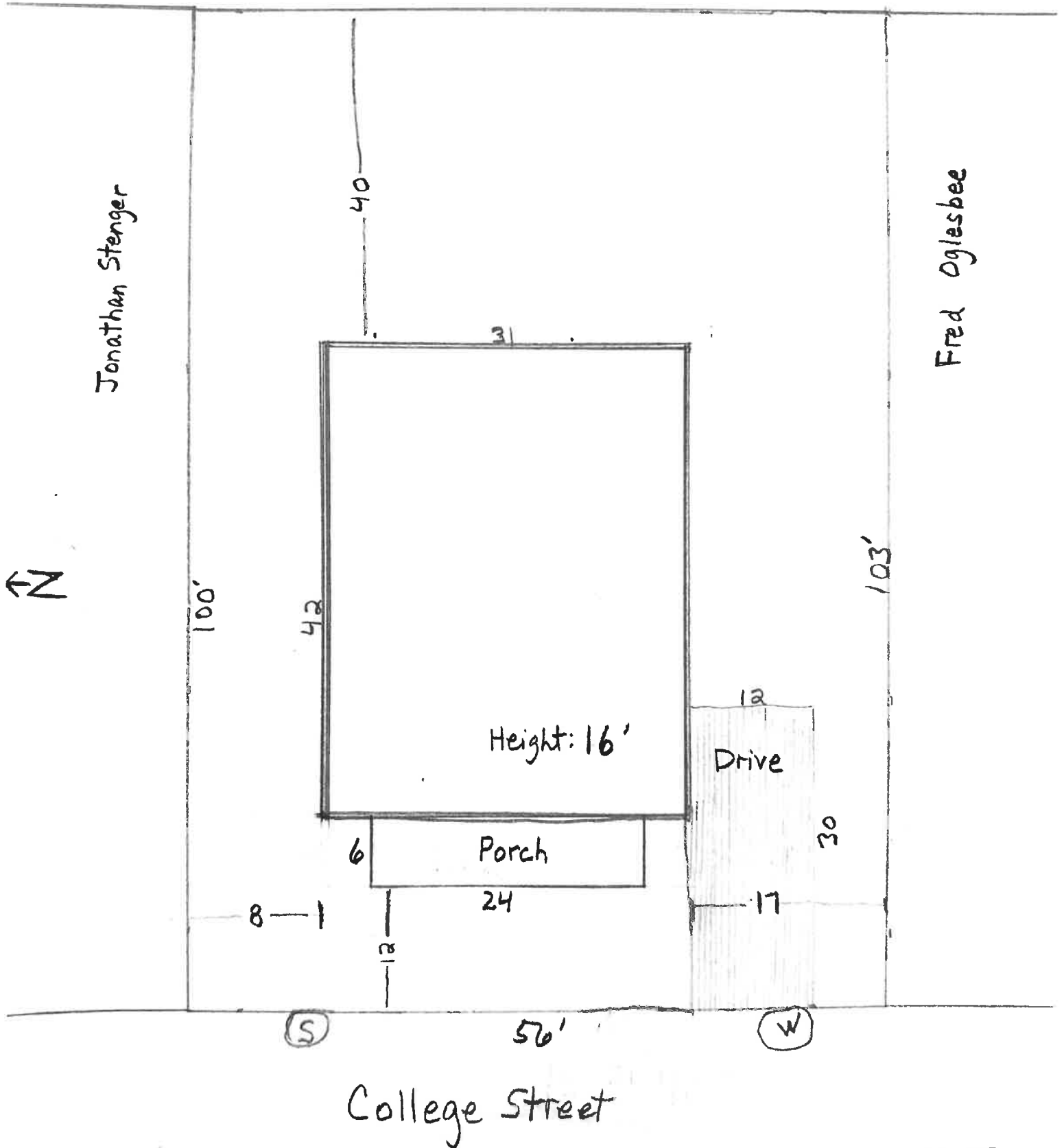
=1806 sq ft of impervious surface (68% green space)

Set Backs:

- Front: 12 ft from College St
- Back: 40 ft from back property line
- Left (Stenger): 8ft
- Right (Oglesbee): 17ft

Total height of house:

- 16ft



Will P
4-29-2025



CONTRACTOR LICENSE

AUTHORIZED BY THE
West Virginia Contractor
Licensing Board

NUMBER: **WV000218**

CLASSIFICATION:

ELECTRICAL
GENERAL BUILDING
HEATING, VENTILATING & COOLING
MULTIFAMILY
PLUMBING
RESIDENTIAL
SPECIALTY

J L MOORE INC
DBA J L MOORE INC
PO BOX 1355
SHEPHERDSTOWN, WV 25443

DATE ISSUED

AUGUST 02, 2024

EXPIRATION DATE

AUGUST 02, 2025

Authorized Signature

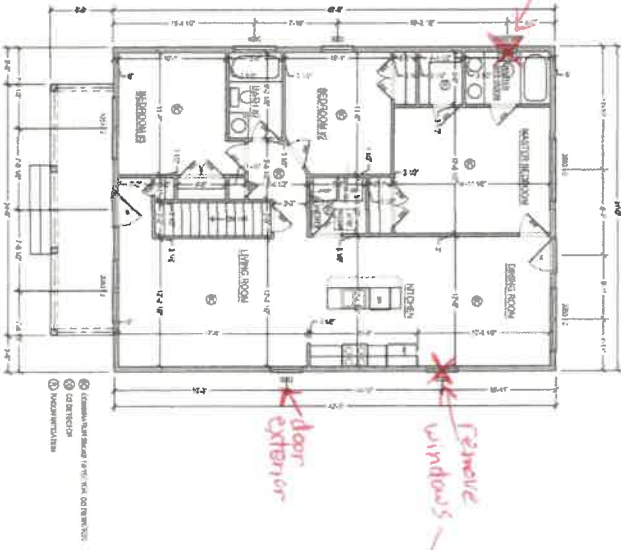
Chair, West Virginia Contractor
Licensing Board



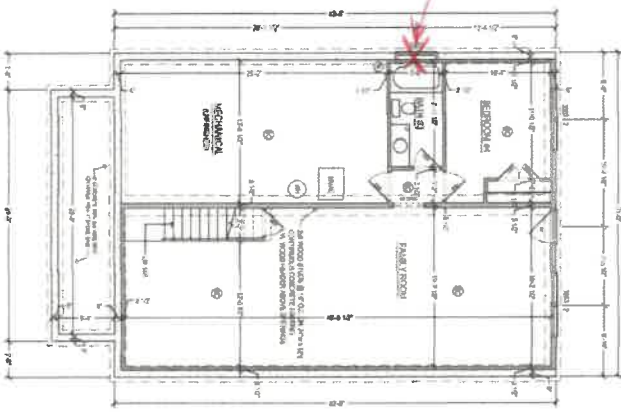
A copy of this license must be readily available for inspection by the Board on every job site where contracting work is being performed. This license number must appear in all advertisements, on all bid submissions, and on all fully executed and binding contracts. This license is non-transferable. This license is being issued under the provisions of West Virginia Code, Chapter 30, Article 42.

THIS SET OF DRAWINGS IS FOR THE
 PROJECT ONLY. IT IS NOT TO BE
 REPRODUCED OR TRANSMITTED IN ANY
 FORM OR BY ANY MEANS, ELECTRONIC
 OR MECHANICAL, INCLUDING PHOTOCOPYING,
 RECORDING, OR BY ANY INFORMATION
 STORAGE AND RETRIEVAL SYSTEM.

1. FIRST FLOOR PLAN
 1/8" = 1'-0"
 1/4" = 1'-0"



2. FOUNDATION PLAN
 1/8" = 1'-0"



Sheet
 3
 A-1
 4/2/75



DRAFTING SERVICES

DATE:
 DESIGNED:
 REV:
 BY:

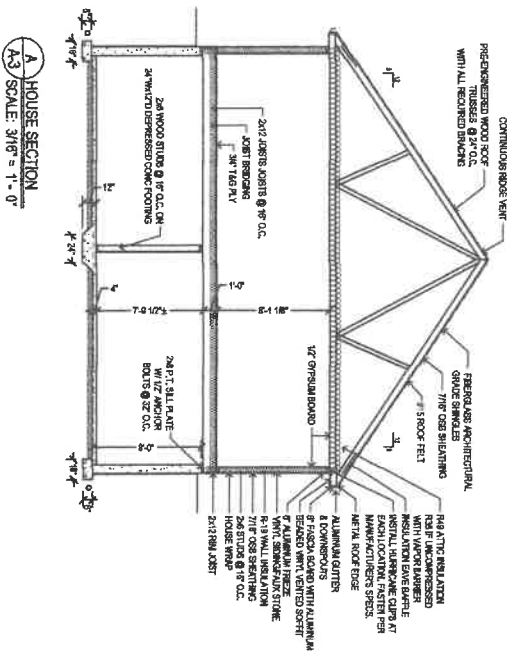
RESIDENCE FOR:
J. L. MOORE
 110 COLLEGE STREET
 SHEPHERDSTOWN, WEST VIRGINIA 25443

1. CONTRACTOR SHALL BE RESPONSIBLE TO MEET ALL STATE AND LOCAL CODES REQUIRED.
2. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF ANY WORK.
3. GRADES SHOWN ARE APPROXIMATE ONLY. FIELD VERIFY CONDITIONS, ELEVATIONS & PROPERTY LINES AND SETBACKS PRIOR TO ANY WORK.
4. INSTALL (2) 2 x 10 WOOD HEADER WITH THROSB SHEATHING ABOVE ALL EXTERIOR WINDOW AND DOOR OPENINGS UNLESS NOTED OTHERWISE.
5. COORDINATE FINAL KITCHEN LAYOUT WITH OWNER PRIOR TO ANY TYPE OF CONSTRUCTION OR FABRICATION.
6. OWNER SHALL BE RESPONSIBLE TO SELECT ALL FINAL COLORS AND FINISHES.
7. PROVIDE ACCESS PANEL DOOR WITH FRAME TO ALL ATTIC SPACES.
8. INSTALL EXTERIOR 1/2" INSULATION BARRIER (R-19) ON ALL EXTERIOR WALLS AS REQUIRED.
9. CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ALL ADDITIONAL FRAMING, BEAMS, POSTS AND HEADERS NOT SHOWN FOR A STRUCTURAL SOUND BUILDING AS REQUIRED.

GENERAL NOTES

10. ALL PRE-ENGINEERED WOOD TRUSSES AND LAYS SHALL BE IDENTIFIED BY THE MANUFACTURER BY ANGRATERED ENGINEER IN THE STATE OF WEST VIRGINIA.
11. TRUSS MANUFACTURER SHALL SUPPLY ALL TRUSSES FOR A COMPLETE ROOF STRUCTURE, PROVIDE GROUND TRUSSES, CORNER VAULTS, AND SCISSORS TRUSSES AS REQUIRED.
12. CONTRACTOR SHALL PROVIDE ALL REQUIRED FLASHINGS, CALKES, SEALANTS, WEEP HOLES AND EXPANSION JOINTS FOR A WATER TIGHT STRUCTURE.
13. EVERY EFFORT HAS BEEN MADE TO SATISFY THE CURRENT IBC CODES AND JEFFERSON COUNTY WV AMENDED BUILDING CODES. YOU MAY BE RESPONSIBLE TO HAVE PERMITS AS REQUIRED TO ADEQUATELY SATISFY YOUR LOCAL BUILDING CODES AS WELL AS ANY GOVERNMENT RESTRICTIONS ON YOUR PROPERTY.
14. PROVIDE R-10 RIGID INSULATION WHERE CONCRETE FLOOR AT GRADE AND AROUND ALL AREAWAYS.
15. SIZE, LOCATION AND QUANTITY OF DOORS, WINDOWS AND VENTS IN BASEMENT AND CRAWL SPACES ARE TO BE DETERMINED ON JOB SITE TO ACCOMMODATE PRE-EXISTING CONDITIONS SUCH AS ROCK AND TO ALLOW FOR PROPER UTILITY PLACEMENT. UNLESS NOTED OTHERWISE.

16. ELEVATIONS SHOW GENERAL DOOR DESIGNS, WINDOW GRID LAYOUTS, ETC. SCALE OF YOUR PLANS MAY NOT ALLOW FOR DETAIL OF ALL ITEMS SUCH AS: PORCH POSTS, SPINDLES, BRICK PATTERNS, SHUTTER STYLES, ETC. OWNERS RESPONSIBLE TO SPECIFY ALL ITEMS WITH CONTRACTOR/ BUILDER.
17. MIN CONCRETE COMPRESSIVE STRENGTH IS 2500 FOR FOOTINGS, FOUNDED FOUNDATION WALLS AND SLABS MIN COMPRESSIVE STRENGTH IS 3000.
18. REFER TO TRUSS/VALJOUST SUPPLIERS DRAWINGS FOR LAYOUTS, SPACING AND SIZING OF TRUSSES, FLOOR JOISTS AND LVL'S.
19. THE ASSUMED UNDISTURBED SOIL COMPACTION RATING 9000 AND FOOTINGS WILL BE A MINIMUM OF 16"±.
20. WILL PREVENT DAMAGE TO STREET, REMOVE ANY MUD/SOIL, DAILY. INSPECT EAS STRUCTURES WEEKLY AND AFTER ANY RAINFALL.
21. PROVIDE R-10 RIGID INSULATION IN AREAS WHERE ELEVATION IS LESS THAN 12" BELOW FINAL GRADE.
22. PROVIDE #4 REBAR @ 27" O.C. IN FOUNDATION WALL WHERE BACKFILL EXCEEDS 6'-0" OR 6'-0" WALL.
23. WINDOW SIZES SHOWN ARE USING STANDARD WINDOW NUMBER. AT THE CONTRACTOR TO SUPPLY SPEC SHEETS WITH LAYOUTS AND REQUIRED EGRESS OPENINGS ARE MET.



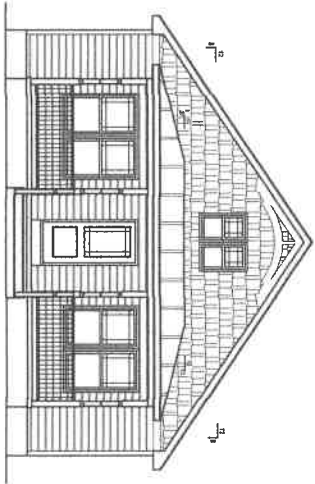
A HOUSE SECTION
SCALE: 3/16" = 1'-0"

DUE TO VARIATIONS WITH ANY PRINTING SERVICE, PLASTICITY AND PAPER GRAINAGE, YOU MAY WISH TO PRINTED DIMENSIONS
1/8" = 1/16"

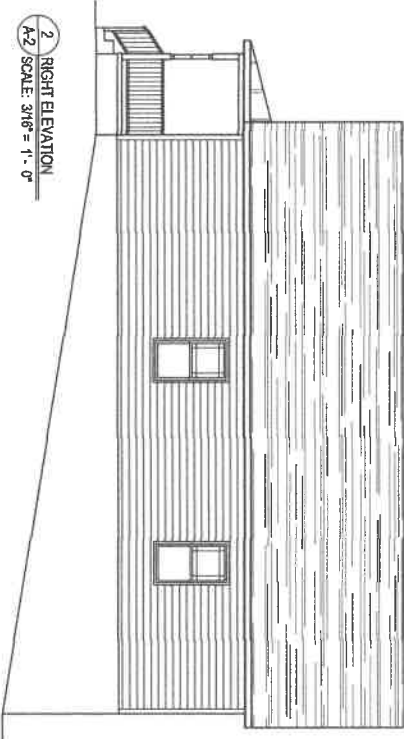
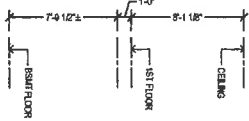


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REV:	

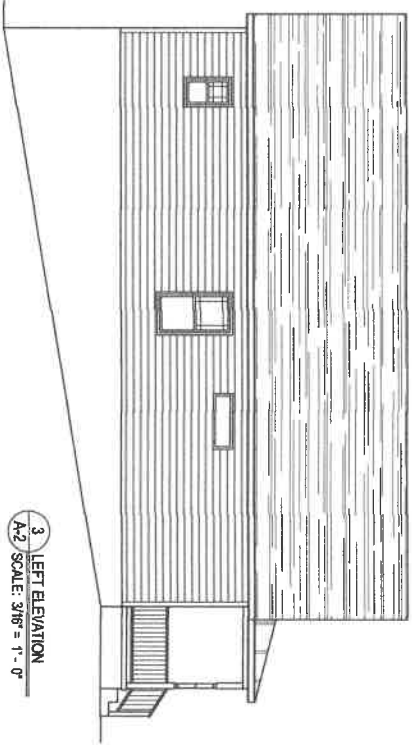
RESIDENCE FOR:
J. L. MOORE
110 COLLEGE STREET
SHEPHERDSTOWN, WEST VIRGINIA 25443



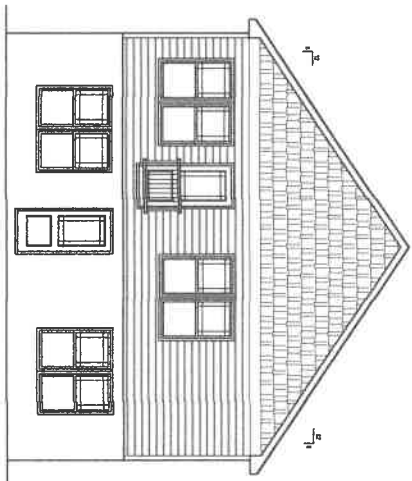
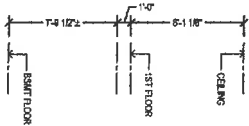
1 FRONT ELEVATION
A-2 SCALE: 3/16" = 1' - 0"



2 RIGHT ELEVATION
A-2 SCALE: 3/16" = 1' - 0"



3 LEFT ELEVATION
A-2 SCALE: 3/16" = 1' - 0"



4 REAR ELEVATION
A-2 SCALE: 3/16" = 1' - 0"

DUE TO VARIATIONS WITH ANY
PRINTING SERVICE, QUALITY AND
PAPER PERFORMANCE, NOT ADVISABLE
FOR SCALE SERVICES, REFER TO
PRINT SERVICE.

SHEET
A-2
OF 3
DATE: 4-21-25



DRAFTING SERVICES
phone: 301-573-0657

p. o. box 851 Rocktown, Maryland 21754

DWN BY:
CHECKED:
REV:
REV:

RESIDENCE FOR:
J. L. MOORE
110 COLLEGE STREET
SHEPHERDSTOWN, WEST VIRGINIA 25443



Application for Project Permit

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application # 25-13

This application is required for projects within the corporate limits of Shepherdstown (both in and out of the Historic District), that involve modifications to structural square footage. Examples include decks, porches, driveways, carports, accessory structures, and new construction of and/or additions to residential, commercial, and industrial structures. A review of the application shall be approved or rejected by the Planning Commission. If approved, the project permit is valid for one year from the date of issuance. [Please reference Title 9, Section-902](#).

Applicant's Name: Top Tier Solar Solutions LLC
(Must be Property Owner)

Mailing Address: 1530 Center Park Drive
Charlotte NC 28217
City State Zip

Telephone: 855.997.1213 **Email** wv@toptiersolarsolutions.com

Street Address of Proposed Work: 329 West German Street, Shepherdstown WV 25443

Current Zoning: _____ **Current Land Use:** _____

Note: Reference [this map](#) for zoning Classifications.

Description of Work:

Project Category: _____

(see descriptions on next page)

Contractor Performing the Work: Top Tier Solar Solutions LLC

Contractor's Business License: _____

A copy of the contractor's Shepherdstown business license or license application MUST be attached.



-RO

Please reference [Title 9](#) of Town Ordinance for specifics

Please contact Andy Beall with any questions. (304) 876-6858 • abeall@shepherdstown.gov



Application for Project Permit

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application # 25-13

Check all the areas that apply:

Category I- Minor Projects such as awnings, porch railings, window boxes, satellite dishes, solar panels, signs, fences, non-permanent storage sheds and other minor changes.

PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

MATERIAL AND COLOR SAMPLES for exterior finishes

Category II- Driveways, decks, carports, porch enclosures and window, roof, or siding replacement.

Category III- New construction of and/or additions to residential, commercial, and industrial structures.

(Categories II and III):

SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting.

Gross & net land area of property

Setback from property boundaries

Existing & proposed topography (only if regrading of the property is required)

Existing & proposed accessory structures.

Existing & proposed street right-of-way & entrance

Sidewalk, handicap access, Category IV only

MATERIAL AND COLOR SAMPLES for exterior finishes

ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements.

ZONING INFORMATION shall be defined in the application as required:

Dwelling density- net (residential application only)

Flood plain designation if any (mapping available in Town Hall)

Cost estimates and property appraisals for applications seeking exemptions from Chapter 12- Floodplain provisions.

Category IV- Demolitions or Relocation of a Structure:

Historic designation of structures to be demolished (documents available in Town Hall)

Complete description of structure(s) or part(s) of structure(s) to be demolished

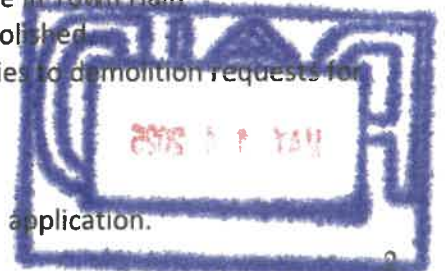
At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.

All Categories:

Copy of general contractor's Shepherdstown business license or license application.

Please reference [Title 9](#) of Town Ordinance for specifics

Please contact Andy Beall with any questions. (304) 876-6858 • abeall@shepherdstown.gov





Application for Project Permit

104 N King St

PO Box 248 (for mailing)

Shepherdstown, WV 25443

Application # 25-13

Remedies and penalties

The owner or agent of a building or premises in or upon which a violation of any provision of the Planning and Zoning Title has been committed or shall exist, or the leasee or tenant of an entire building or entire premise in or upon which violation has been committed or shall exist, or the agent, architect, building contractor or any other person who commits, takes part or assists in any violation or who maintains any building or premises in or upon which such violation shall exist, shall be guilty of a misdemeanor and shall be punished by a fine not to exceed one hundred (100) dollars. Each and every day that such violation continues may constitute a separate offense. Reference Title 9-905.

Please read the following paragraph carefully and sign.

Attach documents specified in the checklist of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time to determine compliance with the Commission's approval. **I UNDERSTAND THAT MY PRESENCE AT THE ASSIGNED APPLICATION REVIEW MEETING IS REQUIRED.** Application must be signed by owner or his/her agent.

Date: _____

Signature: 

(Owner)

Print Name: Bryan Law

For Office Use:

Permit Number: _____

Zoning Officer Comments:

Fee Paid \$65.00
Date Paid 5/14/25



Application for Project Permit

104 N King St

PO Box 248 (for mailing)

Shepherdstown, WV 25443

Application # 25-13

Application Fees

Please check all boxes that may apply. Reference Section 9-902 of Chapter 8 paragraph XIV for more information. Application fees due upon submittal. Fees should be payable to the Town Treasurer/Clerk and must accompany the application. **If work begins without the required permit, double the cost of said permit will be applied.**

	<p><u>Category I:</u></p> <p>\$50.00 - Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p>
	<p><u>Category II:</u></p> <p>\$100.00 - Window replacement, roof replacement, siding replacement, porch enclosure, driveways, carports, and decks.</p>
	<p><u>Category III:</u></p> <p>\$300 + \$0.50 per sq ft - New construction of and/or additions to residential, commercial, and industrial structures.</p> <p>\$50 + \$0.10 per sq ft - New construction of garages & other accessory buildings (permanently attached to the ground).</p>
	<p><u>Category IV:</u></p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ul style="list-style-type: none"> • Reason for the demolition/relocation (including historic documentation). • Describe the structure's condition in detail. • Describe the proposed reuse of the site, including full drawings of new structure & landscaping. • Evidence of relevant funding or financial concerns. • Timeframe for project <p>\$50.00 - Accessory Buildings \$150.00 - Non-Contributing Structures (< 50 years old) \$500.00 - Contributing Structures (≥ 50 years old)</p>



PV LETTERS

Top Tier Solar Solutions
Contractor Address: 1530 Center Park Dr #2911, Charlotte, NC 28217

April 26, 2025

Subject: Proposed Solar Panel Installation
Cheryl Roberts Residence, 329 W German St, Shepherdstown, WV
DC System Size: 4.050 kW
PV Letters Job #004-22102

To Whom it May Concern,

We have reviewed information, provided by our client, related to the proposed solar panel installation at the above-referenced address. The purpose of the review was to determine if the existing roof is structurally adequate for the proposed installation. Based on our review and analysis of the given information, and in accordance with governing building codes, I certify that the capacity of the structural roof framing that directly supports the additional gravity loading due to the solar panel supports and modules had been reviewed and determined to meet or exceed the requirements in accordance with the Design Criteria.

Design Parameter Summary

Governing Building Code: 2018 International Residential Code (2018 IRC)
Risk Category: II
Wind Exposure: C
Design Wind Speed: 115 mph
Ground Snow Load: 68 psf

Roof Information

Roof Structure: 2x4 Manufactured Trusses @ 24" O.C. (assumed)
Roofing Material: Asphalt Shingles (1 layer)
Roof Slope: 26 degrees

Roof Connection Details

Framing Mount Wood Screws: (2) #14 Self-Drilling Screw with a minimum penetration depth of 1.75" into roof truss top chord only, at 72" O.C. max

Engineering Analysis

The proposed installation - including weight of panels, racking, mounts, and inverters where applicable - will be approximately 3 psf. In the areas where panels are installed, roof live loads will not be present. The reduction of roof live load is adequate to fully or partially compensate for the addition of the panel installation. Because the member forces in the area of the solar panels are not increased by more than 5%, and so per provisions in the adopted building codes, the structure need not be altered for gravity loading.

The proposed installation will be 6" max. above the roof surface (flush mounted) and parallel to the roof surface. Therefore, any increase in wind loading on the building structure from the solar panel installation is expected to be negligible. Wind is the governing lateral load case. Because the increase in lateral loading is not increased by more than 10%, per provisions in the adopted building codes, the structure need not be altered for lateral loading.

Wind uplift on the panels has been calculated in accordance with the relevant provisions of ASCE 7-16. This loading has been used to verify the adequacy of the connection specified above. Connection locations should be in accordance with design drawings.

IronRidge XR10 rails will support the modules and will fasten to the roof structure with IronRidge QuickMount Halo Ultragrip along the rail.

Conclusion

The roof structure need not be altered for either gravity loading (including snow) or lateral loading (including wind). Therefore, the existing structure is permitted to remain unaltered. Connections to the roof must be made per the "Roof Connection Details" section above. Copies of all relevant calculations are enclosed.

Limitations and Disclaimers

Electrical design is excluded from this analysis. Waterproofing is the sole responsibility of the installer and is also excluded from this analysis. Solar panels must be installed per manufacturer specifications. Structural design and analysis of the adequacy of solar panels, racks, mounts, and other components is performed by each component's respective manufacturer; the undersigned makes no statement of opinion regarding such components. This letter and the opinions expressed herein are rendered solely for the benefit of the permitting authority (city or county building department) and your office, and may not be utilized or relied on by any other party.

If you have any questions or concerns, please contact us at (208)-994-1680, or by email at Projects@pvletters.com.

Sincerely,



Trevor A. Jones, P.E.

4/26/2025





PV LETTERS

Standard Loading Comparison

This calculation justifies the additional solar load by comparing existing to proposed gravity loads in the location of the solar panels.

	<u>Without Solar</u>	<u>With Solar</u>	
Dead Load			
Asphalt Shingles	3	3	psf
1/4" Plywood	1	1	psf
Framing	4	4	psf
Insulation	1	1	psf
1/2" Gypsum Ceiling	2	2	psf
M,E, & Misc	1.5	1.5	psf
Solar Panel	0	3	psf
Total Dead Load	12.5	15.5	psf
Snow Load			
Ground Snow Load, P_g	68		psf
Exposure Factor, C_e	1.00		
Thermal Factor, C_t	1.1		
Importance Factor, I_s	1		
Flat Roof Snow Load	52		ASCE 7 Eqn. 7.3-1 or jurisdiction min.
Slope	26		degrees
Unobstructed Slippery Surface?	No	Yes	
Slope Factor, C_s	1.00	0.73	
Sloped Roof Snow Load	52.4	38.4	psf
Live Load			
Roof Live Load	20	0	psf
Load Combination			
D + L _r	32.5	15.5	psf
D + S	64.9	53.9	psf
Max. Load	64.9	53.9	psf
% of original		83.07%	

Result:

Because the total forces are decreased, per the relevant code provisions stated in the body of the letter, the existing roof structure is permitted to remain unaltered.



PV LETTERS

Wood Screw Calculation (per ASCE 7-16)

This calculation justifies the connection of the solar panels to existing roof members, by showing the connection capacity is equal to or greater than the uplift force demands.

Connection Demand

Spacing perpendicular to rail, in	34	
Roof Angle, degrees	26	
Roof Layout	Gable	
Wind Speed, mph	115	
Exposure Coefficient, K_z	0.85	(Table 26.10-1)
Topographic Factor, K_{zt}	1.00	(Table 26.8.1)
Directionality Factor, K_d	0.85	(Table 26.6-1)
Elevation Factor, K_e	0.98	(Table 26.9-1)
Velocity Pressure q_z , psf	24.0	(Table 26.10-1)

Zones:

	1	2n, 2r, 2e	3r, 3e
Spacing parallel to rail, in	72	72	72
GC_p (max)(Figure 29.4-7)	1.50	2.25	2.57
Exposed Panels? ($\gamma_E = 1.5$) (Fig. 29.4-7)	No	No	No
Effective Wind Area on each con., ft^2	16.9	16.9	16.9
Pressure Equalization Factor, γ_a (Figure 29.4-8)	0.71	0.71	0.71
Uplift Force, psf (Equation 29.4-7)	25.6	38.3	43.8
Max. Uplift Force / Connection (0.6 WL), lbs	259.8	389.2	445.4
Solar Dead Load (0.6 DL), Lbs	30.5	30.5	30.5
Max. Uplift Force (0.6 WL - 0.6 DL), lbs	229.3	358.7	414.9

Connection Capacity

Attachment FTG	IronRidge QuickMount Halo Ultragrip
Attachment location	Framing
Fastener Type	Wood Screw
Fastener Diameter, in	0.242
Embedment Length, in	1.75
Lumber Species & Grade	SPF #2 (Assumed)
Nominal Withdrawal Capacity W, lbs	213
# of Screws	2
Load Duration Factor C_d	1.6
Screw Adj. Withdrawal Cap. W', lbs	681
Attachment FTG Strength with C_d , lbs	1606
Max applied load, lbs	415
Max allowable load, lbs	681

Compare Adjusted Withdrawal Capacity to ASD Factored Demand

<u>Zones:</u>	1	2n, 2r, 2e	3r, 3e
	O.K.	O.K.	O.K.

PHOTOVOLTAIC ROOF MOUNT SYSTEM

10 MODULES-ROOF MOUNTED - 4.050 KW DC, 5.700 KW AC
 329 W GERMAN ST, SHEPHERDSTOWN, WV, 25443

PROJECT DATA

PROJECT ADDRESS: 329 W GERMAN ST, SHEPHERDSTOWN, WV, 25443
 OWNER: CHERYL ROBERTS
 DESIGNER: ESR

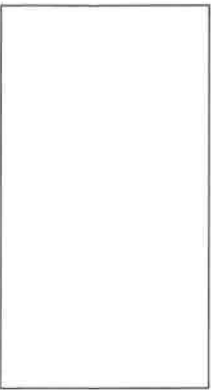
SCOPE: 4.050 KW DC ROOF MOUNT SOLAR PV SYSTEM WITH 10 JA SOLAR: JAM54S31-405/MR 405W PV MODULES WITH 10 SOLAREEDGE: S440 POWER OPTIMIZERS AND 01 SOLAREEDGE: SE5700H-US (240V/5700W) INVERTER

AUTHORITIES HAVING JURISDICTION: BUILDING: JEFFERSON COUNTY ZONING: JEFFERSON COUNTY UTILITY: POTOMACEDISON

SHEET INDEX

PV-1 COVER SHEET
 PV-2 SITE PLAN
 PV-3 ROOF PLAN & MODULES ELECTRICAL PLAN
 PV-4 STRUCTURAL DETAIL
 PV-5 ELECTRICAL LINE DIAGRAM
 PV-6 WIRING CALCULATIONS
 PV-7 LABELS
 PV-8 EQUIPMENT SPECIFICATIONS
 PV-9+

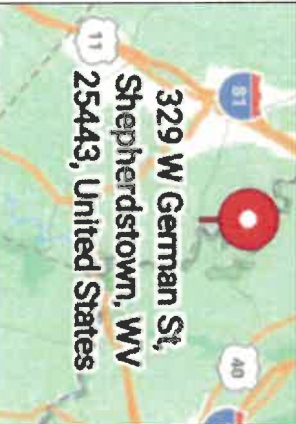
SIGNATURE



GENERAL NOTES

- ALL COMPONENTS ARE UL LISTED AND GEC CERTIFIED, WHERE WARRANTED.
- THE SOLAR PV SYSTEM WILL BE INSTALLED IN ACCORDANCE WITH ARTICLE 690 OF THE NEC 2020.
- THE UTILITY INTERCONNECTION APPLICATION MUST BE APPROVED AND PV SYSTEM INSPECTED PRIOR TO PARALLEL OPERATION.
- ALL CONDUCTORS OF A CIRCUIT, INCLUDING THE EGC, MUST BE INSTALLED IN THE SAME RACEWAY, OR CABLE, OR OTHERWISE RUN WITH THE PV ARRAY CIRCUIT CONDUCTORS WHEN THEY LEAVE THE VICINITY OF THE PV ARRAY.
- WHERE METALLIC CONDUIT CONTAINING DC CONDUCTORS IS USED INSIDE THE BUILDING, IT SHALL BE IDENTIFIED AS "CAUTION: SOLAR CIRCUIT EVERY 10FT."
- HEIGHT OF THE AC DISCONNECT SHALL NOT EXCEED 6'-7" PER NEC CODE 240.24.
- A GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH NEC 2020 690.47 AND 250.50 THROUGH 60 AND 250-166 SHALL BE PROVIDED. PER NEC GROUNDING ELECTRODE SYSTEM OF EXISTING BUILDING MAY BE USED AND BONDED TO THE SERVICE ENTRANCE. IF EXISTING SYSTEM IS INACCESSIBLE OR INADEQUATE A SUPPLEMENTAL GROUNDING ELECTRODE WILL BE USED AT THE INVERTER LOCATION CONSISTING OF A UL LISTED 8 FT. GROUND ROD WITH ACORN CLAMP. GROUNDING ELECTRODE CONDUCTORS SHALL BE NO LESS THAN #8 AWG AND NO LARGER THAN #8 AWG COPPER AND BONDED TO THE EXISTING GROUNDING ELECTRODE TO PROVIDE FOR A COMPLETE SYSTEM.
- PHOTOVOLTAIC MODULES ARE TO BE CONSIDERED NON-COMBUSTIBLE.
- PHOTOVOLTAIC INSTALLATION WILL NOT OBSTRUCT ANY PLUMBING, MECHANICAL, OR BUILDING ROOF VENTS.
- ALL WIRING MUST BE PROPERLY SUPPORTED BY DEVICES OR MECHANICAL MEANS DESIGNED AND LISTED FOR SUCH USE. WIRING MUST BE PERMANENTLY AND COMPLETELY HELD OFF THE ROOF SURFACE.
- ALL SNAKE TO BE PLACED IN ACCORDANCE WITH THE LOCAL BUILDING CODE. IF EXPOSED TO SUNLIGHT, IT SHALL BE UV RESISTANT. ALL PLACES AND SNAKE WILL BE INSTALLED AS REQUIRED BY THE NEC AND AHL.
- INVERTER(S) USED IN UNGROUNDED SYSTEM SHALL BE UL 1741 LISTED.
- THE INSTALLATION OF EQUIPMENT AND ALL ASSOCIATED WIRING AND INTERCONNECTION SHALL BE PERFORMED ONLY BY QUALIFIED PERSONS (NEC 690.4(C)).
- ALL OUTDOOR EQUIPMENT SHALL BE NEMA 3R RATED (OR BETTER), INCLUDING ALL ROOF MOUNTED TRANSITION BOXES AND SWITCHES.
- ALL EQUIPMENT SHALL BE PROPERLY GROUND AND BONDED IN ACCORDANCE WITH NEC ARTICLE 250.
- SYSTEM GROUNDING SHALL BE IN ACCORDANCE WITH NEC 690.41.
- PV SYSTEM CIRCUITS INSTALLED ON OR IN BUILDINGS SHALL INCLUDE A RAPID SHUTDOWN FUNCTION IN ACCORDANCE WITH NEC 690.12
- DISCONNECTING MEANS SHALL BE LOCATED IN A VISIBLE, EASILY ACCESSIBLE LOCATION WITHIN THE PV SYSTEM EQUIPMENT OR A MAXIMUM OF 10 FEET AWAY FROM THE SYSTEM (NEC 690.13(A))
- ALL WIRING METHODS SHALL BE IN ACCORDANCE WITH NEC 690.31
- WORK CLEARANCES AROUND ELECTRICAL EQUIPMENT WILL BE MAINTAINED PER NEC 110.26(A)(1), 110.26(A)(2) AND 110.26(A)(3).
- ROOFTOP MOUNTED PHOTOVOLTAIC PANELS AND MODULES SHALL BE TESTED, LISTED & IDENTIFIED IN ACCORDANCE WITH UL 1703
- ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT EXPANSION JOINTS AND ANCHOR CONDUIT RUNS AS REQUIRED PER NEC.

VICINITY MAP



HOUSE PHOTO



CODE REFERENCES

2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL RESIDENTIAL CODE
 2018 INTERNATIONAL FIRE CODE
 2020 NATIONAL ELECTRICAL CODE

TOP TIER SOLAR SOLUTIONS
 TOP TIER SOLAR SOLUTIONS
 1530 CENTER PARK DR #2911,
 CHARLOTTE, NC 28217,
 UNITED STATES

REVISIONS		
DESCRIPTION	DATE	REV
INITIAL DESIGN	04/25/2025	

PROJECT NAME & ADDRESS
CHERYL ROBERTS RESIDENCE
 329 W GERMAN ST,
 SHEPHERDSTOWN, WV, 25443

STRUCTURAL ONLY
 4-25-2025

REGISTERED PROFESSIONAL ENGINEER
 TREVOR JONES
 WEST VIRGINIA
 No. 20136

DRAWN BY
ESR

SHEET NAME
COVER SHEET

SHEET SIZE
**ANSI B
 11" X 17"**

SHEET NUMBER
PV-1

PROJECT DESCRIPTION:

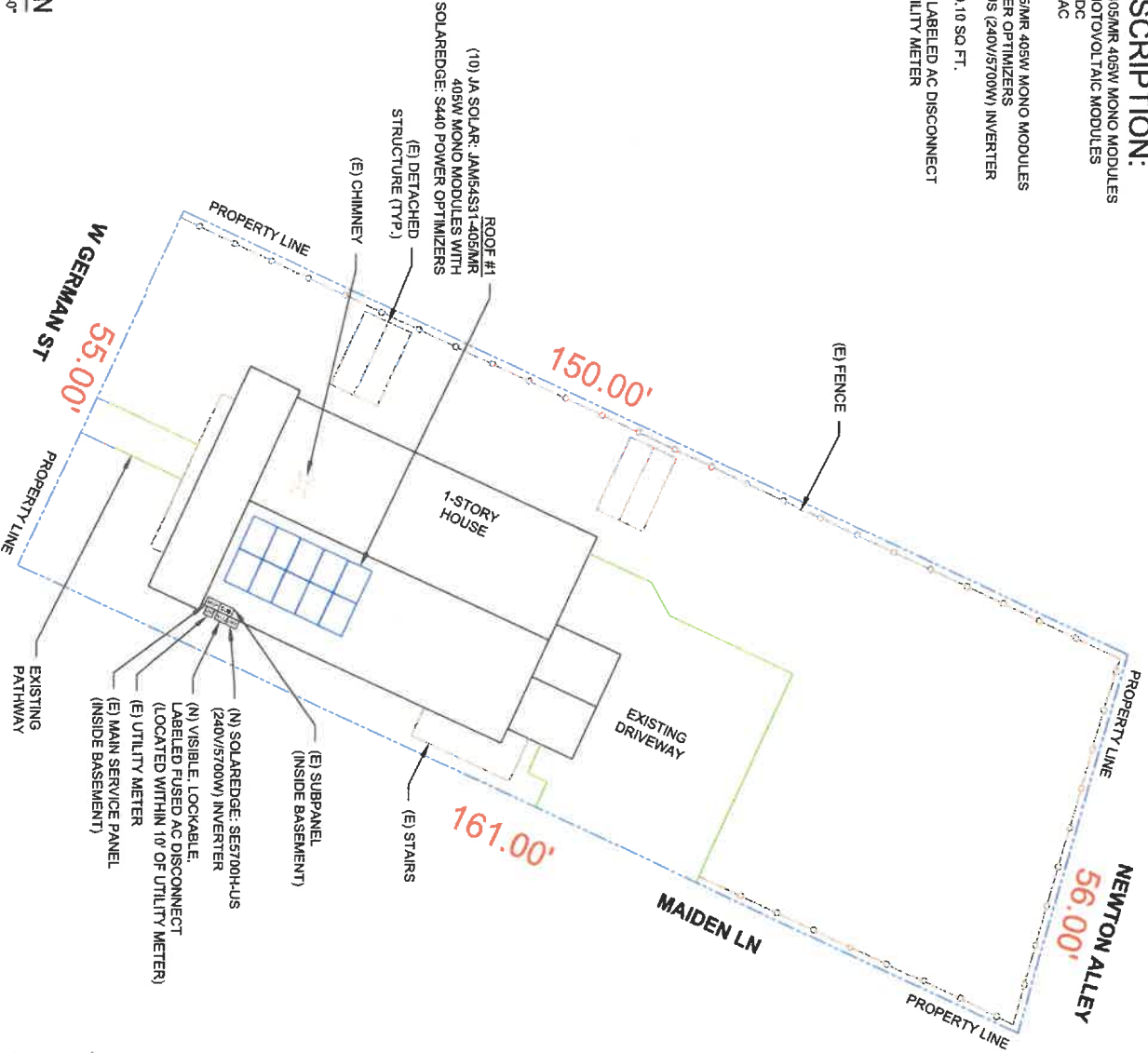
10 X JA SOLAR: JAM54S31-405/MR 405W MONO MODULES
 ROOF MOUNTED SOLAR PHOTOVOLTAIC MODULES
 DC SYSTEM SIZE: 4.050 KW DC
 AC SYSTEM SIZE: 5.700 KW AC

EQUIPMENT SUMMARY
 10 JA SOLAR: JAM54S31-405/MR 405W MONO MODULES
 10 SOLAREEDGE: S440 POWER OPTIMIZERS
 01 SOLAREEDGE: SE5700H-US (240V/5700W) INVERTER

ROOF ARRAY AREA #1: 210.10 SQ. FT.

NOTE: VISIBLE, LOCKABLE, LABELED AC DISCONNECT
 LOCATED WITHIN 10' OF UTILITY METER

1 SITE PLAN
 PV-2 SCALE: 1/16" = 1'-0"



DESIGN SPECIFICATION
 OCCUPANCY: II
 CONSTRUCTION: SINGLE-FAMILY
 ZONING: RESIDENTIAL
 GROUND SNOW LOAD: REFER STRUCTURAL LETTER
 WIND EXPOSURE: REFER STRUCTURAL LETTER
 WIND SPEED: REFER STRUCTURAL LETTER

TOP TIER
 SOLAR SOLUTIONS

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 1530 CENTER PARK DR #2911,
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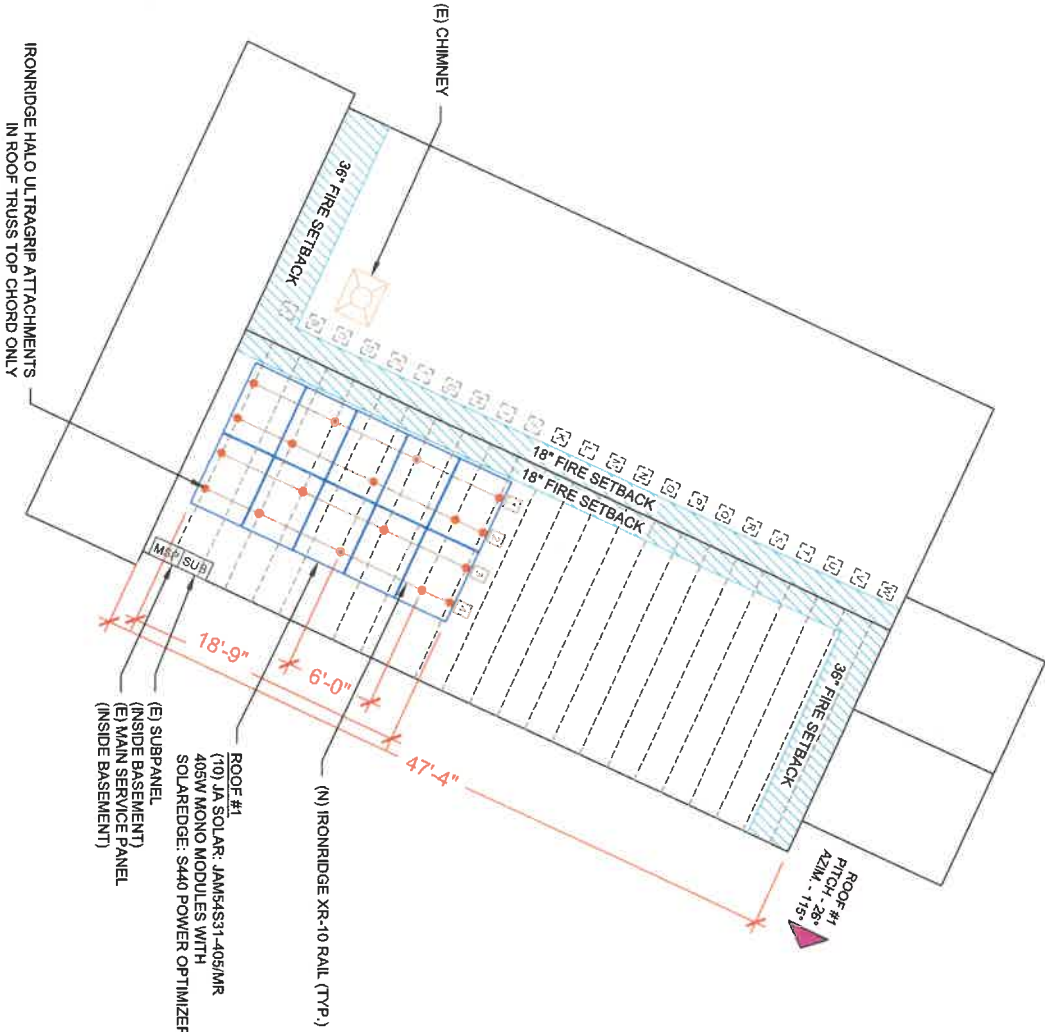
SHEET NAME
SITE PLAN

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-2

MODULE TYPE, DIMENSIONS & WEIGHT

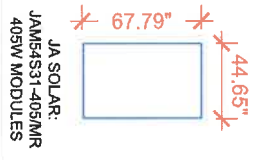
NUMBER OF MODULES = 10 MODULES
 MODULE TYPE = JA SOLAR: JAM54S31-405MR 405W MONO MODULES
 MODULE WEIGHT = 47.39 LBS / 21.5 Kg
 MODULE DIMENSIONS = 67.79" x 44.65" = 21.01 SF



1 ROOF PLAN & MODULES

SCALE: 1/8" = 1'-0"

ROOF DESCRIPTION			
ROOF TYPE	ASPHALT SHINGLE		
ROOF LAYER	1 LAYER		
ROOF #1	10	28°	115°
MODULES	PITCH	ROOF AZIMUTH	TRUSS SIZE
			2"x4"
			TRUSS SPACING
			24"
ARRAY AREA & ROOF AREA CALC'S			
TOTAL PV ARRAY AREA (SQ. FT.)	TOTAL ROOF AREA (SQ. FT.)	ROOF AREA COVERED BY ARRAY (%)	
210.10	1972.70	11	



LEGEND

- [JB] - JUNCTION BOX
- [INV] - INVERTER
- [ACD] - AC DISCONNECT
- [UM] - UTILITY METER
- [MSP] - MAIN SERVICE PANEL
- [SUB] - SUB PANEL
- [VENT] - VENT, ATTIC FAN (ROOF OBSTRUCTION)
- [TRUSS] - TRUSS
- [CONDUIT] - CONDUIT

TOP TIER SOLAR SOLUTIONS

1530 CENTER PARK DR #2311,
 CHARLOTTE, NC 28217,
 UNITED STATES

REGISTERED PROFESSIONAL ENGINEER

TREBOR JONES
 STATE OF WEST VIRGINIA
 No. 20036

CHERYL ROBERTS RESIDENCE

329 W GERMAN ST,
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PROJECT NAME & ADDRESS

STRUCTURAL ONLY
 4-25-2025

DRAWN BY
ESR

SHEET NAME
ROOF PLAN & MODULES

SHEET SIZE
**ANSI B
 11" X 17"**

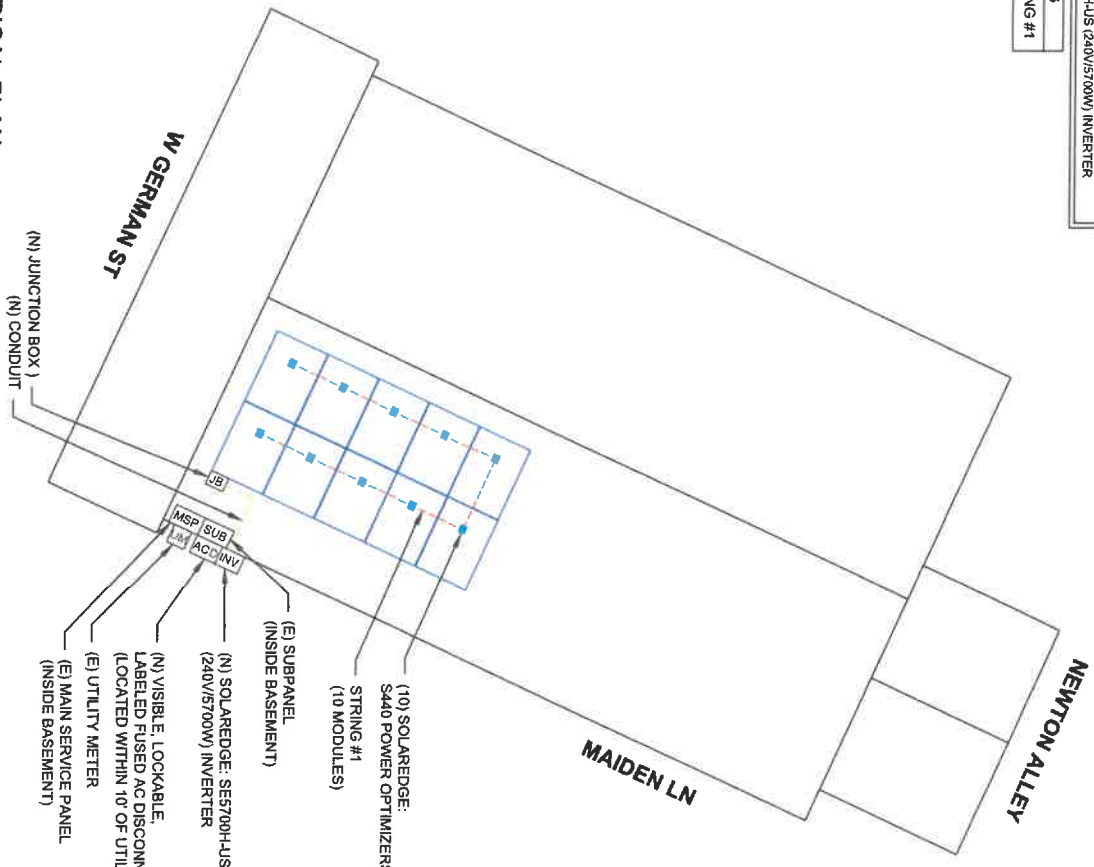
SHEET NUMBER
PV-3

REVISIONS

DESCRIPTION	DATE	REV
INITIAL DESIGN	04/29/2025	

DC SYSTEM SIZE: 4,050 kW DC
 AC SYSTEM SIZE: 5,700 kW AC
 (10) JA SOLAR: JAM64531-4050WR 405W MONO MODULES
 WITH (10) SOLAREEDGE: S440 POWER OPTIMIZERS
 LOCATED UNDER EACH PANEL AND
 (1) SOLAREEDGE: SE5700H-US (240V/5700W) INVERTER

STRING LEGENDS
 - - - - - STRING #1



1 ELECTRICAL PLAN

PV-4 SCALE: 1/8" = 1'-0"

BILL OF MATERIALS	
EQUIPMENT DESCRIPTION	QTY
SOLAR PV MODULES: JA SOLAR: JAM64531-4050WR 405W MODULE	10
OPTIMIZERS: SOLAREEDGE: S440 POWER OPTIMIZERS	10
INVERTER: SOLAREEDGE: SE5700H-US (240V/5700W) INVERTER	01
JUNCTION BOX: JUNCTION BOX UL 1741,	1
NEMA 3R CSA C22.2 NO.280	
AC DISCONNECT: FUSED AC DISCONNECT, 60A FUSED,	1
(2) 30A FUSES 240V NEMA 3R, UL LISTED	
IRONRIDGE XR10 RAIL (RAIL, 168" (14 FEET) CLEAR) (XR-10-188A)	8
BONDED SPLICE XR10 (XR10-BOSS-01-M1)	4
UNIVERSAL MODULE CLAMP, CLEAR (UFO-CL-01-A1)	16
END FASTENING OBJECT (END CLAMP, 30-40MM), MILL	8
(UFO-END-01-A1)	
GROUNDING LUG (XR-LUG-03-A1)	2
IRONRIDGE HALO UL TRAGRIP ATTACHMENTS (QM-HUG-01-M1)	22
RD STRUCTURAL SCREW: 3.0L (HW-FRD1430-01-M1)	44
T-BOLT BONDING HARDWARE (BHW-1B-02-A1)	22
(PRODUCT CODE 589-0116)	
OPTIMIZER BONDING HARDWARE T-BOLT (BHW-M101-A1)	10
(PRODUCT CODE 270-0152)	

LEGEND	
[JB]	- JUNCTION BOX
[INV]	- INVERTER
[ACD]	- AC DISCONNECT
[UM]	- UTILITY METER
[MSP]	- MAIN SERVICE PANEL
[SUB]	- SUB PANEL
[VENT]	- VENT, ATTIC FAN (ROOF OBSTRUCTION)
[ROOF]	- ROOF ATTACHMENT
[TRUSS]	- TRUSS
[CONDUIT]	- CONDUIT

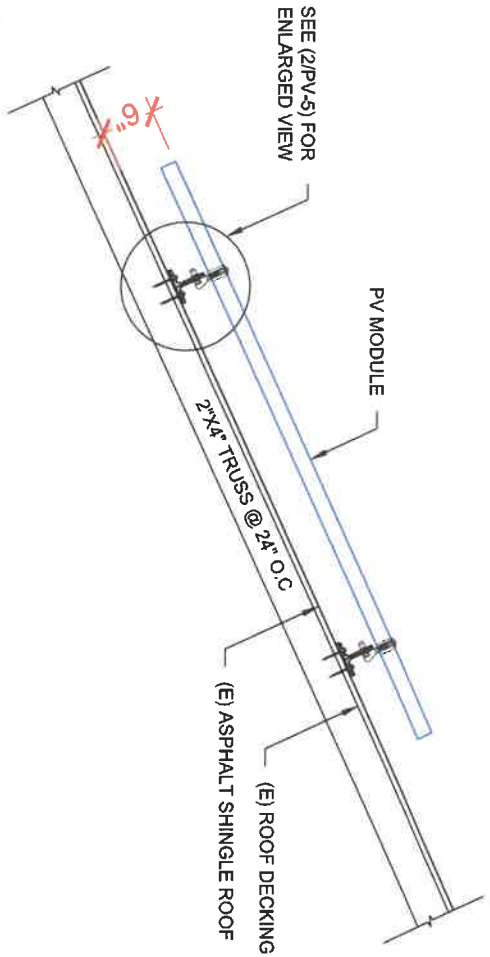
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 UNITED STATES

REVISIONS	DATE	REV
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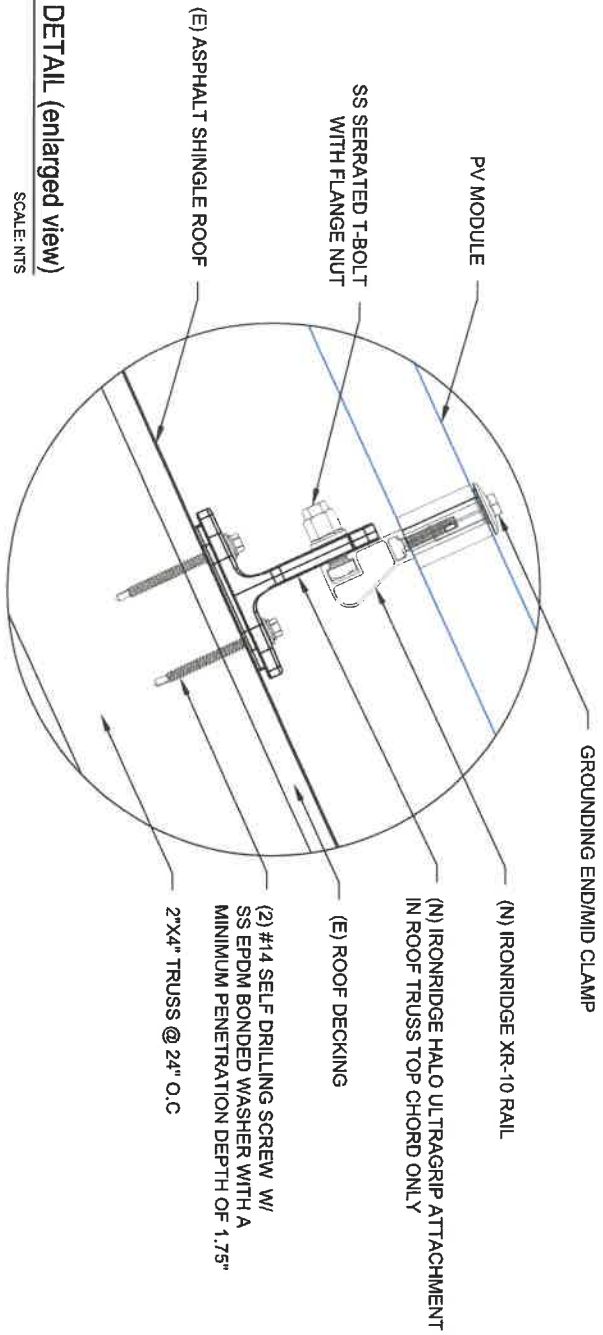
PROJECT NAME & ADDRESS
CHERYL ROBERTS RESIDENCE
 329 W GERMAN ST,
 SHEPHERDSTOWN, WV, 25443

DRAWN BY
ESR
 SHEET NAME
ELECTRICAL PLAN
 SHEET SIZE
ANSI B 11" X 17"
 SHEET NUMBER
PV-4

1 STRUCTURAL ATTACHMENT (Side view)
PV-5 SCALE: N.T.S



2 ATTACHMENT DETAIL (enlarged view)
PV-5 SCALE: N.T.S



TOP TIER SOLAR SOLUTIONS
1530 CENTER PARK DR #2911,
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REVISIONS			
DESCRIPTION	DATE	REV	
INITIAL DESIGN	04/26/2025		



STRUCTURAL ONLY
4-25-2025

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329 W GERMAN ST,
SHEPHERDSTOWN, WV, 25443

DRAWN BY
ESR

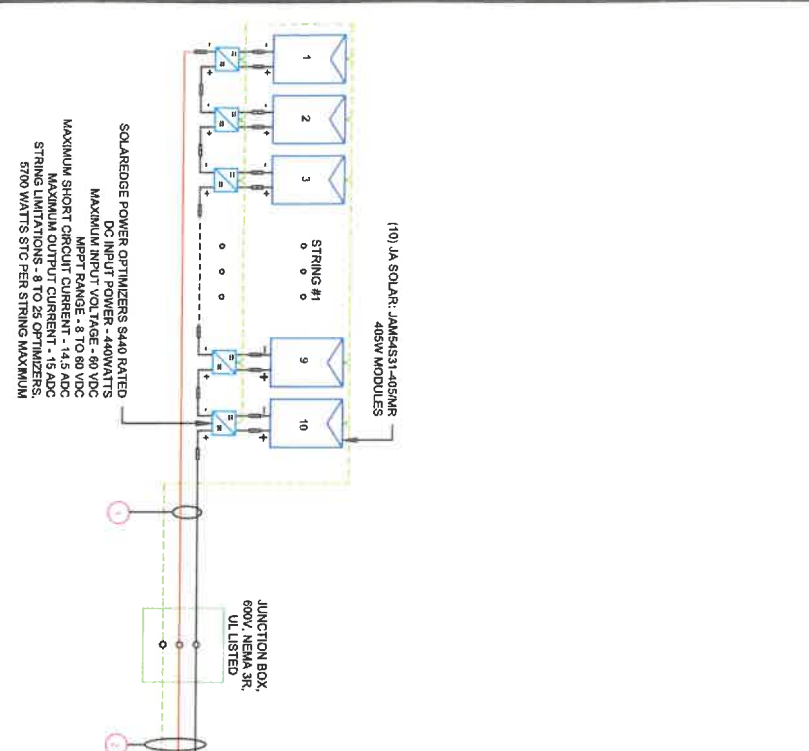
SHEET NAME
STRUCTURAL DETAIL

SHEET SIZE
**ANSI B
11" X 17"**

SHEET NUMBER
PV-5

DC SYSTEM SIZE: 4.050 KW DC
 AC SYSTEM SIZE: 5.700 KW AC

(10) JA SOLAR: JAM54S31-405WR 405W MONO MODULES WITH (10) SOLAREDO: S440 POWER OPTIMIZERS LOCATED UNDER EACH PANEL (240V) AND (01) SOLAREDO: SE5700-HUS (240V/5700W) INVERTER (01) STRING OF 10 MODULES ARE CONNECTED IN SERIES



INTERCONNECTION NOTES:

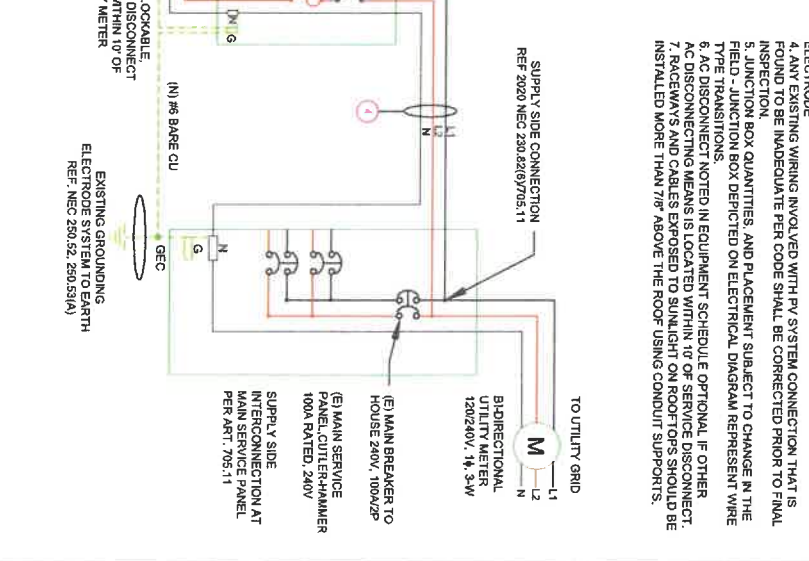
- INTERCONNECT SIZING, LIMITATIONS AND COMPLIANCE DETERMINED IN ACCORDANCE WITH (NEC 705.12) AND (NEC 690.59)
- GROUND FAULT PROTECTION IN ACCORDANCE WITH (NEC 215.9)
- ALL EQUIPMENT TO BE RATED FOR BACKFEEDING.
- PV BREAKER TO BE POSITIONED AT THE OPPOSITE END OF THE BUSBAR RELATIVE TO THE MAIN BREAKER.

DISCONNECT NOTES:

- DISCONNECTING SWITCHES SHALL BE WIRED SUCH THAT WHEN THE SWITCH IS OPENED THE CONDUCTORS REMAINING LIVE ARE CONNECTED TO THE TERMINALS MARKED "LINE SIDE" (TYPICALLY THE UPPER TERMINALS)
- AC DISCONNECT MUST BE ACCESSIBLE TO QUALIFIED UTILITY PERSONNEL, BE LOCKABLE, AND BE A VISIBLE BREAK SWITCH
- DISCONNECT MEANS AND THEIR LOCATION SHALL BE IN ACCORDANCE WITH (NEC 225.31) AND (NEC 225.32).

RACKING NOTE:

- BOND EVERY OTHER RAIL WITH #6 BARE COPPER



GROUNDING & GENERAL NOTES:

- GROUNDING ELECTRODES AND GROUNDING ELECTRODE CONDUCTORS, ADDITIONAL GROUNDING ELECTRODES SHALL BE PERMITTED TO BE INSTALLED IN ACCORDANCE WITH 250.52 AND 250.54 GROUNDING ELECTRODES SHALL BE PERMITTED TO BE CONNECTED DIRECTLY TO THE PV MODULE FRAME(S) OR SUPPORT STRUCTURE PER (NEC 680.47)(a)
- PV INVERTER IS UNSTRUCTURED TRANSFORMERLESS TYPE
- PV INVERTER TO REMAIN UNSPLICED, OR SPLICED TO EXISTING ELECTRODE
- ANY EXISTING WIRING INVOLVED WITH PV SYSTEM CONNECTION THAT IS FOUND TO BE INADEQUATE PER CODE SHALL BE CORRECTED PRIOR TO FINAL INSPECTION.
- JUNCTION BOX QUANTITIES, AND PLACEMENT SUBJECT TO CHANGE IN THE FIELD - JUNCTION BOX DEPICTED ON ELECTRICAL DIAGRAM REPRESENT WIRE TYPE TRANSITIONS.
- AC DISCONNECTING MEANS IS LOCATED WITHIN 1' OF SERVICE DISCONNECT.
- RACEWAYS AND CABLES EXPOSED TO SUNLIGHT ON ROOFTOPS SHOULD BE INSTALLED MORE THAN 7/8" ABOVE THE ROOF USING CONDUIT SUPPORTS.

1 ELECTRICAL LINE DIAGRAM

SCALE: NTS

PV-6

SOLAREDO POWER OPTIMIZERS S440 RATED

DC INPUT POWER - 440WATTS
 MAXIMUM INPUT VOLTAGE - 60 VDC
 MPPT RANGE - 8 TO 80 VDC
 MAXIMUM SHORT CIRCUIT CURRENT - 14.5 ADC
 MAXIMUM OUTPUT CURRENT - 15 ADC
 STRING LIMITATIONS - 8 TO 28 OPTIMIZERS,
 8700 WATTS STC PER STRING MAXIMUM

QTY	CONDUCTOR INFORMATION	CONDUIT TYPE	CONDUIT SIZE
(1)	#10AWG - PV WIREUSE-2	N/A	N/A
(1)	#10AWG - BARE COPPER IN FREE AIR		
(2)	#10AWG - CU/THWN-2 GND	EMT OR LPMC IN ATTIC	3/4"
(1)	#8AWG - CU/THWN-2		
(1)	#8AWG - CU/THWN-2	EMT, LPMC OR PVC	3/4"
(2)	#8AWG - CU/THWN-2 GND		
(1)	#8AWG - CU/THWN-2	EMT, LPMC OR PVC	3/4"

CHERYL ROBERTS RESIDENCE

329 W GERMAN ST.
 SHEPHERDSTOWN, WV, 25443

PROJECT NAME & ADDRESS

DRAWN BY
 ESR

SHEET NAME
 ELECTRICAL LINE DIAGRAM

SHEET SIZE
 ANSI B
 11" X 17"

SHEET NUMBER
 PV-6

TOP TIER SOLAR SOLUTIONS

1530 CENTER PARK DR #2911,
 CHARLOTTE, NC 28217,
 UNITED STATES

REVISIONS	DATE	REV
DESCRIPTION	04/27/2023	
INITIAL DESIGN		

SOLAR MODULE SPECIFICATIONS	
MANUFACTURER / MODEL #	JA SOLAR: JAM54S31-406MR 406W MODULE
VMP	31.21V
VOC	37.25V
ISC	15.87A
TEMP. COEFF. VOC	-0.275%/°C
MODULE DIMENSION	67.79"L x 44.65"W x 1.18"D (in inch)

INVERTER SPECIFICATIONS	
MANUFACTURER / MODEL #	SOLAREDGE: SE5700H-US (240V/5700W)
NOMINAL AC POWER	5700 kW
NOMINAL OUTPUT VOLTAGE	240 VAC
NOMINAL OUTPUT CURRENT	24.00A
PERCENT OF CARRYING CAPACITY	4.6
VALUES	7.9
	10-20

AMBIENT TEMPERATURE SPECS	
AMBIENT TEMP (HIGH TEMP 2%)	37°
RECORD LOW TEMPERATURE	-17°
MODULE TEMPERATURE COEFFICIENT OF Voc	-0.275%/°C

DC FEEDER CALCULATIONS																										
CIRCUIT ORIGIN	CIRCUIT DESTINATION	VOLTAGE (V)	FULL LOAD AMPS FLA (A)	FLA+1.25 (A)	OCPD SIZE (A)	GROUND SIZE	CONDUCTOR SIZE	75°C AMPACITY (A)	75°C AMPACITY CHECK #1	AMBIENT TEMP (°C)	TOTAL CC CONDUCTORS IN RACEWAY	90°C AMPACITY (A)	DEVIATION FACTOR FOR AMBIENT TEMP PER NEC 310.15(B)(2)(a)	DEVIATION FACTOR FOR CONDUCTORS PER NEC 310.15(B)(4)	90°C AMPACITY DERATED (A)	AMBIENT TEMP (°C)	AMBIENT TEMP (°C)	DEVIATION FACTOR FOR CONDUCTORS PER NEC 310.15(B)(4)	90°C AMPACITY DERATED (A)	AMBIENT TEMP (°C)	AMBIENT TEMP (°C)	FEEDER LENGTH (FEET)	CONDUCTOR RESISTANCE (OHM/FT)	VOLTAGE DROP AT FLA (%)	CONDUIT SIZE	CONDUIT FILL (%)
STRING 1	JUNCTION BOX	380	15.00	18.75	20	BARE COPPER 16 AWG	CU #10 AWG	35	PASS	37	2	40	0.91	1	36.4	37	37	310.15(B)(4)	36.4	37	37	5	1.24	0.049	N/A	N/A
JUNCTION BOX	INVERTER	380	15.00	18.75	20	CU #10 AWG	CU #10 AWG	35	PASS	37	2	40	0.91	1	36.4	37	37	310.15(B)(4)	36.4	37	37	20	1.24	0.196	3/4" EMT	11.88%
SINGLE 1.18" DIA DROP 0.24%																										

AC FEEDER CALCULATIONS																											
CIRCUIT ORIGIN	CIRCUIT DESTINATION	VOLTAGE (V)	FULL LOAD AMPS FLA (A)	FLA+1.25 (A)	OCPD SIZE (A)	NEUTRAL SIZE	GROUND SIZE	CONDUCTOR SIZE	75°C AMPACITY (A)	75°C AMPACITY CHECK #1	AMBIENT TEMP (°C)	TOTAL CC CONDUCTORS IN RACEWAY	90°C AMPACITY (A)	DEVIATION FACTOR FOR AMBIENT TEMP PER NEC 310.15(B)(2)(a)	DEVIATION FACTOR FOR CONDUCTORS PER NEC 310.15(B)(4)	90°C AMPACITY DERATED (A)	AMBIENT TEMP (°C)	AMBIENT TEMP (°C)	DEVIATION FACTOR FOR CONDUCTORS PER NEC 310.15(B)(4)	90°C AMPACITY DERATED (A)	AMBIENT TEMP (°C)	AMBIENT TEMP (°C)	FEEDER LENGTH (FEET)	CONDUCTOR RESISTANCE (OHM/FT)	VOLTAGE DROP AT FLA (%)	CONDUIT SIZE	CONDUIT FILL (%)
INVERTER	AC DISCONNECT	240	24	30	30	CU #6 AWG	CU #6 AWG	N/A	65	PASS	37	2	75	0.91	1	69.25	37	37	310.15(B)(4)	69.25	37	37	5	0.491	0.049	3/4" EMT	33.05%
AC DISCONNECT	PV1	240	24	30	30	CU #6 AWG	N/A	N/A	65	PASS	37	2	75	0.91	1	69.25	37	37	310.15(B)(4)	69.25	37	37	5	0.491	0.049	3/4" EMT	78.56%
CUMULATIVE VOLTAGE DROP 0.09%																											

- ELECTRICAL NOTES**
- ALL EQUIPMENT TO BE LISTED BY UL OR OTHER NRTL AND LABELED FOR ITS APPLICATION.
 - ALL CONDUCTORS SHALL BE RATED UP TO 600V FOR RESIDENTIAL AND 1000V FOR COMMERCIAL AND 90 DEGREE C WET ENVIRONMENT.
 - WIRING, CONDUIT, AND RACEWAYS MOUNTED ON ROOFTOPS SHALL BE ROUTED DIRECTLY TO AND LOCATED AS CLOSE AS POSSIBLE TO THE NEAREST RIDGE, HIP, OR VALLEY.
 - WORKING CLEARANCES AROUND ALL NEW AND EXISTING ELECTRICAL EQUIPMENT SHALL COMPLY WITH NEC 110.26. DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES AND STANDARDS.
 - WHERE SIZES OF JUNCTION BOX, RACEWAYS, AND CONDUITS ARE NOT SPECIFIED, THE CONTRACTOR SHALL SIZE THEM ACCORDINGLY.
 - ALL WIRE TERMINATIONS SHALL BE APPROPRIATELY LABELED AND READILY VISIBLE.
 - MODULE GROUNDING CLIPS TO BE INSTALLED BETWEEN MODULE FRAME AND MODULE SUPPORT RAIL. PER THE GROUNDING CLIP MANUFACTURER'S INSTRUCTION.
 - MODULE SUPPORT RAIL TO BE BONDED TO CONTINUOUS COPPER G.E.C. VIA WEEB LUG OR ILSCO GBL-4DBT LAY-IN LUG.
 - TEMPERATURE RATINGS OF ALL CONDUCTORS, TERMINATIONS, BREAKERS, OR OTHER DEVICES ASSOCIATED WITH THE SOLAR PV SYSTEM SHALL BE RATED FOR AT LEAST 75 DEGREE C.

TOP TIER

SOLAR SOLUTIONS

1530 CENTER PARK DR #2911,
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PROJECT NAME & ADDRESS

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ESR

SHEET NAME
WIRING CALCULATIONS

SHEET SIZE
**ANSI B
11" X 17"**

SHEET NUMBER
PV-7

PHOTOVOLTAIC POWER SOURCE

EVERY 10' ON CONDUIT & ENCLOSURES

LABEL-1:
LOCATION:
DIGNITY CONDUIT RACEWAY
SOLADECK / JUNCTION BOX
CODE REF: NEC 690.31 (D)(2)

WARNING

ELECTRIC SHOCK HAZARD

TERMINALS ON THE LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

LABEL-2:
AC DISCONNECT
CODE REF: NEC 690.13(B)

WARNING

DUAL POWER SUPPLY

SOURCE: UTILITY GRID AND PV SOLAR ELECTRIC SYSTEM

LABEL-3:
MAIN SERVICE PANEL
CODE REF: NEC 705.12(C) & NEC 690.59

**SOLAR PV BREAKER:
BREAKER IS BACKFED
DO NOT RELOCATE**

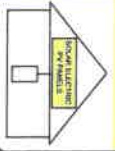
LABEL-4:
MAIN SERVICE PANEL
CODE REF: NEC 705.12(C) & NEC 690.59

WARNING
POWER SOURCE OUTPUT CONNECTION. DO NOT RELOCATE THIS OVERCURRENT DEVICE

LABEL-5:
MAIN SERVICE PANEL (ONLY IF SOLAR IS BACK-FED)
SUBPANEL (ONLY IF SOLAR IS BACK-FED)
CODE REF: NEC 705.12(B)(3)(2)

SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY



LABEL-6:
AC DISCONNECT
CODE REF: NEC 690.56(1)(1)(a)

RAPID SHUTDOWN SWITCH FOR SOLAR PV SYSTEM

LABEL-7:
AC DISCONNECT
MAIN SERVICE PANEL (ONLY IF SOLAR IS BACK-FED)
CODE REF: NEC 690.56(1)(2)

DC DISCONNECT

LABEL-8:
INVERTER
CODE REF: NEC 690.13(B)

AC DISCONNECT PHOTOVOLTAIC SYSTEM POWER SOURCE
NOMINAL OPERATING AC VOLTAGE: **240 V**
RATED AC OUTPUT CURRENT: **24.00 A**

LABEL-9:
AC DISCONNECT
CODE REF: NEC 690.54

MAXIMUM VOLTAGE: 480 V
MAXIMUM CIRCUIT CURRENT: 30.00 A
MAXIMUM RATED OUTPUT CURRENT OF THE CHARGE CONTROLLER OR DC-TO-DC CONVERTER (IF INSTALLED):

LABEL-10:
INVERTER (PRE-EXISTING ON THE INVERTER)
CODE REF: NEC 690.55

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SHEET NAME
LABELS

SHEET SIZE
**ANSI B
11" X 17"**

SHEET NUMBER
PV-8

Harvest the Sunshine

DEEP BLUE 3.0 Light

Mono
405W MBB
Half-cell Black Module
JAM54S31 380-405/MR

Introduction
Assembled with 1.5S specific cells, the half-cell configuration of the module offers the advantages of high power output, lower temperature-dependent performance, reduced shading effect on the entire system, lower risk of hot spot, as well as excellent appearance for the front facade.

- Higher output power
- Lower LCOE
- Better mechanical loading tolerances
- Less shading and lower resistive loss

Superior Warranty,
25-year product warranty
25-year linear power output warranty



Comprehensive Certificates

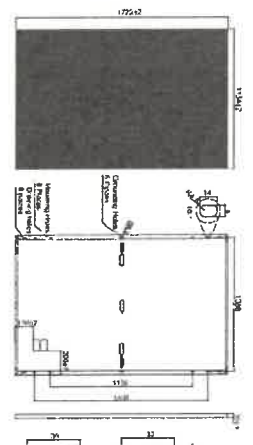
- IEC 61215, IEC 61700, UL 61710
- ISO 9001: 2015 Quality management systems
- ISO 14001: 2015 Environmental management systems
- ISO 45001: 2018 Occupational health and safety management systems
- IEC TS 62941: 2016 Progressive Photovoltaic (PV) modules - qualification and type approval
- IEC TS 62941: 2016 Progressive Photovoltaic (PV) module design qualification and type approval

JASOLAR



JASOLAR
JAM54S31 380-405/MR

MECHANICAL DIAGRAMS



SPECIFICATIONS

Cell	Mono
Weight	41.8kg±3%
Dimensions	1722±0.1mm x 1134±0.1mm x 30±0.1mm
Cable Crest Height Spine	4mm IEC, 12AWG/UL
No. of cells	108(6x18)
Junction Box	#B8 3-Input
Connection	MC4-EV021159V
Case Length Protection Certificate	Full 30-year +40-year Protection Certificate
Packaging Configuration	80pc/Spine 80pc/Tray Container

ELECTRICAL PARAMETERS AT STC

TYPE	JAM54S31 380/MR	JAM54S31 380/MR	JAM54S31 405/MR	JAM54S31 405/MR	JAM54S31 405/MR
Rated Maximum Power (P _{max})	380W	385W	387W	388W	389W
Open Circuit Voltage (V _{oc})	36.59V	36.71V	36.85V	36.97V	37.07V
Maximum Power (P _{max}) (%) V _{oc}	30.23	30.45	30.64	30.84	31.01
Short Circuit Current (I _{sc})	13.44A	13.52A	13.61A	13.70A	13.81A
Maximum Power Current (I _{mp})	12.50A	12.64A	12.71A	12.81A	12.90A
Module Efficiency (%)	18.5	19.7	20.0	20.2	20.5
Power Tolerance	±2%				
Temperature Coefficient of Isc (1/c)	+0.045%/C				
Temperature Coefficient of Voc (1/c)	-0.275%/C				
Temperature Coefficient of P _{max} (1/c)	-0.352%/C				

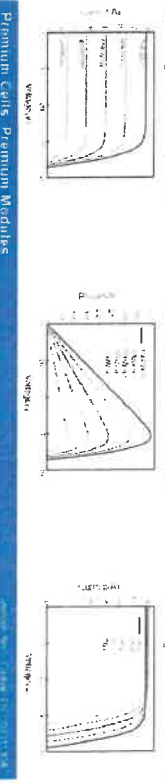
Remark: Electrical data in this catalog are not related to a specific module size, but are per square meter of the PV area. Temperature 25°C, AM1.5G, STC.

ELECTRICAL PARAMETERS AT NOCT

TYPE	JAM54S31 380/MR	JAM54S31 380/MR	JAM54S31 405/MR	JAM54S31 405/MR	JAM54S31 405/MR
Rated Max Power (P _{max})	280W	284W	287W	288W	289W
Open Circuit Voltage (V _{oc})	34.26V	34.48V	34.75V	34.80V	35.17V
Max Power (V _{oc}) (%) V _{oc}	28.51	28.88	29.08	29.26	29.41
Short Circuit Current (I _{sc})	10.71A	10.87A	10.96A	11.01A	11.10A
Max Power Current (I _{mp})	10.11A	10.18A	10.25A	10.32A	10.38A

NOCT: Reference 3000W/m², ambient temperature 20°C, wind speed 1m/s, AM1.5G, Fra Performance, UK Type 1.

CHARACTERISTICS



Premium Cells Premium Modules

TOP TIER
SOLAR SOLUTIONS

1530 CENTER PARK DR #2311,
CHARLOTTE, NC 28217,
UNITED STATES

REVISIONS	DATE	REV
DESCRIPTION	04/22/2024	
INITIAL DESIGN		

PROJECT NAME & ADDRESS

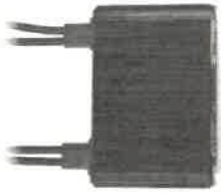
CHERYL ROBERTS
RESIDENCE
329 W GERMAN ST,
SHEPHERDSTOWN, WV, 25443

DRAWN BY	ESR
SHEET NAME	EQUIPMENT SPECIFICATION
SHEET SIZE	ANSI B 11" X 17"
SHEET NUMBER	PV-9

Residential Power Optimizer

For North America

S440 / S500B / S650B



POWER OPTIMIZER

- ### PV power optimization at the module level
- Specifically designed to work with SolarEdge residential inverters
 - Detects abnormal PV connector behavior, preventing potential safety issues
 - Module-level voltage shutdown for installer and firefighter safety
 - Superior efficiency (99.5%)
 - Mitigates all types of module mismatch loss, from manufacturing tolerance to partial shading
 - Faster installations with simplified wire management and easy assembly using a single bolt
 - Flexible system design for maximum space utilization
 - Compatible with bifacial PV modules
 - Meets NEC requirements for arc fault protection (AFCI) and Photovoltaic Rapid Shutdown System (PVRS5)



solaredge.com

Residential Power Optimizer

For North America

S440 / S500B / S650B

INPUT	S440	S500B	S650B
Rated AC Power	440	500	650
Rated Maximum Input Voltage (Voc)	60	60	60
MPPT Operating Range	B-60	B-60	B-60
Maximum Input Current (Maximum Input Short-Circuit Current)	34.5	34.5	34.5
Maximum Input Short-Circuit Current	34.5	34.5	34.5
Maximum Efficiency	99.5	99.5	99.5
Over- or Under-Carrying	96%	96%	96%
Maximum Output Current	15	15	15
Maximum Output Voltage	50	50	50
OUTPUT DURING STANDBY (POWER OPTIMIZER DISCONNECTED FROM SOLAREGE INVERTER OR INVERTER OFF)	0	0	0
STANDARD COMPLIANCE	UL 1741, IEEE 1547, IEC 62109-2, IEC 62109-3, IEC 62109-4, IEC 62109-5, IEC 62109-6, IEC 62109-7, IEC 62109-8, IEC 62109-9, IEC 62109-10, IEC 62109-11, IEC 62109-12, IEC 62109-13, IEC 62109-14, IEC 62109-15, IEC 62109-16, IEC 62109-17, IEC 62109-18, IEC 62109-19, IEC 62109-20, IEC 62109-21, IEC 62109-22, IEC 62109-23, IEC 62109-24, IEC 62109-25, IEC 62109-26, IEC 62109-27, IEC 62109-28, IEC 62109-29, IEC 62109-30, IEC 62109-31, IEC 62109-32, IEC 62109-33, IEC 62109-34, IEC 62109-35, IEC 62109-36, IEC 62109-37, IEC 62109-38, IEC 62109-39, IEC 62109-40, IEC 62109-41, IEC 62109-42, IEC 62109-43, IEC 62109-44, IEC 62109-45, IEC 62109-46, IEC 62109-47, IEC 62109-48, IEC 62109-49, IEC 62109-50, IEC 62109-51, IEC 62109-52, IEC 62109-53, IEC 62109-54, IEC 62109-55, IEC 62109-56, IEC 62109-57, IEC 62109-58, IEC 62109-59, IEC 62109-60, IEC 62109-61, IEC 62109-62, IEC 62109-63, IEC 62109-64, IEC 62109-65, IEC 62109-66, IEC 62109-67, IEC 62109-68, IEC 62109-69, IEC 62109-70, IEC 62109-71, IEC 62109-72, IEC 62109-73, IEC 62109-74, IEC 62109-75, IEC 62109-76, IEC 62109-77, IEC 62109-78, IEC 62109-79, IEC 62109-80, IEC 62109-81, IEC 62109-82, IEC 62109-83, IEC 62109-84, IEC 62109-85, IEC 62109-86, IEC 62109-87, IEC 62109-88, IEC 62109-89, IEC 62109-90, IEC 62109-91, IEC 62109-92, IEC 62109-93, IEC 62109-94, IEC 62109-95, IEC 62109-96, IEC 62109-97, IEC 62109-98, IEC 62109-99, IEC 62109-100	UL 1741, IEEE 1547, IEC 62109-2, IEC 62109-3, IEC 62109-4, IEC 62109-5, IEC 62109-6, IEC 62109-7, IEC 62109-8, IEC 62109-9, IEC 62109-10, IEC 62109-11, IEC 62109-12, IEC 62109-13, IEC 62109-14, IEC 62109-15, IEC 62109-16, IEC 62109-17, IEC 62109-18, IEC 62109-19, IEC 62109-20, IEC 62109-21, IEC 62109-22, IEC 62109-23, IEC 62109-24, IEC 62109-25, IEC 62109-26, IEC 62109-27, IEC 62109-28, IEC 62109-29, IEC 62109-30, IEC 62109-31, IEC 62109-32, IEC 62109-33, IEC 62109-34, IEC 62109-35, IEC 62109-36, IEC 62109-37, IEC 62109-38, IEC 62109-39, IEC 62109-40, IEC 62109-41, IEC 62109-42, IEC 62109-43, IEC 62109-44, IEC 62109-45, IEC 62109-46, IEC 62109-47, IEC 62109-48, IEC 62109-49, IEC 62109-50, IEC 62109-51, IEC 62109-52, IEC 62109-53, IEC 62109-54, IEC 62109-55, IEC 62109-56, IEC 62109-57, IEC 62109-58, IEC 62109-59, IEC 62109-60, IEC 62109-61, IEC 62109-62, IEC 62109-63, IEC 62109-64, IEC 62109-65, IEC 62109-66, IEC 62109-67, IEC 62109-68, IEC 62109-69, IEC 62109-70, IEC 62109-71, IEC 62109-72, IEC 62109-73, IEC 62109-74, IEC 62109-75, IEC 62109-76, IEC 62109-77, IEC 62109-78, IEC 62109-79, IEC 62109-80, IEC 62109-81, IEC 62109-82, IEC 62109-83, IEC 62109-84, IEC 62109-85, IEC 62109-86, IEC 62109-87, IEC 62109-88, IEC 62109-89, IEC 62109-90, IEC 62109-91, IEC 62109-92, IEC 62109-93, IEC 62109-94, IEC 62109-95, IEC 62109-96, IEC 62109-97, IEC 62109-98, IEC 62109-99, IEC 62109-100	UL 1741, IEEE 1547, IEC 62109-2, IEC 62109-3, IEC 62109-4, IEC 62109-5, IEC 62109-6, IEC 62109-7, IEC 62109-8, IEC 62109-9, IEC 62109-10, IEC 62109-11, IEC 62109-12, IEC 62109-13, IEC 62109-14, IEC 62109-15, IEC 62109-16, IEC 62109-17, IEC 62109-18, IEC 62109-19, IEC 62109-20, IEC 62109-21, IEC 62109-22, IEC 62109-23, IEC 62109-24, IEC 62109-25, IEC 62109-26, IEC 62109-27, IEC 62109-28, IEC 62109-29, IEC 62109-30, IEC 62109-31, IEC 62109-32, IEC 62109-33, IEC 62109-34, IEC 62109-35, IEC 62109-36, IEC 62109-37, IEC 62109-38, IEC 62109-39, IEC 62109-40, IEC 62109-41, IEC 62109-42, IEC 62109-43, IEC 62109-44, IEC 62109-45, IEC 62109-46, IEC 62109-47, IEC 62109-48, IEC 62109-49, IEC 62109-50, IEC 62109-51, IEC 62109-52, IEC 62109-53, IEC 62109-54, IEC 62109-55, IEC 62109-56, IEC 62109-57, IEC 62109-58, IEC 62109-59, IEC 62109-60, IEC 62109-61, IEC 62109-62, IEC 62109-63, IEC 62109-64, IEC 62109-65, IEC 62109-66, IEC 62109-67, IEC 62109-68, IEC 62109-69, IEC 62109-70, IEC 62109-71, IEC 62109-72, IEC 62109-73, IEC 62109-74, IEC 62109-75, IEC 62109-76, IEC 62109-77, IEC 62109-78, IEC 62109-79, IEC 62109-80, IEC 62109-81, IEC 62109-82, IEC 62109-83, IEC 62109-84, IEC 62109-85, IEC 62109-86, IEC 62109-87, IEC 62109-88, IEC 62109-89, IEC 62109-90, IEC 62109-91, IEC 62109-92, IEC 62109-93, IEC 62109-94, IEC 62109-95, IEC 62109-96, IEC 62109-97, IEC 62109-98, IEC 62109-99, IEC 62109-100

DESCRIPTION	DATE	REV
INITIAL DESIGN	04/28/2025	1

REVISIONS	DATE	REV

PROJECT NAME & ADDRESS
CHERYL ROBERTS RESIDENCE 329 W GERMAN ST, SHEPHERDSTOWN, WV, 25443

SHEET NAME
EQUIPMENT SPECIFICATION

SHEET SIZE
ANSI B 11" X 17"

SHEET NUMBER
PV-11



1530 CENTER PARK DR #2911,
CHARLOTTE, NC 28217,
UNITED STATES

TOP TIER SOLAR SOLUTIONS

SolarEdge Home Hub Inverter

Single Phase, for North America

For Inverters Assembled in the USA

SE3800H-US / SE5700H-US / SE7600H-US / SE10000H-US / SE11400H-US



Single phase inverter for storage and backup applications

- The ultimate home energy manager in charge of PV production, battery storage, backup operation during a power outage*, EV Charging, and smart energy devices
- Record-breaking 99% weighted efficiency with up to 300% DC overrating
- Supports LRA – can provide the required energy for HVAC systems starting during backup operation
- Integrates seamlessly with the complete SolarEdge Home Smart Energy Ecosystem, through SolarEdge Home Network
- Module-level monitoring and visibility of battery status, PV production, and self-consumption data

*Requires additional hardware and firmware version upgrade



HOME BACKUP

SolarEdge Home Hub Inverter

Single Phase, for North America

SE3800H-US / SE5700H-US / SE7600H-US / SE10000H-US / SE11400H-US

Model Number	SE3800H-US	SE5700H-US	SE7600H-US	SE10000H-US	SE11400H-US
OUTPUT – AC ON GRID					
Rated AC Power	3800 @ 240V	5760 @ 240V	7600	10000	11400 @ 240V
Maximum AC Power Output	3800 @ 240V	5760 @ 240V	7500	10000	11000 @ 240V
AC Output Voltage (Nominal)	208 / 240	208 / 240	183 – 264	183 – 264	183 – 264
AC Output Voltage Range	16 – 24	24 – 32	32 – 42	42 – 48	48
AC Frequency Range (nom - max)	59.3 – 60 – 60.5 ²⁾	59.3 – 60 – 60.5 ²⁾	59.3 – 60 – 60.5 ²⁾	59.3 – 60 – 60.5 ²⁾	59.3 – 60 – 60.5 ²⁾
Maximum Continuous Output Current	16	24	32	42	48
GFD Threshold	1	1	1	1	1
Total Harmonic Distortion (T-HD)	< 3	< 3	1, adjustable -0.85 to 0.85	< 2.5	< 2.5
Power Factor	1	1	1	1	1
Utility Monitoring, Standby Protection, County Configuration Thresholds	Yes	Yes	Yes	Yes	Yes
Charge Battery from AC (if allowed)	Yes	Yes	Yes	Yes	Yes
Typical Nighttime Power Consumption	< 2.5	< 2.5	< 2.5	< 2.5	< 2.5
OUTPUT – AC STAND-ALONE (BACKUP) (W)					
Rated AC Power in Stand-alone Operation	11400 ³⁾	11400 ³⁾	11400 ³⁾	11400 ³⁾	11400 ³⁾
Maximum Stand-alone Capacity	11400	11400	11400	11400	11400
AC L-L Output Voltage Range in Stand-alone Operation	211 – 264	211 – 264	211 – 264	211 – 264	211 – 264
AC L-N Output Voltage Range in Stand-alone Operation	305 – 132	305 – 132	305 – 132	305 – 132	305 – 132
AC Frequency Range in Stand-alone (nom - max)	55 – 60 – 65	55 – 60 – 65	55 – 60 – 65	55 – 60 – 65	55 – 60 – 65
Maximum Continuous Output Current in Stand-alone Operation	48	48	48	48	48
GFD	1	1	1	1	1
T-HD	< 5	< 5	< 5	< 5	< 5
OUTPUT – SOLAREDEGE HOME EV CHARGER AC					
Rated AC Power	9600	9600	9600	9600	9600
AC Output Voltage Range	211 – 264	211 – 264	211 – 264	211 – 264	211 – 264
On-Grid AC Frequency Range (nom - max)	59.3 – 60 – 60.5	59.3 – 60 – 60.5	59.3 – 60 – 60.5	59.3 – 60 – 60.5	59.3 – 60 – 60.5
Maximum Continuous Output Current @240V (Grid, PV and Battery)	40	40	40	40	40
INPUT – DC (PV AND BATTERY)					
Transformer-less, Ungrounded	Yes	Yes	Yes	Yes	Yes
Max Input Voltage	480	480	480	480	480
Max DC Input Voltage	380	380	380	380	380
Reverse-Polarity Protection	Yes	Yes	Yes	Yes	Yes
Ground Fault Isolation Detection	Yes	Yes	Yes	Yes	Yes
INPUT – DC (PV)					
Maximum DC Power @ 240V	11400	11520	15200	20000	22380
Maximum DC Power @ 280V	6000	10000	13000	20000	20000
Maximum MPPT Current ⁴⁾ @ 240V	20	30.5	40	53	60
Maximum MPPT Current ⁴⁾ @ 280V	17.5	27	37	53	53
Maximum MPPT Short Circuit Current	45	45	45	45	45
Maximum Inverter Efficiency	99.2	99.2	99	99	99
CEC Weighted Efficiency	98.5	98.5	98.5	98.5	98.5
2-Phase Derating Factor	Yes	Yes	Yes	Yes	Yes

1) These specifications apply to inverters with part numbers SE3800H-US and SE11400H-US. SE5700H-US and SE7600H-US are not shown. 2) Frequency range is adjustable. 3) Maximum AC power is limited by the inverter's AC output current and the AC output voltage. 4) Maximum MPPT current is limited by the inverter's MPPT current and the AC output voltage. 5) Maximum MPPT current is limited by the inverter's MPPT current and the AC output voltage. 6) Maximum MPPT current is limited by the inverter's MPPT current and the AC output voltage. 7) Maximum MPPT current is limited by the inverter's MPPT current and the AC output voltage. 8) Maximum MPPT current is limited by the inverter's MPPT current and the AC output voltage. 9) Maximum MPPT current is limited by the inverter's MPPT current and the AC output voltage. 10) Maximum MPPT current is limited by the inverter's MPPT current and the AC output voltage.



TOP TIER
SOLAR SOLUTIONS

TOP TIER SOLAR SOLUTIONS
1530 CENTER PARK DR #2911,
CHARLOTTE, NC 28217,
UNITED STATES

REVISIONS	DATE	REV
INITIAL DESIGN	04/25/2025	

PROJECT NAME & ADDRESS

CHERYL ROBERTS RESIDENCE

329 W GERMAN ST,
SHEPHERDSTOWN, WV, 25443

DRAWN BY
ESR

SHEET NAME
EQUIPMENT SPECIFICATION

SHEET SIZE
ANSI B
11" X 17"

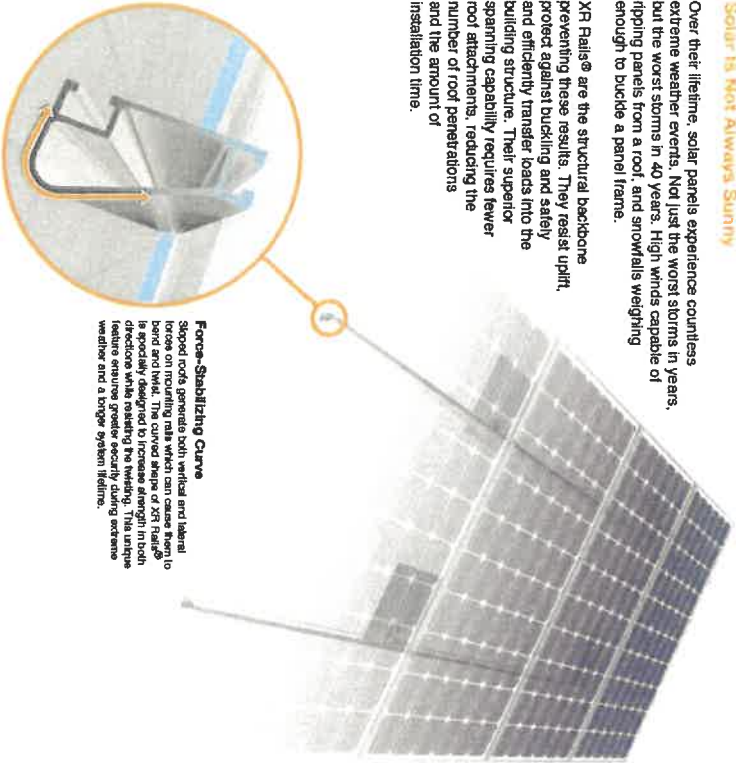
SHEET NUMBER
PV-12



Solar is Not Always Sunny

Over their lifetime, solar panels experience countless extreme weather events. Not just the worst storms in years, but the worst storms in 40 years. High winds capable of ripping panels from a roof, and snowfalls weighing enough to buckle a panel frame.

XR Rails® are the structural backbone preventing these results. They resist uplift, protect against buckling and safely and efficiently transfer loads into the building structure. Their superior spanning capability requires fewer roof attachments, reducing the number of roof penetrations and the amount of installation time.



Force-Stabilizing Curve
Sloped roofs generate both vertical and lateral forces on mounting rails which can cause them to bend and wobble. The curved shape of XR Rails® is designed to resist these forces. The force-stabilizing feature ensures greater security during extreme weather and a longer system lifetime.

Compatible with Flat & Pitched Roofs
XR Rails® are compatible with FlatRoof® and other pitched roof attachments.

Corrosion-Resistant Materials
All XR Rails® are made of 6000-series aluminum alloy, then protected with an anodized finish. Anodizing prevents surface and structural corrosion, while also providing a more attractive appearance.

XR Rail® Family

View Detail

XR Rail® Family

The XR Rail® Family offers the strength of a curved rail in three targeted sizes. Each size supports specific design loads, while minimizing material costs. Depending on your location, there is an XR Rail® to match.

View Detail

XR10




- 6" spanning capability
- Moderate load capability
- Clear & black anodized finish
- Internal splices available

XR100



- 10" spanning capability
- Heavy load capability
- Clear & black anodized finish
- Internal splices available

XR1000



- 12" spanning capability
- Extreme load capability
- Clear anodized finish
- Internal splices available

Rail Selection

The table below was prepared in compliance with applicable engineering codes and standards. * Values are based on the following criteria: ASCE 7-16, Gable Roof Flush Mount, Roof Zones 1 & 2e, Exposure B, Roof Slope of 8 to 20 degrees and Mean Building Height of 30 ft. Visit IronRidge.com for detailed certification letters.

Snow (psf)	Wind (mph)	Rail Span			
		6'	10'	12'	15'
None	90				
	120	XR10			
20	140		XR100		
	160			XR1000	
30	90				
	140				
40	90				
	180				
80	180				
	180				

* Values are based on the following criteria: ASCE 7-16, Gable Roof Flush Mount, Roof Zones 1 & 2e, Exposure B, Roof Slope of 8 to 20 degrees and Mean Building Height of 30 ft. Visit IronRidge.com for detailed certification letters.



TOP TIER SOLAR SOLUTIONS
1530 CENTER PARK DR #2911,
CHARLOTTE, NC 28217,
UNITED STATES

REVISIONS	DATE	REV
INITIAL DESIGN	04/29/2025	

PROJECT NAME & ADDRESS

CHERYL ROBERTS RESIDENCE
329 W GERMAN ST,
SHEPHERDSTOWN, WV, 25443

DRAWN BY
ESR

SHEET NAME
EQUIPMENT SPECIFICATION

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-14



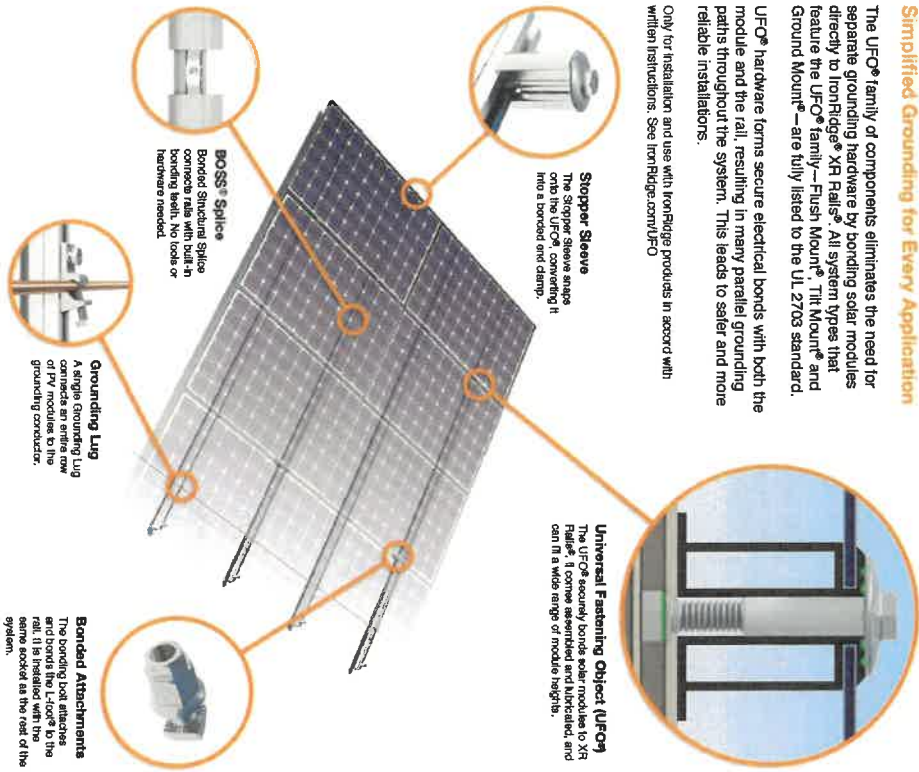
UFO® Family of Components

Simplified Grounding for Every Application

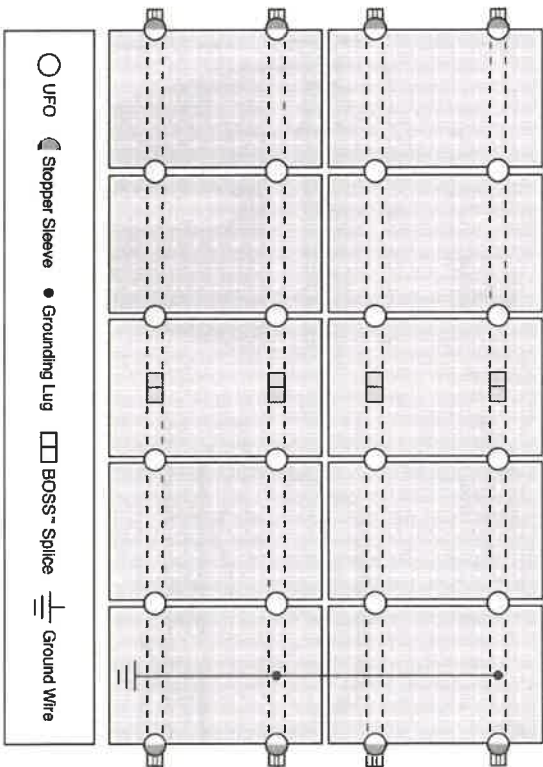
The UFO® family of components eliminates the need for separate grounding hardware by bonding solar modules directly to IronRidge® XR Rails®. All system types that feature the UFO® family—Flush Mount®, Tilt Mount® and Ground Mount®—are fully listed to the UL 2703 standard.

UFO® hardware forms secure electrical bonds with both the module and the rail, resulting in many parallel grounding paths throughout the system. This leads to safer and more reliable installations.

Only for installation and use with IronRidge products in accord with written instructions. See IronRidge.com/UFO



System Diagram



Approved Engineers/microinverters can provide equipment grounding of IronRidge systems, eliminating the need for grounding lugs and field installed equipment ground conductors (EGC). A minimum of two microinverters mounted to the same rail and connected to the same EPCage cable is required. Refer to installation manuals for additional details.

UL Certification

The IronRidge® Flush Mount®, Tilt Mount®, and Ground Mount® Systems have been listed to UL 2703 by Intertek Group plc.

UL 2703 is the standard for evaluating solar mounting systems. It ensures these devices will maintain strong electrical and mechanical connections over an extended period of time in extreme outdoor environments.

Go to IronRidge.com/UFO

Feature	Cross-System Compatibility		
	Flush Mount	Tilt Mount	Ground Mount
XR Rails®	✓	✓	XR100 & XR1000
UFO®/Stopper	✓	✓	✓
BOSS® Splice	✓	✓	N/A
Grounding Lugs	1 per Row	1 per Row	1 per Array
Microinverters & Power Optimizers	Compatible with most MLPE manufacturers. Refer to system installation manual.		
Fire Rating	Class A	Class A	N/A
Modules	Tested or Evaluated with over 400 Framed Modules Refer to installation manuals for a detailed list.		

TOP TIER SOLAR SOLUTIONS

TOP TIER SOLAR SOLUTIONS
1530 CENTER PARK DR #2311,
CHARLOTTE, NC 28217,
UNITED STATES

REVISIONS

DESCRIPTION	DATE	REV
INITIAL DESIGN	06/26/2025	

PROJECT NAME & ADDRESS

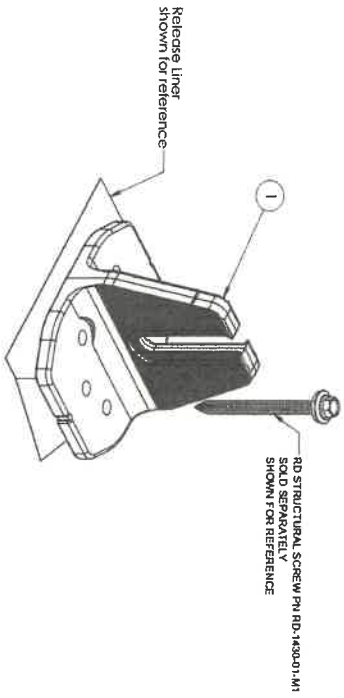
CHERYL ROBERTS RESIDENCE
329 W GERMAN ST,
SHEPHERDSTOWN, WV, 25443

DRAWN BY
ESR

SHEET NAME
EQUIPMENT SPECIFICATION

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-15

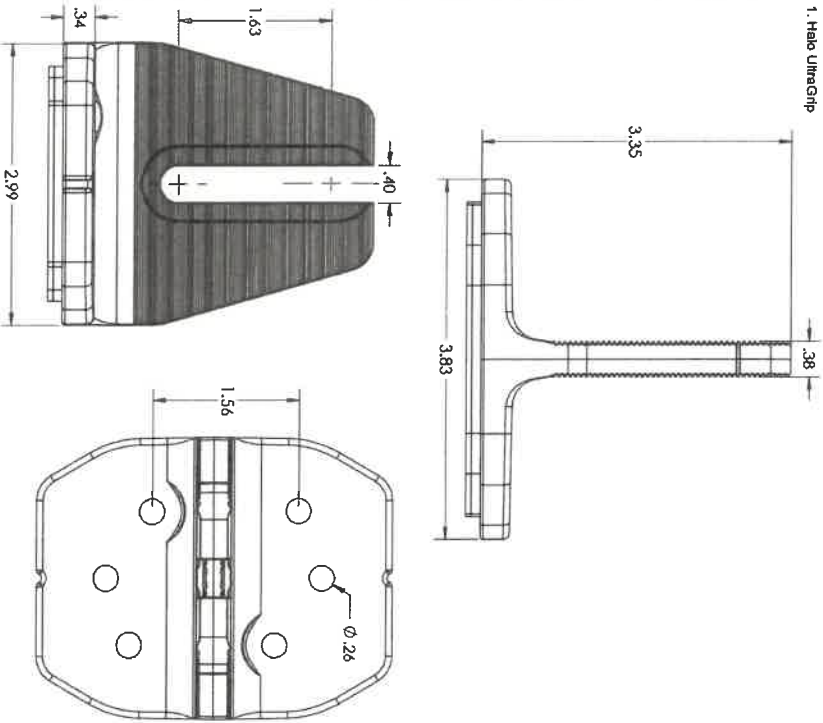


ITEM NO	DESCRIPTION	QTY IN KIT
1	QM Halo UltraGrip (Mill or Black)	1

PART NUMBER	DESCRIPTION
QM-HUG-01-M1	Halo UltraGrip - Mill
QM-HUG-01-B1	Halo UltraGrip - Black

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QM-HUG-01-B1 or QM-HUG-01-M1 Call Sheet Rev. 1.0



Property	Value
Material	3000 Series Aluminum
Finish	Mill or Black

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QM-HUG-01-B1 or QM-HUG-01-M1 Call Sheet Rev. 1.0



TOP TIER SOLAR SOLUTIONS
 1530 CENTER PARK DR #2911,
 CHARLOTTE, NC 28217,
 UNITED STATES

REVISIONS		DATE	REV
DESCRIPTION			
INITIAL DESIGN		04/23/2024	

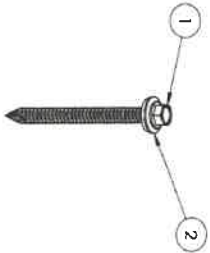
PROJECT NAME & ADDRESS
CHERYL ROBERTS RESIDENCE
 329 W GERMAN ST,
 SHEPHERDSTOWN, WV, 25443

DRAWN BY	ESR
SHEET NAME	EQUIPMENT SPECIFICATION
SHEET SIZE	ANSI B 11" X 17"
SHEET NUMBER	PV-16



QuickMount® RD Structural Screw

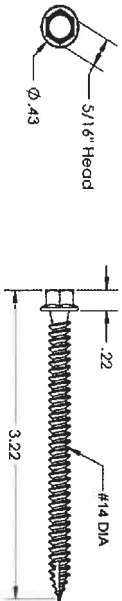
Call Sheet



ITEM NO	DESCRIPTION	QTY IN KIT
1	Self Drilling Screw, #14, Wood Tip	1
2	Washer, EPDM Backed	1

PART NUMBER	DESCRIPTION
RD-1430-01-M1	RD Structural Screw

1. Self Drilling Screw, #14, Wood Tip



Property	Value
Material	300 Series Stainless Steel
Finish	Clear

2. Washer, EPDM Backed



Property	Value
Material	300 Series Stainless Steel
Finish	Clear

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CHKD: 143001-M1 042 Sheet Rev 1.0



TOP TIER
SOLAR SOLUTIONS

TOP TIER SOLAR SOLUTIONS
1530 CENTER PARK DR #2911,
CHARLOTTE, NC 28217,
UNITED STATES

REVISIONS			
DESCRIPTION	DATE	REV	
INITIAL DESIGN	04/25/2025		

PROJECT NAME & ADDRESS

CHERYL ROBERTS
RESIDENCE

329 W GERMAN ST,
SHEPHERDSTOWN, WV, 25443

DRAWN BY
ESR

SHEET NAME
EQUIPMENT
SPECIFICATION

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-17

EZ SOLAR
making solar simple

PHONE: 385-202-4150
WWW.EZSOLARPRODUCTS.COM

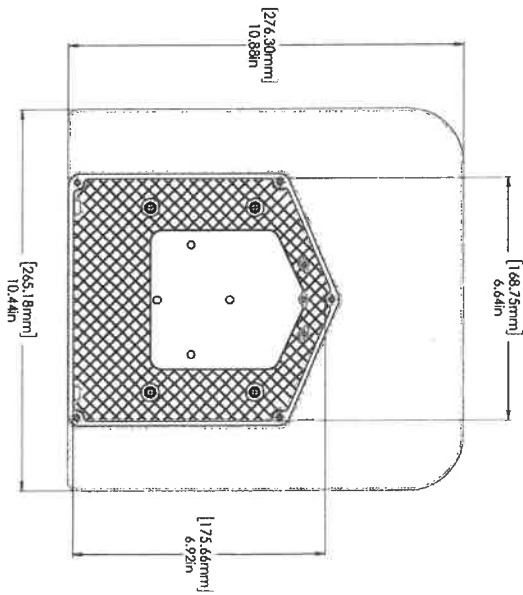
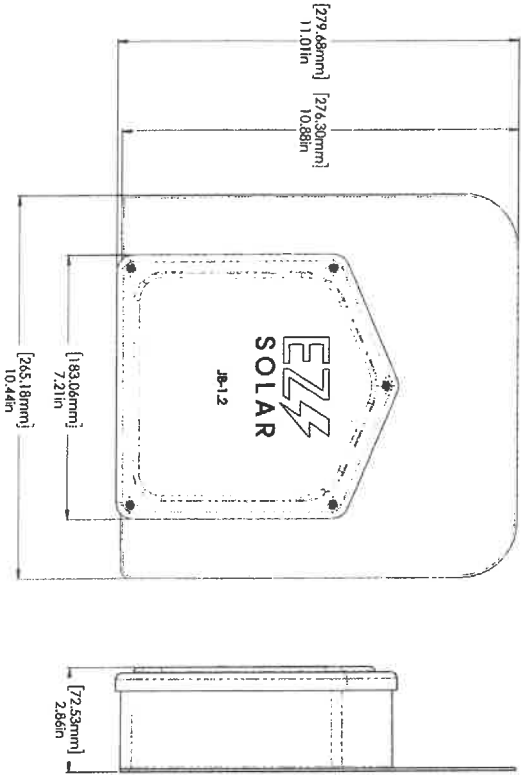
EZ SOLAR
making solar simple

PHONE: 385-202-4150
WWW.EZSOLARPRODUCTS.COM

ITEM NO.	PART NUMBER	DESCRIPTION	QTY
1	JB-12 BODY	POLYCARBONATE WITH UV INHIBITORS	1
2	JB-12 LID	POLYCARBONATE WITH UV INHIBITORS	1
3	#10 X 1-1/4" PHILIPS PAN-HEAD SCREW		6
4	#8 X 3/4" PHILIPS PAN-HEAD SCREW		6

SIZE	DRWG. NO.	REV.
B	JB-12	
SCALE: 1:2	WEIGHT: 1.45 LBS	SHEET 1 OF 3
TYPICAL SPECIFICATION: 15-20 LBS		
CERTIFICATION: UL 1741, NEMA 3R, CSA C22.2 NO. 280		
WEIGHT: 1.45 LBS		

SIZE	DRWG. NO.	REV.
B	JB-12	
SCALE: 1:2	WEIGHT: 1.45 LBS	SHEET 2 OF 3



PROPRIETARY AND CONFIDENTIAL. THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF EZ SOLAR. ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF EZ SOLAR IS PROHIBITED.



PROPRIETARY AND CONFIDENTIAL. THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF EZ SOLAR. ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF EZ SOLAR IS PROHIBITED.



<p>TOP TIER SOLAR SOLUTIONS 1530 CENTER PARK DR #2911, CHARLOTTE, NC 28217, UNITED STATES</p>		<p>TOP TIER SOLAR SOLUTIONS 1530 CENTER PARK DR #2911, CHARLOTTE, NC 28217, UNITED STATES</p>							
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>DESCRIPTION</th> <th>DATE</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>INITIAL DESIGN</td> <td>04/26/2015</td> <td></td> </tr> </tbody> </table>		DESCRIPTION	DATE	REV.	INITIAL DESIGN	04/26/2015		<p>PROJECT NAME & ADDRESS</p> <p>CHERYL ROBERTS RESIDENCE 329 W GERMAN ST, SHEPHERDSTOWN, WV, 25443</p>	
DESCRIPTION	DATE	REV.							
INITIAL DESIGN	04/26/2015								
<p>SHEET NAME EQUIPMENT SPECIFICATION</p>		<p>DRAWN BY ESR</p>							
<p>SHEET SIZE ANSI B 11" X 17"</p>		<p>SHEET NUMBER PV-18</p>							

Receipt

Payment processed successfully! Thank You for your Payment. Please print this receipt for your records. An email receipt will be sent if you have provided your email.

Your payment receipt.

Dear Jacon Van Winen ,

Thank You for your payment. Please click the close button to clear your cart and return to the main screen.

Payment Details

Account # :	00000000
Statement # :	019e9a43-426b-4ea3-ac3f-a1221303d8bf
Amount :	65.00
Transaction Amount :	\$65.00
Processing Fee:	\$2.95
Total Amount:	\$67.95
Authorization Code:	7150203
Transaction Date:	5/14/2025 9:54:45 AM
Card Holder :	Jacon Van Winen
Card :	VISA ending with 4088

Please allow 2 - 3 business days for card payments to post to your account. Please contact Shepherdstown at if you need assistance or have any questions.



Application Number 24 - 03

Application for Certificate of Appropriateness & Project Permit

Corporation of Shepherdstown, West Virginia

Should you have any questions regarding this application, please contact:
Andy Beall (Phone 304-876-6858, E-Mail abeall@shepherdstown.us)

PLEASE PRINT OR TYPE CLEARLY

Applicant's Name: Kenneth Postalwait
(Must be Property Owner)

Mailing Address: 3550 Aux. Airport Rd.
Seguin, TX 78155

Day Time Telephone Number: 830 660 - 6790

E-Mail Address: rhawk61@gmail.com

Street Address of Proposed Work: 102 College

Lot Number/Legal Description: _____
(If no address exists)

Current Zoning: Residential Current Land Use: Residential

Note: See zoning maps at Town Hall for correct zoning classification

Description of Work: Install new metal roof

24 gauge Antique Silver

Porch covering (partial North/west sides)

Cost Estimate: 4800⁰⁰ Project Category (Descriptions on Next Page): _____

Contractor performing work: Ken Postalwait

Contractor's Business License #: _____

A copy of the contractor's Shepherdstown business license or license application **MUST** be attached. The applicant is responsible for making sure all contractors working on this project have a Shepherdstown business license (which can be applied for at town hall). Work started without a business license could result in a stop work order on the project.



Application Number _____ - _____

Application for Project Permit
(Checklist of Required Information for Applications)

Provide information required for appropriate category of work. Staff will ensure completion of checklist material prior to applications' inclusion on meeting agenda.

Category I- Minor Projects such as awnings, porch railings, window boxes, satellite dishes, solar panels, signs, fences, non-permanent storage sheds and other minor changes.

PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

MATERIAL AND COLOR SAMPLES for exterior finishes

Category II- Driveways, decks, carports, porch enclosures and window, roof or siding replacement.

Category III- New construction of and/or additions to residential, commercial, and industrial structures.

Category IV- Demolition or Relocation of a Structure

(Categories II and III):

SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting. (SAMPLE ATTACHED)

Gross & net land area of property

Setback from property boundaries

Existing & proposed topography (only if regrading of the property is required)

Existing & proposed accessory structures.

Existing & proposed street right-of-way & entrance

Sidewalk, handicap access, Category IV only

MATERIAL AND COLOR SAMPLES for exterior finishes

ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements

ZONING INFORMATION shall be defined in the application as required:

Dwelling density- net (residential application only)

Flood plain designation if any (mapping available in Town Hall)

Cost estimates and property appraisals for applications seeking exemptions from Chapter 12- Floodplain provisions

Category IV- Demolitions:

Historic designation of structures to be demolished (documents available in Town Hall)

Complete description of structure(s) or part(s) of structure(s) to be demolished.

At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.



Application Number _____ - _____

Checklist of Required Information for Applications Continued

All Categories:

Owner install Copy of general contractor's Shepherdstown business license or license application.

Section 9-905 Remedies and penalties

The owner or agent of a building or premises in or upon which a violation of any provision of the Planning and Zoning Title has been committed or shall exist, or the leasee or tenant of an entire building or entire premise in or upon which violation has been committed or shall exist, or the agent, architect, building contractor or any other person who commits, takes part or assists in any violation or who maintains any building or premises in or upon which such violation shall exist, shall be guilty of a misdemeanor and shall be punished by a fine not to exceed one hundred (100) dollars. Each and every day that such violation continues may constitute a separate offense.

Please read the following paragraph carefully and sign.

Attach documents specified in the checklist on the back of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time in order to determine compliance with the Commission's approval. **I understand that my presence at the assigned application review meeting is required.** Application must be signed by owner or his/her agent.

Date: 1-6-2024

Owner's Signature: Ken Postalwait

Print Name: Ken Postalwait

Fees shall be paid to the Town Treasurer/Clerk and must accompany the application. If work begins without the required permit, double the cost of said permit will be applied.

Zoning Officer Comments:

Fee Paid \$564.00
Date Paid 1/8/24

CC



Application Number _____ - _____

THE SHEPHERDSTOWN TOWN COUNCIL ORDAINS:

Section 9-902 of Chapter 8 paragraph XIV be amended as follows:

Please check all boxes that may apply (Application Fees Due Upon Submittal):

	<p><u>Category I:</u></p> <p>Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p> <p style="text-align: right;">\$50.00</p>
	<p><u>Category II:</u></p> <p>Window replacement, roof replacement, siding replacement, porch enclosure, driveways, carports, and decks.</p> <p style="text-align: right;">\$100.00</p>
	<p><u>Category III:</u></p> <p>New construction of and/or additions to residential, commercial, and industrial structures.</p> <p style="text-align: right;">\$300 + \$0.50 per sq. ft.</p> <p>New construction of garages & other accessory buildings (permanently attached to the ground).</p> <p style="text-align: right;">\$50 + \$0.10 per sq. ft.</p>
	<p><u>Category IV:</u></p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ol style="list-style-type: none"> 1. Reason for the demolition/relocation (including historic documentation). 2. Describe the structure's condition in detail. 3. Describe the proposed reuse of the site, including full drawings of new structure & landscaping. 4. Evidence of relevant funding or financial concerns. 5. Timeframe for project <p>\$50.00 Accessory Buildings \$150.00 Non-Contributing Structures (< 50 years old) \$500.00 Contributing Structures (≥ 50 years old)</p>
<p>Certificate of Appropriateness Advertisement Fee: \$15</p>	

Receipt

Payment processed successfully! Thank You for your Payment. Please print this receipt for your records. An email receipt will be sent if you have provided your email.

Your payment receipt.

Dear KENNETH POSTALWAIT,

Thank You for your payment.

Payment Details

Transaction Amount : \$566.00
Processing Fee: \$15.56
Total Amount: \$581.56
Authorization Code: 6181894
Transaction Date: 1/8/2024 3:39:20 PM
Card Holder : KENNETH POSTALWAIT
Card : VISA ending with 8794

Please allow 48-72 hours for your payment to post. Please contact us at in case of questions.







NEW METAL ROOF

True
2x6
Rough Sawn
Pine

8x8 posts
10'

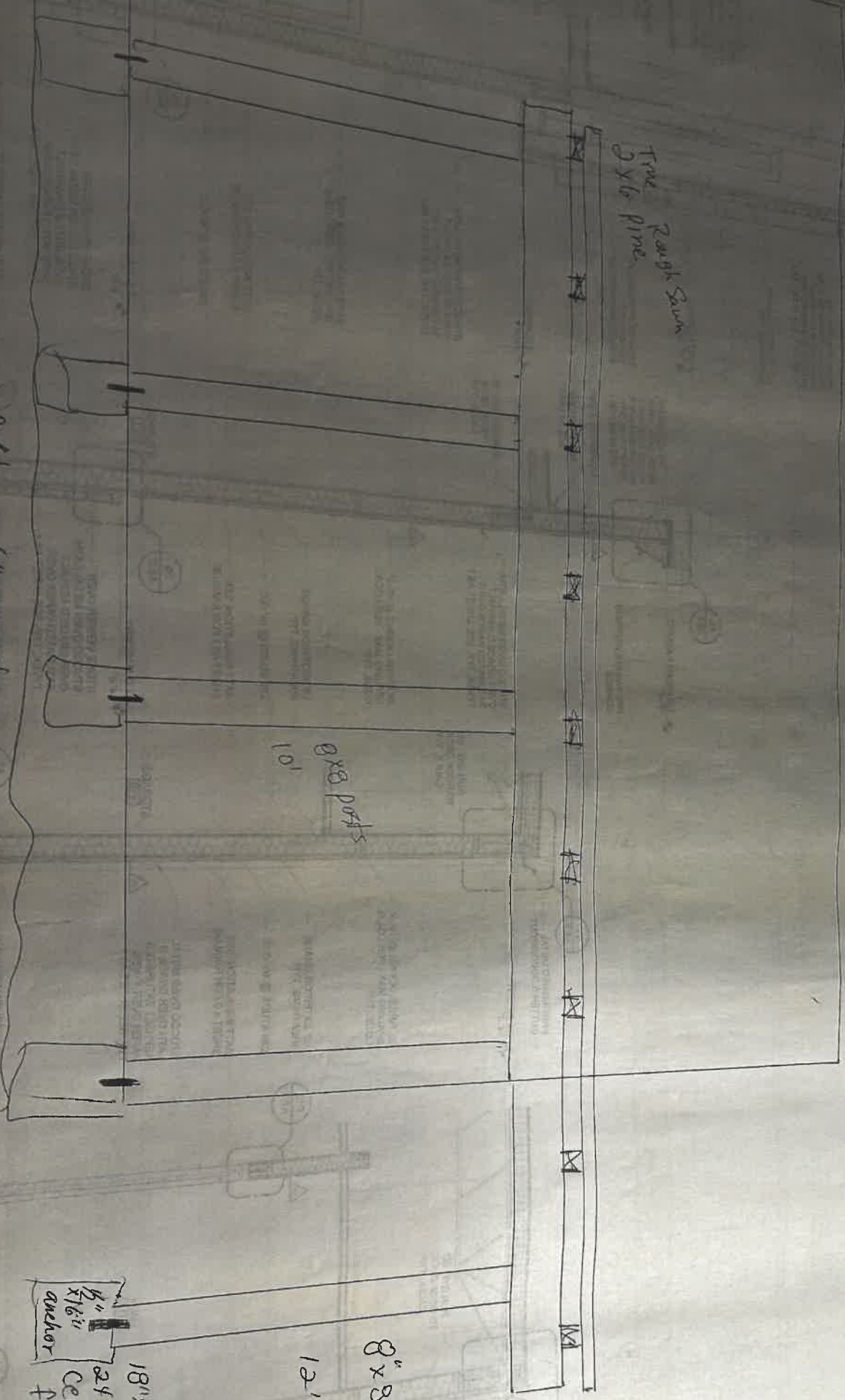
9'6" x 26' w 6" overhang

18" x
24" deep
Cement
footers
6" x 16" anchor

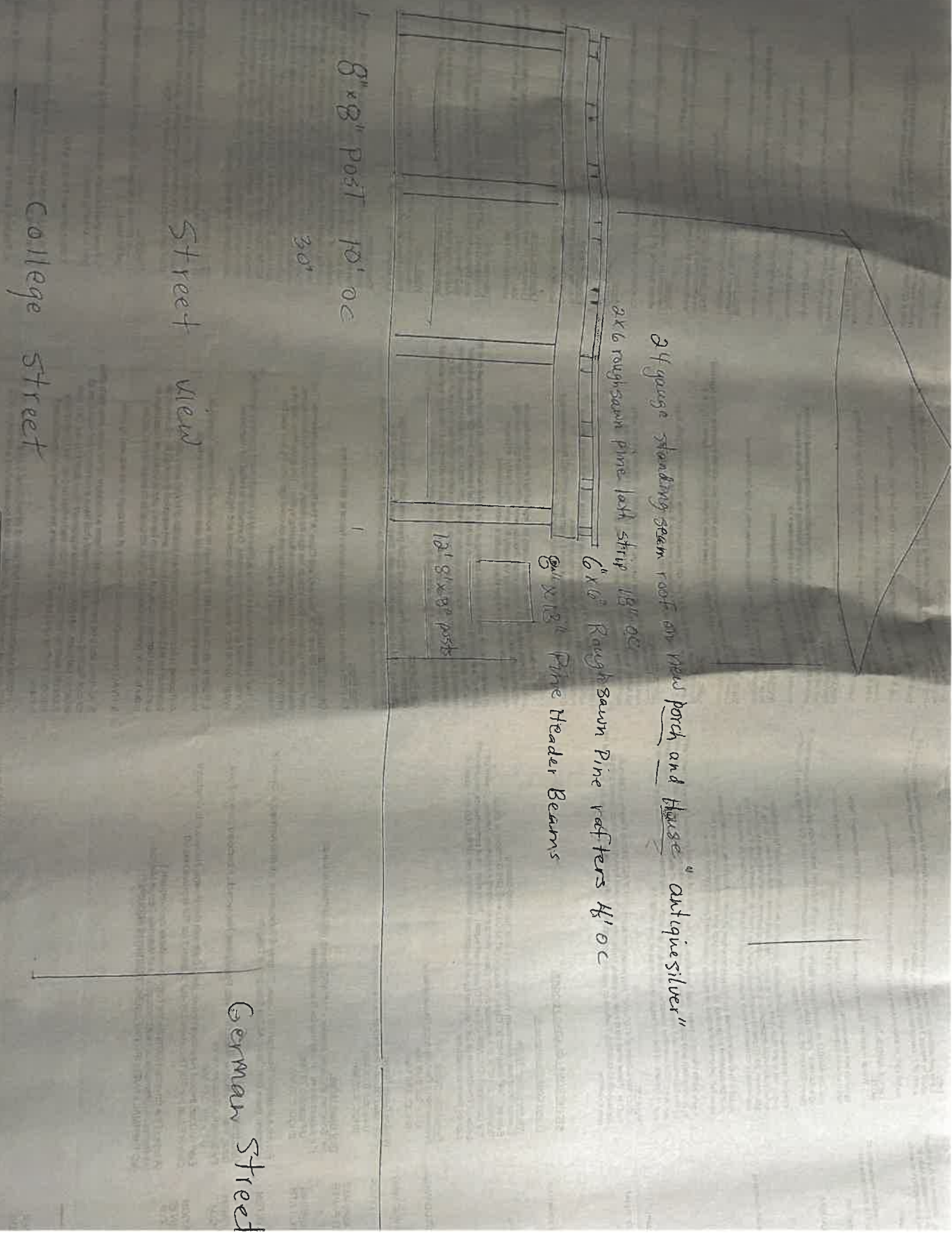
12'

8" x 8" post

8" x 12"



Cedar
Fence
apartment
LINE



8" x 8" Post 10' OC

30'

Street View

College Street

24 gauge standing seam roof on new porch and house "Antique Silver"

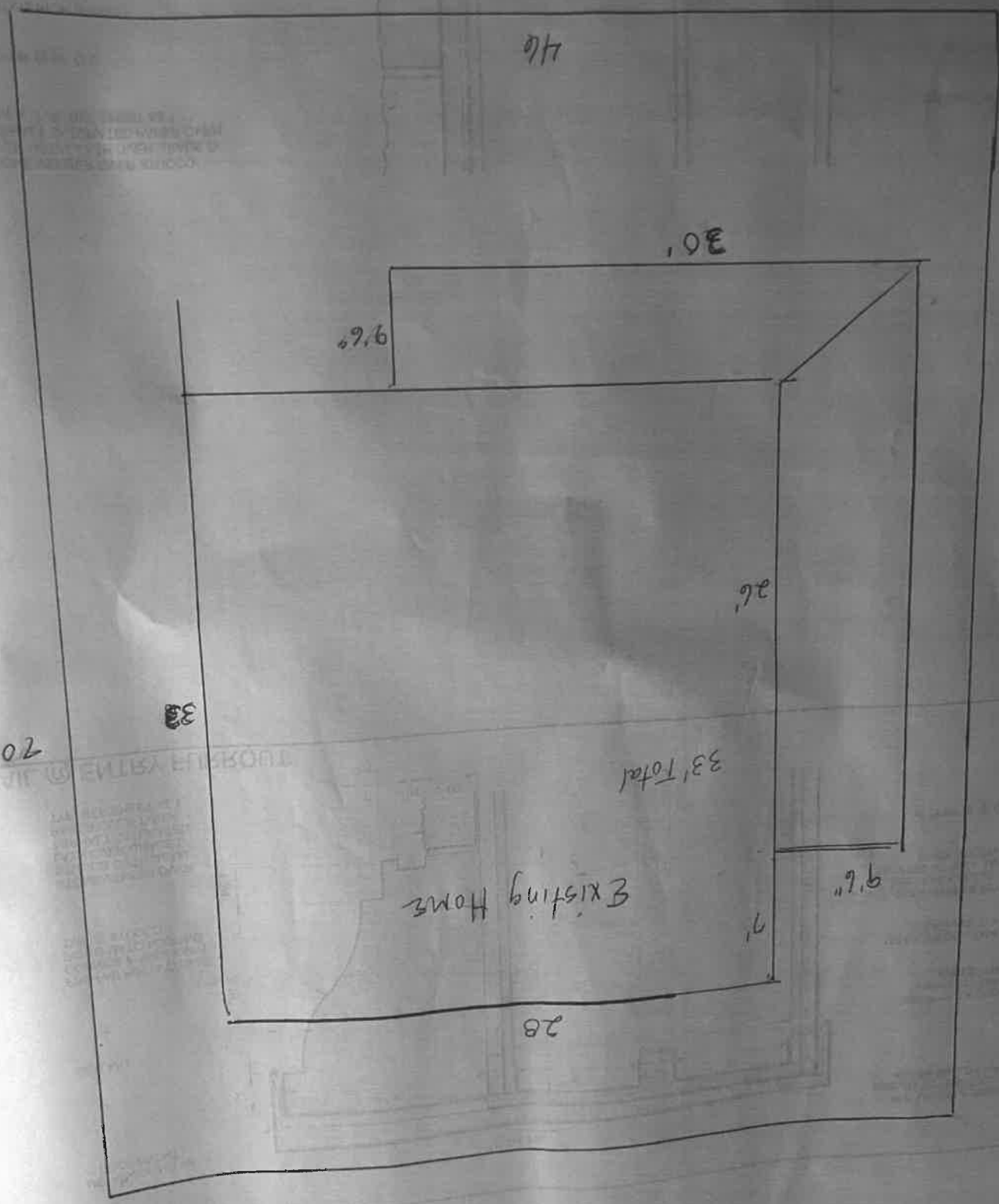
2x6 roughsawn pine joist strip 18' OC

6" x 6" Rough Sawn Pine rafters 4' OC

8" x 12" Pine Header Beams

12" 8" x 8" posts

German Street



46

30

9.6

26

33

70

33' Total

Existing Home

9.6

9.6

28