

J. L. Moore, Inc., Applicant
Fred M. Oglesbee, Owner
110 College Street

Board of Appeals Hearing
September 29, 2025

Board of Appeals Legal Notice



PUBLIC HEARING ANNOUNCEMENT

Shepherdstown Board of Appeals

Please take notice that the Shepherdstown Board of Appeals will hold a public hearing on Monday, September 29, 2025, at 6:30 p.m. at Town Hall, 104 North King Street, Shepherdstown, West Virginia, to consider an appeal of the Planning Commission's decision submitted by J. L. Moore, Inc. (Applicant) Fred M. Oglesbee (Owner), for the property located at 110 College Street.

The applicant is requesting a variance from the following provisions of the Shepherdstown Town Code:

- Section 9-503 – “Uses Permitted in the R-1 (Low Density) District,” which requires a minimum dwelling size of 1,500 square feet for single-family residences; and
- Section 9-508 – “Required Lot Area, Lot Width, and Yards in Residential Districts,” which requires a minimum lot width of 60 feet.

The complete file can be viewed at Town Hall and on our website www.shepherdstown.gov .

Please contact Town Hall at 304-876-2312 with questions.

Board of Appeals Agenda

BOARD OF APPEALS HEARING
AGENDA
September 29, 2025
J. L. Moore, Inc., Applicant
Fred M. Oglesbee, Owner
110 College Street
6:30 p.m.

1. The hearing is called to order. We request all present for this hearing to sign in. Please indicate place of residence (street address, etc.) and interest.
2. The chair will note, for the record, members of the Board present and establish that a quorum is present. Members who have not been previously sworn in will be sworn in.
3. The Board will establish the standing of the appellant for the record.
4. Members of the audience who wish to testify are sworn in and interest in the matter is established for the record.
5. CONFLICT OF INTEREST: The chair will inquire, for the record, whether any board member has a conflict of interest in any of the matters before it.
6. THE NOTICE OF PUBLIC HEARING will be read into the record.
7. The appeal by J. L. Moore, Inc. and Fred M. Oglesbee, regarding the Planning Commission's decision of as provided in the Notices of Decision dated May 20 and September 5, 2025, regarding 110 College Street. The chair will note, for the record, whether the bond has been paid.
8. The chair will note for the record, whether the board members have visited the site.
9. GROUND RULES:
 - A. *The Board of Appeal's rules are standardized by Robert's Rules of Order.*
 - B. *The Appeals Board is guided by Title 9, Chapters 1-12 of the Town Code—the Zoning Ordinance – and the requirements and standard of Title 9 are the requirements and standards we abide by in making decisions. Most importantly, we are guided by Chapter 10, Section 9-1009.*
 - C. *The Chair will monitor the recording device.*
 - D. *The Board of Appeals may set time limits, as it deems necessary, for the applicant's responses, the responses of bona fide groups and of individuals.*

Section 9-1008 Variances

(a) Where by reason of the exceptional narrowness, shallowness or unusual shape of a specific piece of property when zoning was adopted in Shepherdstown or by reason of exceptional topographic conditions or other extraordinary situation or condition of such piece of property, the literal enforcement of the requirements of this ordinance would involve practical difficulty or would cause unnecessary hardship to carry out the spirit and purpose of this ordinance, the Board shall have power, upon appeal in specific cases, to authorize a variance from the terms of this ordinance so as to relieve such hardship, and so that the spirit and purpose of this title shall be observed and justice done. In authorizing a variance, the Board may attach thereto such conditions regarding the location, character, and other features of the proposed structure or use as it may deem necessary in the public interest. In authorizing a variance, with attached conditions, the Board may require such guarantee as it may deem necessary that the conditions attached are being and will be complied with.

(b) No such variance in the provisions or requirements of this ordinance shall be authorized by the Board unless it finds, beyond reasonable doubt, that all the following facts and conditions exist:

(1) That there are exceptional or extraordinary circumstances or conditions applying to the property in question or to the intended use of the property that do not apply generally to other properties or classes of uses in the same zoning district.

(2) That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same zoning district and in the same vicinity.

(3) That the authorizing of such variance will not be of substantial detriment to adjacent property and will not materially impair the purposes of this title or the public interest.

(4) That the condition or situation of the specific piece of property or the intended use of such property, for which variance is sought, is not of so general or recurrent a nature as to make reasonably practicable the formulation of a general regulation for such condition or situation.

Section 9-1009 Limitations, guides, and standards (Amended 02/11/14)

Where, in this title, certain powers are conferred upon the Board it shall study the specific property involved and the neighborhood, cause the property to be posted in a conspicuous place, hold a public hearing, consider all testimony and data submitted, and hear any person for or against the issuance of the permit. However, the application shall not be approved where the Board finds the proposal adversely affect the public health, safety, security, morals or general welfare or would result in dangerous traffic conditions or would jeopardize the lives or property of people living in the neighborhood. In deciding such matters, the Board shall give consideration, among other things, to the following:

- (a) Decisions of the Circuit Court and the Supreme Court of Appeals.
- (b) The orderly growth of the neighborhood and community.
- (c) The most appropriate use of land and structure.
- (d) Facilities for sewers, water, trash and garbage collection and disposal and the ability of the Town or County to supply such services.
- (e) Availability of firefighting equipment.
- (f) The effect of such use upon the peace of people in their homes.
- (g) The number of people residing, working or studying in the immediate area.
- (h) The type and kind of structures in the vicinity where people are apt to gather in large numbers such as schools, churches, theatres, hospitals and the like.
- (i) Traffic conditions, including facilities for pedestrians, such as sidewalks and safety zones and parking facilities available and the access of cars off highways.
- (j) The preservation of cultural and historic landmarks.
- (k) The conservation of property values.
- (l) The effect of odors, dust, gas, smoke, fumes, vibrations, glare and noise upon the uses of surrounding properties.

- (m) The contribution, if any, such proposed use, building or addition would make toward the deterioration of areas and neighborhoods.
- (n) Any findings and recommendations of the Historic Landmark Commission.

Section 9-503 Uses permitted in the R-1 (low density) District (amended on January 9, 1990)

(a) Any use permitted in the PR District

(b) Single family, duplex dwellings, and/or single family dwellings of no less than one thousand five hundred (1,500) square feet with one (1) apartment of no less than one thousand (1,000) square feet, which apartment shall contain not more than three (3) additional persons not members of the family residing in the dwelling unit.

(c) Townhouses, each having its own lot and housing no more than one family.

Section 9-508 Required lot area, lot width, and yards * in residential districts (Amended February 13, 2007)

| | Min. Lot Area Per Family Unit (square feet) | Min. Lot Width (feet) | One Front Yard Depth (feet) | Side Yard (feet) | One Rear Yard (feet) | Green Space |
|--------------------------------|---|-----------------------------|-----------------------------------|-----------------------------|----------------------------|----------------|
| PR District..... | 22,000 | 100 | * | 2-20 | *** | **** |
| R-1 District | | | | | | |
| Single-family dwelling..... | 11,000 | 60 | * | ** | *** | **** |
| Duplex dwellings | 11,000 | 30 per unit | * | 2-12 end units only..... | *** | **** |
| Town- houses..... | 5,000 | 25 per unit | * | 2-12 end units only..... | *** | **** |
| R-2 District | | | | | | |
| Single-family dwelling..... | 11,000 | 60 | * | ** | *** | **** |
| Duplex dwellings | 5,500 | 30 | * | 2-10 end units only..... | *** | **** |
| Two-family dwellings | 5,500 | 30 | * | ** | *** | **** |
| Town- houses..... | 3,000 | 25 per unit | * | 2-10 end units only..... | *** | **** |
| Multi-family dwelling..... | 2,000 | 100 | 25 | 12 | 30 | **** |
| Schools and churches | | | * | 10 | 30 | **** |

- *Front yard No closer than established building line on adjacent lots. If no buildings exist then no closer than a building within two hundred (200) feet on the same side of the street.
- **Side yard One side yard of at least twelve (12) feet unless the lot is accessible from the rear via a public alley. If such access exists then the side yard may be a minimum of eight (8) feet.
- ***Rear yard Not less than 40 feet.
- **** Green Space Footprint of house (primary structure) and any accessory buildings cannot exceed 50% of lot

Board of Appeals Hearing Request Form



Board of Appeals Hearing Request

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application # 25-12

To be completed by applicant or their legal agent. Town staff and Board of Appeals members cannot give advice on the substance of your appeal. Only aggrieved persons may file an appeal. [Please reference Title 9, Section-1006.](#)

Property address for which appeal is being made: 110 College St Shepherdstown WV 25443

Applicant's name: J.L. Moore, Inc.
Mailing address: PO Box 1355
Shepherdstown WV 25443
City State Zip
Telephone: 304-279-2208 **Email:** ghshipley@hotmail.com

Owner's name: Fred M Oglesbee
(if not the Applicant)
Mailing address: 2136 Black Oak Ave
(if not the Applicant)
Columbus OH 43229
City State Zip
Telephone: 614-562-0365 **Email:** foglesbee@gmail.com
(if not the Applicant)

State your request with specifics:

- 1. Property is 56 ft wide. Regulations state that it must be 60 ft wide to build a single family residence.
- 2. Regulations state that there is a minimum requirement of 1500 sq ft for home. We are requesting to build a 1302 sq ft first floor fully finished, with a 1302 sq ft unfinished basement, which can be finished in the future by purchaser. We are making this request to keep the house affordable.

Type of appeal:
(Please indicate)
 Variance
 Continuation of non-conforming use
 Special Exception
 Decision of Planning Commission

Aggrieved person status:
(Please indicate)
 A person who has been denied by the Planning Commission in whole or in part, the relief sought in any application or appeal
 A person who will suffer peculiar injury, prejudice or inconvenience beyond that which other residents of the municipality may suffer

Date: _____

Signature: Garry Shipley
(Applicant)
Print Name: Garry Shipley

Date: 08/05/2025

Signature: Fred M Oglesbee
(Owner)
Print Name: Fred M Oglesbee

dotloop verified
08/05/25 2:18 PM
EDT
G0Y1-JQEU-B2J4-IEFV



Board of Appeals Hearing Request

104 N King St

PO Box 248 (for mailing)

Shepherdstown, WV 25443

Application # 25-12

Definitions

Variance

The Planning Commission correctly applied the ordinance requirements to your request; however, you request a variance from the requirements of the ordinances.

Special Exception

The Planning Commission correctly applied the ordinance requirements to your request; however, the ordinance allows for a special exception in R-1 and R-2 districts. They are listed in Section 9-505 of the Planning and Zoning Ordinance.

Continuation of non-conforming use

Any lawful use of land or structures existing at the time of the adoption of Planning and Zoning Ordinance or subsequent amendment to the ordinances may be continued with limitations.

Appeal of decision of the Planning Commission

You disagree with the Planning Commission's decision. You feel the Planning Commission erred in applying the ordinance to your requests.

For Office Use:

Zoning Officer Comments:

N/A

| | |
|-----------|----------|
| Bond Paid | \$100 |
| Date Paid | 08/05/25 |

Planning Commission Notices of Decision Dated May 20 and September 5, 2025



CORPORATION OF SHEPHERDSTOWN

104 NORTH KING STREET
P.O. Box 248
SHEPHERDSTOWN, WEST VIRGINIA 25443-0248
TEL: (304) 876-2312
FAX: (304) 876-1473

NOTICE OF DECISION

Date: May 20, 2025

Re: Application for Project Permit No. 25-12

J.L Moore, Michelle Shipley, Garry Shipley
PO Box 1355
Shepherdstown, WV 25443

Mr. and Mrs. Shipley,

Please be advised the Shepherdstown Planning Commission meeting in regular session on Monday May 19, 2025, voted to deny your request for a project permit to construct a single-family dwelling unit on the vacant lot known as Tax Map 3-122 located on College Street in Shepherdstown, WV. The Commission based its decision upon the following:

FINDING OF FACTS:

1. The application dated May 9, 2025, was complete, filed in a timely manner and all fees were paid,
2. The vacant parcel located at Tax Map 3-122 is zoned R-1 (Low Density Residential).
3. The application requested approval to construct a single-family dwelling unit on vacant parcel known as Tax Map 3-122 located on College Street in Shepherdstown WV.

4. Pursuant to Title 9, §9-508 Required lot area, lot width, and yards in residential districts (Amended February 13, 2007) the required minimum lot width within the R-1 district is 60 feet.
5. The lot located at Tax Map 3-122 is 56 feet wide.
6. *At its regular meeting of May 19, 2025, the Planning Commission reviewed the application, referred to §9-508 of the Title 9 Planning and Zoning Ordinance and voted unanimously to deny the application based on a failure to comply with the minimum lot width standard for single-family dwelling units located in the R-1 (Low Density Residential) zoning district.*

Please be advised that in accordance with Title 9, §9-508, you have the right to appeal this determination with the Board of Zoning Appeals.

Should you have any questions regarding this decision, please feel free to call the Corporation of Shepherdstown at 304-876-2312 or contact me directly at gsisco@shepherdstown.gov.

Respectfully,

A handwritten signature in blue ink, appearing to read 'Gino E. Sisco', with a long horizontal line extending to the right.

Gino E. Sisco
Town Administrator
Acting Planning and Zoning Administrator



CORPORATION OF SHEPHERDSTOWN

104 NORTH KING STREET
P.O. Box 248
SHEPHERDSTOWN, WEST VIRGINIA 25443-0248
TEL: (304) 876-2312
FAX: (304) 876-1473

NOTICE OF DECISION

Date: September 5, 2025

Re: Application for Project Permit No. 25-12

Owner: Fred Oglesbee
Contractor: J.L Moore, Michelle Shipley, Garry Shipley
2136 Black Oak Drive
Columbus, OH 43229

Mr. Oglesbee,

Please be advised the Shepherdstown Planning Commission meeting in special session on Friday September 5, 2025, voted to deny your request for a project permit to construct a single-family dwelling unit on the vacant lot known as Tax Map 3-122 located at 110 College Street in Shepherdstown, WV. The Commission based its decision upon the following:

FINDING OF FACTS:

1. The updated application dated August 5, 2025, was complete, filed in a timely manner and all fees were paid,
2. The vacant parcel located at Tax Map 3-122 is zoned R-1 (Low Density Residential).
3. The application requested approval to construct a single-family dwelling unit on vacant parcel known as Tax Map 3-122 located on College Street in Shepherdstown WV.

4. Pursuant to Title 9, §9-503 Uses permitted in the R-1 (low density) District (amended on January 9, 1990) Single family, duplex dwellings, and/or single-family dwellings of no less than one thousand five hundred (1,500) square feet.
5. The proposed new construction is one thousand three hundred two (1302) square feet.
6. *At its special meeting of September 5, 2025, the Planning Commission reviewed the application, referred to §9-503 of the Title 9 Planning and Zoning Ordinance and voted unanimously to deny the application based on a failure to comply with the minimum square foot requirement for single-family dwelling units located in the R-1 (Low Density Residential) zoning district.*

Please be advised that in accordance with Title 9, you have the right to appeal this determination with the Board of Zoning Appeals.

Should you have any questions regarding this decision, please feel free to call the Corporation of Shepherdstown at 304-876-2312 or contact me directly at gsisco@shepherdstown.gov.

Respectfully,

A handwritten signature in blue ink, appearing to read 'Gino E. Sisco', with a long horizontal line extending to the right.

Gino E. Sisco
Town Administrator
Acting Planning and Zoning Administrator

Planning Commission Minutes of May 19 and September 5, 2025

SHEPHERDSTOWN PLANNING COMMISSION MINUTES

REGULAR MEETING AND PUBLIC HEARING

Monday, May 19, 2025

6:00 p.m.

TOWN HALL

104 NORTH KING STREET, SHEPHERDSTOWN

1. Call to Order: 6:01pm

2. Approval of Previous Months' Minutes:

- a. April 21, 2025, Meeting Minutes – Motion to approve minutes: James Gatz/ 2nd Linus Bicker/ All Aye

3. Visitors:

- a. None

4. Conflicts of Interest:

- a. None

5. Applications:

- a. **25-05** 310 W. German Street

Motion to approve application 25-05: Rebecca Parmesano/ 2nd Roger Monroe/
All Aye

- b. **25-06** 109 North Princess Street

Installation of 8 x 8 wooden shed to be constructed on site and to be painted white
and black in color to match existing house.

Motion to approve application 25-06 with amendment to install shed three feet from
property line: Rebecca Parmesano/ 2nd Linus Bicker/ All Aye

- c. **25-07** 126 West German Street

Installation of Business Sign

Motion to approve application 25-07: Roger Monroe/2nd Linus Bicker/ All Aye

- d. **25-08** 115 East German Street

SHEPHERDSTOWN PLANNING COMMISSION MINUTES

REGULAR MEETING AND PUBLIC HEARING

Monday, May 19, 2025

6:00 p.m.

TOWN HALL

104 NORTH KING STREET, SHEPHERDSTOWN

Installation of white vinyl fence for patio.

Application removed from the agenda. Application will be reviewed by Historic Landmarks Commission to receive a Certificate of Appropriateness.

- e. **25-11** 72 Shepherd Village Circle

Install screened -in back porch.

Motion to approve application 25-11 after verification of lot setbacks and open space requirements by Shepherdstown Planning staff: Linus Bicker/ 2nd James Gatz/
All Aye

- f. **25-12** 110 College Street

New Home Construction

Motion to reject application 25-12. Lot does not meet Title 9 lot size standards:
Rebecca Parmesano/ 2nd James Gatz/ All Aye

- g. **25-13** 329 West German Street

Installation of Solar panels

Motion to approve application 25-13: Linus Bicker/ 2nd Roger Monroe/ All Aye

- h. **24-03** 102 College Street

Install new metal roof, porch covering (previously approved)

Motion to defer application to June 16, 2025 Planning Commission Meeting: Linus Bicker/2nd Roger Monroe/ All Aye

6. Staff Report:

- a. Gino Sisco and Ebonée Helmick provided the Planning Commission with an update on the proposed landscape design for the property located at 107 New Street.

7. Continuing Business:

- a. Review of Shepherdstown PUD Ordinance: Mayor James Gatz is coordinating a formal review of the Town's ordinances with WVU Law Clinic. The Planning

SHEPHERDSTOWN PLANNING COMMISSION MINUTES

REGULAR MEETING AND PUBLIC HEARING

Monday, May 19, 2025

6:00 p.m.

TOWN HALL

104 NORTH KING STREET, SHEPHERDSTOWN

Commission will be notified of the process to review the Title 9- Planning and Zoning Ordinance.

8. New Business:

- a. None

9. Adjournment:

- a. Motion to adjourn meeting: Linus Bicker/ 2nd Rebecca Parmesano/ All Aye

SHEPHERDSTOWN PLANNING COMMISSION MINUTES
REGULAR MEETING AND PUBLIC HEARING

Friday, September 5, 2025

5:30 p.m.

TOWN HALL

104 NORTH KING STREET, SHEPHERDSTOWN

1. Call to Order: 5:40p

Commissioners Present:

Linus Bicker, Ebonée Helmick, Madge Morningstar, Roger Munro

Commissioners Absent:

James Gatz (Mayor), Rebecca Parmesano

2. Visitors:

None

3. Conflicts of Interest:

None

4. Applications

a. **25-12** 110 College Street

Request to build a 1302 square foot first floor fully finished with a 1302 square foot unfinished basement.

Motion to reject application 25-12 as the application does not meet the minimum 1,500 square feet required by Title 9 Section 503 Permitted Uses in R-1 (low density) District: Madge Morningstar/2nd Linus Bicker. No Discussion. All Aye.

4. Adjournment:

Motion to adjourn meeting at 5:47p.m: Ebonée Helmick/ 2nd Linus Bicker/ All Aye

Project Permit Application #25-12



Application Number 25-12

Application for Certificate of Appropriateness & Project Permit

Corporation of Shepherdstown, West Virginia

Should you have any questions regarding this application, please contact:
Andy Beall (Phone 304-876-6858, E-Mail abeall@shepherdstown.us)

PLEASE PRINT OR TYPE CLEARLY

Applicant's Name: FRED M OGLESBEE
(Must be Property Owner)

Mailing Address: 2136 Blackoak Ave
Columbus, Oct 43229

Day Time Telephone Number: 614-562-0365

E-Mail Address: foglesbee@gmail.com

Street Address of Proposed Work: 110 E. College St

Lot Number/Legal Description: _____
(If no address exists)

* Current Zoning: R1 Current Land Use: Vacant lot
Note: See zoning maps at Town Hall for correct zoning classification

* Description of Work: Request to build single family residence Home
will consist of single story and a walkout basement It will
be framed with 2x6 walls and consist of 13 bedrooms and
2 baths. It will have a covered front porch and sided in
hardie board material in neutral color.
Property is 56ft wide Regulation state must be lost.
Regulation state there's a minimum req. for 1500 sqft for home.
We are requesting to build 1302 sqft house, 1302 sqft unfinished basement,
basement could be finished in future.

* Cost Estimate: \$375,000 Project Category (Descriptions on Next Page): III (3)

* Contractor performing work: JL Moore, Inc.

* Contractor's Business License #: HV000218



Application Number 25 12

Application for Project Permit
(Checklist of Required Information for Applications)

Provide information required for appropriate category of work. Staff will ensure completion of checklist material prior to applications' inclusion on meeting agenda.

Category I- Minor Projects such as awnings, porch railings, window boxes, satellite dishes, solar panels, signs, fences, non-permanent storage sheds and other minor changes.

PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

MATERIAL AND COLOR SAMPLES for exterior finishes

Category II- Driveways, decks, carports, porch enclosures and window, roof or siding replacement.

* **Category III-** New construction of and/or additions to residential, commercial, and industrial structures.

Category IV- Demolition or Relocation of a Structure

* **(Categories II and III):**

SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting. (SAMPLE ATTACHED)

Gross & net land area of property

Setback from property boundaries

Existing & proposed topography (only if regrading of the property is required)

Existing & proposed accessory structures.

Existing & proposed street right-of-way & entrance

Sidewalk, handicap access, Category IV only

MATERIAL AND COLOR SAMPLES for exterior finishes

ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements

ZONING INFORMATION shall be defined in the application as required:

Dwelling density- net (residential application only)

Flood plain designation if any (mapping available in Town Hall)

Cost estimates and property appraisals for applications seeking exemptions from Chapter 12- Floodplain provisions

Category IV- Demolitions:

Historic designation of structures to be demolished (documents available in Town Hall)

Complete description of structure(s) or part(s) of structure(s) to be demolished.

At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.



Application Number 25 - 12

THE SHEPHERDSTOWN TOWN COUNCIL ORDAINS:

Section 9-902 of Chapter 8 paragraph XIV be amended as follows:

Please check all boxes that may apply (Application Fees Due Upon Submittal):

| | |
|-------------------------------------|---|
| | <p>Category I:</p> <p>Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p> <p style="text-align: right;">\$50.00</p> |
| | <p>Category II:</p> <p>Window replacement, roof replacement, siding replacement, porch enclosure, driveways, carports, and decks.</p> <p style="text-align: right;">\$100.00</p> |
| <input checked="" type="checkbox"/> | <p>Category III:</p> <p>New construction of and/or additions to residential, commercial, and industrial structures.</p> <p style="text-align: right;">\$300 + \$0.50 per sq. ft.</p> <p>New construction of garages & other accessory buildings (permanently attached to the ground).</p> <p style="text-align: right;">\$50 + \$0.10 per sq. ft.</p> |
| | <p>Category IV:</p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ol style="list-style-type: none"> 1. Reason for the demolition/relocation (including historic documentation). 2. Describe the structure's condition in detail. 3. Describe the proposed reuse of the site, including full drawings of new structure & landscaping. 4. Evidence of relevant funding or financial concerns. 5. Timeframe for project <p>\$50.00 Accessory Buildings \$150.00 Non-Contributing Structures (< 50 years old) \$500.00 Contributing Structures (≥ 50 years old)</p> |



Application Number 25 - 12

Checklist of Required Information for Applications Continued

Section 9-905 Remedies and penalties

The owner or agent of a building or premises in or upon which a violation of any provision of the Planning and Zoning Title has been committed or shall exist, or the leasee or tenant of an entire building or entire premise in or upon which violation has been committed or shall exist, or the agent, architect, building contractor or any other person who commits, takes part or assists in any violation or who maintains any building or premises in or upon which such violation shall exist, shall be guilty of a misdemeanor and shall be punished by a fine not to exceed one hundred (100) dollars. Each and every day that such violation continues may constitute a separate offense.

Please read the following paragraph carefully and sign.

Attach documents specified in the checklist on the back of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time in order to determine compliance with the Commission's approval.

Application must be signed by owner or his/her agent.

Date: 7-7-25

Owner's Signature: *Fred M. Estesbee*

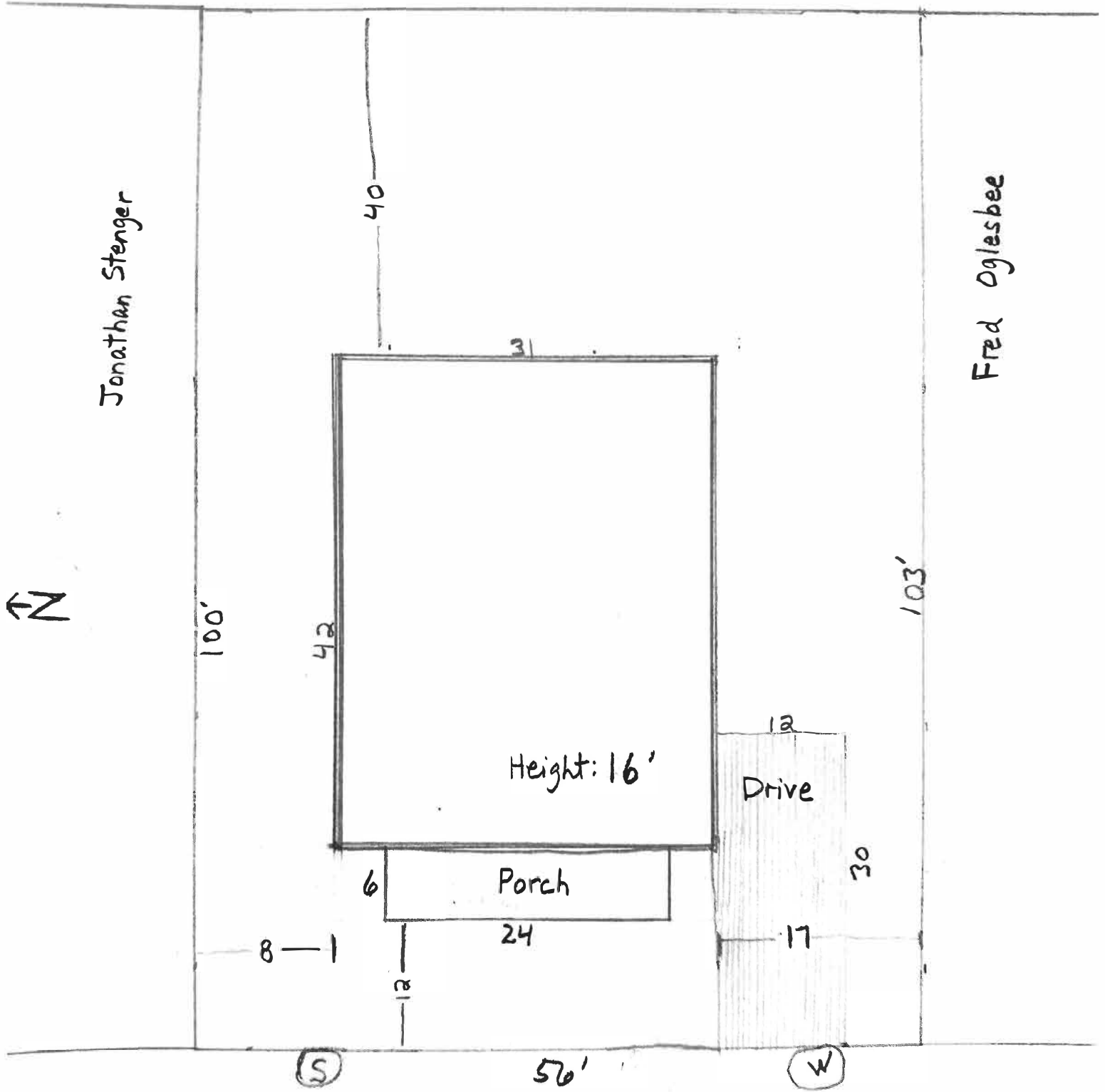
Print Name: FRED M. ESTESBEE

Fees shall be paid to the Town Treasurer/Clerk and must accompany the application. If work begins without the required permit, double the cost of said permit will be applied.

Zoning Officer Comments:

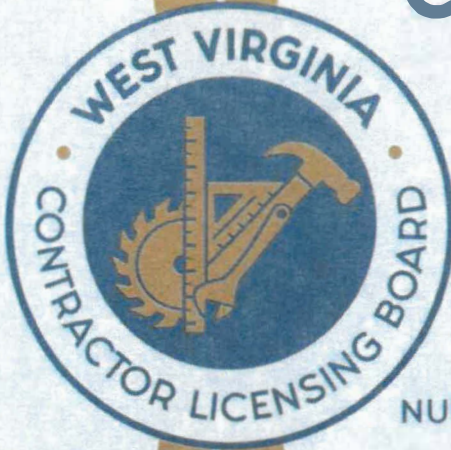
Fee Paid _____
Date Paid _____





College Street

[Signature]
4-29-2025



CONTRACTOR LICENSE

AUTHORIZED BY THE
West Virginia Contractor
Licensing Board

NUMBER: WV000218

CLASSIFICATION:

ELECTRICAL
GENERAL BUILDING
HEATING, VENTILATING & COOLING
MULTIFAMILY
PLUMBING
RESIDENTIAL
SPECIALTY

J L MOORE INC
DBA J L MOORE INC
PO BOX 1355
SHEPHERDSTOWN, WV 25443

DATE ISSUED

AUGUST 02, 2024

EXPIRATION DATE

AUGUST 02, 2025

Authorized Signature

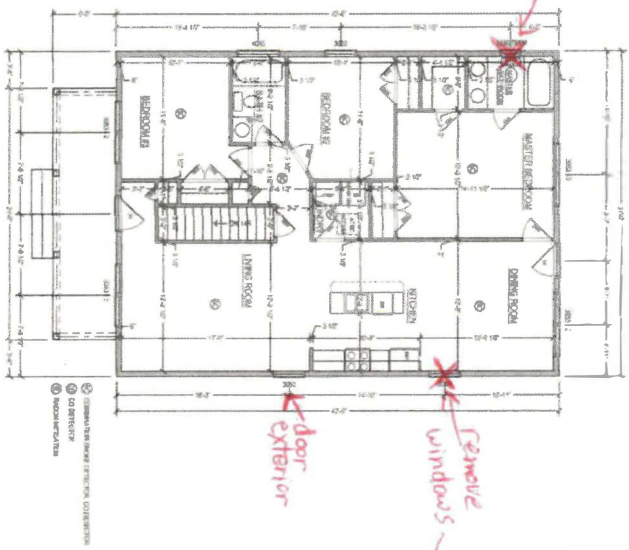
Chair, West Virginia Contractor
Licensing Board



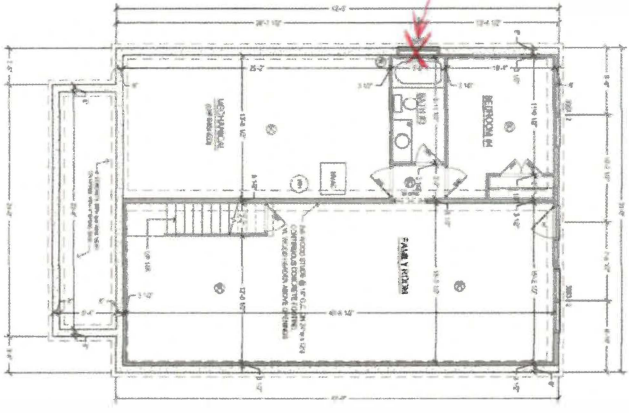
A copy of this license must be readily available for inspection by the Board on every job site where contracting work is being performed. This license number must appear in all advertisements, on all bid submissions, and on all fully executed and binding contracts. This license is non-transferable. This license is being issued under the provisions of West Virginia Code, Chapter 30, Article 42.

DATE: 11/15/2010
 PROJECT: RESIDENCE FOR J. L. MOORE
 DRAWING NO: 4-21-25
 SCALE: 3/8" = 1'-0"

1 FIRST FLOOR PLAN
 SCALE: 3/8" = 1'-0"



2 FOUNDATION PLAN
 SCALE: 3/8" = 1'-0"




A-1
 3
 4-21-25

DRAFTING SERVICES

| | |
|------------|--|
| Drawn By | |
| Checked By | |
| Date | |

RESIDENCE FOR:
J. L. MOORE
 110 COLLEGE STREET
 SHEPHERDSTOWN, WEST VIRGINIA 25443

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J. L. MOORE
 110 COLLEGE STREET
 SHEPHERDSTOWN, WEST VIRGINIA 25443

DRAWN BY: _____
 CHECKED: _____
 REV: _____
 REV: _____

DRAFTING SERVICES
 P.O. BOX 831, LEWISBURG, WEST VIRGINIA 25743
 PHONE: 304-525-6567



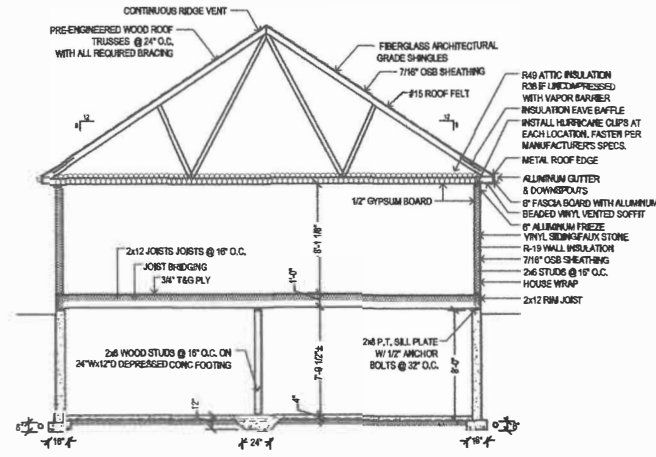
SHEET: **A-3**
 OF: 3
 DATE: 4-21-25

GENERAL NOTES.

1. CONTRACTOR SHALL BE RESPONSIBLE TO MEET ALL STATE AND LOCAL CODES REQUIRED.
2. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF ANY WORK.
3. GRADES SHOWN ARE APPROXIMATE ONLY. FIELD VERIFY CONDITIONS, ELEVATIONS & PROPERTY LINES AND SETBACKS PRIOR TO ANY WORK.
4. INSTALL (3) 2 x 10 WOOD HEADER WITH 7/16" OSB SHEATHING ABOVE ALL EXTERIOR WINDOW AND DOOR OPENINGS UNLESS NOTED OTHERWISE.
5. COORDINATE FINAL KITCHEN LAYOUT WITH OWNER PRIOR TO ANY TYPE OF CONSTRUCTION OR FABRICATION.
6. OWNER SHALL BE RESPONSIBLE TO SELECT ALL FINAL COLORS AND FINISHES.
7. PROVIDE ACCESS PANEL/DOOR WITH FRAME TO ALL ATTIC SPACES.
8. INSTALL EXTERIOR AIR INFILTRATION BARRIER (HOUSE WRAP) ON ALL EXTERIOR WALLS AS REQUIRED.
9. CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ANY ADDITIONAL FRAMING, BEAMS, POSTS AND HEADERS NOT SHOWN FOR A STRUCTURAL SOUND BUILDING AS REQUIRED.

10. ALL PRE-ENGINEERED WOOD TRUSSES AND LVL'S SHALL BE CERTIFIED BY THE MANUFACTURER BY A REGISTERED ENGINEER IN THE STATE OF WEST VIRGINIA.
11. TRUSS MANUFACTURER SHALL SUPPLY ALL TRUSSES FOR A COMPLETE ROOF STRUCTURE, PROVIDE GIRDER TRUSSES, OFFSET VAULTS, AND SCISSORS TRUSSES AS REQUIRED.
12. CONTRACTOR SHALL PROVIDE ALL REQUIRED FLASHINGS, CAULKS, SEALANTS, WEEP HOLES AND EXPANSION JOINTS FOR A WATER TIGHT STRUCTURE.
13. EVERY EFFORT HAS BEEN MADE TO SATISFY THE CURRENT IBC CODES AND JEFFERSON COUNTY WV AMENDED BUILDING CODES. YOU MAY BE RESPONSIBLE TO MAKE REVISIONS AS REQUIRED TO ADEQUATELY SATISFY YOUR LOCAL BUILDING CODES AS WELL AS ANY COVENANT RESTRICTIONS ON YOUR PROPERTY.
14. PROVIDE R-10 RIGID INSULATION WHERE CONCRETE FLOOR AT GRADE AND AROUND ALL AREAWAYS.
15. SIZE, LOCATION AND QUANTITY OF DOORS, WINDOWS AND VENTS IN BASEMENT AND CRAWL SPACES ARE TO BE DETERMINED ON JOBSITE TO ACCOMMODATE PRE-EXISTING CONDITIONS SUCH AS ROCK AND TO ALLOW FOR PROPER UTILITY PLACEMENT. UNLESS NOTED OTHERWISE.

16. ELEVATIONS SHOW GENERIC DOOR DESIGNS, WINDOW GRID LAYOUTS, ETC. SCALE OF YOUR PLANS MAY NOT ALLOW FOR DETAIL OF ALL ITEMS SUCH AS: PORCH POSTS, SPINDLES, BRICK PATTERNS, SHUTTER STYLES, ETC. OWNER IS RESPONSIBLE TO SPECIFY ALL ITEMS WITH CONTRACTOR / BUILDER.
17. MIN CONCRETE COMPRESSIVE STRENGTH IS 2500 FOR FOOTINGS, POURED FOUNDATION WALLS AND SLABS MIN COMPRESSIVE STRENGTH IS 3000
18. REFER TO TRUSS/LVL/JOIST SUPPLIERS DRAWINGS FOR LAYOUTS, SPACING AND SIZING OF TRUSSES, FLOOR JOISTS AND LVL'S.
19. THE ASSUMED UNDISTURBED SOIL COMPACTION RATING 3500 AND FOOTINGS WILL BE A MINIMUM OF 16"±".
20. WILL PREVENT DAMAGE TO STREET, REMOVE ANY MUD/SOIL DAILY. INSPECT E&S STRUCTURES WEEKLY AND AFTER ANY RAINFALL.
21. PROVIDE R-10 SLAB INSULATION IN AREAS WHERE ELEVATION IS LESS THAN 12" BELOW FINAL GRADE.
22. PROVIDE #4 REBAR @ 32" O.C. IN FOUNDATION WALL WHERE BACKFILL EXCEEDS 6'-0" OF 8'-0" WALL.
23. WINDOW SIZES SHOWN ARE USING SIMONTON WINDOW NOMENCLATURE. OWNER/CONTRACTOR TO SUPPLY SPEC SHEETS WITH U-VALUES AND REQUIRED EGRESS OPENINGS ARE MET.

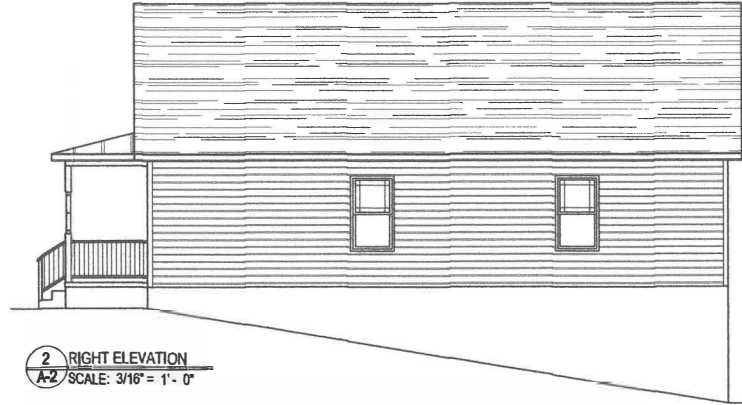
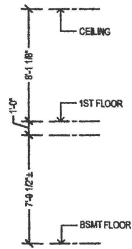


A HOUSE SECTION
 A-3 SCALE: 3/16" = 1' - 0"

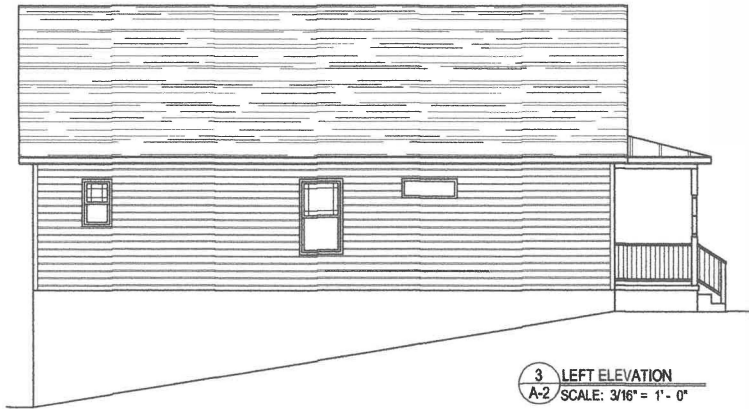
DUE TO VARIATIONS WITH ANY PRINTING DEVICE, HUMIDITY AND PAPER SHRINKAGE, NOT AVAILBLE TO SCALE DRAWINGS, REFER TO PRINTED DIMENSIONS
 1/4" = 1'-0"



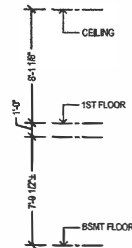
1 FRONT ELEVATION
A-2 SCALE: 3/16" = 1' - 0"



2 RIGHT ELEVATION
A-2 SCALE: 3/16" = 1' - 0"



3 LEFT ELEVATION
A-2 SCALE: 3/16" = 1' - 0"



4 REAR ELEVATION
A-2 SCALE: 3/16" = 1' - 0"

DUE TO VARIATIONS WITH ANY
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DWR BY:
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SHEET:
A-2
OF: 3
DATE: 4-21-25