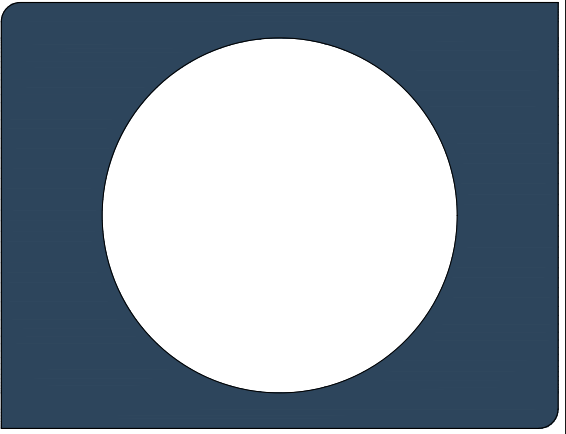




04/21/2025
Date
William R. Vogt Jr., P.E.
New Jersey Professional Engineer #24G04690600

APPLICANT:
IAAT SERVICES, LLC
104A VANCE AVENUE
LAVALLETT, NJ 08735

OWNER:
TURKAN NJ LLC
111 KINDERKAMACK ROAD
#303
RIVER EDGE, NJ 07661

SURVEYOR:
LAKELAND SURVEYING
4 WEST MAIN STREET
ROCKAWAY, NJ 07866
973.625.5670 (Office)
973.625.4121 (Fax)

DATE: 04/21/25
REVISION: 1
NO. 1
REVISOR: P.E. BOROUGH ZONING DEPT.

NO.	REVISION	DATE
1	REVISED PER BOROUGH ZONING DEPT.	04/21/25

PROJECT TITLE & LOCATION:
PROPOSED OUTDOOR ADVERTISING SIGN
41 GRAND AVENUE
BOROUGH OF RIVER EDGE
BERGEN COUNTY, NEW JERSEY 07661
BLOCK: 1405
LOT: 4
TAX MAP: 14

DRAWING TITLE:
COVER SHEET

SCALE: REFER TO DRAWING
DATE: 03/19/2025
DESIGNED: ME
APPROVED: WRV
L2A PROJ. No.: 2401.275
DRAWING No.:

C-01

SITE PLAN

PROPOSED OUTDOOR ADVERTISING SIGN

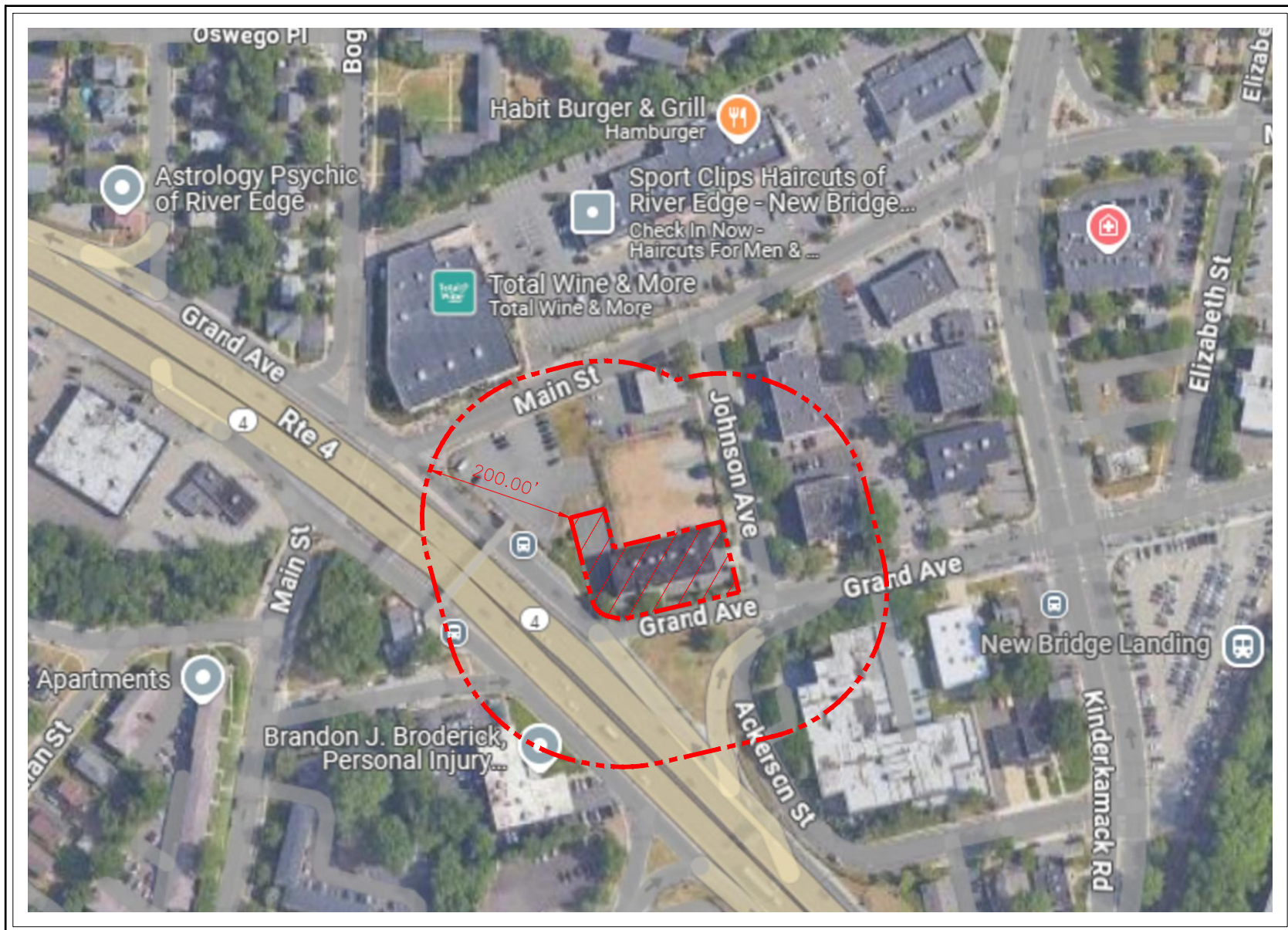
41 GRAND AVENUE

BOROUGH OF RIVER EDGE

BERGEN COUNTY, NEW JERSEY

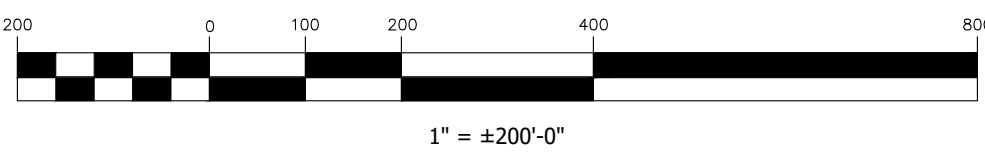
BLOCK: 1405, LOT 4, TAX MAP: 14

ZONE: C-2 COMMERCIAL (OFFICE)



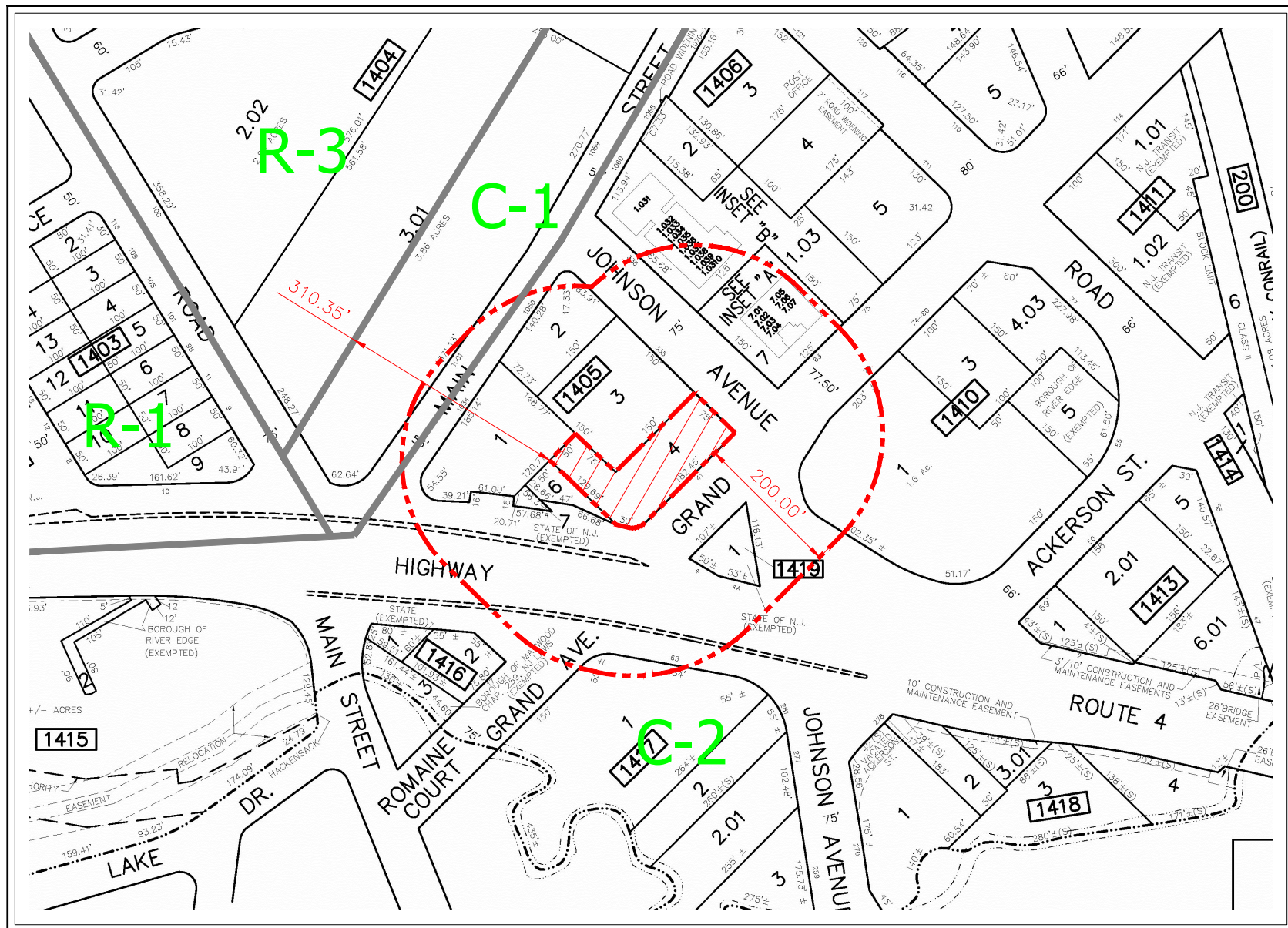
KEY MAP

GRAPHIC SCALE



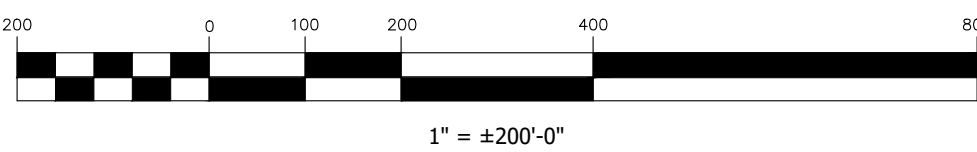
1" = ±200'-0"

SURROUNDING ZONES	
C-1	COMMERCIAL: NEIGHBORHOOD BUSINESS
C-2	COMMERCIAL: OFFICE
R-1	RESIDENTIAL: SINGLE FAMILY
R-3	RESIDENTIAL: GARDEN APARTMENT



TAX & ZONING MAP

GRAPHIC SCALE



1" = ±200'-0"

PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY:

Block 1404, Lot 3.01
Route 4-Main Street, LLC
574 Grand Ave
Englewood, NJ 07631

Block 1405, Lot 1
41 Grand Avenue, LLC
574 Grand Ave
Englewood, NJ 07631

Block 1405, Lot 2
PNC Rlty Serv C/O Invoke
Tax ptrns
P.O Box 850
Aurora, OH 44202

Block 1405, Lot 3
Slipknot LLC
52 Ackerson St
River Edge, NJ 07661

Block 1405, Lot 4
Turkan NJ LLC
111 Kinderkarnack Rd # 303
River Edge, NJ 07661

Block 1405, Lot 6
41 Grand Avenue LLC
574 Grand Avenue
Englewood, NJ 07631

Block 1405, Lot 7
State of New Jersey
John Fitch Way, CN 229
Trenton, NJ 08625

Block 1406, Lot 1.03
Feiler Realty C/O Dental
Assoc
1060 Main Street
River Edge, NJ 07661

Block 1406, Lot 1.03
Feiler Realty LLC
336 Johnson Avenue
River Edge, NJ 07661

Block 1406, Lot 7
A & I Grand Assoc LLC
63 Grand Ave Suite 100
River Edge, NJ 07661

Block 1406, Lot 7
Northern New Jersey Eyelids
LLC
63 Grand Avenue
River Edge, NJ 07661

Block 1406, Lot 7
Kittredge, William & Brian P
63 Grand Ave
River Edge, NJ 07661

Block 1406, Lot 7
Kittredge, William & Brian P
63 Grand Ave Unit G
River Edge, NJ 07661

Block 1410, Lot 1
Grand Four Associates
70 Grand Ave
River Edge, NJ 07661

Block 1417, Lot 1
65 Rt 4 East LLC
90 Main Street
Hackensack, NJ 07601

Block 1419, Lot 1
N.J. Transit - Dept
Transportation
1035 Parkway Ave # 101
Trenton, NJ 08618

UTILITY COMPANIES &
BERGEN COUNTY
County of Bergen
Planning Board
1 Bergen County Plaza - 4th
Floor
Hackensack, NJ 07601-7076

Director of Engineering
Bergen County Utilities
Authority
Foot of Mehrhof Road
P.O. Box 9
Little Ferry, NJ 07643

PSE & G Co.
325 County Avenue
Secaucus, NJ 07094

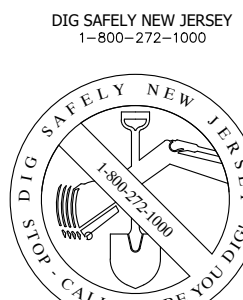
Cablevision
40 Potash Road
Oakland, NJ 07436

Veolia North America
Headquarters
461 From Road # 400
Paramus, NJ 07652

Verizon New Jersey Inc.
Land Use Matters
900 Clinton Ave
Irvington, NJ 07111

DRAWING INDEX

DRAWING No.:	DRAWING TITLE:
C-01	COVER SHEET
C-02	SITE PLAN
C-03	SIGN ELEVATION PLAN



BEFORE YOU DO ANYTHING IN NEW JERSEY
CALL 1-800-272-1000
THE STATE OF NEW YORK REQUIRES THREE (3) DAYS
NOTICE TO UNLESS BEFORE YOU ADVANCE, SHALL
BLAST OF DEMOLISH.

ZONING BOARD OF ADJUSTMENT APPROVAL

APPROVED BY THE ZONING BOARD OF ADJUSTMENT OF THE BOROUGH OF RIVER
EDGE, COUNTY OF BERGEN, STATE OF NEW JERSEY
ON _____ BY RESOLUTION # _____

CHAIRMAN _____ DATE _____

SECRETARY OF ZONING BOARD OF ADJUSTMENT _____ DATE _____

BOROUGH ENGINEER _____ DATE _____



04/21/2025

William R. Vogt Jr., P.E. Date

New Jersey Professional Engineer #24GE04690600

REMARKS: If this plan does not contain a signed professional seal, then the professional signature is not an authorized official copy.

APPLICANT:

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ROCKAWAY, NJ 07866
973.625.5670 (Office)
973.625.4121 (Fax)

DATE

04/21/25

REVISION

NO

1

REVISED PER BOROUGH ZONING DETAIL

PROJECT TITLE & LOCATION:

PROPOSED OUTDOOR ADVERTISING SIGN

41 GRAND AVENUE

BOROUGH OF RIVER EDGE

BERGEN COUNTY, NEW JERSEY 07661

BLOCK: 1405

LOT: 4

TAX MAP: 14

DRAWING TITLE:

SITE PLAN

SCALE:

REFER TO DRAWING

DATE:

03/19/2025

DESIGNED:

ME

APPROVED:

WRV

L2A PROJ. No.:

2401.275

DRAWING No.:

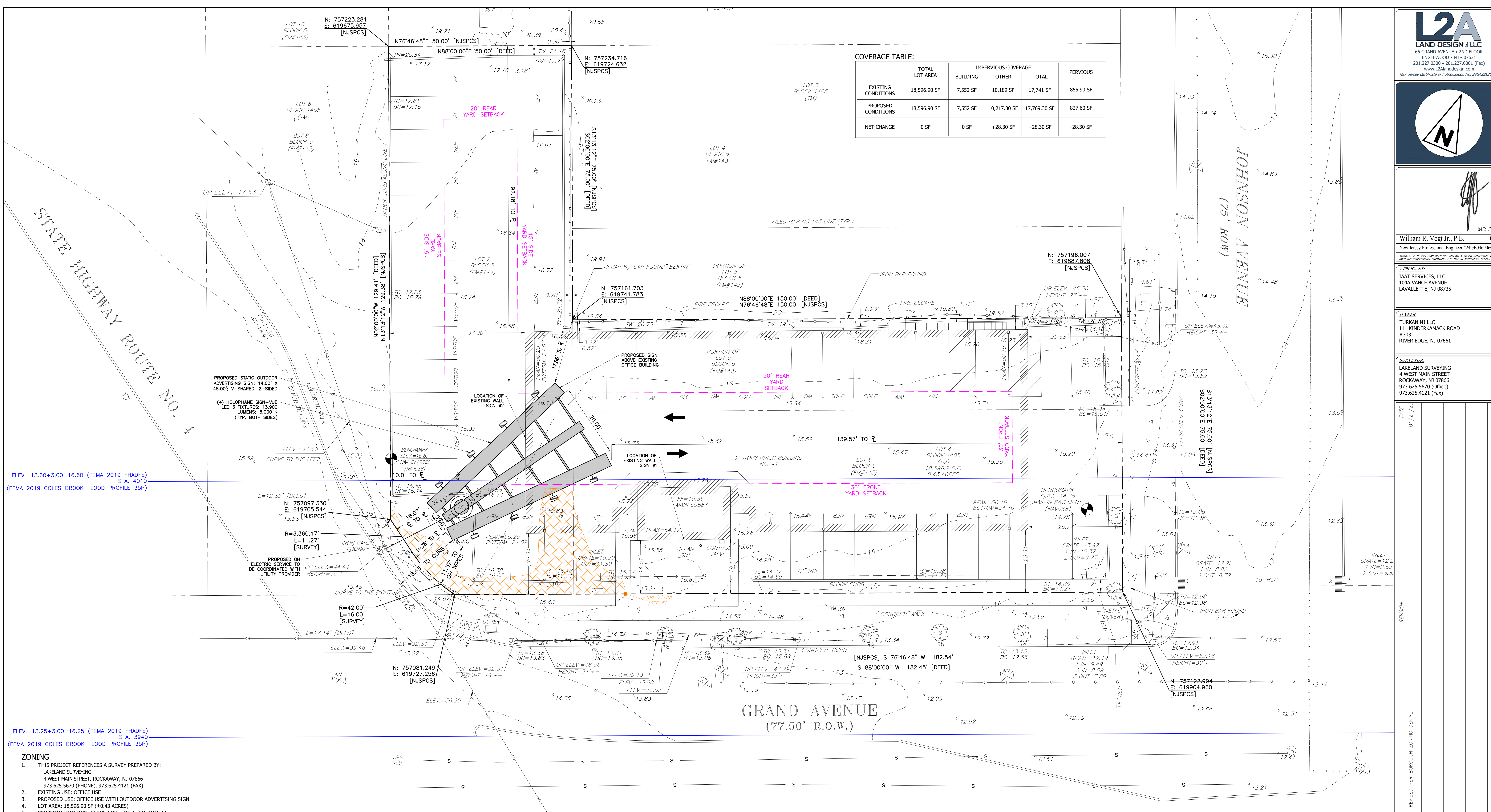
C-02

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COVERAGE TABLE:

	TOTAL LOT AREA	IMPERVIOUS COVERAGE			PERVIOUS
		BUILDING	OTHER	TOTAL	
EXISTING CONDITIONS	18,596.90 SF	7,552 SF	10,189 SF	17,741 SF	855.90 SF
PROPOSED CONDITIONS	18,596.90 SF	7,552 SF	10,217.30 SF	17,769.30 SF	827.60 SF
NET CHANGE	0 SF	0 SF	+28.30 SF	+28.30 SF	-28.30 SF



ZONE: C-2 COMMERCIAL (OFFICE)				
	PERMITTED	EXISTING	PROPOSED	VARIANCE REQUIRED
MINIMUM LOT AREA (SF)	15,000 SF	18,596.90 SF	18,596.90 SF	NO
MINIMUM LOT WIDTH (FT)	150 FT	200 FT	200 FT	NO
MINIMUM LOT DEPTH (FT)	100 FT	75 FT	75 FT	EN
MAXIMUM BUILDING HEIGHT PRINCIPAL (FT)	35 FT	< 35 FT	< 35 FT	NO
MAXIMUM BUILDING HEIGHT BILLBOARD (FT)	35 FT	N/A	60.00 FT	YES
MAXIMUM BUILDING HEIGHT (STORIES)	2.5 STORIES	2 STORIES	2 STORIES	NO
MAXIMUM BUILDING COVERAGE (%)	40%	40.61%	40.61%	EN
MAXIMUM LOT COVERAGE (%)	80%	95.55%	95.55%	YES
MINIMUM FRONT YARD SETBACK (FT)	30 FT	14.61 FT	14.61 FT	EN
MINIMUM FRONT YARD SETBACK BILLBOARD (FT)	30 FT	N/A	10.78 FT	YES
MINIMUM SIDE YARD SETBACK - ONE (FT)	15 FT	37.00 FT	37.00 FT	NO
TINIMUM SIDE YARD SETBACK - ONE BILLBOARD (FT)	15 FT	N/A	10.00 FT	YES
MINIMUM SIDE YARD SETBACK - BOTH (FT)	35 FT	37.00 FT	37.00 FT	NO
MINIMUM SIDE YARD SETBACK - BOTH BILLBOARD (FT)	35 FT	N/A	10.00 FT	YES
MINIMUM REAR YARD SETBACK (FT)	20 FT	3.10 FT	3.10 FT	EN
MINIMUM REAR YARD SETBACK BILLBOARD (FT)	20 FT	N/A	17.86 FT	YES
MINIMUM LANDSCAPE BUFFER BTW. PARKING & STREET (FT)	5 FT	3.50 FT	3.50 FT	EN

1. \$416-44.1 - THE FOLLOWING TYPES OF SIGNS OR ARTIFICIAL LIGHT ARE PROHIBITED: BILLBOARDS (VARIANCE)
2. EN=EXISTING NON-COMFORMITY, NC = NO CHANGE

PROPOSED SIGNAGE TABLE:			
SIGN TYPE/ LOCATION	DESCRIPTION/ LOCATION	REQUIRED PER \$416-53 & PER \$416-46	PROPOSED
FREESTANDING SIGN	STATIC OUTDOOR ADVERTISING SIGN 672 SF (14.00' X 48.00')	NOT PERMITTED	PROPOSED SIGN AREA= 672.00 SF PROPOSED SIGN HEIGHT ABOVE GRADE= 60.00 FT
			YES

GENERAL NOTES

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE PROPERTY SURVEY IS CONSIDERED A PART OF THESE PLANS.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- THE PROPERTY CORNERS MUST BE STAKED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS AND FEATURES WHICH ARE TO REMAIN WHETHER SHOWN ON THE DRAWINGS OR NOT.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFEGUARDS INCLUDING THE INSTALLATION OF SHORING, STRUCTURAL SUPPORTS, PROTECTIVE FENCING AND BARRIERS, ETC., AS MAY BE REQUIRED TO PREVENT UNAUTHORIZED ENTRY INTO THE CONSTRUCTION SITE, DAMAGE TO ADJACENT PROPERTY OR INJURY TO PERSONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM CONSTRUCTION STAKE-OUT OF ALL BUILDINGS AND SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL MATERIALS, LABOR, TOOLS EQUIPMENT, WATER, SANITARY FACILITIES, LIGHT, POWER, HEAT, TELEPHONE, TRANSPORTATION AND SUPERINTENDENCE FOR TEMPORARY CONSTRUCTION, SERVICES AND FACILITIES OF EVERY NATURE WHATSOEVER NECESSARY TO EXECUTE, COMPLETE AND DELIVER THE WORK WITHIN THE SPECIFIED TIME.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT TRAFFIC AS REQUIRED DURING THE COURSE OF CONSTRUCTION IN SUCH A MANNER SATISFACTORY TO THE OWNERS FIELD REPRESENTATIVE AND ANY OTHER AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR SHALL CLEAN UP AND REMOVE ALL REFUSE RUBBISH, SCRAP MATERIALS, UNSUITABLE MATERIALS AND DEBRIS CAUSED BY HIS/HER OPERATIONS SO THAT, AT ALL TIMES, THE SITE OF THE WORK SHALL PRESENT A NEAT, ORDERLY AND WORKMANLIKE APPEARANCE.
- THE CONTRACTOR SHALL, AT HIS/HER OWN EXPENSE, REPAIR OR REPLACE ALL GROUND SURFACES, PAVEMENTS, SIDEWALKS, CURBS, ETC., WHICH ARE TO REMAIN AND WHICH MAY BECOME DISTURBED OR DAMAGED DUE TO HIS/HER OPERATION.

N.J.A.C. 7:13-7.10 PERMIT-BY-RULE 35 - PLACEMENT OF ONE OR MORE UTILITY MONOPOLE TOWERS

- (a) PERMIT-BY-RULE 35 AUTHORIZES THE PLACEMENT OF ONE OR MORE MONOPOLE TOWERS TO PROVIDE CELLULAR SERVICE OR TO SUPPORT A UTILITY LINE, PROVIDED THE CONDITIONS AT N.J.A.C. 7:13-6.7 ARE MET AND:

- NO TOWER AND ASSOCIATED EQUIPMENT IS LOCATED WITHIN A FLOODWAY;
- (COMPLIES)
- NO DISTURBANCE IS LOCATED WITHIN 25 FEET OF ANY TOP OF BANK, UNLESS THE PROJECT LIES ADJACENT TO A LAWFULLY EXISTING BULKHEAD, RETAINING WALL, OR REVETMENT ALONG A TIDAL WATER OR IMPOUNDED FLUVIAL WATER; (COMPLIES)
- THE DIAMETER OF EACH MONOPOLE TOWER WITHIN A FLUVIAL FLOOD HAZARD AREA IS NO GREATER THAN FIVE FEET; (COMPLIES)
- ALL WIRES AND CABLES SUPPORTED BY THE TOWERS ARE SITUATED AT LEAST ONE FOOT ABOVE THE FLOOD HAZARD AREA DESIGN FLOOD ELEVATION; (COMPLIES) AND
- NO TREES ARE CLEARED, CUT, AND/OR REMOVED IN A RIPARIAN ZONE. (COMPLIES)

A PORTION OF THE SUBJECT SITE IS LOCATED WITHIN FLUVIAL FLOOD HAZARD AREA ZONE AE (100-YEAR FLOOD ZONE) BASED ON THE FLOOD INSURANCE RATE MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) (FIRM NUMBER 34003C0191H, REVISED EFFECTIVE DATE 08/28/2019) AND FEMA BERGEN COUNTY, NJ FLOOD PROFILE 35P FOR COLES BROOK.

- VERTICAL DATUM NAVD88
- FLOOD HAZARD AREA & FLOODWAY DETERMINED BY METHOD 3 (FEMA FLUVIAL DELINEATION)
- FLOOD HAZARD AREA DESIGN FLOOD ELEVATION VARIES FROM 16.25 (13.25+3.00 @ STA. 3940) TO 16.60 (13.60+3.00 @ STA. 4010) IN VICINITY OF SIGN
- FLOODWAY IS CONTAINED WITHIN THE BANKS OF THE COLES BROOK
- 50 RIPARIAN ZONE OF COLES BROOK DOES NOT ENTER SUBJECT PROPERTY
- NO TREES WILL BE CLEARED, CUT OR REMOVED WITHIN THE RIPARIAN ZONE

LEGEND

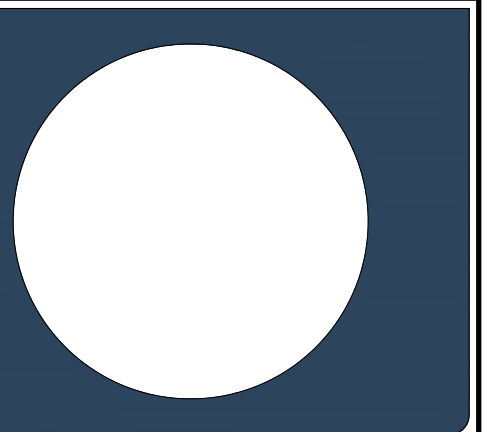
EXISTING CURB	40	EXISTING CONTOUR LINE
EXISTING BUILDING	40.00	EXISTING SPOT ELEVATION
EXISTING STORM LINE		EXISTING TREE
EXISTING WATER LINE		EXISTING UTILITY MANHOLE
EXISTING GAS LINE		EXISTING LIGHT POLE
EXISTING ELECTRIC LINE		PROPERTY LINE
EXISTING OVERHEAD WIRE		NIDEP FHADFE
EXISTING SANITARY LINE		SETBACK LINE

GRAPHIC SCALE



(IN FEET)

1" = 10' - 0"



William R. Vogt Jr., P.E.
Date
New Jersey Professional Engineer #24GE04690600
REMARKS: If this plan does not contain a proper AMPS/ISSN code, then the PROFESSIONAL SIGNATURE IS NOT AN AUTHORIZED OFFICIAL COPY.

APPLICANT:
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104A VANCE AVENUE
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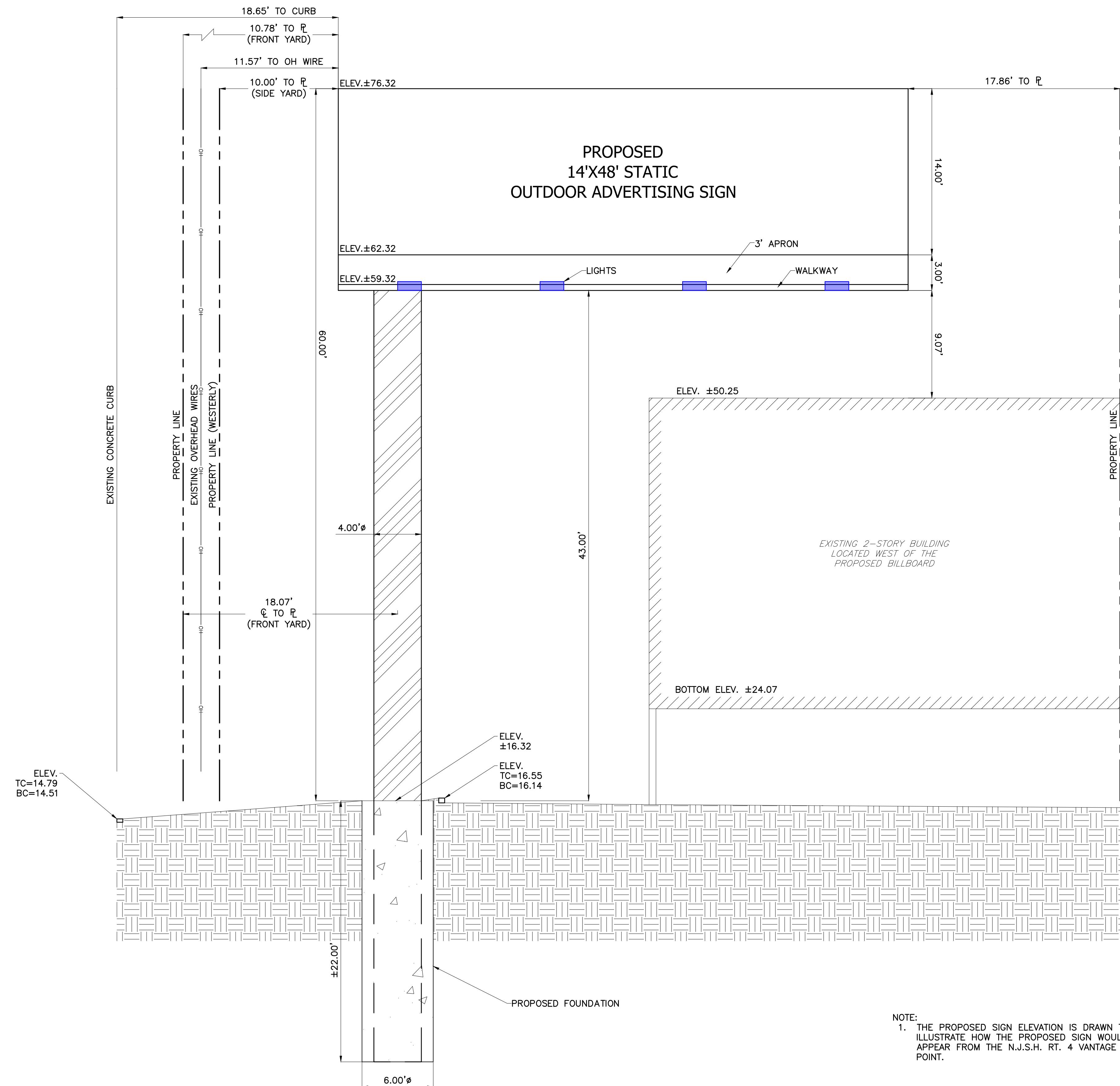
DATE	04/21/25
DESIGNER	Brian Kline
DATE	Aug 25 2016
SCALE	1/4" = 4'-0"
DRAWING No.	SV2 LED
1 of 1	
REVISION	
1	REVISED PER BOROUGH ZONING DETAIL

PROJECT TITLE & LOCATION:
PROPOSED OUTDOOR ADVERTISING SIGN
41 GRAND AVENUE
BOROUGH OF RIVER EDGE
BERGEN COUNTY, NEW JERSEY 07661
BLOCK: 1405
LOT: 4
TAX MAP: 14

DRAWING TITLE:

SIGN ELEVATION PLAN

SCALE: REFER TO DRAWING
DATE: 03/19/2025
DESIGNED: ME
APPROVED: WRV
L2A PROJ. No.: 2401.275
DRAWING No.: C-03



NOTE:
1. THE PROPOSED SIGN ELEVATION IS DRAWN TO ILLUSTRATE HOW THE PROPOSED SIGN WOULD APPEAR FROM THE N.J.S.H. RT. 4 VANTAGE POINT.

FOR ILLUSTRATIVE PURPOSED ONLY
AND NOT FOR CONSTRUCTION.
STRUCTURAL DRAWINGS TO BE
PROVIDED UNDER SEPARATE COVER TO
BUILDING DEPARTMENT FOR REVIEW
PRIOR TO CONSTRUCTION.

HOLOPHANE
LEADERS IN LIGHTING SOLUTIONS

SVLED3
Sign-Vue® LED 3

Listing Number
Notes
Type

SPECIFICATIONS

General Construction

- Extruded cast aluminum alloy door and housing, allows for corrosion resistance and long life. It both arm mount with 0-5 degree vertical adjustment provides easy, secure installation and adjustability for arms 1.5 in. round (1.66 in. O.D.) or 1.5 in. square pipe (1.66 in. O.D.), 1.5 in. round pipe (1.66 in. O.D.) (ARM mount), top or bottom mount. Also available with plate style mount (PLM) with two 3/4-14 NPT threaded side entries. Stainless steel tool-less latch design provides optical door for easy access to terminal block, surge protection module, and LED driver. Removable optical door for ease of installation. Quick disconnect connector for ease of installation and maintenance.

Environmental

- Luminaire designed and tested to comply with ANSI C136.31 2001 for 100,000 cycles at 3.0G acceleration for bridges and overpasses.
- The range of luminaire operation is -40°C to +40°C.
- Luminaire assembly meets dust and moisture rating of IP-66 per IEC 60529, ensuring long component life and protection from the environment.
- The luminaire is finished with polyester paint applied after a pretreatment process to ensure maximum durability. The finish shall pass the 5000-hour salt fog test per ASTM B117 and D1654 standards, with a scribe rating ≥ 7.

Regulatory

- Cutting and Condensing Humidity testing per Acuity Brands validation Test Specification 902-00002-901
- The luminaire is safety listed to CSA C22.2 number 25, wet location, 40°C ambient.
- The luminaire is RHOV compliant. Luminaire meets EMI compliance per FCC Title 47 CFR Part 15, Class A.
- Designlights Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/ to confirm which versions are qualified.

Warranty

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.holophane.com/support/warranty-terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C.

ORDERING INFORMATION

Series	Optic	Performance Package	Color Temperature	Color Rendering Index	Voltage
SVLED3	Sign-Vue LED3	ADL: Ad-Vue Optic PML: Panel-Vue Optic SVL: Sign-Vue Optic	PK1: 6,300 Lumens PK2: 10,300 Lumens PK3: 15,300 Lumens PK4: 15,500 Lumens PK5: 15,000 Lumens PK6: 20,700 Lumens	300K 400K 500K 5700K	70 CRI 80 CRI 90 CRI 90 CRI 90 CRI 90 CRI

Mounting Method	Finish	Options	Accessories
AMT: Standard flange plate mount, 1.25" round (1.66" O.D.), 1.5" square, with front entry access	BRDOP: Brown Super Durable BKOP: Black Super Durable GTOP: Gray Super Durable GTOP: Granite Super Durable WNSOP: White Super Durable	AD: Field Adjustable Output	SVLEDT10510 SVLEDT10510 Single-Fuse Kit Double-Fuse Kit PSVLED3 Side Shield Kit BRDOP PSVLED3 Side Shield Kit BKOP PSVLED3 Side Shield Kit GTOPO PSVLED3 Side Shield Kit WNSOP Side Shield Kit painted Black Side Shield Kit painted Brown Side Shield Kit painted Gray Side Shield Kit painted White

Notes:
1. Not available with HMO1 or HMO2
2. PFI Performance Package Only
3. -30°C to +40°C ambient only

Acuity Brands | One Libbards Way, Cary, NC 27513 | Phone: 866-420-OPHANE | www.holophane.com | TechSupport@lighting@holophane.com | 910-655-0000
©2024 Acuity Brands Lighting, Inc. All rights reserved. Rev. 05/24/24 | Specifications subject to change without notice. | Page 1 of 3

LIGHTING NOTES
1. FIXTURE SHALL BE HOLOPHANE SVLED3 SIGN-VUE LED3 OR APPROVED EQUAL.

