

SHEPHERDSTOWN PLANNING COMMISSION AGENDA

REGULAR MEETING AND PUBLIC HEARING

Monday, November 17, 2025

6:00 p.m.

TOWN HALL

104 NORTH KING STREET, SHEPHERDSTOWN

Zoom

<https://us06web.zoom.us/j/86067120451?pwd=fWNLscmYpiOmof8PknIig4oZKNXa8i.1>

1. Call to Order:

2. Approval of Previous Months' Minutes:

- a. October 20, 2025, Meeting

3. Visitors:

4. Conflicts of Interest:

5. Applications:

- a. **25-18** 101 Ray Street

Install a six-foot fence around the property except for the front of the property that has an existing fence.

- b. **25-32** 205 North Duke Street

Construction of a six-foot privacy fence for protection of private pool from deer intrusion and to restrict accidental access to children.

- c. **25-33** 213 West High Street

Construction of six-foot board fence, addition of three gates for existing picket fence, and addition of black wire to existing fence.

- d. **25-34** 48 Shepherd Village Circle

Remove old rails and replace with screened porch consistent with other screened porches in Shepherd Village.

- e. **25-35** 30 Shepherd Village Circle

Construct a screened porch consistent with other screened porches in Shepherd Village.

SHEPHERDSTOWN PLANNING COMMISSION AGENDA

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104 NORTH KING STREET, SHEPHERDSTOWN

- f. **25-36** 200 South Duke Street
Modification of the existing storm structures. Installation of a new underground storm network and minor grading activities.

6. Continuing Business:

- a. Updates to planning Commission Meeting Date

7. New Business:

8. Adjournment:

SHEPHERDSTOWN PLANNING COMMISSION MINUTES
REGULAR MEETING AND PUBLIC HEARING

Monday, October 20, 2025
6:00 p.m.
TOWN HALL
104 NORTH KING STREET, SHEPHERDSTOWN

1. Call to Order: 6:00 pm

Commissioners Present:

Linus Bicker, Lauren Chapalee, James Gatz (Mayor), Ebonee Helmick , Madge Morningstar (Virtual), Rebecca Parmesano

Commissioners Absent:

None

2. Approval of Previous Months' Minutes:

a. September 5, 2025, Special Meeting Minutes

Motion to approve September 5, 2025 Special Meeting Minutes: Rebecca Parmesano/ 2nd Lauren Chapalee/ All Aye

b. September 15, 2025, Meeting Minutes

Motion to approve September 15, 2025 Meeting Minutes Linus Bicker/ 2nd James Gatz / All Aye

3. Visitors:

Jim Auxer

4. Conflicts of Interest:

None

5. Staff Report

a. Staff input forms included in Agenda Packet

6. Applications:

a. 25-26-B - 118 East German Street

Application for a Sign Permit. New sign for Slow Down Barbershop & Lounge to be installed on current hardware that held the previous business sign.

SHEPHERDSTOWN PLANNING COMMISSION MINUTES
REGULAR MEETING AND PUBLIC HEARING

Monday, October 20, 2025
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TOWN HALL
104 NORTH KING STREET, SHEPHERDSTOWN

Motion to approve application 25-26-B: James Gatz/ 2nd: Linus Bicker/ No
Discussion/ All Aye

b. 25-27 – East Washington Street

Application for a Sign Permit. Request to locate a Town Run Watershed sign on East Washington Street across the street from Jefferson Security Bank (JSB) between parking lot and post office next to Town Run.

No action was taken on this application as applicant requested to withdraw the application.

c. 25-28 – East German Street

Application for a Sign Permit. Request to Locate a Town Run Watershed sign on East German Street across from the historic Reform Church.

Motion to approve application 25-28: Linus Bicker / 2nd: Lauren Chapalee

Discussion: James Gatz voiced concerns that the sign was large. Committee members agreed the sign's size was allowable per Title 9 – Section 210.

Vote: 5 - Aye/ 1- Nay (James Gatz)

d. 25-29 - 217 South Duke Street

Application for a Sign Permit. – New business sign for Poke Around Tattoo to be located by the front door of the business in the same place as the previous business sign was located.

Motion to approve application 25-29: Linus Bicker / 2nd: Rebecca Parmesano / No
Discussion/ All Aye

e. 25-30 – 320 West High Street

Fence Project – Extending current fencing located at 320 West High Street to encompass the entire pre-school playground. Sample provided.

Motion to approve application 25-30 James Gatz/ 2nd: Lauren Chapalee/ No
Discussion/ All Aye

SHEPHERDSTOWN PLANNING COMMISSION MINUTES
REGULAR MEETING AND PUBLIC HEARING

Monday, October 20, 2025
6:00 p.m.
TOWN HALL
104 NORTH KING STREET, SHEPHERDSTOWN

7. Continuing Business:

a. 110 College Street – BZA Approved variances.

Motion to approve application 25-12 with lot size and residence square footage variances from the Board of Zoning of Appeals: James Gatz/ 2nd Linus Bicker/ No Discussion/ All Aye

b. Review of Shepherdstown Title 9 Ordinance

The Planning Commission discussed potential updates to the Title 9 Ordinance to address:

- Usability (plain language, navigation, public summaries, concision)
- Approval Processes
- Compliance & Authority
- Substance updates regarding:
 - ADU – accessory dwelling units
 - PUD – Planned Urban Developments

Linus Bicker will draft a scope of work proposal to present to the Town Council. It is possible the updates may be addressed through a current RFP requesting bids from firms specializing in recodification.

8. New Business:

a. Amendment to Town Zoning Ordinance to comply with State Statute

Motion to amend Title 9 Section 104 to reflect updates to West Virginia Code § 8A-2-3, regarding residency requirements for planning commission members: Rebecca Parmesano/2nd James Gatz/ No Discussion/All Aye

9. Adjournment:

Motion to adjourn meeting at 6:55 pm: James Gatz/ 2nd Linus Bicker

Corporation of Shepherdstown
Staff Input Form
For the Historic Landmarks and Planning Commissions

1. Applicant Name and Number: Eric Citron 25-18

2. Project Address: 101 Ray Street

3. Project Description: Install of a six-foot fence surrounding the property except for the front of the property that already has an existing fence.

4. Issues Identified: None

5. Staff Analysis and Recommended Action:

This fence permit request conforms with Title 9 - Section 9-803(II)(a) and (III)(a)(b) and (VI).

Approval recommended.

Fences require an HLC recommendation to approve or deny this request by the Planning Commission.

6. To Be Reviewed By ☒ Historic Landmarks Commission

☐ Planning Commission

Completed By: _____ Gino E. Sisco_____

Date: _____09/04/2025_____

Approved By: _____

Date: _____



Historic Landmarks Commission's Application for Certificate of Appropriateness

Application # 25-18

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

This application is required for any modification of structures within the Shepherdstown Historic District. The purpose of this application is to protect the integrity of the exterior architectural features of structures in the designated Historic District. Reference [this map](#) to see if you live within the Historic District. A review of this application shall be approved or rejected by the Historic Landmarks Commission (HLC). For projects modifying structural square footage, an approved Certificate of Appropriateness is required prior to this being forwarded to the Planning Commission for their review for the issuance of a project permit. Project permits are only valid for one year from the date of issuance. [Please reference Title 9, Section-309](#)).

Applicant's name: Eric Citron
(Must be Property Owner)

Mailing address: 53 W Colonial Hwy, #4
Hamilton VA 20159
City State Zip

Telephone: (301) 366 - 7378 **Email:** bobiesbh@gmail.com

Street address of proposed work: 101 Ray Street

Lot Number/Legal Description: _____
(if no address exists)

Current Zoning: _____ **Current Land Use:** _____

Note: Reference [this map](#) for zoning Classifications.

Description of Work:

Project Category: 1
(see descriptions on next page)

Contractor Performing the Work: Gramajo's Inc.

Contractor's Business License: 08279796

A copy of the contractor's Shepherdstown business license or license application MUST be attached.



Historic Landmarks Commission's Application for Certificate of Appropriateness

Application # 25-18

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Check all the areas that apply:

Category I- Minor Projects such as awnings, porch railings, window boxes, satellite dishes, solar panels, signs, fences, non-permanent storage sheds and other minor changes.

☒ PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

☒ MATERIAL AND COLOR SAMPLES for exterior finishes

Category II- Driveways, decks, carports, porch enclosures and window, roof, or siding replacement.

Category III- New construction of and/or additions to residential, commercial, and industrial structures.

(Categories II and III):

☐ SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting.

☐ Gross & net land area of property

☐ Setback from property boundaries

☐ Existing & proposed topography (only if regrading of the property is required)

☐ Existing & proposed accessory structures.

☐ Existing & proposed street right-of-way & entrance

☐ Sidewalk, handicap access, Category IV only

☐ MATERIAL AND COLOR SAMPLES for exterior finishes

☐ ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements.

☐ ZONING INFORMATION shall be defined in the application as required:

☐ Dwelling density- net (residential application only)

☐ Flood plain designation if any (mapping available in Town Hall)

☐ Cost estimates and property appraisals for applications seeking exemptions from Chapter 12- Floodplain provisions.

Category IV- Demolitions or Relocation of a Structure:

☐ Historic designation of structures to be demolished (documents available in Town Hall)

☐ Complete description of structure(s) or part(s) of structure(s) to be demolished.

☐ At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.

All Categories:

☐ . Copy of general contractor's Shepherdstown business license or license application.



Historic Landmarks Commission's Application for Certificate of Appropriateness

Application # 25-18

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Remedies and penalties

The owner or agent of a building or premises in or upon which a violation of any provision of the Planning and Zoning Title has been committed or shall exist, or the leasee or tenant of an entire building or entire premise in or upon which violation has been committed or shall exist, or the agent, architect, building contractor or any other person who commits, takes part or assists in any violation or who maintains any building or premises in or upon which such violation shall exist, shall be guilty of a misdemeanor and shall be punished by a fine not to exceed one hundred (100) dollars. Each and every day that such violation continues may constitute a separate offense. Reference Title 9-905.

Please read the following paragraph carefully and sign.

Attach documents specified in the checklist of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time to determine compliance with the Commission's approval. **I UNDERSTAND THAT MY PRESENCE AT THE ASSIGNED APPLICATION REVIEW MEETING IS REQUIRED.** Application must be signed by owner or his/her agent.

Date: 14 July 2025

Signature: E. F. Citron
(Owner)

Print Name: Eric F. Citron

For Office Use:

Zoning Officer Comments

Fee Paid

Date Paid



Historic Landmarks Commission's Application for Certificate of Appropriateness

Application # 25-18

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application Fees

Please check all boxes that may apply. Reference Section 9-902 of Chapter 8 paragraph XIV for more information. Application fees due upon submittal. Fees should be payable to the Town Treasurer/Clerk and must accompany the application. **If work begins without the required permit, double the cost of said permit will be applied.**

✓	<p><u>Category I:</u></p> <p>\$50.00 - Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p>
	<p><u>Category II:</u></p> <p>\$100.00 - Window replacement, roof replacement, siding replacement, porch enclosure, driveways, carports, and decks.</p>
	<p><u>Category III:</u></p> <p>\$300 + \$0.50 per sq ft - New construction of and/or additions to residential, commercial, and industrial structures.</p> <p>\$50 + \$0.10 per sq ft - New construction of garages & other accessory buildings (permanently attached to the ground).</p>
	<p><u>Category IV:</u></p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ul style="list-style-type: none"> Reason for the demolition/relocation (including historic documentation). Describe the structure's condition in detail. Describe the proposed reuse of the site, including full drawings of new structure & landscaping. Evidence of relevant funding or financial concerns. Timeframe for project <p>\$50.00 - Accessory Buildings \$150.00 - Non-Contributing Structures (< 50 years old) \$500.00 - Contributing Structures (≥ 50 years old)</p>
	<p>\$15 – Certificate of Appropriateness Fee</p>



Application for Project Permit

Application # 25-18

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

This application is required for projects within the corporate limits of Shepherdstown (both in and out of the Historic District), that involve modifications to structural square footage. Examples include decks, porches, driveways, carports, accessory structures, and new construction of and/or additions to residential, commercial, and industrial structures. A review of the application shall be approved or rejected by the Planning Commission. If approved, the project permit is valid for one year from the date of issuance. [Please reference Title 9, Section-902](#).

Applicant's Name: Eric Citron
(Must be Property Owner)

Mailing Address: 53 W Colonial Hwy, #4

Hamilton

City

VA

State

20159

Zip

Telephone: (301) 366 - 7378 **Email** bobiesbh@gmail.com

Street Address of Proposed Work: 101 Ray Street

Current Zoning: R-1 **Current Land Use:** Residential

Note: Reference [this map](#) for zoning Classifications.

Description of Work:

A six foot fence will be installed surrounding the property following the plat.
There is currently a fence at the front of the property which will stay in place.

Project Category: 1
(see descriptions on next page)

Contractor Performing the Work: Gramajo's Inc.

Contractor's Business License: 08279796

A copy of the contractor's Shepherdstown business license or license application MUST be attached.



Application for Project Permit

Application # 25-18

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Check all the areas that apply:

Category I- Minor Projects such as awnings, porch railings, window boxes, satellite dishes, solar panels, signs, fences, non-permanent storage sheds and other minor changes.

☒ PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

☒ MATERIAL AND COLOR SAMPLES for exterior finishes

Category II- Driveways, decks, carports, porch enclosures and window, roof, or siding replacement.

Category III- New construction of and/or additions to residential, commercial, and industrial structures.

(Categories II and III):

☐ SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting.

☐ Gross & net land area of property

☐ Setback from property boundaries

☐ Existing & proposed topography (only if regrading of the property is required)

☐ Existing & proposed accessory structures.

☐ Existing & proposed street right-of-way & entrance

☐ Sidewalk, handicap access, Category IV only

☐ MATERIAL AND COLOR SAMPLES for exterior finishes

☐ ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements.

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☐ Dwelling density- net (residential application only)

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☐ Historic designation of structures to be demolished (documents available in Town Hall)

☐ Complete description of structure(s) or part(s) of structure(s) to be demolished.

☐ At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.

All Categories:

☐ Copy of general contractor's Shepherdstown business license or license application.

Please reference [Title 9](#) of Town Ordinance for specifics

Please contact Andy Beall with any questions. (304) 876-6858 • abeall@shepherdstown.gov



Application for Project Permit

Application # 25-18

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Remedies and penalties

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Please read the following paragraph carefully and sign.

Attach documents specified in the checklist of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time to determine compliance with the Commission's approval. **I UNDERSTAND THAT MY PRESENCE AT THE ASSIGNED APPLICATION REVIEW MEETING IS REQUIRED.** Application must be signed by owner or his/her agent.

Date: 14 July 2025

Signature: E. F. Citron
(Owner)

Print Name: Eric F. Citron

For Office Use:

Permit Number: _____

Zoning Officer Comments:

Fee Paid \$ 65.00
-Credit Card
Date Paid 7/16/25



Application for Project Permit

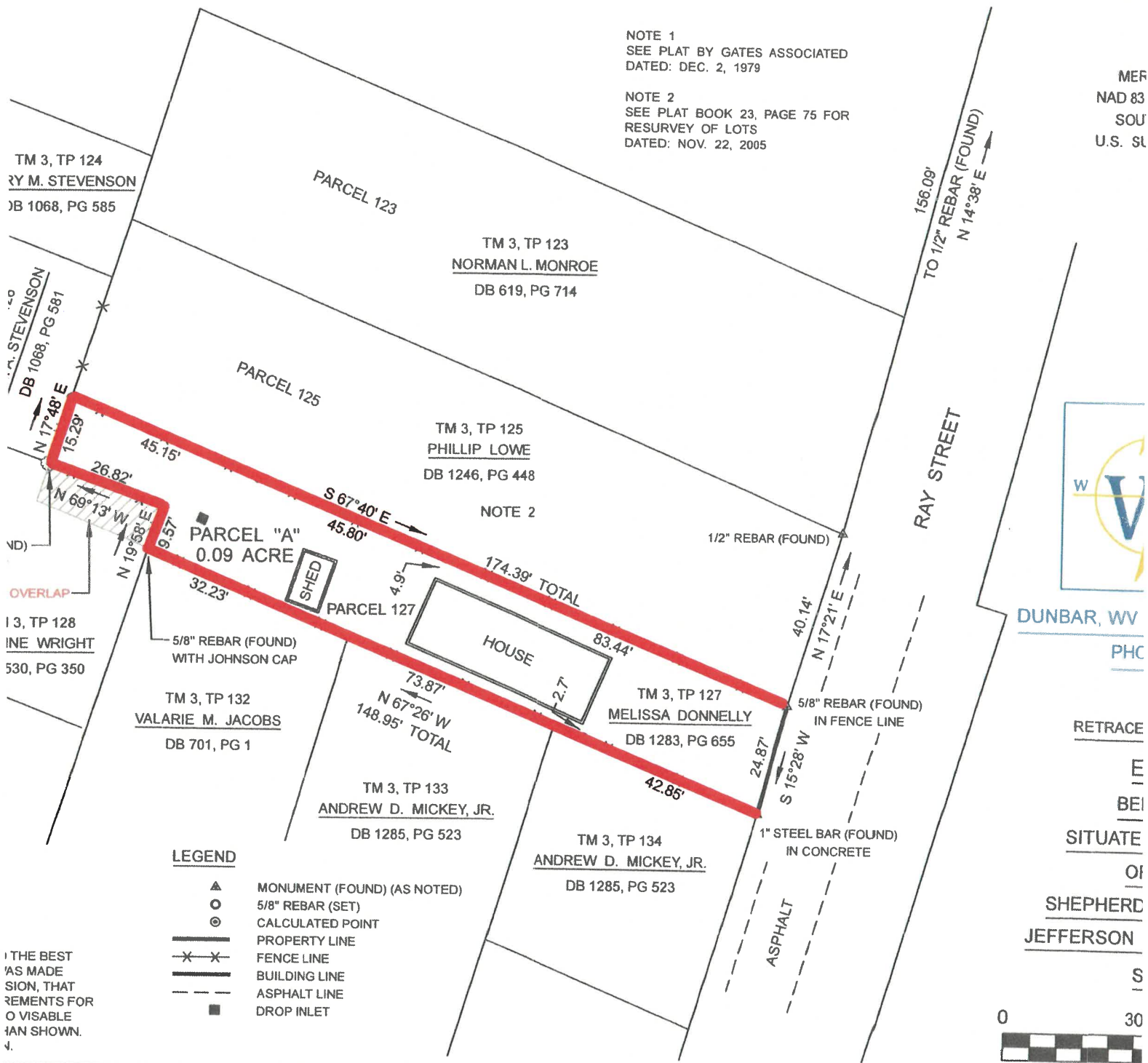
Application # 25-18

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application Fees

Please check all boxes that may apply. Reference Section 9-902 of Chapter 8 paragraph XIV for more information. Application fees due upon submittal. Fees should be payable to the Town Treasurer/Clerk and must accompany the application. **If work begins without the required permit, double the cost of said permit will be applied.**

✓	<p><u>Category I:</u></p> <p>\$50.00 - Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p>
	<p><u>Category II:</u></p> <p>\$100.00 - Window replacement, roof replacement, siding replacement, porch enclosure, driveways, carports, and decks.</p>
	<p><u>Category III:</u></p> <p>\$300 + \$0.50 per sq ft - New construction of and/or additions to residential, commercial, and industrial structures.</p> <p>\$50 + \$0.10 per sq ft - New construction of garages & other accessory buildings (permanently attached to the ground).</p>
	<p><u>Category IV:</u></p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ul style="list-style-type: none">• Reason for the demolition/relocation (including historic documentation).• Describe the structure's condition in detail.• Describe the proposed reuse of the site, including full drawings of new structure & landscaping.• Evidence of relevant funding or financial concerns.• Timeframe for project <p>\$50.00 - Accessory Buildings \$150.00 - Non-Contributing Structures (< 50 years old) \$500.00 - Contributing Structures (≥ 50 years old)</p>



MC Fence And Deck*"Family Owned. Professionally Operated"*

MHIC # 147913

28 S Wisner Street Frederick, MD 21701

www.MCFenceAndDeck.com Phone: (240) 559-4315

FENCE AGREEMENT

Date: 21-May-2025

100% Financing
Available

BUYER'S NAME: ERIC CITRON

STREET: 101 RAY STREET

CITY: SHEPHERDSTOWN

ST: WV

ZIP: 25443

PHONE: 301-366-7378

CELL: 617-821-6006

E-MAIL: CHRIS@OPSTRLLC.COM ECITRON@GMAIL.COM

M.C. Fence and Deck LLC Proposes to Furnish and Install:

☒ Fence ☐ Permit needed? ☐ Yes ☒ No

Type: PTP WOOD

Style: FLATBOARD 1X6 W/ CAP BOARD

Approximate Ln. Ft.: 375'

Height: 6FT

Post Size: 4X4 Gate Post Size: NA

Post Cap: BL ACK Gate Post Cap: NA

Posts to be set 24"-30" depth or to refusal
and drypacked with concrete

Fence to have 3 Horizontal Runners

Fence to have 1X6 Boards or Pickets

Board or Picket Spacing to be PRIVACY

Fence Top to be ☒ Flat ☐ Arched ☐ Dip

Fence to have 1X4 Cap Board

Fence to have NA Fascia on finished side

Finished side of fence to face ☐ In ☒ OutFence to contour with ☒ Grade ☐ Or ☐ Step and Level**Gates**

Single Gate(s): Qty H W

Qty H W

Style: ☐ Arch ☐ Dip ☒ Flat

Double Gate(s): Qty H W

Qty H 0 W 0

Style: ☐ Arch ☐ Dip ☒ Flat

Removal 52' feet of existing fence

Haul Away 52' feet of existing fence

Clearing of fence line 0 feet

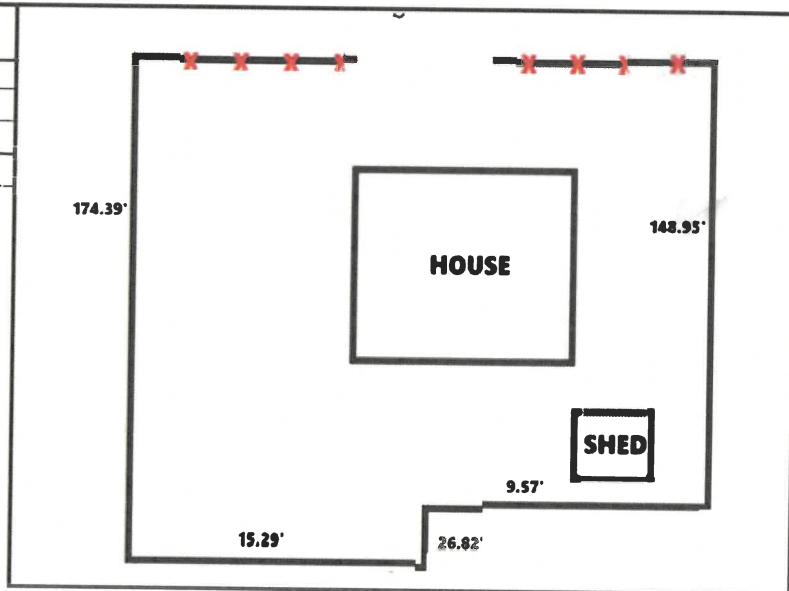
Notes: ** REMOVE EXISTING 10 METAL OLD LINE POSTS + 52' OF CHAIN LINK IN REAR AND HAUL

**INSTALL 375' OF PTP 1X6 FLATBOARD PRIVACY FENCING AROUND REMAINING PROPERTY 6FT TALL

**SET ALL POSTS 24-30" DEEP IN CONCRETE

ALL DISCOUNTS APPLIED *\$35 per hole charge may apply for any "hard digging" (ex. Solid rock/rubble)*

Total Price	
Deposit with Order	
Progress Payment	
Due on Completion	

Financing Options Available12 Months No Interest= OR
60 Months at Est. \$ per Month
(with Approved Credit)

Work to Begin 3-4 WEEKS Estimated Completion Date SAMEDAY

This projection is contingent upon obtaining approved financing, permits, H.O.A. and other conditions beyond Seller's control.

Estimate valid for 30 days for purpose of acceptance by the buyer. A 3.5% surcharge may be added to the total for Credit Card Payment

Buyer agrees to pay for the goods, services and installation referred to above in accordance with the terms of this Agreement.

Buyer acknowledges that before Buyer signed this Agreement, Seller submitted the Agreement to Buyer with all blank spaces filled in and that Buyer had a reasonable opportunity to examine it and that thereafter a legible executed and completed copy thereof was delivered to Buyer. Buyer has read and understands both the front and reverse side of this Agreement, and agrees to the terms and conditions as set forth herein.

(Representative's Signature) 21-May-2025ANDREW CAROGLANIAN
(Representative's Printed Name) 21-May-2025
Date

Buyers (Signature) _____ Date _____

Approved By MC Fence (Signature) _____ Date _____

BUYER'S RIGHT TO CANCEL: If this Agreement was solicited at a residence and you do not want the goods or service, you, the Buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction.

DISTRIBUTION: WHITE: Office Copy - YELLOW: Customer's Copy

WE ACCEPT

Corporation of Shepherdstown
Staff Input Form
For the Historic Landmarks and Planning Commissions

1. Applicant Name and Number: Robert Keller 25-32

2. Project Address: 205 North Duke Street

3. Project Description: Construction of a six-foot privacy fence for protection of private pool from deer intrusion and to restrict accidental access to children.

4. Issues Identified: None

5. Staff Analysis and Recommended Action:

This fence permit request conforms with Title 9 - Section 9-803(II)(a) and (III)(a)(b) and (VI). This property is located within the Historic District.

Approval recommended.

Fences require an HLC recommendation to approve or deny this request by the Planning Commission.

6. To Be Reviewed By ☒ Historic Landmarks Commission

☐ Planning Commission

Completed By: _____ Gino E. Sisco_____

Date: _____ 10/29/2025_____

Approved By: _____

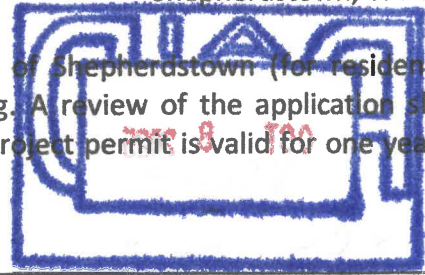
Date: _____



2832

Application for Fence Permit

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443



This application is required for fencing within the corporate limits of Shepherdstown (for residents and businesses), that involve the construction or modification to fencing. A review of the application shall be approved or rejected by the Planning Commission. If approved, the project permit is valid for one year from the date of issuance. Please reference Title 9, Section-803.

Applicant's Name: ROBERT KELLER
(Must be Property Owner)

Street Address of Proposed Fence: 205 N. DUKE ST.

Mailing Address: 205 N. DUKE ST.
SHEPHERDSTOWN WV 25443
City State Zip

Telephone: 304-839-5915 Email LOCKYMARSH@GMAIL.COM

Description of Work: CONSTRUCTION OF A 6ft PRIVACY FENCE FOR PROTECTION FROM DEER INTRUSION AND ACCIDENTAL ACCESS BY CHILDREN OR OTHERS

Cost Estimate: \$8275.00

Contractor Performing the Work: McCORMICK FENCE

Contractor's Business License: 304-606-676-3283 2181.02

A copy of the contractor's Shepherdstown business license or license application MUST be attached.

Project Category I - provide the following:

PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

MATERIAL AND COLOR SAMPLES for exterior finishes NATURAL WOOD

SITE PLAN is required. See sample site plan (link to diagram) Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting.

Approx 20' Setback from property boundaries

Date: 10/6/2025

Signature: Robert L Keller
(Applicant)

Print Name: ROBERT L. KELLER

Plot Plan revised 2022.dwg

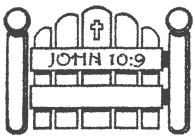


AUTODESK

CONSTRUCTION
SITE
SEE DETAILED
VIEW

ACCURATE DWG TAKEN FROM PLOT SURVEY





McCormick's Fence
129 McCormick Lane
Martinsburg, WV 25404
mccormicksfence@yahoo.com

304-267-4787

JOB ESTIMATE

PHONE

(304) 839-5915

DATE

Sept 13, 2025

JOB NAME/LOCATION

9:00 AM

TO Bob Keller
205 North Duke St
Shepherdstown WV

B DESCRIPTION:

175' - 6" wood Privacy All material Treated

1 - 6" X 4" Walk Gate

2 - 6" X 6" DIB Gates

6 6" X 6" X 9' GATE POST

20 - 4" X 4" X 9' Line-End-Corner Post

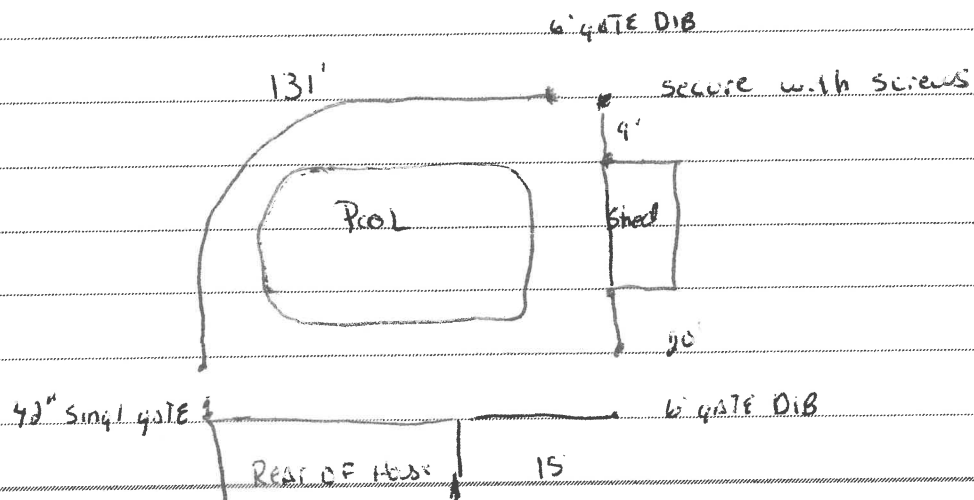
All POST TO HAVE BLACK CAPS

All POST SET IN CONCRETE

Privacy material - Timber # 8275.00

Barrel & Batten material - Timber # 9130.00

DUE UPON COMPLETION



THIS ESTIMATE IS FOR COMPLETING THE JOB AS DESCRIBED ABOVE.
IS BASED ON OUR EVALUATION AND DOES NOT INCLUDE MATERIAL
PRICE INCREASES OR ADDITIONAL LABOR AND MATERIALS WHICH
MAY BE REQUIRED SHOULD UNFORESEEN PROBLEMS OR ADVERSE
WEATHER CONDITIONS ARISE AFTER THE WORK HAS STARTED.

ESTIMATED
JOB COST

ESTIMATED
BY

R. McCormick

Discussion of Fence Purpose and Construction Details

The main purposes for the fence are:

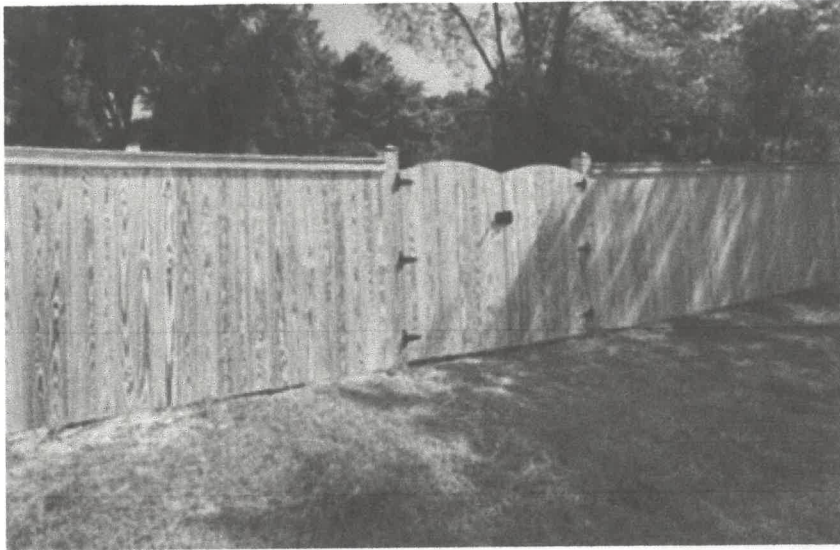
- 1) Prevention of accidental intrusion by neighboring children.
- 2) Prevention of continued destruction of pool covers by deer.
- 3) Privacy issues brought on by the adjacent Stadium and University walkway.

A 6ft high wooden fence will solve all 3 problems listed above. It will block access to children and deer for safety and eliminate the privacy issue caused by existing sight distance from the Stadium and Walkway next door.

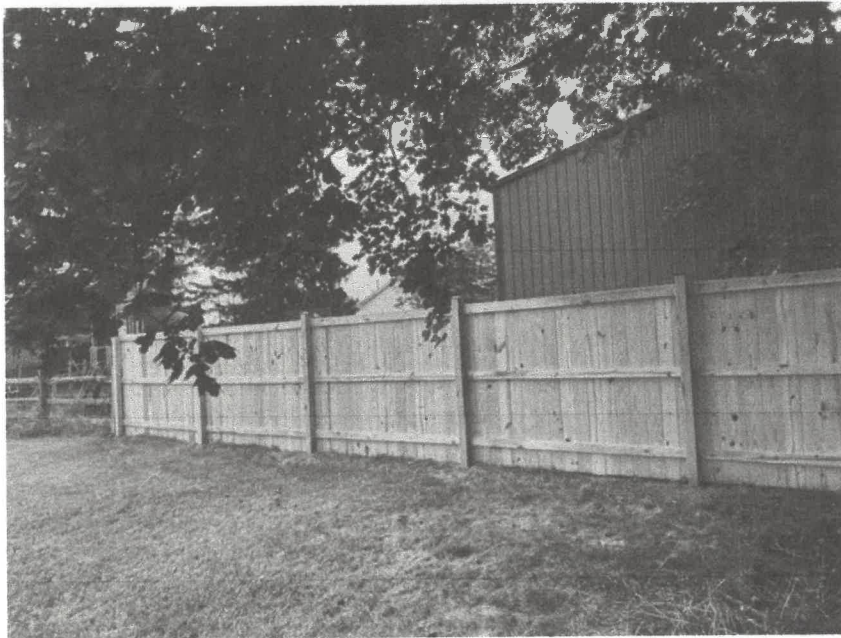
The fence is intended to block access to the pool located in the back yard of Wingert Cottage located at 205 N Duke St. The fence will not be visible from Duke Street and will be shielded by shrubbery from the adjacent university and other properties. At no place will it be closer than about 20 ft to the nearest property line.

It is to consist of vertical salt cured wooden boards nailed to cross members between 4 inch posts set in concrete. The fence will have an attractive top cap with matching cross trim to give it a finished look. The fence is to be all natural wood. Running posts are to be 4 inches and gate posts 6 inches capped by plastic caps. The gates will have a pleasing rounded top. The front side of the fence is intended to face the pool. The back side which differs only by 3 cross members, will face the University property but will be mostly hidden by existing plantings and shrubbery.

Please see the attached photos.



ALL NATURAL
SALT CURED
WOOD FINISH
FRONT



REAR

SAMPLE BOARD AVAILABLE
IF NEEDED 6'X5"X $\frac{3}{4}$ "

VIEWS OF 3 SIDES WHERE FENCE
GOES



AT ENTRANCE BESIDE
SHED FACING
EAST

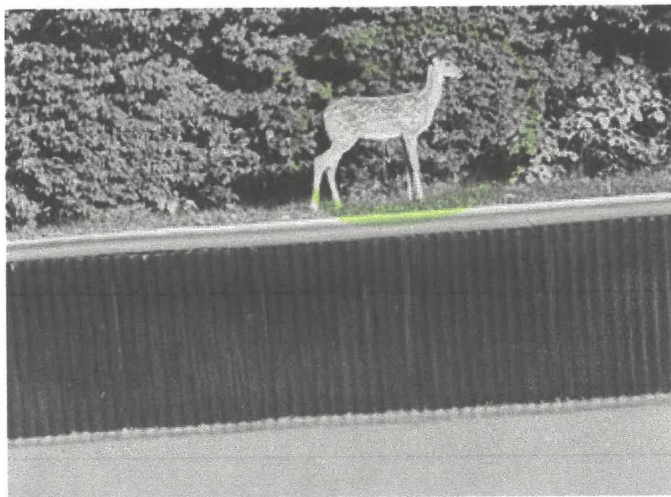
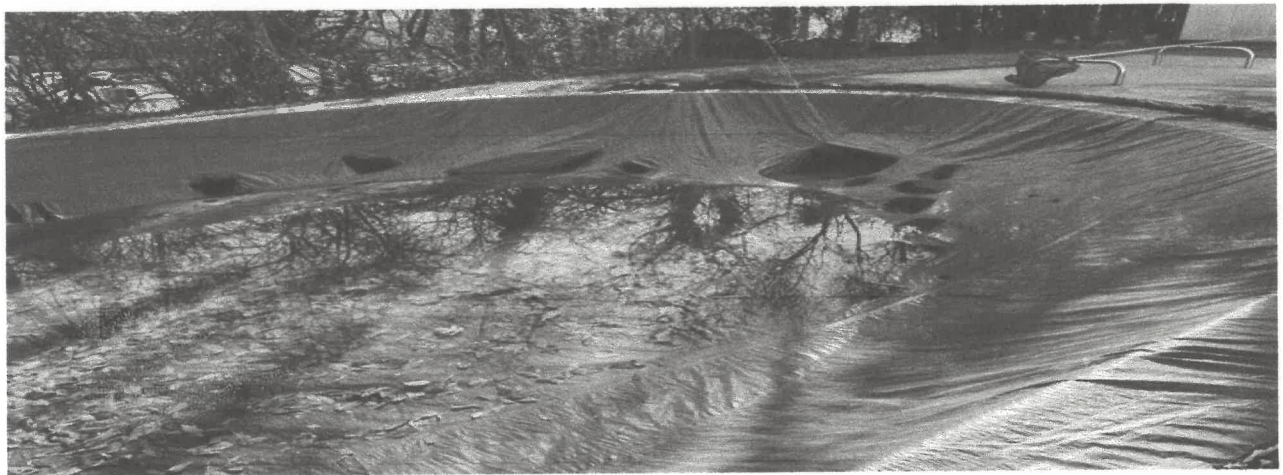
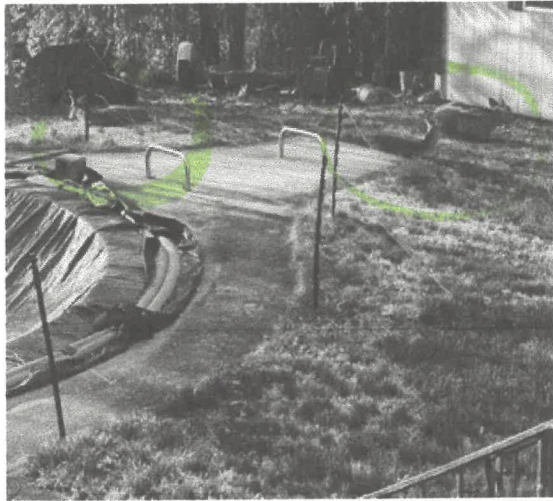


STANDING IN FRONT
OF SHED FACING
NORTH

NOTE ELECTRIC
FENCE IN ATTEMPT
TO PROTECT AGAINST
DEER



STANDING AT NORTH
END OF POOL LOOKING
SOUTH AT SHED



YEARLY DAMAGE TO POOL COVER
BY MULTIPLE DEER LIVING HERE
AND IN ADJACENT YARDS

Corporation of Shepherdstown
Staff Input Form
For the Historic Landmarks and Planning Commissions

1. Applicant Name and Number: Jack and Amy Childers 25-33

2. Project Address: 213 West High Street

3. Project Description: Construction of a six-foot board privacy fence around property perimeter.

4. Issues Identified: None

5. Staff Analysis and Recommended Action:

This fence permit request conforms with Title 9 - Section 9-803(II)(a) and (III)(a)(b) and (VI). This property is located within the Historic District.

Approval recommended.

Fences require an HLC recommendation to approve or deny this request by the Planning Commission.

6. To Be Reviewed By ☒ Historic Landmarks Commission

☐ Planning Commission

Completed By: _____ Gino E. Sisco_____

Date: _____ 10/29/2025_____

Approved By: _____

Date: _____



25-33

Application for Fence Permit

104 N King St

PO Box 248 (for mailing)
Shepherdstown, WV 25443

This application is required for fencing within the corporate limits of Shepherdstown (for residents and businesses), that involve the construction or modification to fencing. A review of the application shall be approved or rejected by the Planning Commission. If approved, the project permit is valid for one year from the date of issuance. Please reference Title 9, Section-803.

Applicant's Name: JACK CHILDERS + AMY CHILDERS
(Must be Property Owner)

Street Address of Proposed Fence: 213 W. HIGH ST.

Mailing Address: PO BOX 69
SHEPHERDSTOWN WV 25443
City State Zip

Telephone: 304 671 1356 **Email:** JACKCHILDERSLPC@ya.hoo.com

Description of Work: See attached list

Cost Estimate: \$15,285.10

Contractor Performing the Work: LEON FENCE

Contractor's Business License: ATTACHED

A copy of the contractor's Shepherdstown business license or license application MUST be attached.

Project Category I - provide the following:

☒ PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

☐ MATERIAL AND COLOR SAMPLES for exterior finishes

☒ SITE PLAN is required. See sample site plan (link to diagram) Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting.

☐ Setback from property boundaries

Date: 10/14/25

Signature: [Signature]
(Applicant)

Print Name: JACK CHILDERS.

Childers Application for Fence Permit

Description of work

1. Addition of six foot board fence. See Exhibit A for style of fence. See exhibits B. and C. for fence placement. Fence to extend from corners B-C-D-E-F-G. Corner G is at the end of the existing picket fence.
2. Addition of three gates to complete existing front picket fence. See Exhibit B for gate placement. Gates to be built to originally planned design as shown in Exhibit D.
3. Addition of black wire to existing 3-board fence. Placement is from corners A to B as shown in Exhibits B and C. See Exhibit E for picture of this fence.

Shepherdstown Fencing Regulations

Fencing regulations for Shepherdstown are covered in Section 9-803 of the planning and zoning ordinances.

Section 9-803(I)a. stresses that an acceptable purpose of fencing is “for the provision of security for both public and private safety.” This is a significant reason for the request of the six-foot fence along Duke Street. The property owners have experienced trespassing onto the property from Duke Street. This is a security risk to the owners. As well, the owners have a 23-foot tall arial apparatus in the yard, which would be hazardous were passersby to access via Duke Street and engage with. A six foot fence along Duke Street would mitigate both of these safety risks.

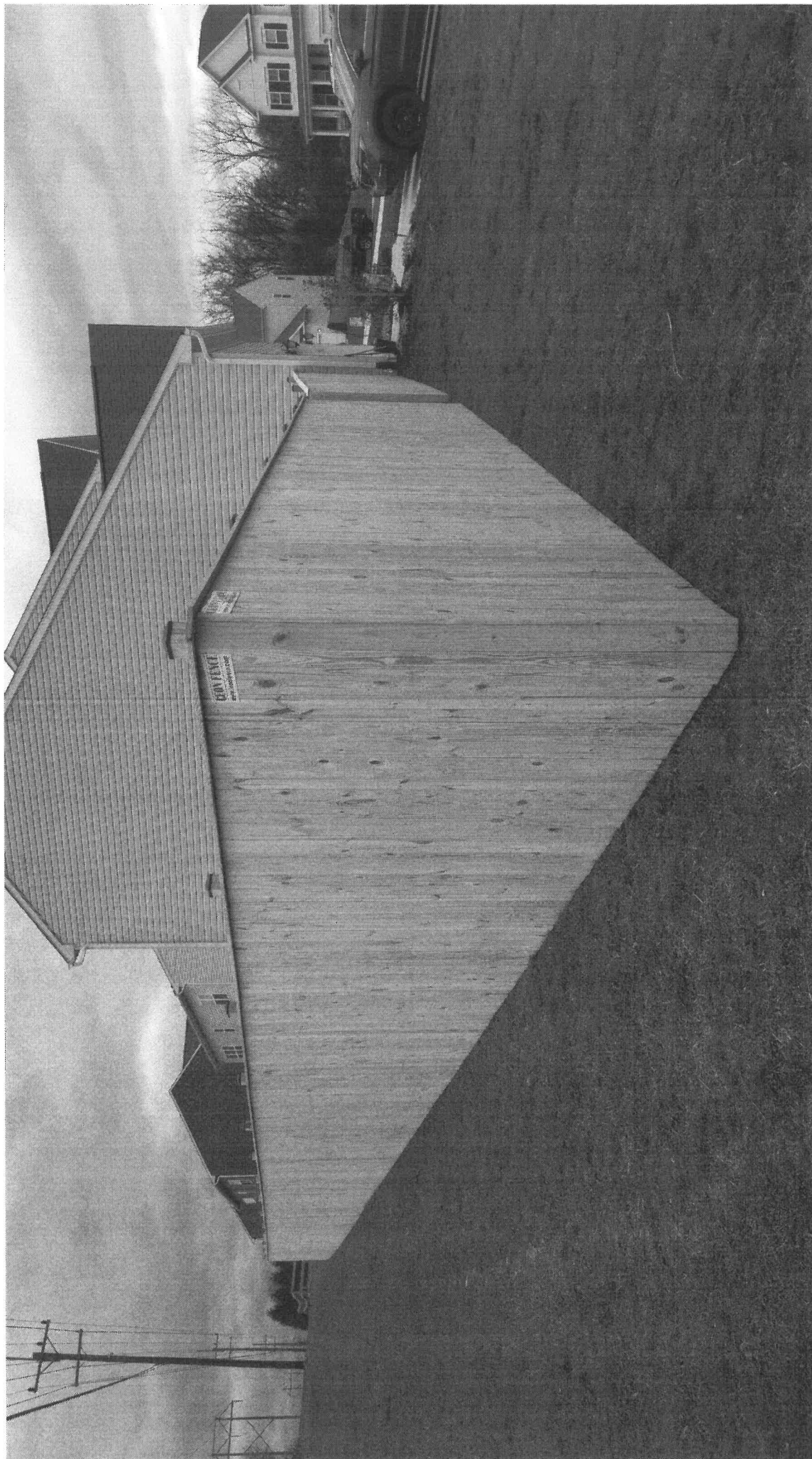
Section 9-803(I)b asserts that a rationale for fencing is to “achieve a measure of privacy.” A six foot fence along Duke Street is also desired to screen out the very busy and loud traffic on Duke Street.

Section 9-803(I)c describes fencing regulations as serving the purpose of affording “views into historic properties for everyone passing on a public way.” The owner’s fencing proposal would in no way impact this. Passersby on High Street will continue to have unobstructed views of the house and grounds over the 3 1/2 foot picket fence along the entire 209 foot length of the High Street frontage.

The owners wish to note that the property consists of two lots, the one being the lot the house is located on, and the other, along Duke Street, being a vacant lot. The property owners are, in fact, NOT proposing any fencing at all along the western boundary of the building lot.

All of the diagrams shown in Section 9-803(VI) outlining fencing regulations for various lot configurations show lots with houses on them. There does not appear to be fencing regulations that apply to vacant lots.

EXHIBIT A



Sales Rep Catalino

**Leon Fence
Deck, & Patios**
www.leonfence.com
202-409-1949
Fence Estimate Sheet

Valid for 14 days

Hassle Free
No Third Parties

Family owned & operated

Licensed & Insured
WV060574

Name: Jack Childers

Date: 9-18-2025

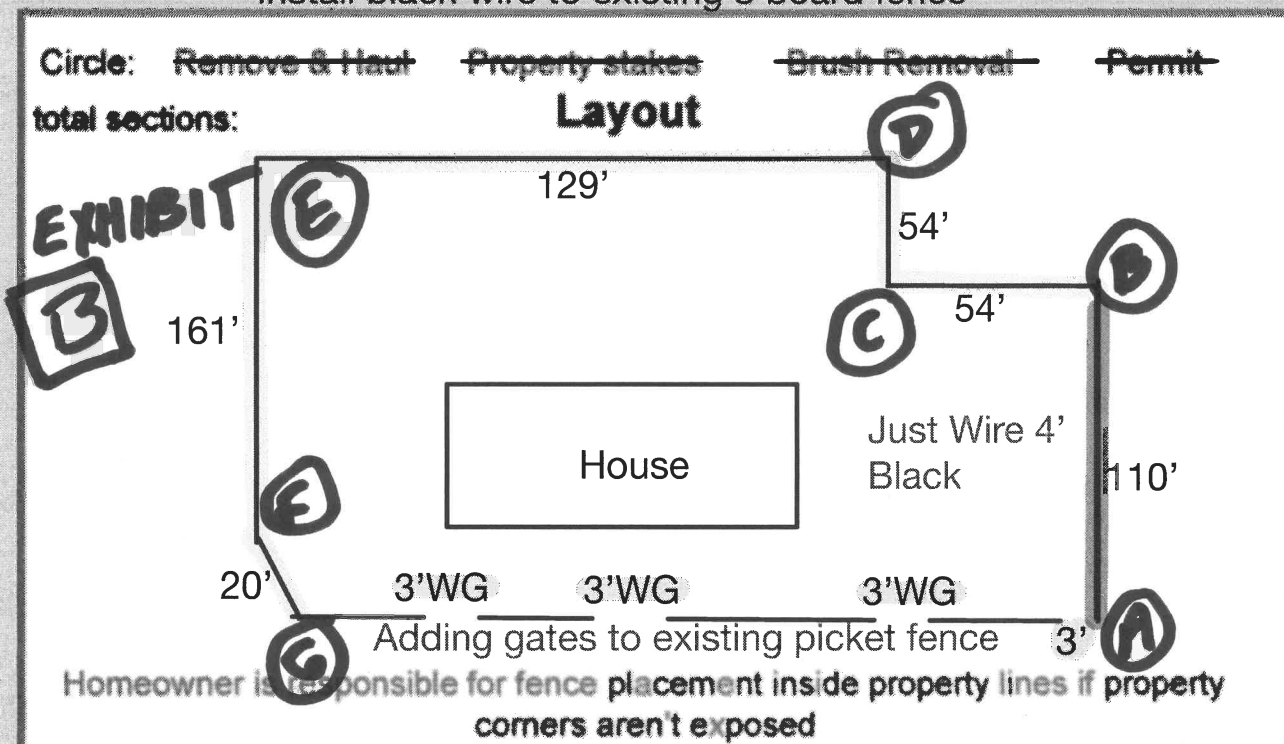
Address: 213 West. High Street

Phone #: 304-671-1356

City, State: Sheperdstown, WV 25443

Email: Jackchilderslpc@yahoo.com

Extra Notes: Customer to clear bushes from fence line ~ 183.
Install (3) 3' Wide Gates on existing fence
Install black wire to existing 3 board fence



Notes: Leon Fence is responsible for getting public utilities marked, however customer is responsible for any damage on unmarked private utilities (well lines, pool pipes, electric lines, sewage lines, sprinklers, etc) Leon Fence is not responsible for yard damage or driveway marks. All fences to have a 1 year LABOR warranty ONLY!

Option 1

Material: Wood PT

Height: 6' 3'

Style: 1x4 PT Privacy/ Space Picket

Concrete per post: 80lbs

Total Footage: 418' / 12' / 110'

Investment Total:

Option 2

Material:

Height:

Style:

Concrete per post:

Total Footage:

Investment Total:

Estimated start date: 4-6 Weeks

8 % CASH discount available
5 % military discount available
18 month financing available

Accepted by Customer:

Date:

WEST VIRGINIA ROUTE 480
N. DUKE STREET - R/W VARIES
N 24°06'34" E 173.00'

TM 1 P 9
10
DB 905 PG 286

EXHIBIT
C

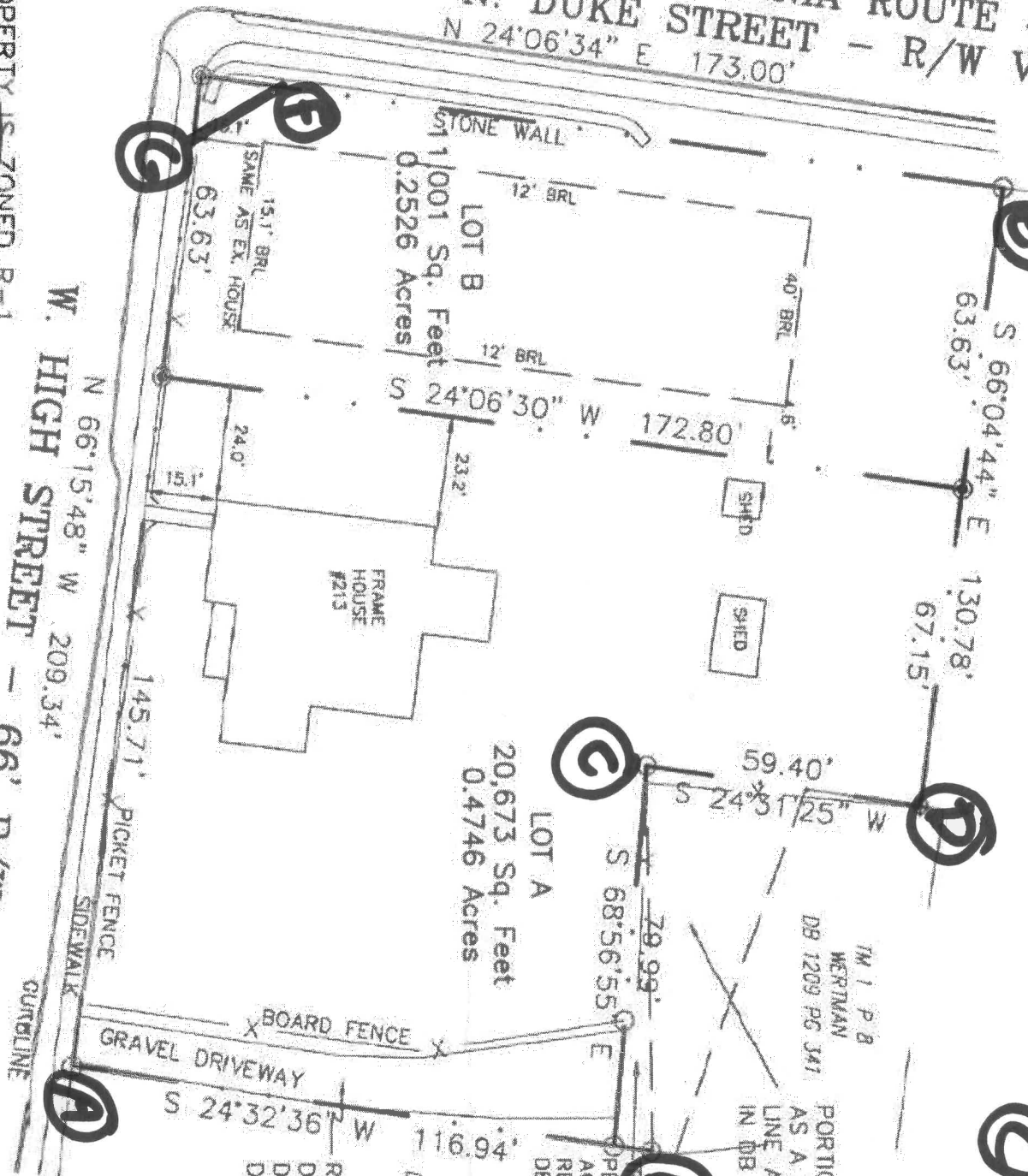
TM 1 P 8
MERTMAN
DB 1209 PG 341

PORION CONVEYED
AS A BOUNDARY
LINE ADJUSTMENT
IN DB 846 PG 438

TRIANGULAR AREA
OPER. MEDIATION
AGREEMENT. PLAT
RECORDED IN
DB 969 AT PG 10

TM 1 P 11
BROWN
DB 628 PG 320

RIGHT-OF-WAY
DB 234 PG 508
DB 387 PG 458
DB 420 PG 676



N 66°15'48" W 209.34'
W. HIGH STREET - 66' R/W

PROPERTY IS ZONED R-1
PROPOSED LOT LINE IN A FLOOD HAZARD AREA
PER 6/27/00041, EFFECTIVE 12/18/2009.

brigh MLS
FINAL PLAT OF SUBDIVISION
LOT A & LOT B

EXHIBIT 3: ELEVATION

NOT TO SCALE

CREDIT:

WALLACE/MOTIVANS

MOTIVANS/WALLACE
9.5.17

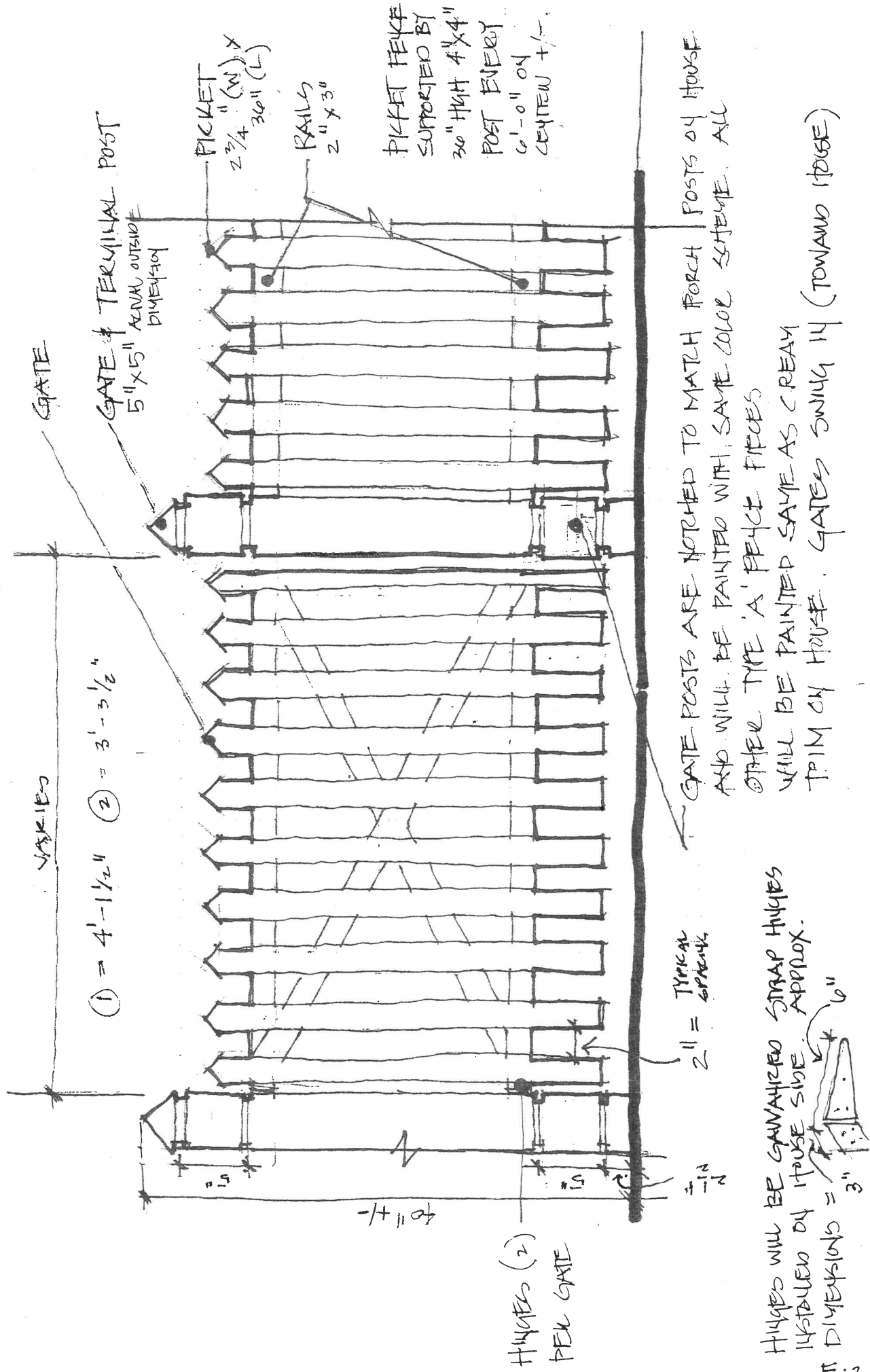




EXHIBIT ⑦



CONTRACTOR LICENSE

AUTHORIZED BY THE
West Virginia Contractor
Licensing Board

NUMBER: WV060574

CLASSIFICATION:

SPECIALTY
LANDSCAPING
FENCING
DECKS

LEON ENTERPRISES LLC
DBA LEON FENCE
196 CAMPAIGN LANE
HEDGESVILLE, WV 25427

DATE ISSUED

MAY 12, 2025

EXPIRATION DATE

MAY 12, 2026

Authorized Signature

Chair, West Virginia Contractor
Licensing Board



A copy of this license must be readily available for inspection by the Board on every job site where contracting work is being performed. This license number must appear in all advertisements, on all bid submissions, and on all fully executed and binding contracts. This license is non-transferable. This license is being issued under the provisions of West Virginia Code, Chapter 30, Article 42.



Business License Application

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Please complete this application for a municipal Business License for Shepherdstown. Licenses renew annually in July. The certificate you will receive needs to be displayed along with other licenses. Notice: A business license will not be renewed/issued if you are in violation of any Town ordinance or have outstanding accounts (i.e. utility bills, parking tickets, building permits). Reference fee schedule for amount due and to the Municipal sales tax.

Legal name of business & DBA: Leon Enterprises LLC DBA Leon Fence
Type of business: Construction

Type of ownership?

☐ Sole Proprietor ☐ S-Corporation
☐ LLC ☐ Cooperative
☒ Limited Liability Corp (LLC) ☐ Nonprofit Corp
☐ Corporation ☐ Other _____

Business street address: 196 Campaign Lane

Mailing address: _____
(Business)

Hedgesville WV 25427
City State Zip

Telephone: 202-409-1949 **Email:** leonfence@gmail.com
(Business)

Business owner's name: Francisco Leon

Mailing address: 196 Campaign Lane
(Owner's)

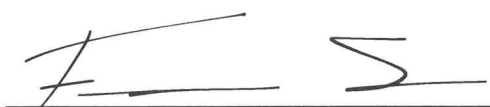
Hedgesville WV 25427
City State Zip

Telephone: 202-409-1949 **Email:** leonfence@gmail.com
(Owner's)

Please indicate those that apply and include a copy of the current license/permit:

☒ WV contractor/trade license: # _____
☐ WV state business license: # _____
☐ Jeff County Health Dept permit: # _____
☐ WVABC license: # _____

Date: 10/06/2025

Signature: 

Fee paid: _____

Corporation of Shepherdstown

Staff Input Form

For the Historic Landmarks and Planning Commissions

1. Applicant Name and Number: 25-34
2. Project Address: 48 Shepherd Village Circle
3. Project Description: Remove old rails on doorway and replace with screened porch consistent with other porches in Shepherd Village
4. Issues Identified: No issues identified
5. Staff Analysis and Recommended Action: Approval. This is not an historic home and is outside of the historic district so there are no HLC considerations. It does not appear that the planned porch violates Title 9 Chapter 8 Section 9-802.
6. To Be Reviewed By _____ Historic Landmarks Commission
 __X__ Planning Commission

Completed By: _____ Gino E. Sisco_____

Date: _____ 11/12/2025_____

Approved By: _____

Date: _____



Application Number 25-34

Application for Certificate of Appropriateness & Project Permit

Corporation of Shepherdstown, West Virginia

Should you have any questions regarding this application, please contact:
Andy Beall (Phone 304-876-6858, E-Mail abeall@shepherdstown.us)

PLEASE PRINT OR TYPE CLEARLY

Applicant's Name: LYNN M. STREW (Abby)
(Must be Property Owner)

Mailing Address: 48 Shepherds Village Circle
Shepherdstown, WV 25443

Day Time Telephone Number: 571-442-6128

E-Mail Address: lynn.ebee@yahoo.com

Street Address of Proposed Work: same as above

Lot Number/Legal Description: Lot 50 unit B
(If no address exists)

Current Zoning: _____ Current Land Use: _____

Note: See zoning maps at Town Hall for correct zoning classification

Description of Work: remove old rails and replace

Build screen porch to spec.

Consistent with other screen porches at SV.

Cost Estimate: \$18,300 Project Category (Descriptions on Next Page): II

Contractor performing work: Tim's Contracting

Contractor's Business License #: WV0527601

A copy of the contractor's Shepherdstown business license or license application **MUST** be attached. The applicant is responsible for making sure all contractors working on this project have a Shepherdstown business license (which can be applied for at town hall). Work started without a business license could result in a stop work order on the project.



Application Number 28-34

Application for Project Permit
(Checklist of Required Information for Applications)

Provide information required for appropriate category of work. Staff will ensure completion of checklist material prior to applications' inclusion on meeting agenda.

Category I- Minor Projects such as awnings, porch railings, window boxes, satellite dishes, solar panels, signs, fences, non-permanent storage sheds and other minor changes.

_____ PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

_____ MATERIAL AND COLOR SAMPLES for exterior finishes

Category II- Driveways, decks, carports, porch enclosures and window, roof or siding replacement.

Category III- New construction of and/or additions to residential, commercial, and industrial structures.

Category IV- Demolition or Relocation of a Structure

(Categories II and III):

_____ SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting. (SAMPLE ATTACHED)

_____ Gross & net land area of property

_____ Setback from property boundaries

_____ Existing & proposed topography (only if regrading of the property is required)

_____ Existing & proposed accessory structures.

_____ Existing & proposed street right-of-way & entrance

_____ Sidewalk, handicap access, Category IV only

_____ MATERIAL AND COLOR SAMPLES for exterior finishes

_____ ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements

_____ ZONING INFORMATION shall be defined in the application as required:

_____ Dwelling density- net (residential application only)

_____ Flood plain designation if any (mapping available in Town Hall)

_____ Cost estimates and property appraisals for applications seeking exemptions from Chapter 12- Floodplain provisions

Category IV- Demolitions:

_____ Historic designation of structures to be demolished (documents available in Town Hall)

_____ Complete description of structure(s) or part(s) of structure(s) to be demolished.

_____ At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.



Application Number 28-34

Checklist of Required Information for Applications Continued

All Categories:

 Copy of general contractor's Shepherdstown business license or license application.

Section 9-905 Remedies and penalties

The owner or agent of a building or premises in or upon which a violation of any provision of the Planning and Zoning Title has been committed or shall exist, or the leasee or tenant of an entire building or entire premise in or upon which violation has been committed or shall exist, or the agent, architect, building contractor or any other person who commits, takes part or assists in any violation or who maintains any building or premises in or upon which such violation shall exist, shall be guilty of a misdemeanor and shall be punished by a fine not to exceed one hundred (100) dollars. Each and every day that such violation continues may constitute a separate offense.

Please read the following paragraph carefully and sign.

Attach documents specified in the checklist on the back of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time in order to determine compliance with the Commission's approval. **I understand that my presence at the assigned application review meeting is required.** Application must be signed by owner or his/her agent.

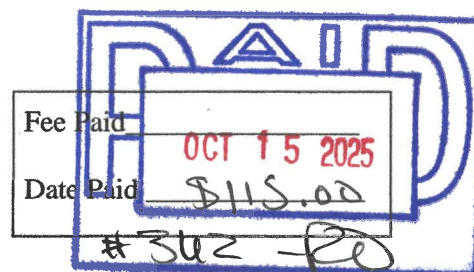
Date: 10/15/25

Owner's Signature: [Signature]

Print Name: LYNN M. STREU

Fees shall be paid to the Town Treasurer/Clerk and must accompany the application. If work begins without the required permit, double the cost of said permit will be applied.

Zoning Officer Comments:





Application Number 28 - 34

THE SHEPHERDSTOWN TOWN COUNCIL ORDAINS:

Section 9-902 of Chapter 8 paragraph XIV be amended as follows:

Please check all boxes that may apply (Application Fees Due Upon Submittal):

	<p><u>Category I:</u></p> <p>Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p> <p style="text-align: right;">\$50.00</p>
✓	<p><u>Category II:</u></p> <p>Window replacement, roof replacement, siding replacement, <u>porch enclosure</u>, driveways, carports, and decks.</p> <p style="text-align: right;">\$100.00</p>
	<p><u>Category III:</u></p> <p>New construction of and/or additions to residential, commercial, and industrial structures.</p> <p style="text-align: right;">\$300 + \$0.50 per sq. ft.</p> <p>New construction of garages & other accessory buildings (permanently attached to the ground).</p> <p style="text-align: right;">\$50 + \$0.10 per sq. ft.</p>
	<p><u>Category IV:</u></p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ol style="list-style-type: none"> 1. Reason for the demolition/relocation (including historic documentation). 2. Describe the structure's condition in detail. 3. Describe the proposed reuse of the site, including full drawings of new structure & landscaping. 4. Evidence of relevant funding or financial concerns. 5. Timeframe for project <p>\$50.00 Accessory Buildings \$150.00 Non-Contributing Structures (< 50 years old) \$500.00 Contributing Structures (≥ 50 years old)</p>
<p>Certificate of Appropriateness Advertisement Fee: \$15</p>	

Proposal

Tim's Contracting LLC
 Shepherdstown: 250-01 WV - WV052761

PROPOSAL SUBMITTED TO:

WORK TO BE PERFORMED AT:

PROPOSAL NO.

SHEET NO.

DATE

10/8/25

NAME Abby Streu	ADDRESS
ADDRESS 48 Shepherdville Cir Shepherdstown WV 25443	DATE OF PLANS
PHONE NO.	ARCHITECT

We hereby propose to furnish the materials and perform the labor necessary for the completion of

Remove railing and replace w/ Blk Alum.

Build screen porch to specs provided

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of

Dollars (\$18,218.92) with payments to be made as follows.

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted

Tim Weighman *Tim Weighman*

Per

Note — this proposal may be withdrawn by us if not accepted within _____ days.

ACCEPTANCE OF PROPOSAL

The above prices, specifications, and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Signature

Date

Signature

Receipt

Shepherds town licence renewal

Payment processed succesfully! Thank You for your Payment. Please print this receipt for your records. An email receipt will be sent if you have provided your email.

Your payment receipt.

Dear TIMS LLC,

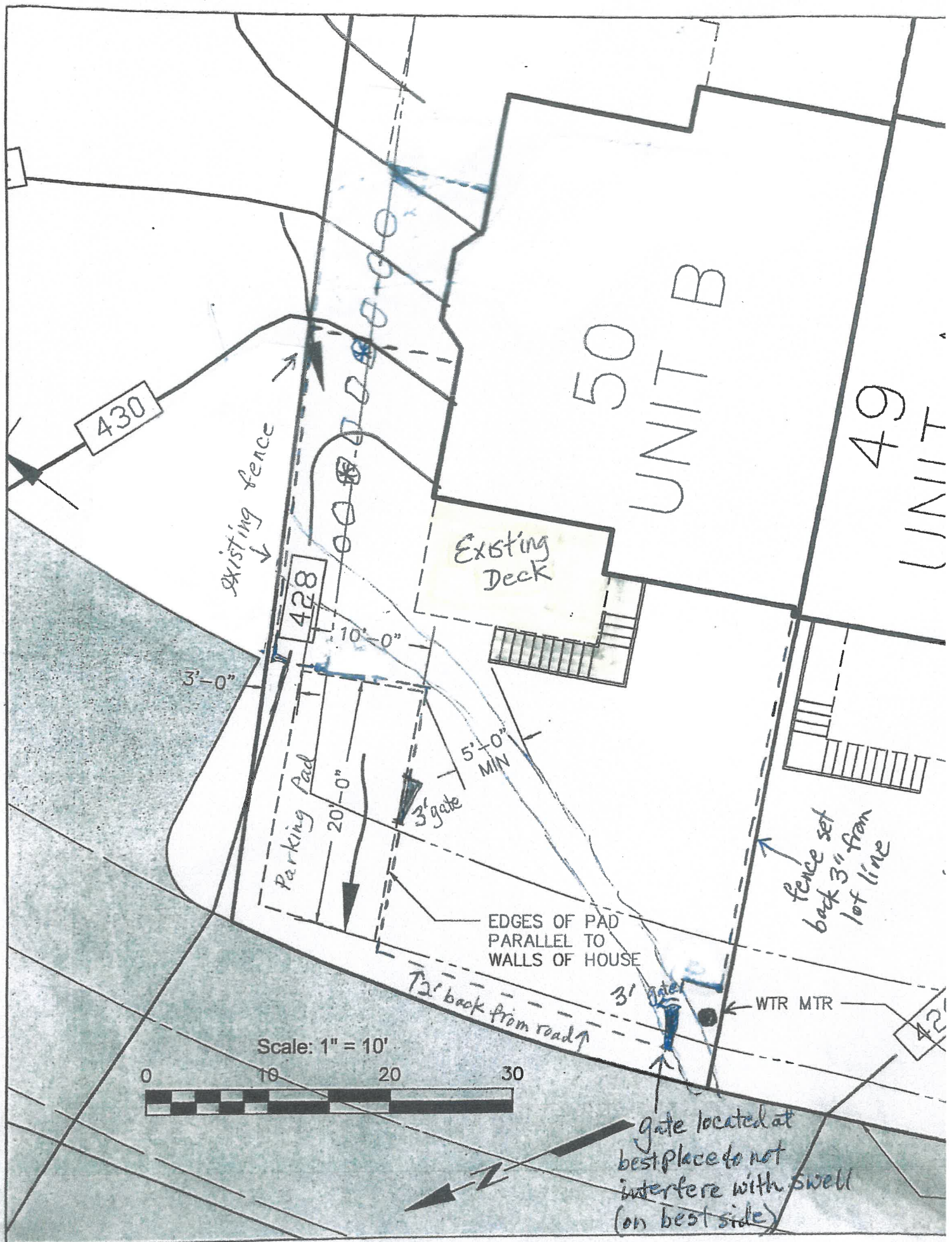
Thank You for your payment. Please click the close button to clear your cart and return to the main screen.

Payment Details

Account # : 00000000
Statement # : c3396d83-b0a5-4593-8328-9a9674fd6f60
Amount : 76.00

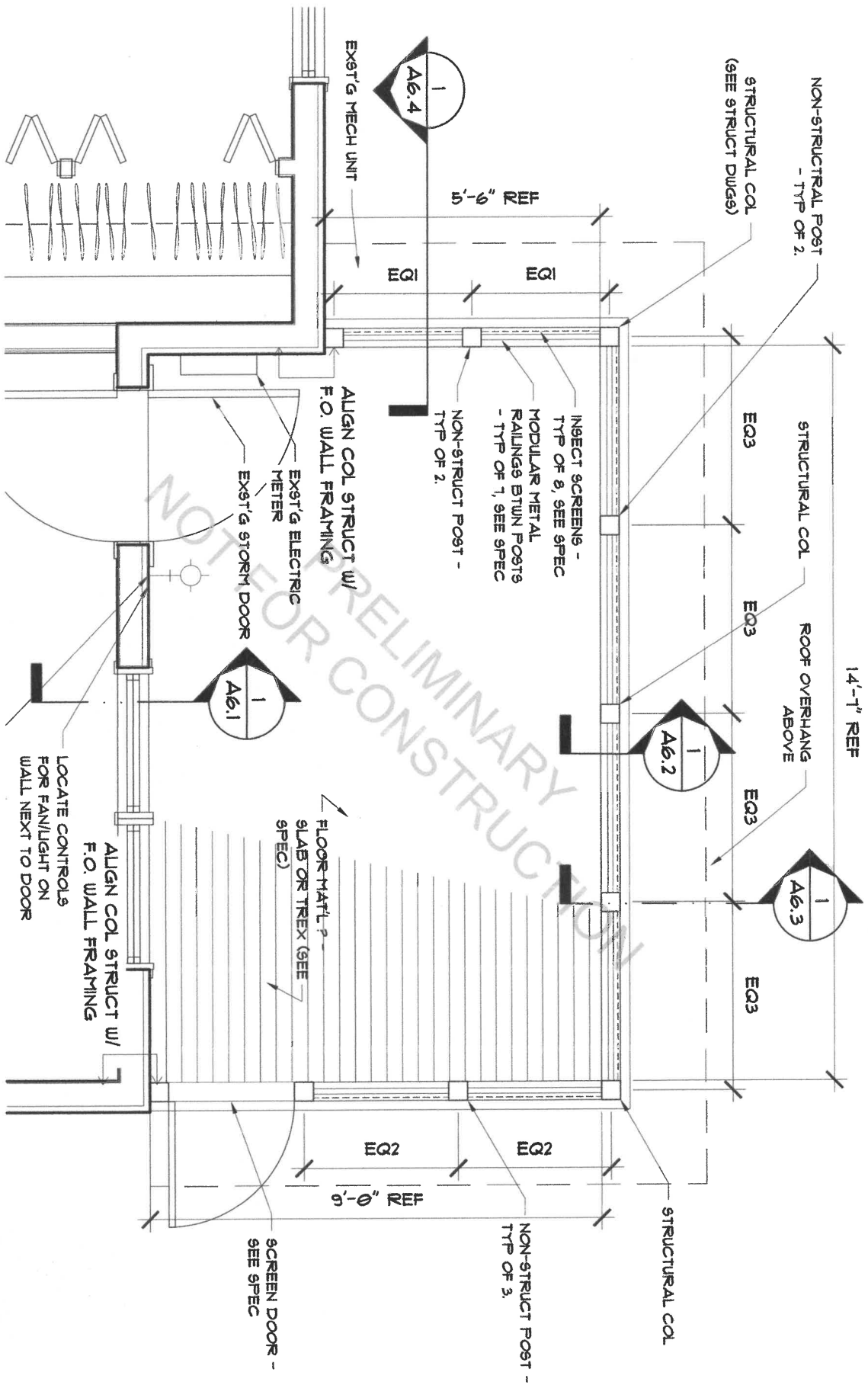
Transaction Amount : \$76.00
Processing Fee: \$2.95
Total Amount: \$78.95
Authorization Code: 7459194
Transaction Date: 10/8/2025 3:20:11 PM
Card Holder : TIMS LLC
Card : VISA ending with 8261

Please allow 2 - 3 business days for card payments to post to your account. Please contact Shepherdstown at if you need assistance or have any questions.



(*) Stepping Stones & Plantings to be added later (in fall)

B-UNIT DUPLEX BACK PORCH PROJECT - MPB - 7/18/2024



ADJUST DEPTH OF SIDE EAVE AS REQUIRED
TO AVOID EXISTING MECH EQUIP & VENTS

1'-6"

1'-5 3/4" REF

1'-5 3/4" REF

1'-6"

ALIGN END RAFTERS WITH F.O.
COLUMN - SEE ARCH DTL'S

4x4 P.T. COL (TYP OF 3) -
ALIGN W/ EDGE OF HOUSE
FRAMING

ADJUST COLUMN LOCATION
TO AVOID CONFLICT BETWEEN
NEW PORCH & EXIST'G MECH
EQUIPMENT.

ADD'L RAFTER NEXT TO WALL
AS NEEDED TO SECURE ROOF
SHEATHING

(2) 2x8 BEAM BELOW (NOT
SHOWN) - SEE ARCH DTL'S.
SUPPORTED @ HOUSE BY
HANGERS ATTACHED TO
WALL CORNER FRAMING.

EXIST'G
F.O. FRAMING

2x6 LEDGER - SEE ARCH DTL'S
- FASTEN TO WALL STUDS

EXIST'G HOUSE STRUCTURE
WALL FRAMING

2x6 BLOCKING BETWEEN RAFTER ENDS
(2) 2x8 CONTINUOUS BEAM
- SEE ARCH DTL'S.
SISTER 2x8s, FASTEN W/ SCREWS,
STAGGER JOINTS

ADJUST SPACING AS NEEDED FOR ALIGNMENT AS NOTED.

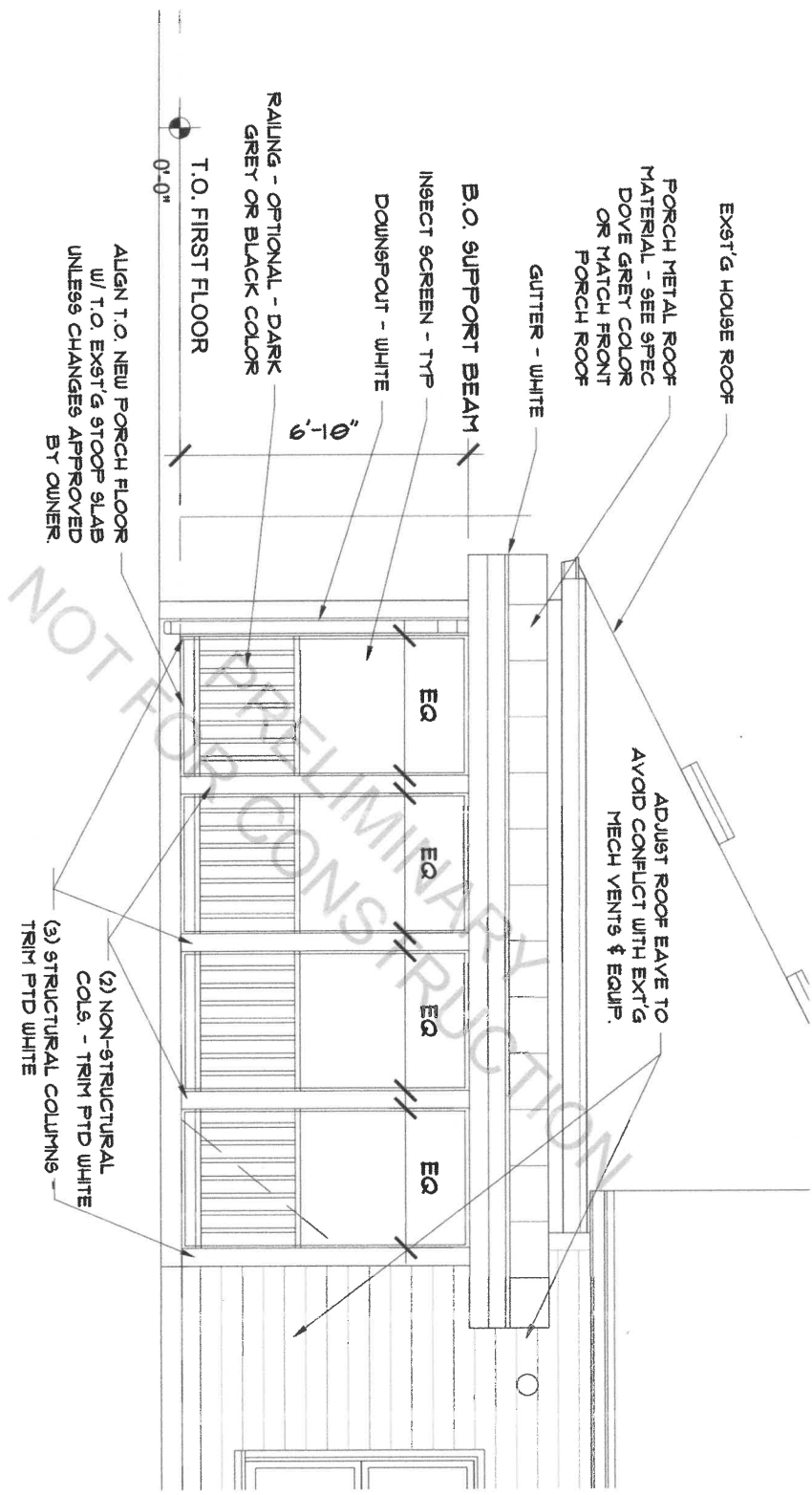
2x6 @ 16" O.C. -

9'-4"

1'-6"

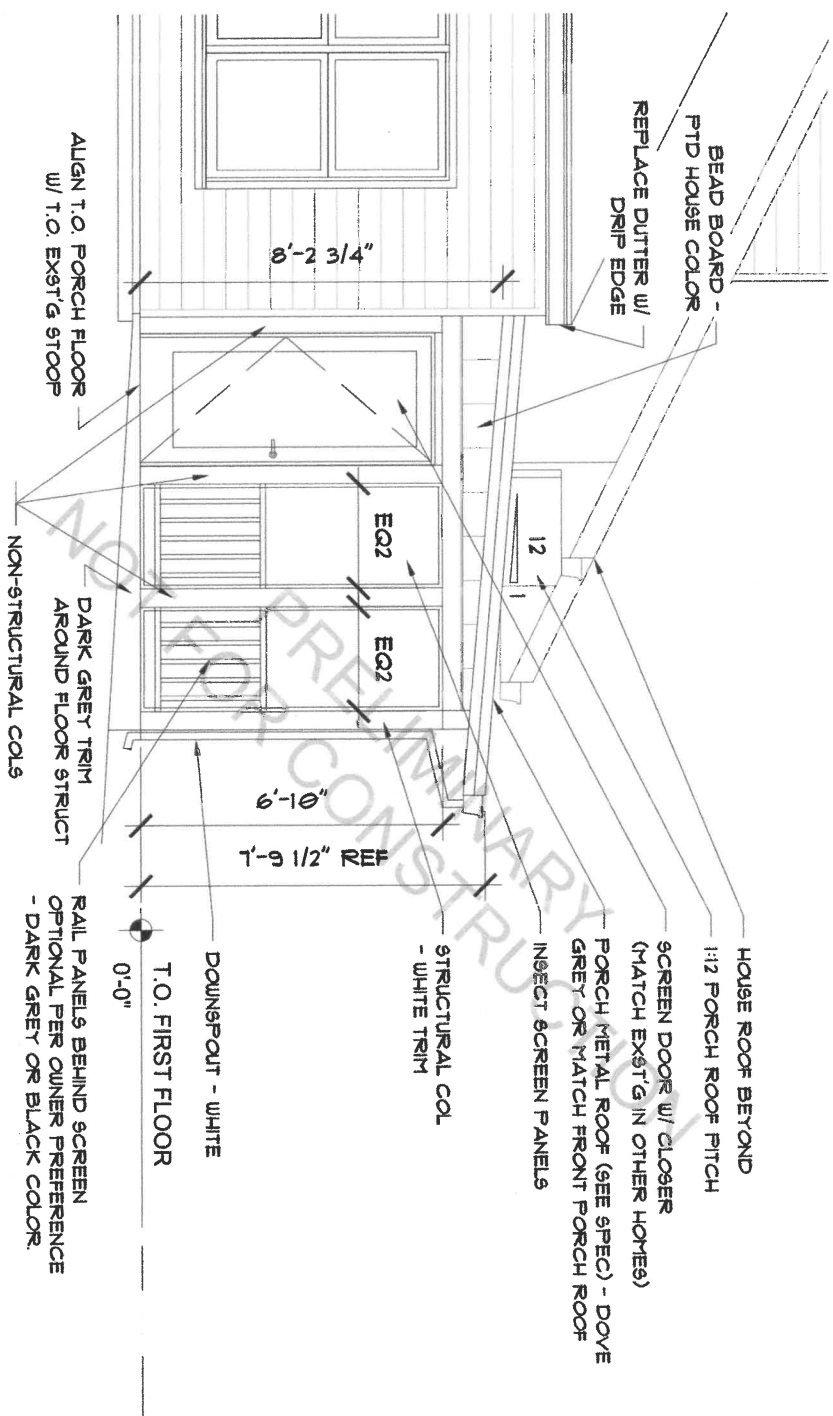
S1.1 - STRUCTURAL FRAMING PLAN - ROOF

B-UNIT DUPLEX PORCH - MPB - 4/1/2025

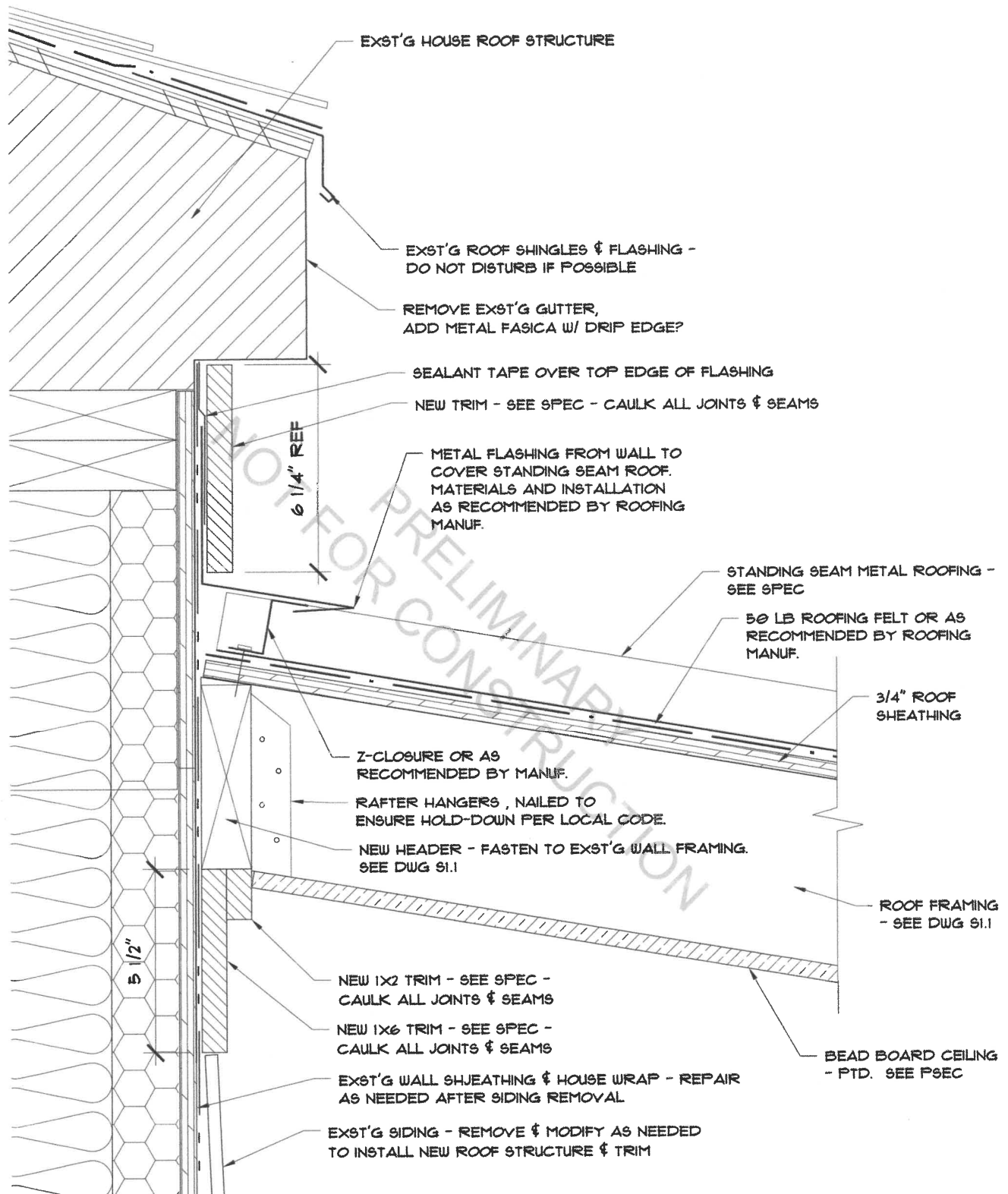


A2.1 - TERMIN BACK PORCH REAR ELEVATION

MPB - 4/1/2025

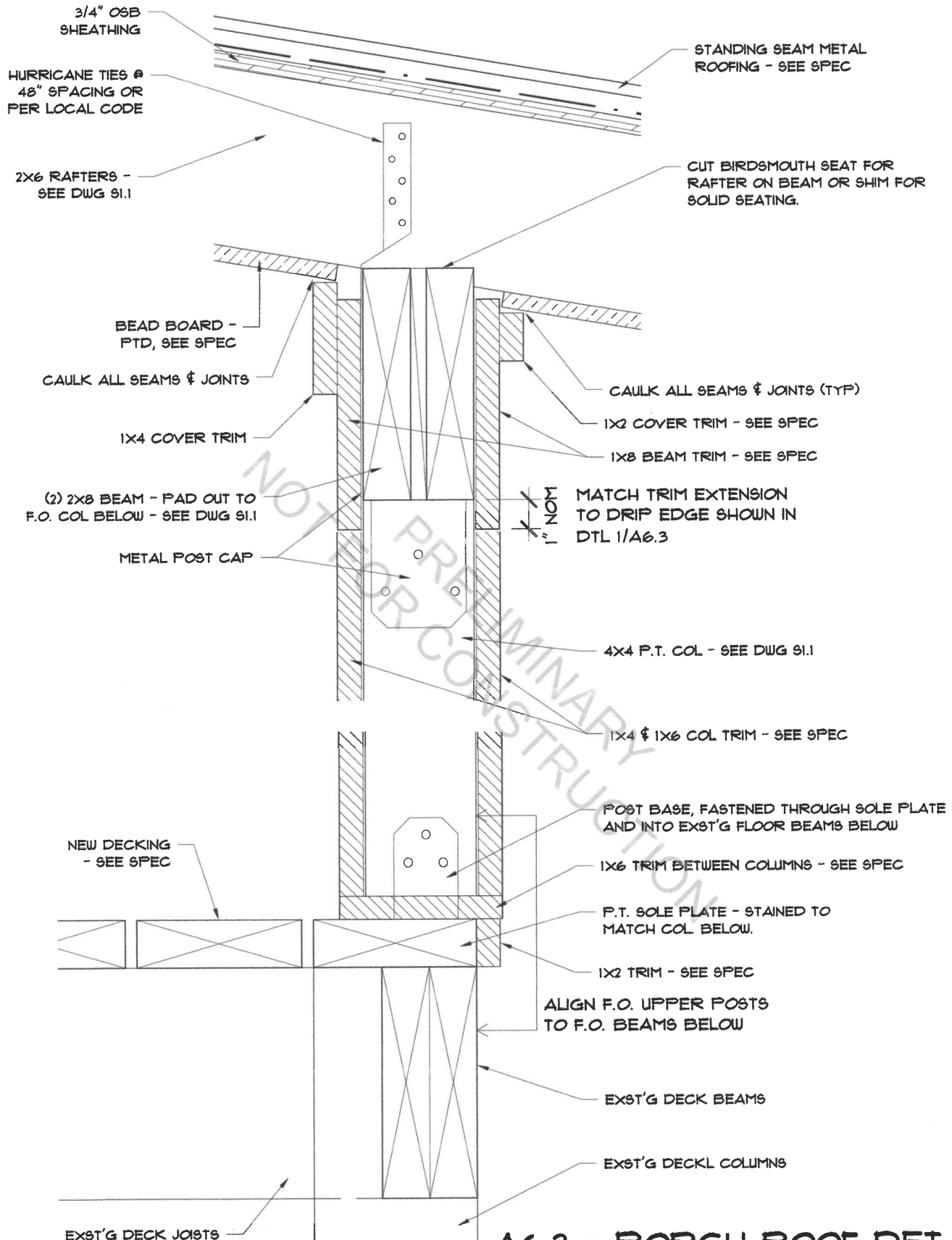


A2.2 - TERMIN BACK PORCH SIDE ELEVATION
 MPB - 4/1/2025

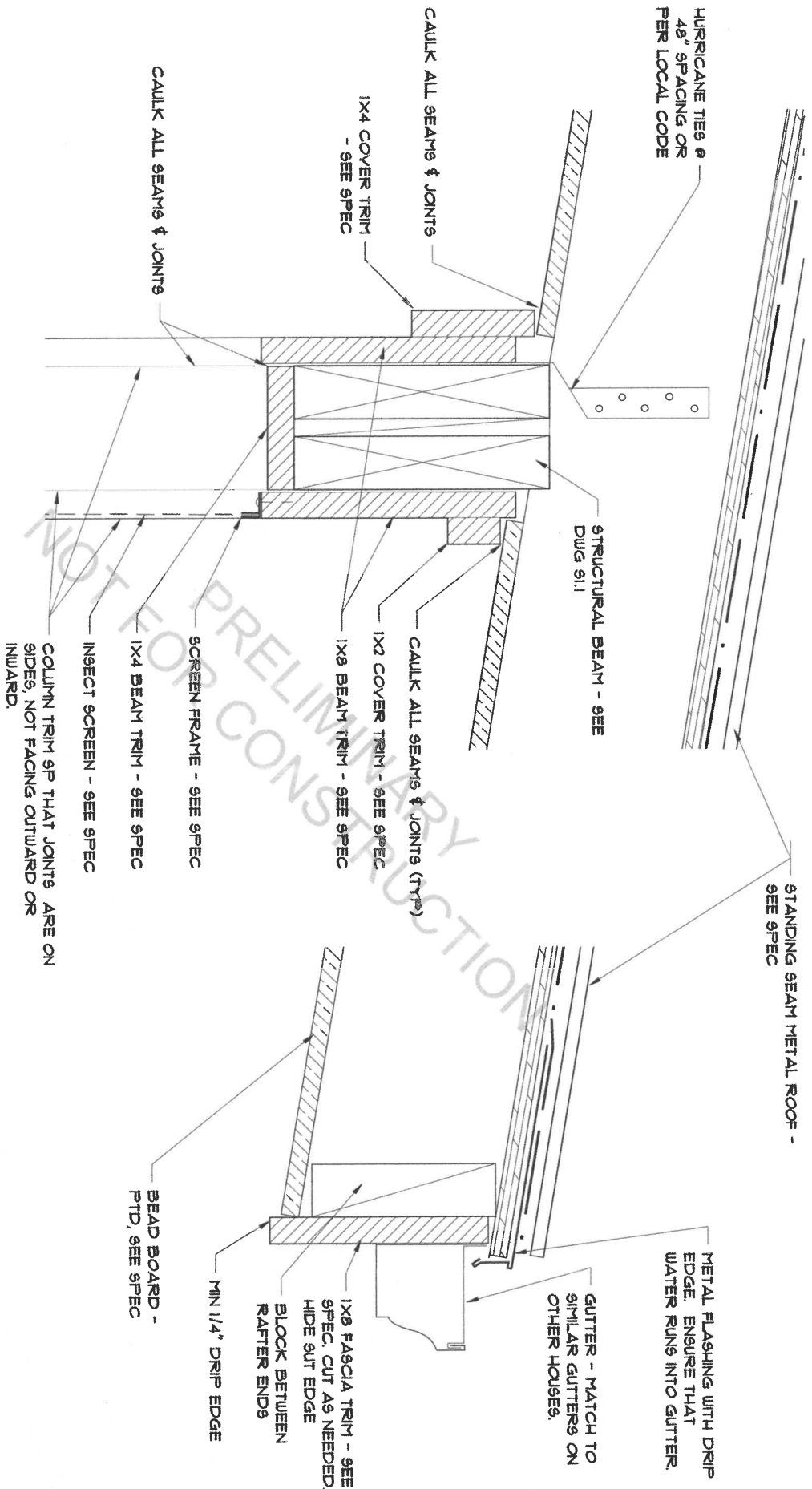


A6.1 - PORCH ROOF DETAIL @ HOUSE

HIATT BACK PORCH ROOF PROJECT - MPB - 7/18/2024

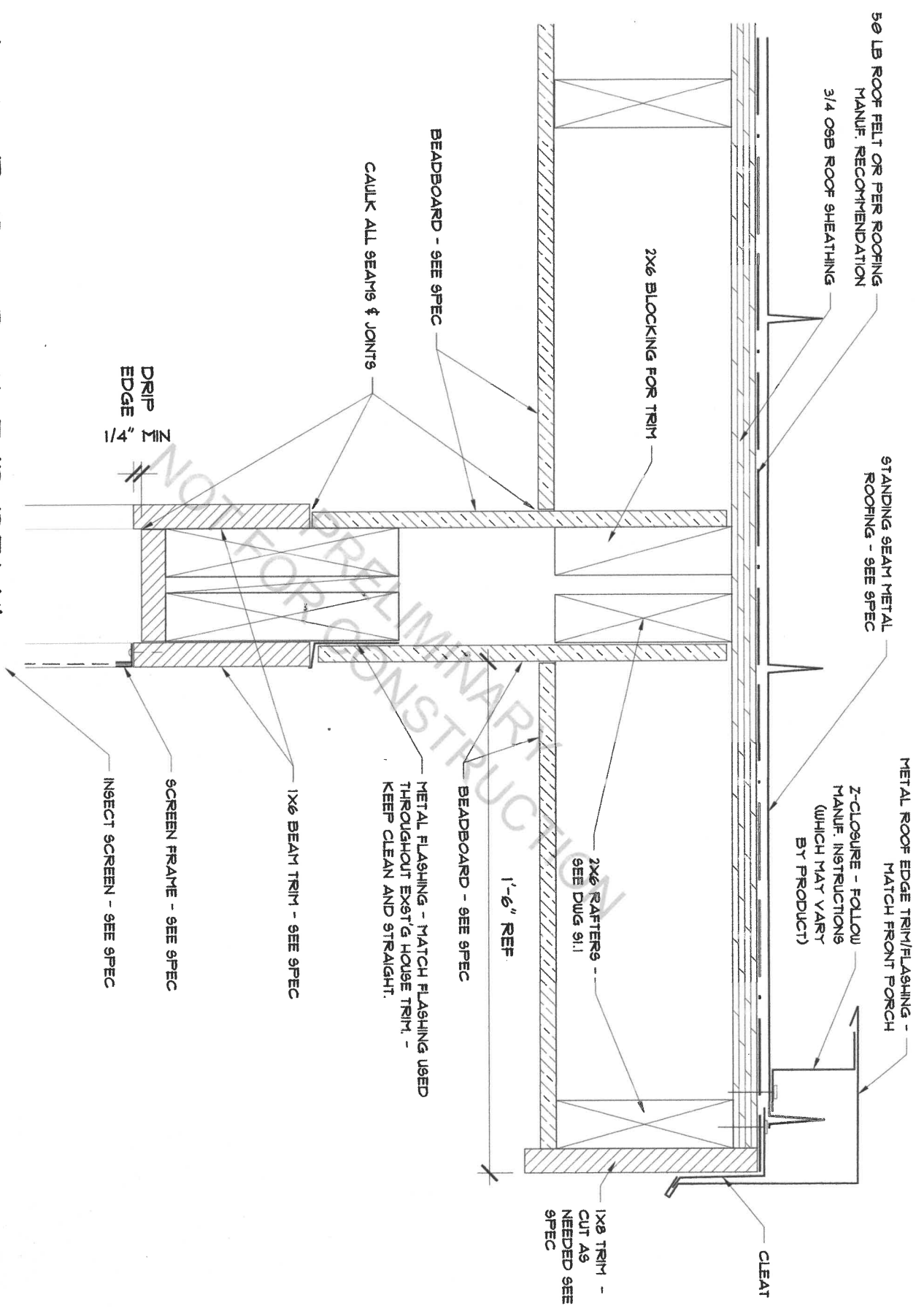


A6.2 - PORCH ROOF DETAIL
 HIATT BACK PORCH ROOF PROJECT -
 MPB - 7/18/2024



A6.3 - PORCH ROOF BEAM DETAIL HIATT BACK PORCH ROOF PROJECT - MPB - 7/18/2024

A6.4 - PORCH ROOF END DETAIL HIATT BACK PORCH ROOF PROJECT - MPB - 7/18/2024



TERMIN BACK PORCH PROJECT

Specifications – Dated 4/8/2025

GENERAL NOTES

The intention for the project is to match the materials (including finish and color) or existing back porches found throughout Shepherd Village as much as possible. The Contractor should examine existing structures and make an effort to replicate the architecture as a guide to selection of materials, products, finishes, colors.

Suggested specific materials and products to achieve this intent are described below.

The Drawings do not, in general, show actual fasteners such as screws and nails throughout the project. Fasteners are shown only for reference in specific & limited product details. The Contractor should follow fastening instructions per product recommendations and best practices of the construction industry.

ROUGH CARPENTRY

All structural members exposed to the elements or ground contact shall be pressure treated. Member sizing shall be as noted on the Drawings. Any substitutions must be approved by the Owner.

Structural posts in the New Work shall be of pressure treated wood even where they are covered.

All exposed rough carpentry shall be painted with an opaque stain that matches the adjacent existing colors as closely as possible. Where an exact match is not possible, the new stain color should be slightly darker (not lighter) than the existing finish.

TRIM

PRODUCT - Trim is called out in the Drawings as '1x2', '1x4', '1x6' or '1x8' as needed. All such trim materials shall be of **LP SmartSide 440 Series – Cedar Texture**. The actual thickness of this product is 0.625, and the widths are typical for the noted nominal dimensions (so 0.625" X 1.5" for a 1x2, 0.625" X 3.5 for a 1x4, and so on).

The Contractor should consult product literature for these products for additional information about available lengths (generally 8 or 12.5 ft long), fastening, storing, etc.

COLOR - Unless otherwise noted on the Drawings, all trim shall be painted Bright White – at least 2 coats of good quality latex exterior paint in a Satin or Semi-Gloss finish. Match existing house trim finish as closely as possible.

Some of the trim material may come pre-painted. Verify color match with existing house trim. Most of the trim materials come from the manufacturer pre-primed.

SEALANT - All joints and seams between adjacent pieces of trim shall be sealed using good quality silicone or latex caulk – Bright White. Contractor should consult the trim manufacturer recommendations regarding sealant. Ideally, all sealant shall be installed BEFORE the painting.

BEADBOARD (Ceilings & End Fascia)

Material called out in the Drawings as 'beadboard' shall be **LP SmartSide 38 Series** – Cedar Texture. The actual thickness of this product is 0.354", and is typically available in 4x8 (foot) sheets.

The Contractor should consult product literature for this product for additional information about fastening, storing, etc.

COLOR - Unless otherwise noted on the Drawings, all beadboard shall be painted Bright White – at least 2 coats of good quality latex exterior paint in a Satin or Semi-Gloss finish. Match existing house porch ceilings finish as closely as possible.

SEALANT - All joints and seams between adjacent pieces of trim & beadboard shall be sealed using good quality silicone or latex caulk – Bright White. Contractor should consult the beadboard manufacturer recommendations regarding sealant. Ideally, all sealant shall be installed BEFORE the painting.

STANDING SEAM METAL ROOFING

26-gauge galvalume double lock standing seam roof

Panels width 16 inches

Mechanically fastened

1 – 2 inch tall double locked seams with Kynar painted finish matching front porch roof.

Color : Dove Grey. Verify match with front porch roof (as close as possible).

Example Product : **Western States MS2 Mechanically Seamed**

Roof must be rated for 1:12 minimum pitch.

Contractor should consult with Owner regarding final selection.

The Drawings reflect the standard details for the **Horizon-Loc** product and should be modified per the manufacturer recommended installation and materials of the final product selected.

ALTERNATE PRODUCT

With the permission of the Owner, the **Horizon-Loc** product used on existing front porch may be used instead of the spec above. Horizon-Loc is not warranted for use on porch roofs with pitch less than 3:12, but might be allowed since this is not an interior space, assuming the Owner is willing to accept the added risk of damage to the porch structure and finishes.

METAL FLASHING

Metal flashing used to protect the top edge of trim shall be aluminum or stainless steel, with a drip edge. The visible edge of the flashing must be straight and tight to the trim it is covering. See examples where this has been done on existing house trim as an example. The flashing must be painted to match the trim, preferably pre-painted (powder coated?) and pre 'broken'.

The top edge of all flashing (where it attaches to the wall) must be sealed with tape intended for that purpose (compatible with the house wrap and the metal flashing). The tape should also cover the nail or screw heads fastening the metal flashing to the wall (to prevent water from running behind the metal flashing).

GUTTERS

Gutters and downspouts shall be similar in size, profile and color (white) to those on the existing house.

Roof flashing must be installed to ensure that water from the roof empties into and not behind the gutters (seems obvious, but this has been a problem in some houses at SV in the past).

Water from the house roof should not be collected and then discharged in one location onto the porch roof, creating the potential for a concentrated stream that may overrun the porch gutter. As described in the Drawings, it may be better to remove the existing section of house gutter above the new porch and install fascia that will ensure that water from the roof is discharged evening onto the porch roof. The Contractor shall discuss options with the Owner and determine the best arrangement to ensure all water is conveyed to the ground and does not overrun the gutters.

NEW FLOOR MATERIAL & CONSTRUCTION

Because of the level of grade surrounding the rear of the house, a TBD option must be worked out between the Owner (with input from the HOA) and Contractor. Currently envisioned options are wood framed decking (option 1) or concrete slab (option 2). Whichever option is implemented, the new construction must not:

- a. Disrupt the flow of stormwater in a way that will impact run off onto neighboring properties OR cause groundwater to flow back toward the house foundation.
- b. Damage the existing house foundation
- c. Damage the existing house foundation drainage system.

Option 1 – FRAMED DECKING

All structural members shall be pressure treated and sealed as needed to prevent decay.

DECKING FINISH PRODUCT: **Trex Enhance Basic**

COLOR: Clam Shell (a medium gray)

DIMENSIONS: 5.5" wide x 0.94" thick. Available in lengths of 8', 12' or 16'.

EDGE PROFILE: Grooved

The decking shall be installed according to manufacturer recommendations, including prescribed fasteners.

Option 2 – CONCRETE SLAB

Concrete slab shall be similar in composition, texture and color to that used on the existing home's front porch slab.

The concrete slab shall incorporate column footings under all structural columns supporting the New Work porch roof. The minimum depth of the footing below grade (at the location of the columns) shall be 30".

The exposed edges of the concrete slab shall be trimmed with LP smart-side or TREX trim in a medium grey color (see similar trim on neighbor's back porch).

PORCH RAILINGS

TBD railing product as specified by the Owner. The railing shall be coated or painted black or a dark grey color to reduce visibility of the rail from the exterior (outside the screen)

INSECT SCREEN

Aluminum screen with black coating is preferred. Fiberglass screen may be used if approved by the Owner.

All screening must be taught and flat, without wrinkles.

FRAME – **SCREENEZE** screen framing system by Home Improvement Systems, Inc. Color – white. Similar products may be substituted with the permission of the Owner. Submit product literature for approval.

SCREEN DOOR

The exterior door shall have an aluminum frame with white Kynar finish, similar to the storm door to the house (but without the glass panels).

The door shall have a full height insect screen panel (or two panels stacked vertically, similar to the configuration of the storm door on the house).

The door shall have a handle similar to those on the storm door for easy operation by people with limited grip strength (i.e. not a conventional knob).

The door shall be equipped with an automatic closer mechanism similar to those used on the house storm doors.

CEILING FAN

The new ceiling fan shall be as selected by the Owner. An allowance for the fan may be included in the Contractor's bid, the fan may be provided by the Owner, or the fan may be selected by the Owner and purchased by the Contractor and reimbursed on a cost & time basis.

The Contractor's bid shall include all materials and labor for electrical work associated with installation of the fan, including control switches and waterproof switch boxes.

All wiring to the fan shall be concealed in the structure of the porch and house, not run through visible wire mold or conduit. All penetrations of the house sheathing and house wrap shall be sealed to prevent air or water infiltration. Contractor shall avoid excessive removal of wall insulation for installation of the electrical wires (it is understood that some disruption of the insulation may be unavoidable).

All damage to finishes, interior or exterior, shall be repaired, including repainting as needed.

Date: _____



Application Number 25 .35

Application for Project Permit

Corporation of Shepherdstown, West Virginia

Should you have any questions regarding this application, please contact:

Andy Beall (Phone 304-876-6858, E-Mail abeall@shepherdstown.us)

PLEASE PRINT OR TYPE CLEARLY

Applicant's Name: WILLIAM & DONNA HIATT
(Must be Property Owner)

Mailing Address: 301 SHEPHERD VILLAGE CIRCLE
SHEPHERDSTOWN, WV 25443

Day Time Telephone Number: 304-268-6886

E-Mail Address: d.hiatt@me.com

Street Address of Proposed Work: 301 SHEPHERD VILLAGE CIRCLE

Lot Number/Legal Description: _____
(If no address exists)

Current Zoning: R-1 Current Land Use: RESIDENTIAL

Note: See zoning maps at Town Hall for correct zoning classification

Description of Work: CONSTRUCTION OF A SCREENED PORCH UPON
THE EXISTING DECK & FOLLOWING THE ATTACHED SPECIFICATIONS
& DRAWINGS. OTHER PORCHES FOLLOWING THE SAME
DESIGN HAVE ALREADY BEEN BUILT AT SHEPHERD
VILLAGE

Cost Estimate: \$23,100 Project Category (Descriptions on Next Page): CATEGORY II

Contractor performing work: TIM WEIGHMAN
SHEPHERDSTOWN 250-01

Contractor's Business License #: WV052761

A copy of the contractor's Shepherdstown business license or license application **MUST** be attached. The applicant is responsible for making sure all contractors working on this project have a Shepherdstown business license (which can be applied for at town hall). Work started without a business license could result in a stop order on the project.



Application Number 25 - 35

Application for Project Permit
(Checklist of Required Information for Applications)

Provide information required for appropriate category of work. Staff will ensure completion of checklist material prior to applications' inclusion on meeting agenda.

Category I- Minor Projects such as awnings, porch railings, window boxes, satellite dishes, solar panels, signs, fences, non-permanent storage sheds and other minor changes.

_____ PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

_____ MATERIAL AND COLOR SAMPLES for exterior finishes

Category II- Driveways, decks, carports, porch enclosures and window, roof or siding replacement.

Category III- New construction of and/or additions to residential, commercial, and industrial structures.

Category IV- Demolition or Relocation of a Structure

(Categories II and III):

_____ SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawings shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting. (SAMPLE ATTACHED)

_____ Gross & net land area of property

_____ Setback from property boundaries

_____ Existing & proposed topography (only if regrading of the property is required)

_____ Existing & proposed accessory structures.

_____ Existing & proposed street right-of-way & entrance

_____ Sidewalk, handicap access, Category IV only

_____ MATERIAL AND COLOR SAMPLES for exterior finishes

_____ ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements

_____ ZONING INFORMATION shall be defined in the application as required:

_____ Dwelling density- net (residential application only)

_____ Flood plain designation if any (mapping available in Town Hall)

_____ Cost estimates and property appraisals for applications seeking exemptions from Chapter 12-

Floodplain provisions

Category IV- Demolitions:

_____ Historic designation of structures to be demolished (documents available in Town Hall)

_____ Complete description of structure(s) or part(s) of structure(s) to be demolished.

_____ At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.



Application Number 25 - 35

Checklist of Required Information for Applications Continued

All Categories:

✓ Copy of general contractor's Shepherdstown business license or license application.

Section 9-905 Remedies and penalties

The owner or agent of a building or premises in or upon which a violation of any provision of the Planning and Zoning Title has been committed or shall exist, or the leasee or tenant of an entire building or entire premise in or upon which violation has been committed or shall exist, or the agent, architect, building contractor or any other person who commits, takes part or assists in any violation or who maintains any building or premises in or upon which such violation shall exist, shall be guilty of a misdemeanor and shall be punished by a fine not to exceed one hundred (100) dollars. Each and every day that such violation continues may constitute a separate offense.

Please read the following paragraph carefully and sign.

Attach documents specified in the checklist on the back of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time in order to determine compliance with the Commission's approval. Application must be signed by owner or his/her agent.

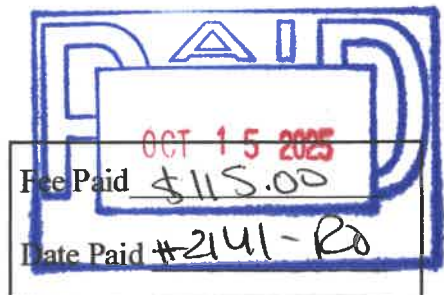
Date: 14 Oct 2025

Owner's Signature: Donna K Hiatt

DONNA K HIATT

Print Name: W. E. HIATT, JR.

Zoning Officer Comments:





Application Number 25 - 35

THE SHEPHERDSTOWN TOWN COUNCIL ORDAINS:

Section 9-902 of Chapter 8 paragraph XIV be amended as follows:

Please check all boxes that may apply (Application Fees Due Upon Submittal):

	<p><u>Category I:</u></p> <p>Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p> <p style="text-align: right;">\$50.00</p>
✓	<p><u>Category II:</u></p> <p>Window replacement, roof replacement, siding replacement, porch enclosure, driveways, carports, and decks.</p> <p style="text-align: right;">\$100.00</p>
	<p><u>Category III:</u></p> <p>New construction of and/or additions to residential, commercial, and industrial structures.</p> <p style="text-align: right;">\$300 + \$0.50 per sq. ft.</p> <p>New construction of garages & other accessory buildings (permanently attached to the ground).</p> <p style="text-align: right;">\$50 + \$0.10 per sq. ft.</p>
	<p><u>Category IV:</u></p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ol style="list-style-type: none"> 1. Reason for the demolition/relocation (including historic documentation). 2. Describe the structure's condition in detail. 3. Describe the proposed reuse of the site, including full drawings of new structure & landscaping. 4. Evidence of relevant funding or financial concerns. 5. Timeframe for project <p>\$50.00 Accessory Buildings \$150.00 Non-Contributing Structures (< 50 years old) \$500.00 Contributing Structures (≥ 50 years old)</p>
<p style="text-align: center;">Certificate of Appropriateness Advertisement Fee: \$15</p>	

Receipt

Shepherdstown licence renewal

Payment processed succesfully! Thank You for your Payment. Please print this receipt for your records. An email receipt will be sent if you have provided your email.

Your payment receipt.

Dear TIMS LLC,

Thank You for your payment. Please click the close button to clear your cart and return to the main screen.

Payment Details

Account # : 00000000
Statement # : c3396d83-b0a5-4593-8328-9a9674fd6f60
Amount : 76.00

Transaction Amount : \$76.00
Processing Fee: \$2.95
Total Amount: \$78.95
Authorization Code: 7459194
Transaction Date: 10/8/2025 3:20:11 PM
Card Holder : TIMS LLC
Card : VISA ending with 8261

Please allow 2 - 3 business days for card payments to post to your account. Please contact Shepherdstown at if you need assistance or have any questions.

Tim's Contracting LLC
Shepherdstown 250-01 WV-WV052761

PROPOSAL SUBMITTED TO:

WORK TO BE PERFORMED AT:

PROPOSAL NO.

SHEET NO.

DATE

10/8/25

NAME Bill & Donna Hiatt	ADDRESS
ADDRESS 30 Shepherd's Village Cir Shepherdstown, WV 25443	DATE OF PLANS
PHONE NO.	ARCHITECT

We hereby propose to furnish the materials and perform the labor necessary for the completion of

- remove decking & deck rails
- replace decking w/ trex
- replace rails w/ blk metal rails
- build screen porch to spec. provided

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of \$23,100

Dollars (\$) with payments to be made as follows. TBD

permits fees on Homeowner

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted

Tim Weighman *[Signature]*

Per

Note — this proposal may be withdrawn by us if not accepted within days.

ACCEPTANCE OF PROPOSAL

The above prices, specifications, and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Date

14 Oct 2025

Signature

Signature

[Signature]
W. E. Hiatt

HIATT BACK PORCH PROJECT

Specifications – Dated 09/04/2025

GENERAL NOTES

The intention for the project is to match the materials (including finish and color) or existing back porches found throughout Shepherd Village as much as possible. The Contractor should examine existing structures and make an effort to replicate the architecture as a guide to selection of materials, products, finishes, colors. The roof form is a shed roof (sloping in one direction), not hipped as in other back porches.

Suggested specific materials and products to achieve this intent are described below.

The Drawings do not, in general, show actual fasteners such as screws and nails throughout the project. Fasteners are shown only for reference in specific & limited product details. The Contractor should follow fastening instructions per product recommendations and best practices of the construction industry.

ROUGH CARPENTRY

All structural members exposed to the elements shall be pressure treated. Member sizing shall be as noted on the Drawings. Any substitutions must be approved by the Owner.

Structural posts in the New Work shall be of pressure treated wood even where they are covered.

All exposed rough carpentry shall be painted with an opaque stain that matches the adjacent existing colors as closely as possible. Where an exact match is not possible, the new stain color should be slightly darker (not lighter) than the existing finish.

TRIM

PRODUCT - Trim is called out in the Drawings as '1x2', '1x4', '1x6' or '1x8' as needed. All such trim materials shall be of **LP SmartSide 440 Series – Cedar Texture**. The actual thickness of this product is 0.625, and the widths are typical for the noted nominal dimensions (so 0.625" X 1.5" for a 1x2, 0.625" X 3.5 for a 1x4, and so on).

The Contractor should consult product literature for these products for additional information about available lengths (generally 8 or 12.5 ft long), fastening, storing, etc.

COLOR - Unless otherwise noted on the Drawings, all trim shall be painted Bright White – at least 2 coats of good quality latex exterior paint in a Satin or Semi-Gloss finish. Match existing house trim finish as closely as possible.

Some of the trim material may come pre-painted. Verify color match with existing house trim. Most of the trim materials come from the manufacturer pre-primed.

SEALANT - All joints and seams between adjacent pieces of trim shall be sealed using good quality silicone or latex caulk – Bright White. Contractor should consult the trim manufacturer recommendations regarding sealant. Ideally, all sealant shall be installed BEFORE the painting.

BEADBOARD (Ceilings & End Fascia)

Material called out in the Drawings as 'beadboard' shall be **LP SmartSide 38 Series** – Cedar Texture. The actual thickness of this product is 0.354", and is typically available in 4x8 (foot) sheets.

The Contractor should consult product literature for this product for additional information about fastening, storing, etc.

COLOR - Unless otherwise noted on the Drawings, beadboard ceiling and soffits shall be painted Bright White – at least 2 coats of good quality latex exterior paint in a Satin or Semi-Gloss finish. Match existing house porch ceilings finish as closely as possible. Beadboard roof end fascia shall be painted to match color of the house.

SEALANT - All joints and seams between adjacent pieces of trim & beadboard shall be sealed using good quality silicone or latex caulk – Bright White. Contractor should consult the beadboard manufacturer recommendations regarding sealant. Ideally, all sealant shall be installed BEFORE painting.

STANDING SEAM METAL ROOFING

26-gauge galvalume double lock standing seam roof

Panels width 16 inches

Mechanically fastened

1 – 2 inch tall double locked seams with Kynar painted finish matching front porch roof.

Color : Dove Grey. Verify match with front porch roof (as close as possible).

Example Product : Western States MS2 Mechanically Seamed

Roof must be rated for 1:12 minimum pitch.

Contractor should consult with Owner regarding final selection.

The Drawings reflect the standard details for the **Horizon-Loc** product and should be modified per the manufacturer recommended installation and materials of the final product selected.

METAL FLASHING

Metal flashing used to protect the top edge of trim shall be aluminum or stainless steel, with a drip edge. The visible edge of the flashing must be straight and tight to the trim it is covering. See examples where this has been done on existing house trim as an example. The flashing must be painted to match the trim, preferably pre-painted (powder coated?) and pre 'broken'.

The top edge of all flashing (where it attaches to the wall) must be sealed with tape intended for that purpose (compatible with the house wrap and the metal flashing. The tape should also cover the nail or screw heads fastening the metal flashing to the wall (to prevent water from running behind the metal flashing).

GUTTERS

Gutters and downspouts shall be similar in size, profile and color to those on the existing house.

Roof flashing must be installed to ensure that water from the roof empties into and not behind the gutters (seems obvious, but this has been a problem in some houses at SV in the past).

Water from the house roof should NOT be collected and then discharged in one location onto the porch roof, creating the potential for a concentrated stream that may overrun the porch gutter. As described in the Drawings, it may be better to remove the existing section of house gutter above the new porch and install fascia that will ensure that water from the roof is discharged evenly onto the porch roof. The Contractor shall discuss options with the Owner and determine the best arrangement to ensure all water is conveyed to the ground and does not overrun the gutters.

NEW DECKING

PRODUCT: Trex Enhance Basic

COLOR: ~~Clam Shell~~ (a medium gray) pebble Grey?

DIMENSIONS: 5.5" wide x 0.94" thick. Available in lengths of 8', 12' or 16'.

EDGE PROFILE: Grooved

The decking shall be installed according to manufacturer recommendations, including prescribed fasteners.

PORCH RAILINGS

The Contractor shall remove the existing railings from the deck, reusing the materials where possible.

Where new railing is needed, the Contractor shall locate a railing product which matches the style and material of those used on back porches throughout the Shepherd Village community

(neighboring houses). The Contractor shall provide images and dimensions of the most suitable product to the Owner for approval before purchase or installation.

STAIR RAILS

The Contractor shall remove the existing wood railings from the stairs and dispose of them off site or as directed by the Owner. New railings shall be metal, black.

The Contractor shall locate a railing product which matches the style and material of those used on back porches throughout the Shepherd Village community (neighboring houses). The Contractor shall provide images and dimensions of the most suitable product to the Owner for approval before purchase or installation.

INSECT SCREEN

Aluminum screen with black coating is preferred. Fiberglass screen may be used if approved by the Owner.

All screening must be taught and flat, without wrinkles.

FRAME – **SCRENEZE** screen framing system by Home Improvement Systems, Inc. Color – white. Similar products may be substituted with the permission of the Owner. Submit product literature for approval.

SCREEN DOOR

The exterior door shall have an aluminum frame with white Kynar finish, similar to the storm door to the house (but without the glass panels).

The door shall have a full height insect screen panel (or two panels stacked vertically, similar to the configuration of the storm door on the house).

The door shall have a handle similar to those on the storm door for easy operation by people with limited grip strength (i.e. not a conventional knob).

The door shall be equipped with an automatic closer mechanism similar to those used on the house storm doors.

CEILING FAN

The new ceiling fan shall be as selected by the Owner. An allowance for the fan may be included in the Contractor's bid, the fan may be provided by the Owner, or the fan may be selected by the Owner and purchased by the Contractor and reimbursed on a cost & time basis.

The Contractor's bid shall include all materials and labor for electrical work associated with installation of the fan, including control switches and waterproof switch boxes.

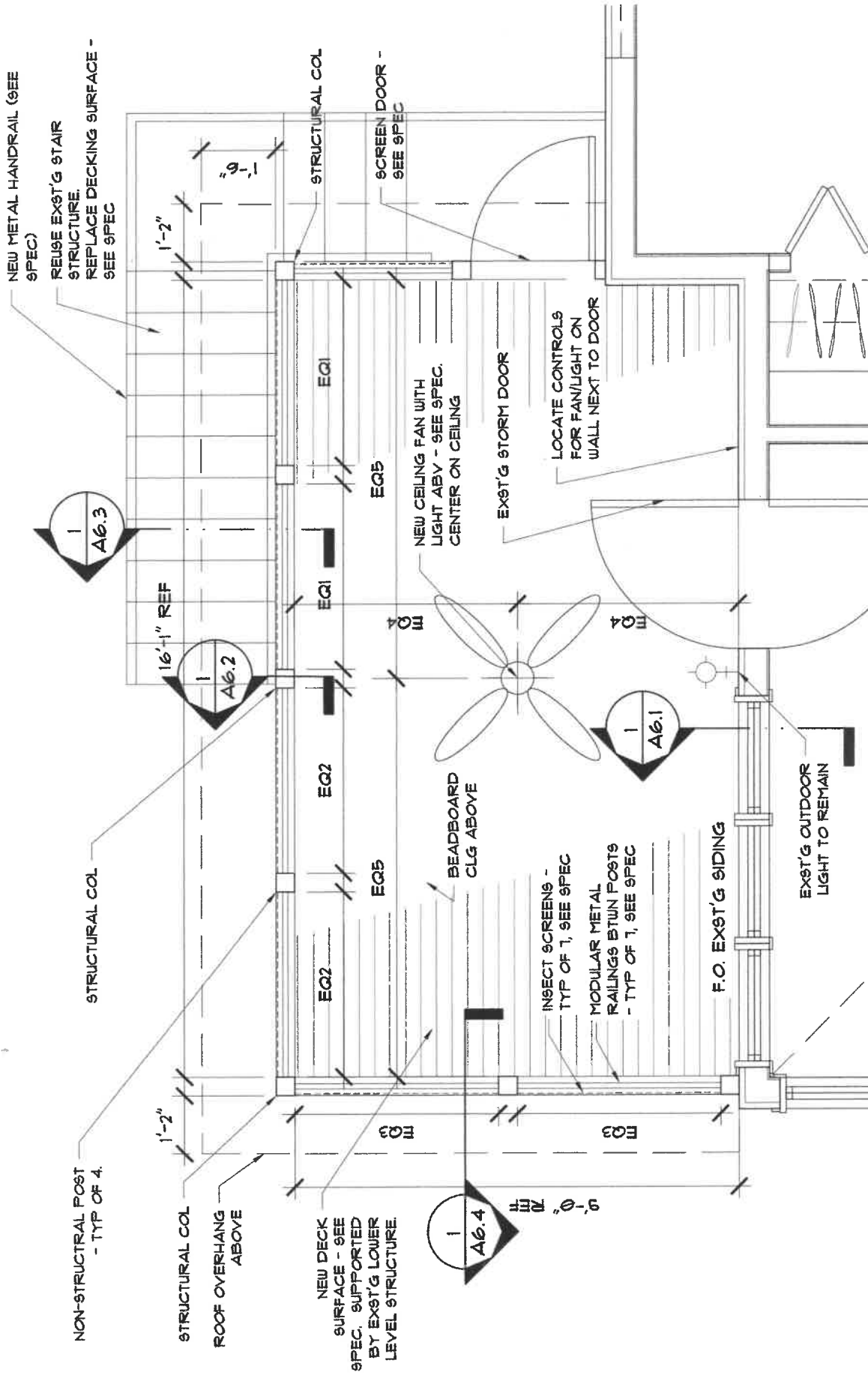
All wiring to the fan shall be concealed in the structure of the porch and house, not run through visible wire mold or conduit. All penetrations of the house sheathing and house wrap shall be sealed to prevent air or water infiltration. Contractor shall avoid excessive removal of wall insulation for installation of the electrical wires (it is understood that some disruption of the insulation may be unavoidable).

All damage to finishes, interior or exterior, shall be repaired, including repainting as needed.

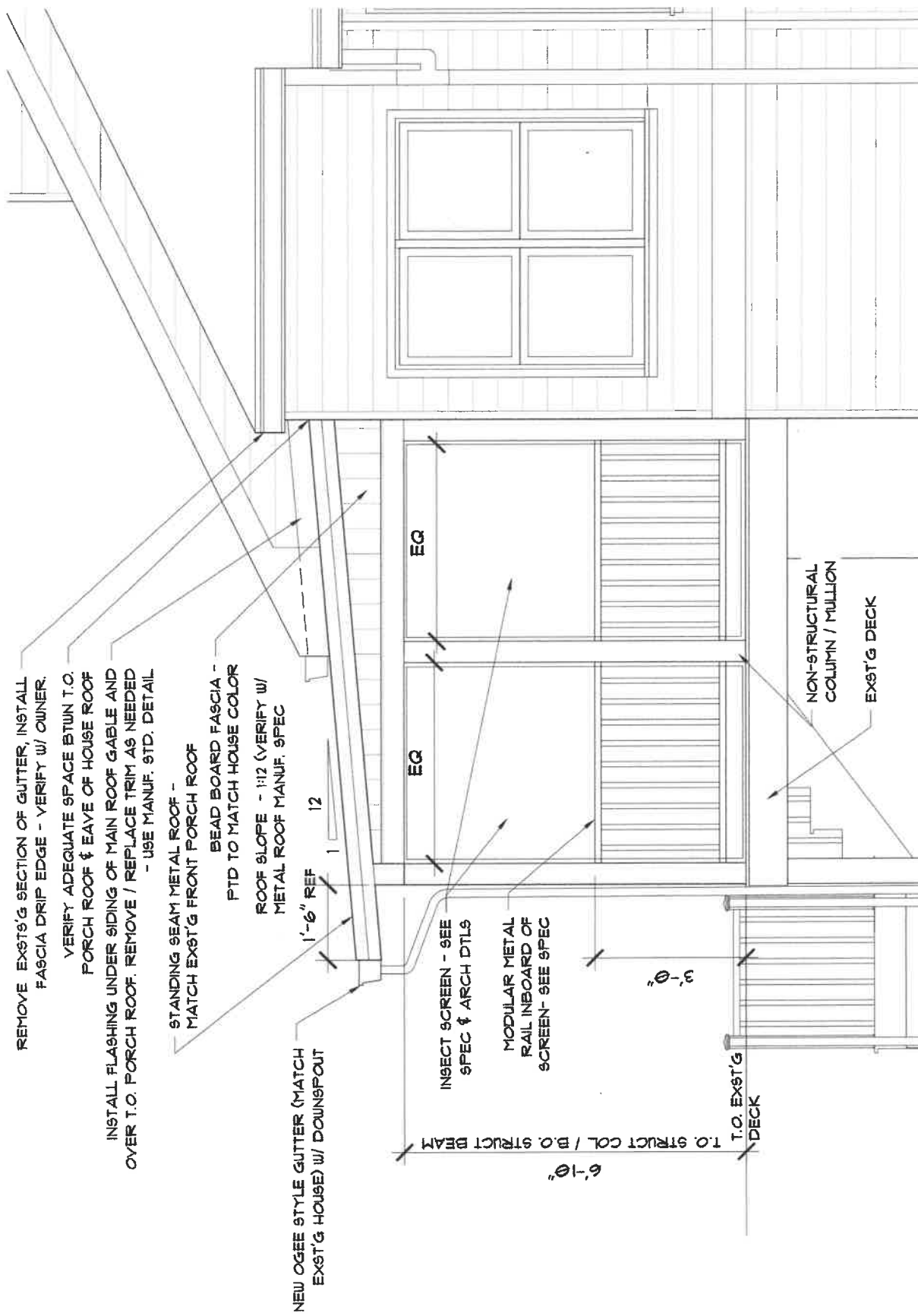
Screen on bottom of existing deck
with @ 1/2" strips on framework
to keep bugs from entering
from beneath

(I have done this
on multiple other
units)

Use same Alum. blk screen as porch

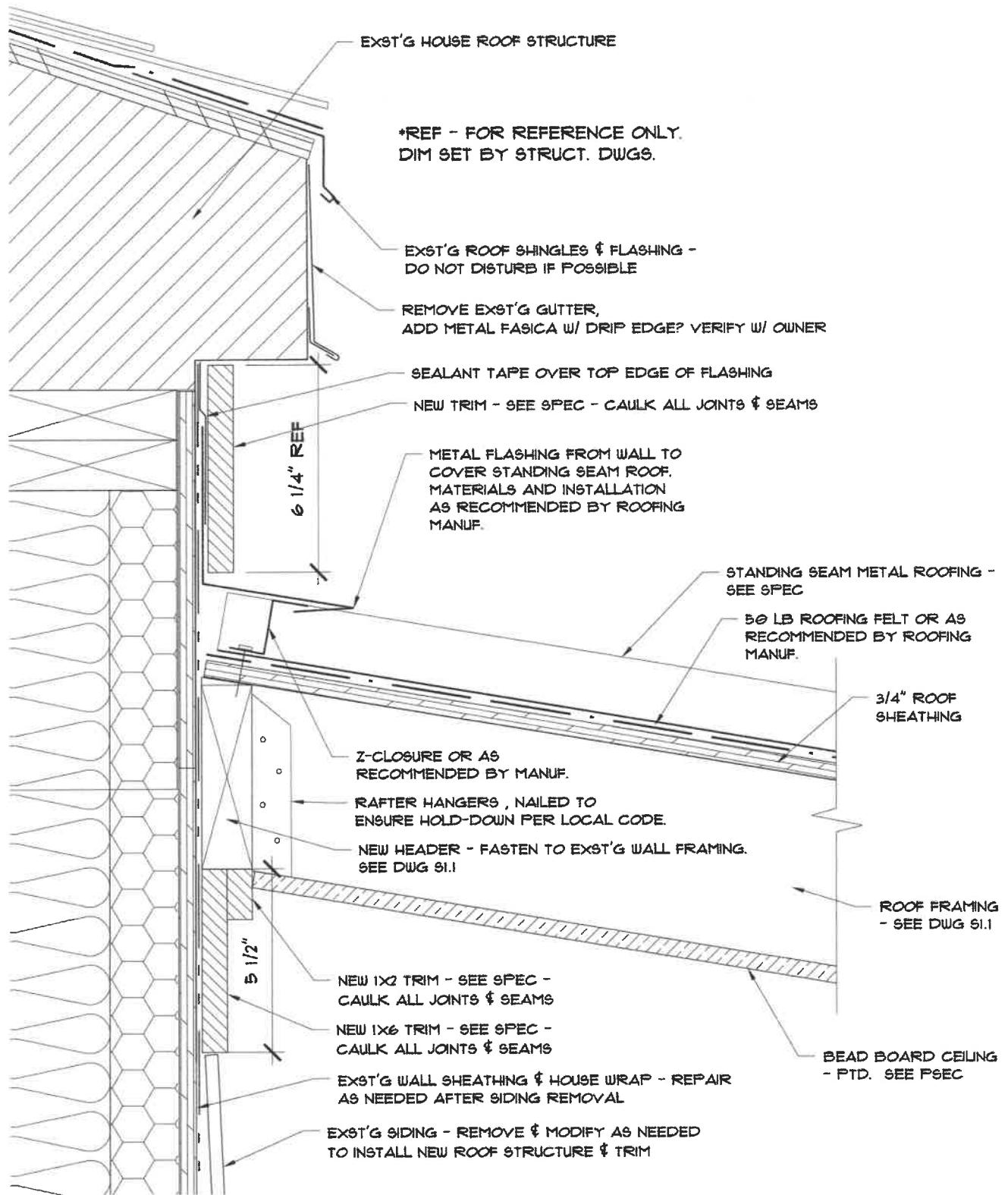


A1.1 - ARCHITECTURAL FLOOR PLAN
C-UNIT TRIPLEX BACK PORCH ROOF PROJECT - MPB - 9/4/2025



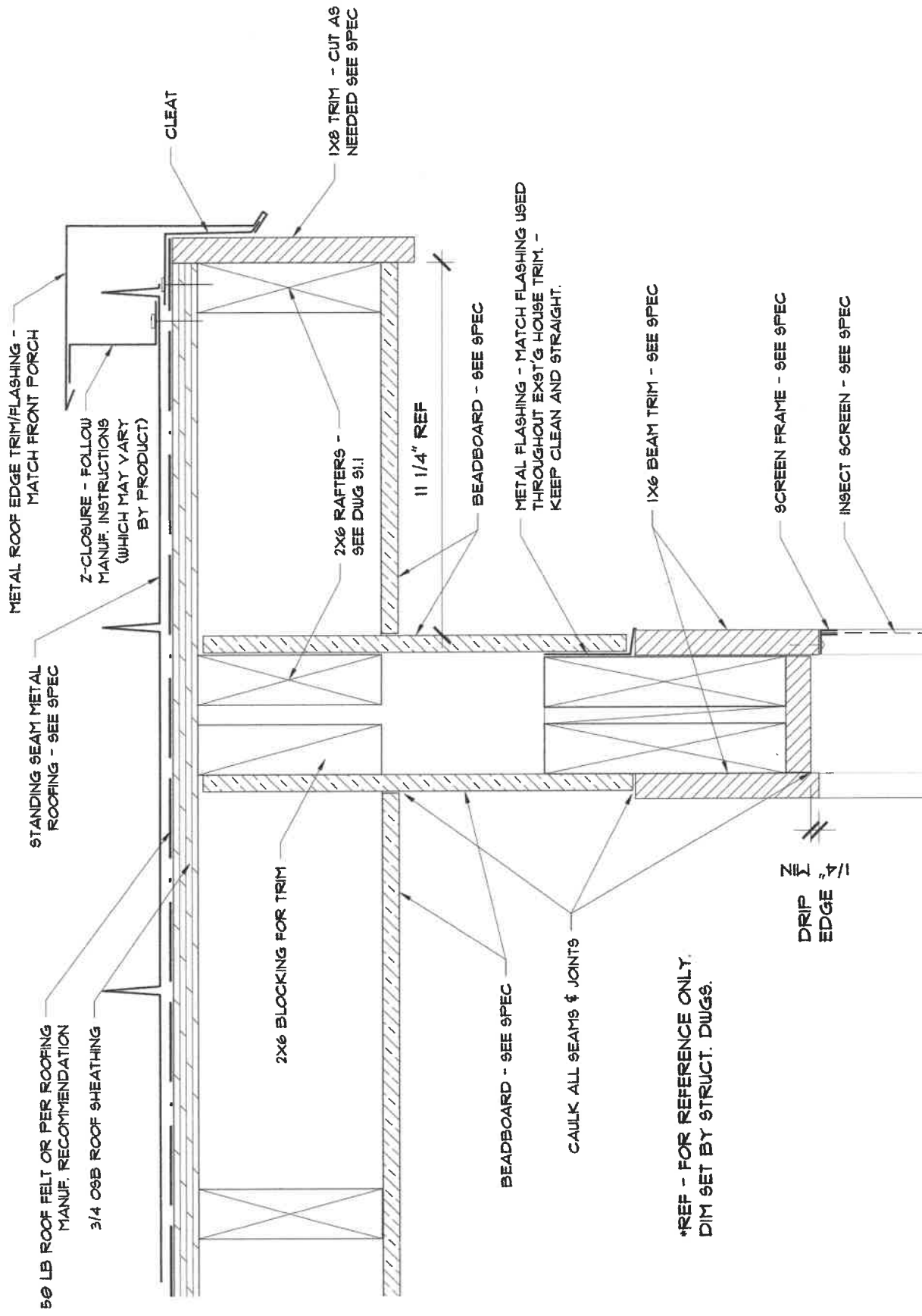
A2.1 - SIDE ELEVATION
C-UNIT TRIPLEX BACK PORCH ROOF PROJECT - MPB - 9/4/2025



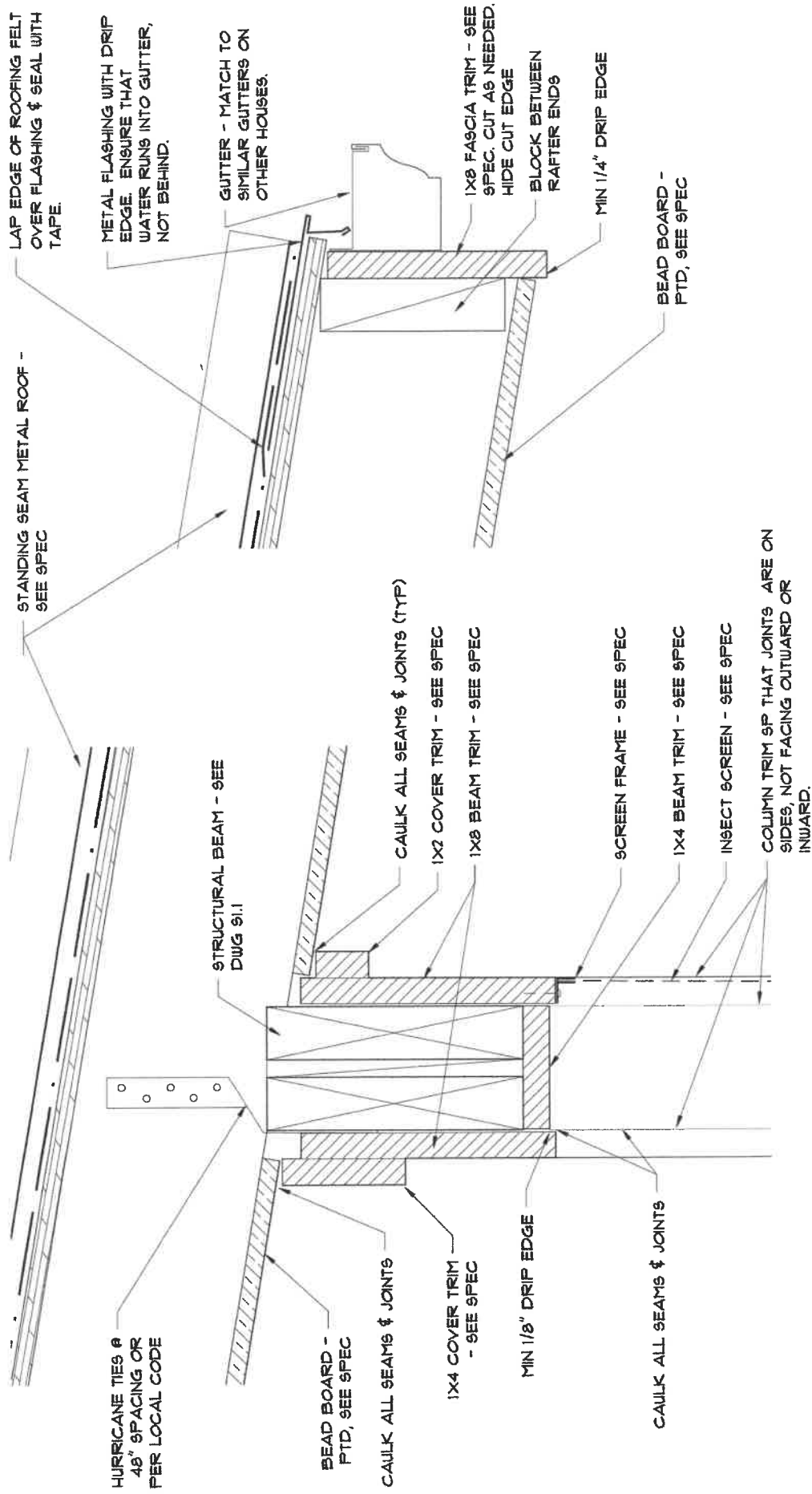


A6.1 - PORCH ROOF DETAIL @ HOUSE

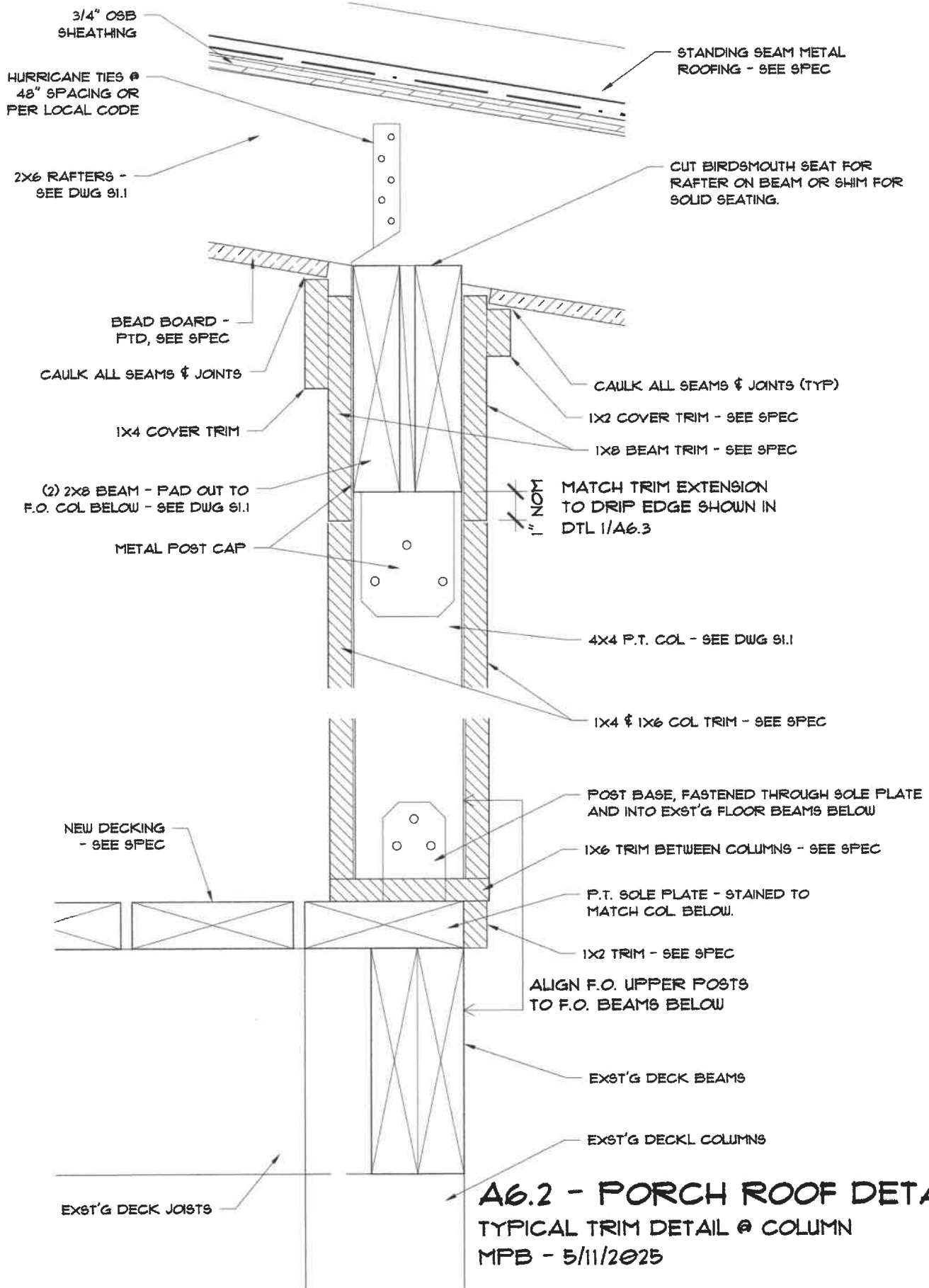
C-UNIT TYPICAL ROOF RAKE - MPB - 7/18/2024

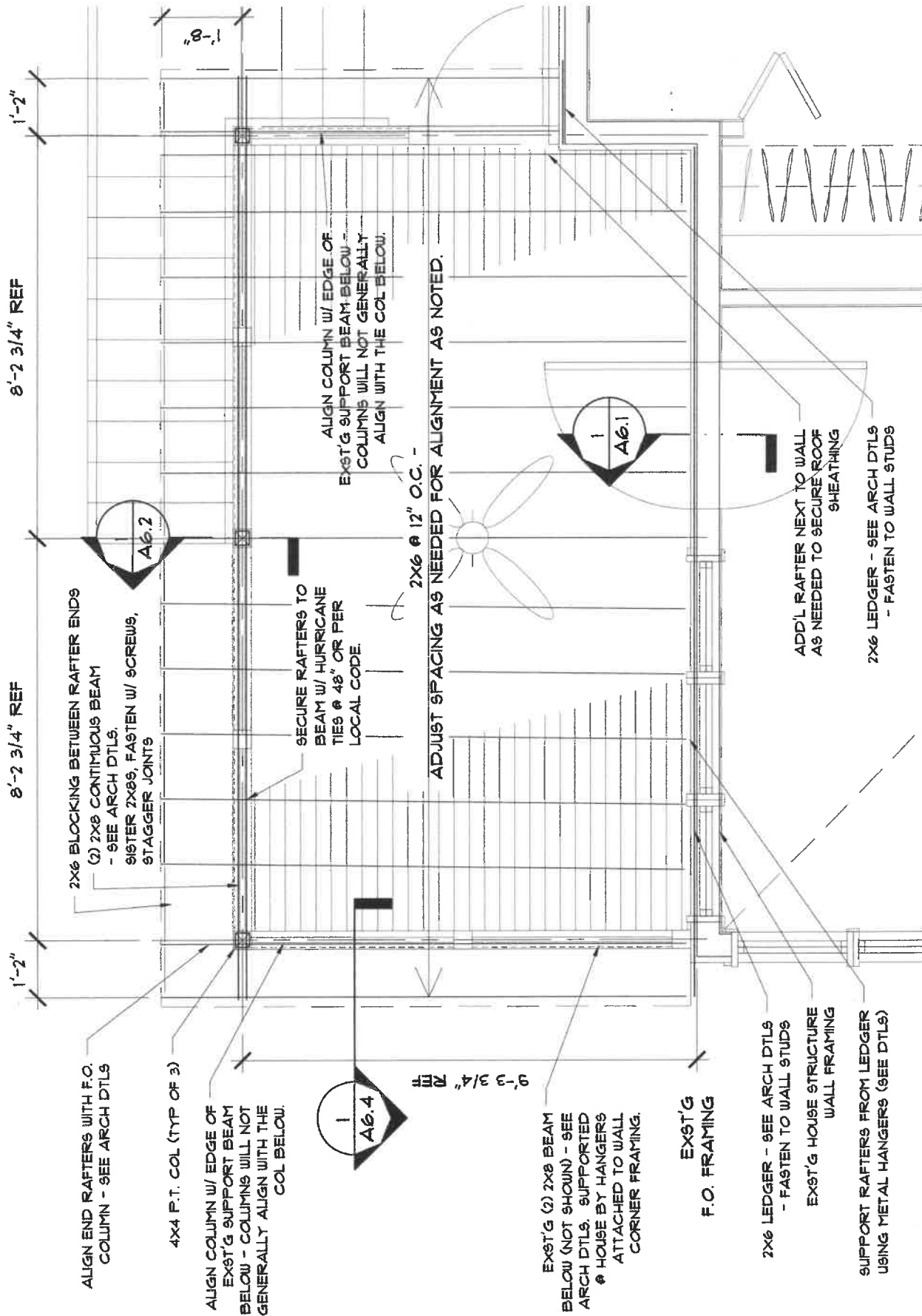


A6.4 - PORCH ROOF END DETAIL
TYPICAL TRIM & ROOF EDGE - MPB - 5/11/2025



A6.3 - PORCH ROOF BEAM DETAIL
 TYPICAL TRIM DETAIL & ROOF EAVE - MPB - 5/11/2025





91.1 - STRUCTURAL FRAMING PLAN - ROOF C-UNIT TRIPLEX PORCH - MPB - 9/4/2025

Corporation of Shepherdstown

Staff Input Form

For the Historic Landmarks and Planning Commissions

1. Applicant Name and Number: 25-36
2. Project Address: 200 South Duke Street
3. Project Description: Modification of the existing storm structures. Installation of a new underground storm network and minor grading activities.
4. Issues Identified: More research by a qualified engineer.
5. Staff Analysis and Recommended Action: This project requires extensive analysis by an engineer.
6. To Be Reviewed By _____ Historic Landmarks Commission
 __X__ Planning Commission

Completed By: _____ Gino E. Sisco_____

Date: _____ 11/12/2025_____

Approved By: _____

Date: _____



Application for Project Permit

Application #

25-36

104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

This application is required for projects within the corporate limits of Shepherdstown (both in and out of the Historic District), that involve modifications to structural square footage. Examples include decks, porches, driveways, carports, accessory structures, and new construction of and/or additions to residential, commercial, and industrial structures. A review of the application shall be approved or rejected by the Planning Commission. If approved, the project permit is valid for one year from the date of issuance. [Please reference Title 9, Section-902](#).

Applicant's Name: Diocese of Wheeling - Charleston

(Must be Property Owner)

Mailing Address: PO Box 1603

Shepherdstown

City

WV

State

25443

Zip

Telephone: 304-876-6436

Email office@stagnesshepherdstown.org

Street Address of Proposed Work: 200 S Duke St. Shepherdstown WV, 25443

Current Zoning: R-1

Current Land Use: Residential

Note: Reference [this map](#) for zoning Classifications.

Description of Work: Modification of the existing storm structures. Installation of a new underground storm network and minor grading activities.

Project Category: III

(see descriptions on next page)

Contractor Performing the Work: To be provided once bid is awarded

Contractor's Business License: To be provided once bid is awarded

A copy of the contractor's Shepherdstown business license or license application MUST be attached.



Application for Project Permit

Application # 25-36

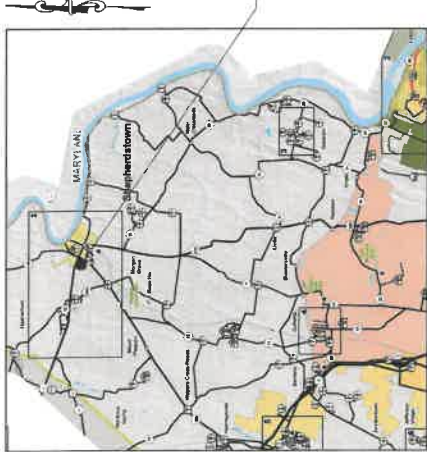
104 N King St
PO Box 248 (for mailing)
Shepherdstown, WV 25443

Application Fees

Please check all boxes that may apply. Reference Section 9-902 of Chapter 8 paragraph XIV for more information. Application fees due upon submittal. Fees should be payable to the Town Treasurer/Clerk and must accompany the application. **If work begins without the required permit, double the cost of said permit will be applied.**

<p><u>Category I:</u></p> <p>\$50.00 - Minor projects such as murals, awnings, porch railings, window boxes, satellite dishes, solar panels, gutters & downspouts, patios, sidewalks, hardscaping, signs, fences, storage sheds (not attached to the ground) and other minor changes and permit extensions.</p>
<p><u>Category II:</u></p> <p>\$100.00 - Window replacement, roof replacement, siding replacement, porch enclosure, driveways, carports, and decks.</p>
<p><u>Category III:</u></p> <p>\$300 + \$0.50 per sq ft - New construction of and/or additions to residential, commercial, and industrial structures.</p> <p>\$50 + \$0.10 per sq ft - New construction of garages & other accessory buildings (permanently attached to the ground).</p>
<p><u>Category IV:</u></p> <p>Demolition or Relocation of a Structure: Removal of any building feature(s) or razing of any structure(s) or relocation of a structure to new location. For either project, the applicant must submit the following in writing (in addition to an application):</p> <ul style="list-style-type: none">• Reason for the demolition/relocation (including historic documentation).• Describe the structure's condition in detail.• Describe the proposed reuse of the site, including full drawings of new structure & landscaping.• Evidence of relevant funding or financial concerns.• Timeframe for project <p>\$50.00 - Accessory Buildings \$150.00 - Non-Contributing Structures (< 50 years old) \$500.00 - Contributing Structures (≥ 50 years old)</p>

ST. AGNES CATHOLIC
CHURCH
STORMWATER MANAGEMENT
IMPROVEMENTS
T25-111034
SHEPHERDSTOWN, WV
SEPTEMBER 2025



SHEET INDEX	
SHEET	DESCRIPTION
CO.01	COVER
CO.02	GENERAL NOTES
C1.01	EXISTING CONDITIONS
C1.02	EXISTING UTILITIES
C2.01	SITE & UTILITY PLAN
C2.02	STORMWATER PROFILES
C3.01	LANDSCAPING PLAN
C4.01-C4.08	DETAILS

REVISION NUMBER	REVISIONS	BY	DATE	DESCRIPTION

EXISTING INFORMATION SOURCES

BENCHMARK
HORIZONTAL - NAD 83 WEST VIRGINIA STATE PLANE NORTH ZONE US SURVEY FOOT
VERTICAL - NAVD 83 (GEOID) US SURVEY FOOT
ROAD DESIGNATIONS OBTAINED FROM WVDOT
(<http://www.wvdot.state.wv.us>)



CONTRACTOR SHALL NOTIFY THE ONE-CALL SYSTEM OF THE INTENDED EXCAVATION OR DEMOLITION NOT LESS THAN FORTY-EIGHT (48) HOURS PRIOR TO THE START OF WORK AND NOT MORE THAN TEN (10) WORK DAYS PRIOR TO THE BEGINNING OF SUCH WORK.
CALL 811.CORP@1-800-444-4444

CONTACTS

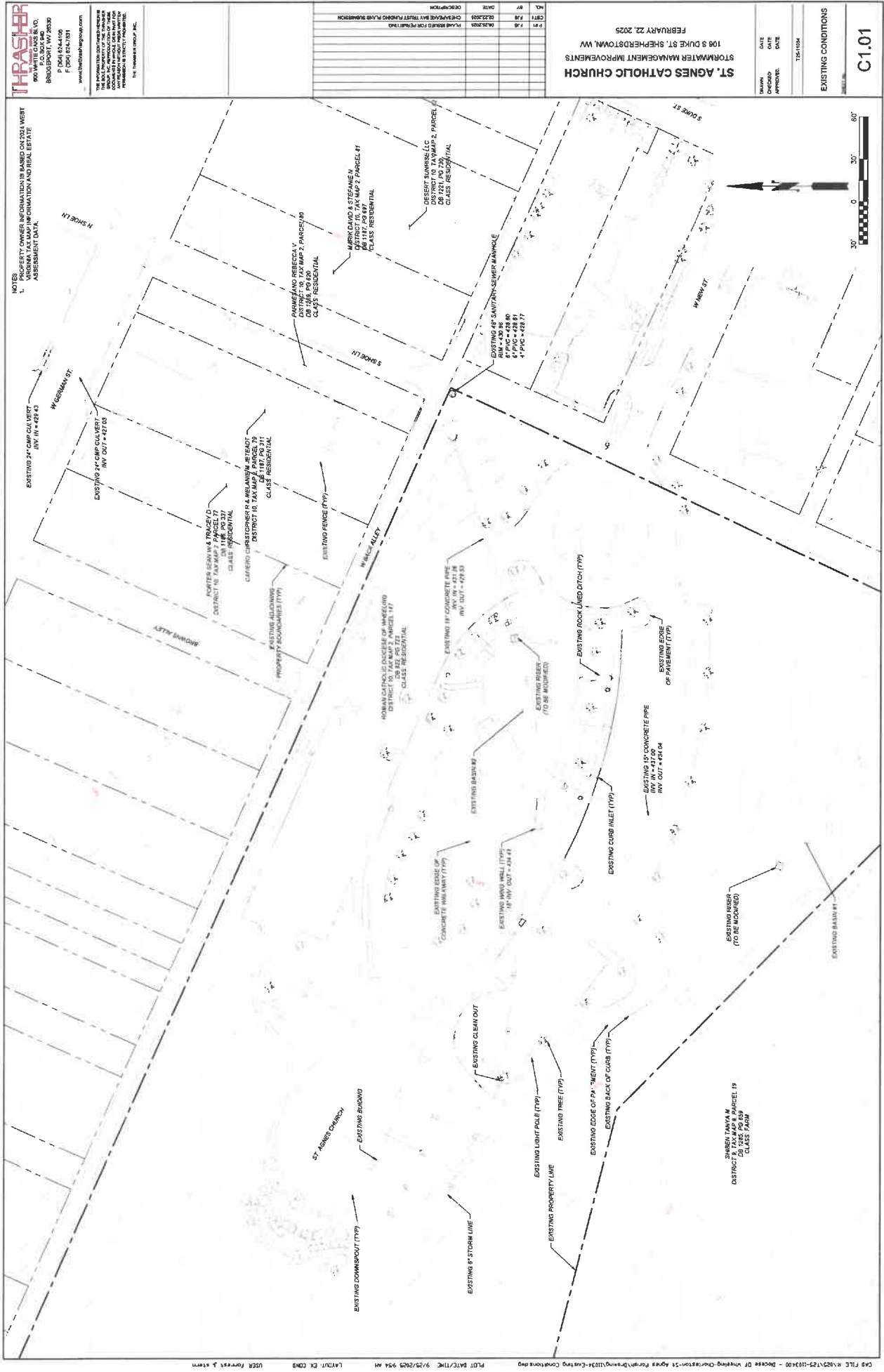
CLIENT'S CONTACT
ST. AGNES CATHOLIC CHURCH
ATTN: RECTOR
1001 ST. AGNES
SHEPHERDSTOWN, WV 25451

BRIDGEPORT, WV OFFICE
225 WHITE OAK BLVD.
BRIDGEPORT, WV 26305
(304) 324-4192
PO BOX 910

ENGINEER
THE THORNER GROUP
ATTN: MICHAEL THORNER, P.E.
(304) 446-7211

PLAN REPRODUCTION WARNING

THESE PLANS AND ANY INFORMATION CONTAINED HEREON ARE THE PROPERTY OF THE ENGINEER. REPRODUCTION OF THESE PLANS IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER IS STRICTLY PROHIBITED.



THRAISHER

100 WHITE CLARK BLVD.
SUITE 100
DENVER, CO 80202
P: 303.733.1100
F: 303.733.1101
www.thraisherinc.com

THE INFORMATION ON THIS PLAN WAS PREPARED BY THRAISHER INC. FOR THE CLIENT. IT IS THE CLIENT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THRAISHER INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ON THIS PLAN.

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DATE: 02/22/2025
DRAWN BY: J. KERN
CHECKED BY: J. KERN
APPROVED BY: J. KERN

DATE: 02/22/2025
DRAWN BY: J. KERN
CHECKED BY: J. KERN
APPROVED BY: J. KERN

ST. AGNES CATHOLIC CHURCH
STORMWATER MANAGEMENT IMPROVEMENTS
100 S DUKE ST. SHEPHERDSTOWN, WV
FEBRUARY 22, 2025

NO. 1
DATE: 02/22/2025
DRAWN BY: J. KERN
CHECKED BY: J. KERN
APPROVED BY: J. KERN

EXISTING CONDITIONS

C1.01

THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THRASHER ENGINEERS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

DATE: 02/20/2025
BY: J. SHERIDAN
CHECKED BY: J. SHERIDAN
DESCRIPTION: STORMWATER MANAGEMENT IMPROVEMENTS

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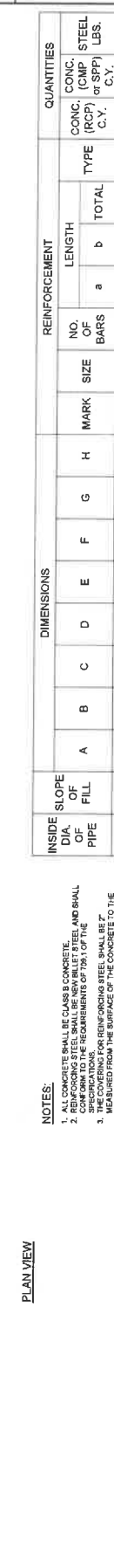
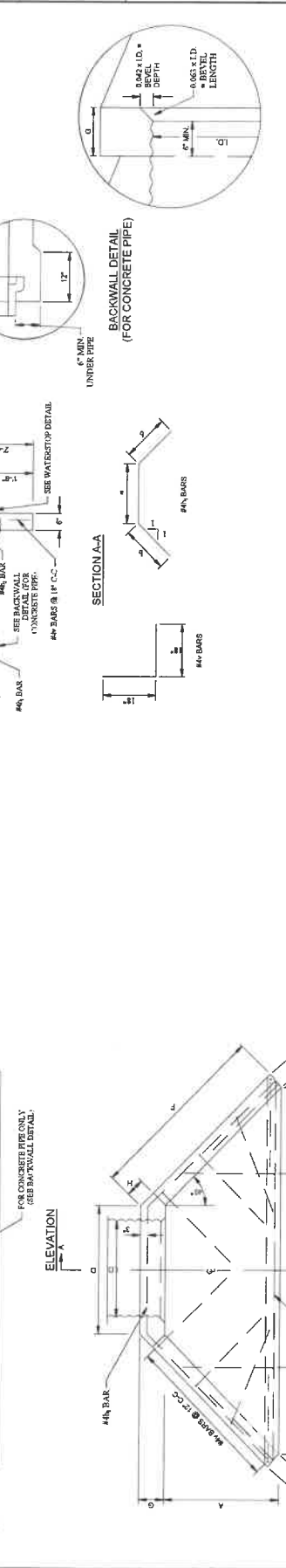
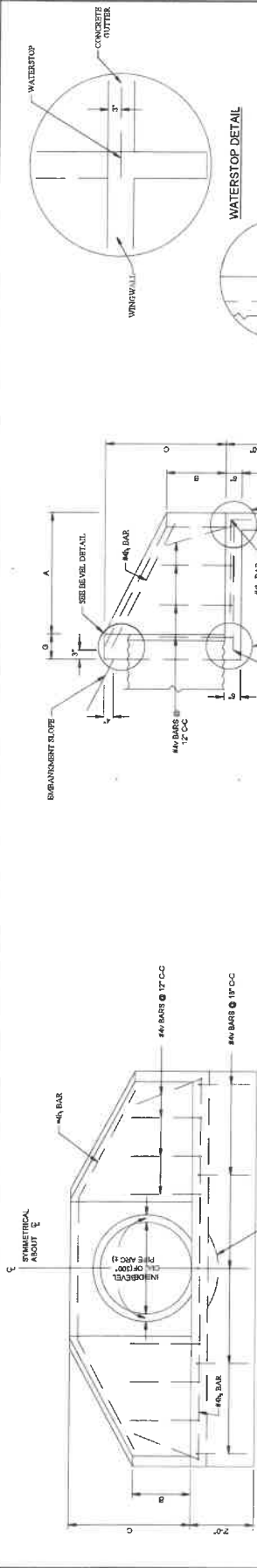
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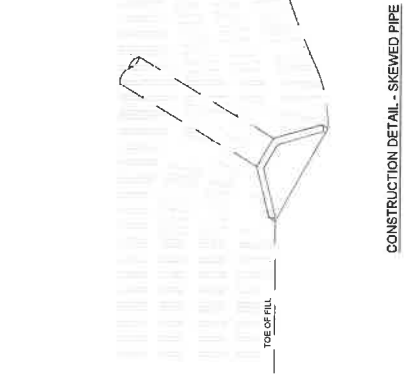
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- NOTES:**
1. ALL CONCRETE SHALL BE CLASS B CONCRETE.
 2. CONFORM TO THE REQUIREMENTS OF 705.1 OF THE SPECIFICATIONS FOR CONCRETE.
 3. THE COVER FOR REINFORCING STEEL SHALL BE 7" MEASURED FROM THE SURFACE OF THE CONCRETE TO THE CENTER OF THE REINFORCING STEEL.
 4. ALL EXPOSED EDGES SHALL HAVE A 3/4" x 45° CHAMFER ON VERTICAL EDGES SHALL BE CONTINUED A MINIMUM 12" FROM THE FACE OF THE CONCRETE.
 5. WHEN MANHOLES ARE PLACED ON THE INLET END OF THE STRUCTURE, THE INLET SHALL BE FLATTER THAN THE TOP OF THE STRUCTURE.
 6. WHEN MANHOLES ARE PLACED ON THE INLET END OF THE STRUCTURE, THE INLET SHALL BE FLATTER THAN THE TOP OF THE STRUCTURE.
 7. REINFORCEMENT SHALL BE PLACED WITH CONCRETE UP TO THE FLOW LINE OF THE STRUCTURE.
 8. REINFORCEMENT SHALL BE PLACED WITH CONCRETE UP TO THE FLOW LINE OF THE STRUCTURE.
 9. IF EMBANKMENT SLOPE ABOVE MANHOLE IS FLATTER THAN 2:1, SLOPE SHALL BE FLATTER THAN 2:1.
 10. THE PAY QUANTITY FOR MANHOLES, CONSTRUCTED IN CONCRETE, SHALL BE THE VOLUME OF CONCRETE IN THE MANHOLE PLUS THE VOLUME OF CONCRETE IN THE INLET.
 11. WATERSTOP MEETING THE REQUIREMENTS OF 705.10 SHALL BE USED AT ALL JOINTS AND CORNERS.

PLAN VIEW



CONSTRUCTION DETAIL - SKEWED PIPE



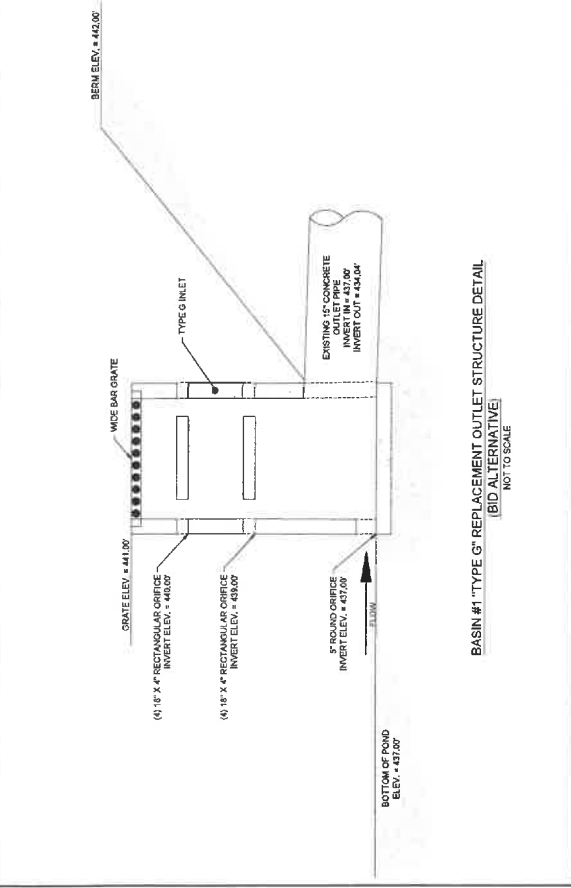
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DATE: 02/27/2025
DRAWN BY: J. SMITH
CHECKED BY: J. SMITH
APPROVED BY: J. SMITH

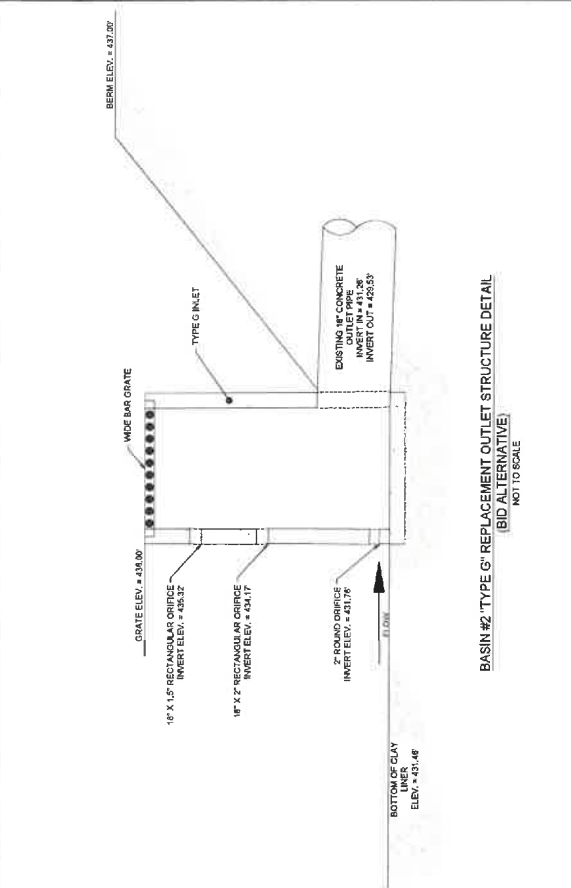
PROJECT: ST. AGNES CATHOLIC CHURCH
100 S DUKE ST. SHEPHERDSTOWN, WV
FEBRUARY 22, 2025

NO.	DESCRIPTION
1	REPLACE TYPE 1 GRATE WITH TYPE 2 GRATE
2	REPLACE TYPE 2 GRATE WITH TYPE 1 GRATE
3	REPLACE TYPE 3 GRATE WITH TYPE 4 GRATE
4	REPLACE TYPE 4 GRATE WITH TYPE 3 GRATE
5	REPLACE TYPE 5 GRATE WITH TYPE 6 GRATE
6	REPLACE TYPE 6 GRATE WITH TYPE 5 GRATE
7	REPLACE TYPE 7 GRATE WITH TYPE 8 GRATE
8	REPLACE TYPE 8 GRATE WITH TYPE 7 GRATE
9	REPLACE TYPE 9 GRATE WITH TYPE 10 GRATE
10	REPLACE TYPE 10 GRATE WITH TYPE 9 GRATE

ST. AGNES CATHOLIC CHURCH	
STORMWATER MANAGEMENT IMPROVEMENTS	
100 S DUKE ST. SHEPHERDSTOWN, WV	
FEBRUARY 22, 2025	
DATE	DATE
DESIGNED	APPROVED
DATE	DATE
1/25/2024	
DETAILS	
C4.06	

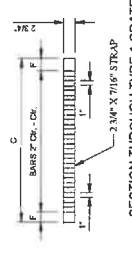


BASIN #1 "TYPE G" REPLACEMENT OUTLET STRUCTURE DETAIL
(BID ALTERNATIVE)
NOT TO SCALE

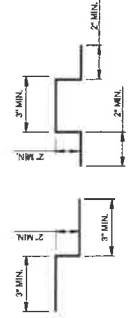


BASIN #2 "TYPE G" REPLACEMENT OUTLET STRUCTURE DETAIL
(BID ALTERNATIVE)
NOT TO SCALE

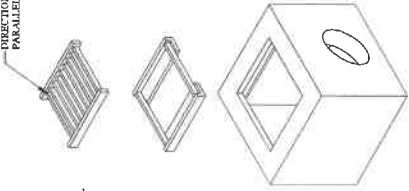
- NOTES:**
1. TYPE 1 GRATE IS A SQUARE AND DIAGONAL TYPE GRATE. SHALL BE USED IN ALL LOCATIONS UNLESS OTHERWISE SPECIFIED ON THE PLANS. TYPE 1 GRATE AND SUBSTRATE TYPE GRATE SHALL BE CONSTRUCTION JOINTS LABELED "CUT" MAY BE RETIED OR DOWNED AS PER THE TYPICAL DETAILS SHOWN HEREIN OR AS APPROVED BY THE ENGINEER.



CONSTRUCTION JOINT DETAILS



EXPLODED DETAIL



PIPE SIZE	DIMENSIONS				TYPE 2 GRATE		TYPE 1 GRATE	
	A	B	C	D	F	WT.	F	WT.
18"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
24"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
30"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
36"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
42"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
48"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
54"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
60"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
66"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
72"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
78"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
84"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
90"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
96"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
102"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
108"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
114"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
120"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
126"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
132"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
138"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
144"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82
150"	24"	32"	24.3/4"	31.3/4"	3.38"	7	225	82

GRATE AND FRAME WEIGHTS ARE FOR INFORMATION ONLY AND WILL VARY BASED ON THE ACTUAL GRATE AND FRAME DIMENSIONS. THE FOLLOWING SUBSTITUTION DIMENSIONS ARE ACCEPTABLE FOR TYPE 1 GRATE: GRATE AND FRAME STRAP THICKNESS 1/2" BAR DEPTH 3"