

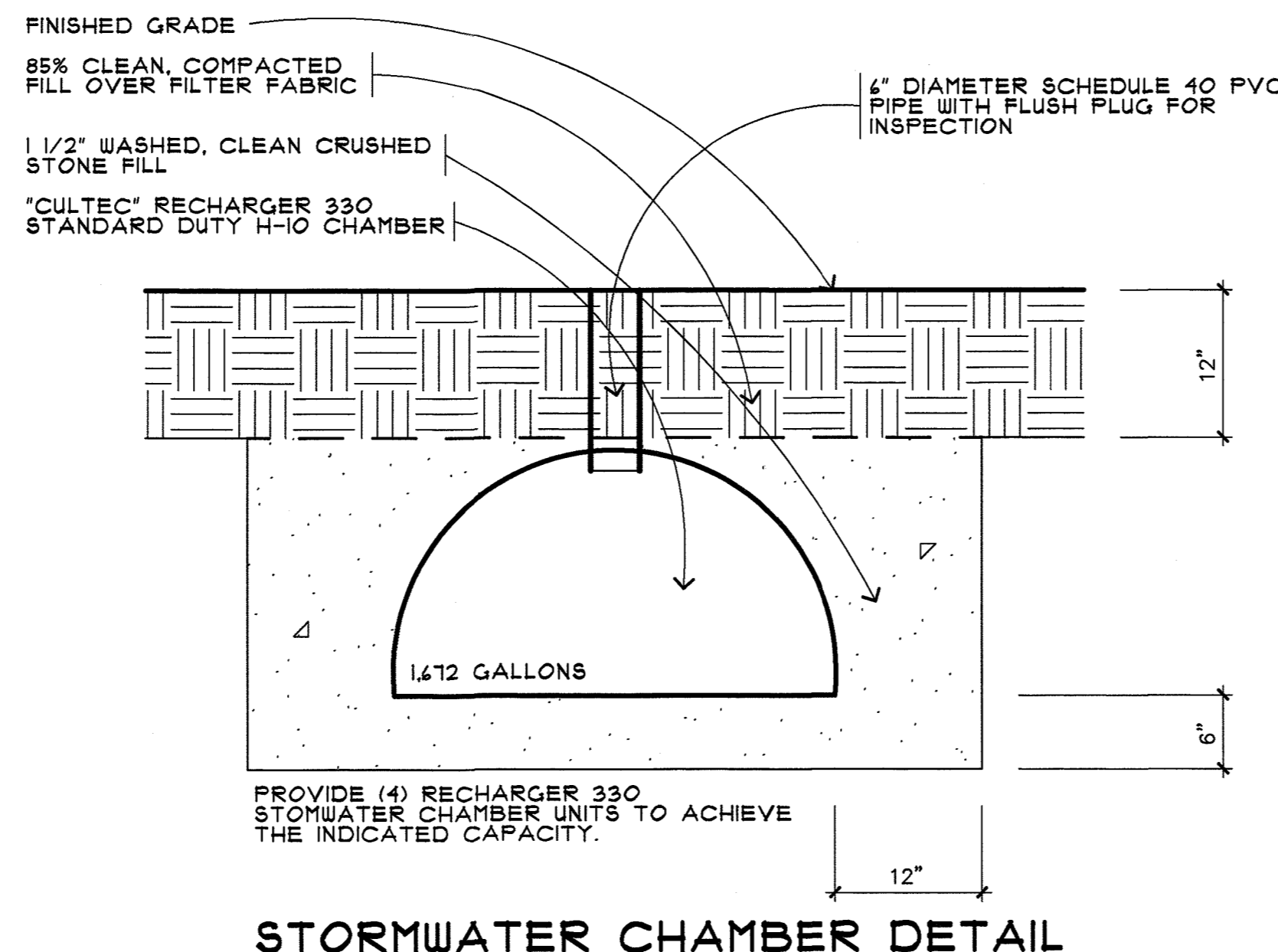
SITE and BUILDING DATA

LOT NO. 15
 BLOCK NO. 112
 BUILDING USE GROUP INTERNATIONAL RESIDENTIAL CODE: NJ EDITION, R-5
 CONSTRUCTION TYPE 5B
 AREA OF SITE 5,250 S.F.
 EXISTING FIRST FLOOR AREA: 884 S.F.
 EXISTING SECOND FLOOR AREA: 852 S.F.
 EXISTING REAR DECK AND STAIR AREA: 247 S.F.
 EXISTING SIDE STAIR AREA: 23 S.F.
 EXISTING FRONT STAIR AND PLATFORM AREA: 48 S.F.
 EXISTING FRONT SHED: 25 S.F.
 EXISTING REAR SHED: 70 S.F.
 EXISTING SIDE WALKWAY: 180 S.F.
 EXISTING FRONT WALKWAY: 56 S.F.
 EXISTING DRIVEWAY: 324 S.F.
 EXISTING PATIO AND SIDE WALKWAY: 442 S.F.
 EXISTING COOLING SYSTEM CONDENSERS: 18 S.F.
 ROOF OVERHANGS: 50 S.F.
 PROPOSED FIRST FLOOR EXPANSION: 442 S.F.**
 PROPOSED SECOND FLOOR EXPANSION: 249 S.F.
 **NEW FOOTPRINT EXPANSION: 421 S.F.
 PROPOSED REAR STAIR AND PLATFORM: 48 S.F.
 PORTION OF EXISTING SIDE WALKWAY TO REMAIN: 138 S.F.
 NEW PAVER PATIO: 200 S.F.
 NEW PAVER DRIVEWAY AND FRONT WALKWAY: 430 S.F.

EXISTING BUILDING COVERAGE CALCULATED AS FOLLOWS:
 $884 \text{ S.F.} + 247 \text{ S.F.} + 23 \text{ S.F.} + 48 \text{ S.F.} + 25 \text{ S.F.} + 70 \text{ S.F.} + 50 \text{ S.F.} = 1,347 \text{ S.F.} / 5,250 \text{ S.F.} = 24.01\%$
 EXISTING IMPROVED LOT COVERAGE (EXCLUDING YARD AMENITIES) CALCULATED AS FOLLOWS:
 $884 \text{ S.F.} + 48 \text{ S.F.} + 25 \text{ S.F.} + 56 \text{ S.F.} + 324 \text{ S.F.} + 50 \text{ S.F.} = 1,391 \text{ S.F.} / 5,250 \text{ S.F.} = 24.49\%$
 EXISTING IMPROVED LOT COVERAGE FOR AMENITIES RESERVE CALCULATED AS FOLLOWS:
 $247 \text{ S.F.} + 23 \text{ S.F.} + 70 \text{ S.F.} + 180 \text{ S.F.} + 442 \text{ S.F.} + 18 \text{ S.F.} = 1,220 \text{ S.F.} / 5,250 \text{ S.F.} = 23.23\%$
 FINAL PROPOSED BUILDING COVERAGE CALCULATED AS FOLLOWS:
 $884 \text{ S.F.} + 48 \text{ S.F.} + 70 \text{ S.F.} + 50 \text{ S.F.} + 421 \text{ S.F.} + 48 \text{ S.F.} = 1,523 \text{ S.F.} / 5,250 \text{ S.F.} = 29.0\%$
 FINAL IMPROVED LOT COVERAGE (EXCLUDING YARD AMENITIES) CALCULATED AS FOLLOWS:
 $1,523 \text{ S.F.} + 430 \text{ S.F.} = 1,953 \text{ S.F.} / 5,250 \text{ S.F.} = 37.2\%$
 FINAL IMPROVED LOT COVERAGE FOR AMENITIES RESERVE CALCULATED AS FOLLOWS:
 $12 \text{ S.F.} (25\% \text{ OF REAR STAIR AND PLATFORM}) + 138 \text{ S.F.} + 200 \text{ S.F.} + 18 \text{ S.F.} (A/C \text{ CONDENSERS}) = 368 \text{ S.F.} / 5,250 \text{ S.F.} = 7.0\%$

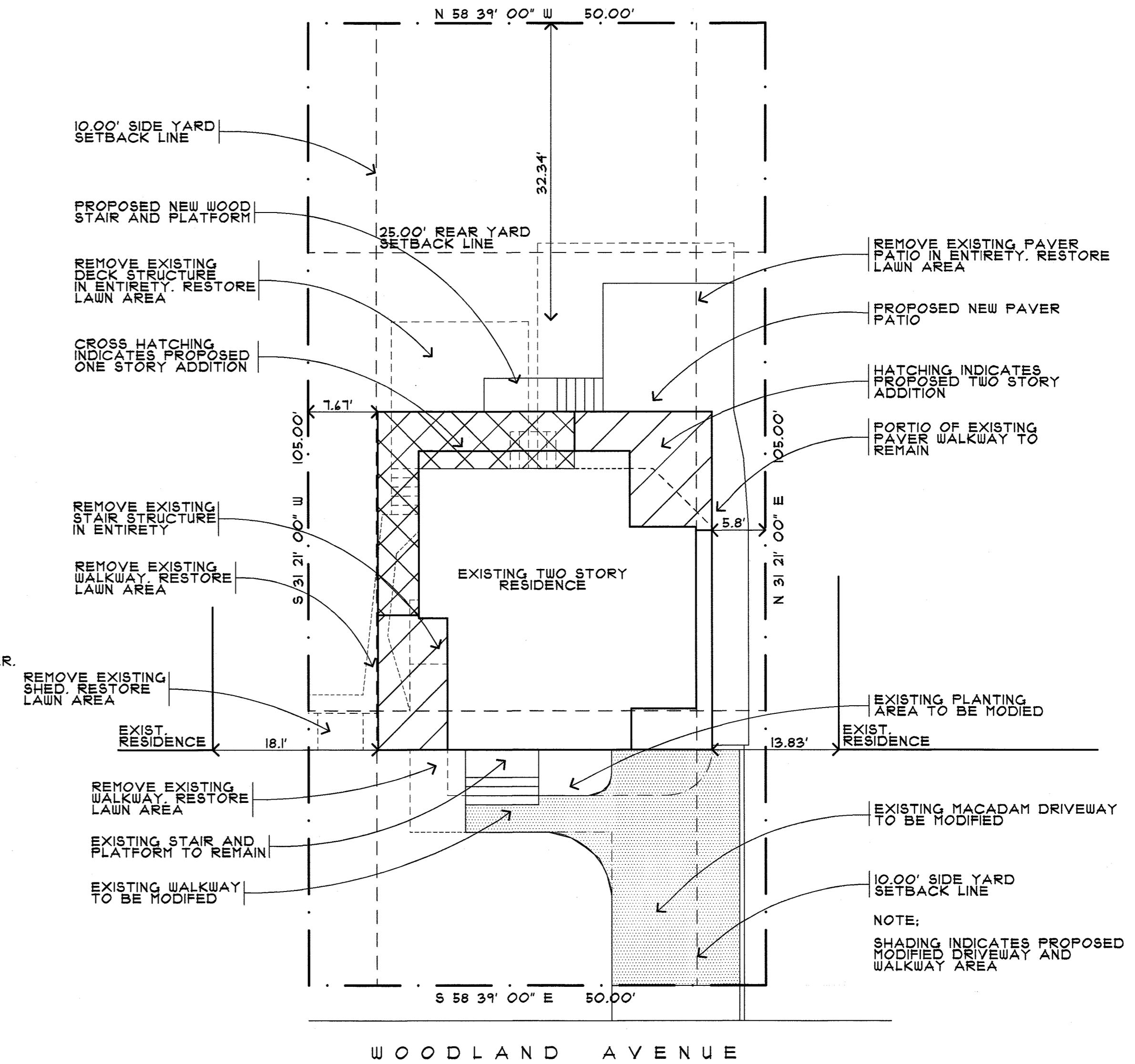
ZONING DATA R-1 ZONE

	REQUIRED/ ALLOWED	EXISTING	PROPOSED TOTAL	VARIANCE REQUIRED ?
MINIMUM LOT AREA	1,500 S.F.	5,250 S.F.	5,250 S.F.	NO. PRE-EXIST.
LOT WIDTH	15.00'	50.00'	50.00'	NO. PRE-EXIST.
MIN. LOT DEPTH	100.00'	105.00'	105.00'	NO.
LOT (BUILDING) COVERAGE	25%	24.01%	29.0%	YES.
IMP. LOT COVERAGE EXCLUDES YARD AMENITIES:	30%	24.49%	31.2%	YES.
IMP. LOT COVERAGE AMENITIES RESERVE:	5%	23.23%	7.0%	YES.
FRONT YARD SETBACK	30.00'	25.7'	25.7'	YES.
SIDE YARD SETBACK (EAST)	7.5'	5.8'	5.8'	YES.
SIDE YARD SETBACK (WEST)	7.5'	12.0'	7.4'	NO.
REAR YARD SETBACK	25.00'	31.0'	32.34'	NO.
BUILDING HEIGHT	30'-0" (2.5 STORIES)	27'-0" (2 STORIES)	27'-0" (2 STORIES)	NO.



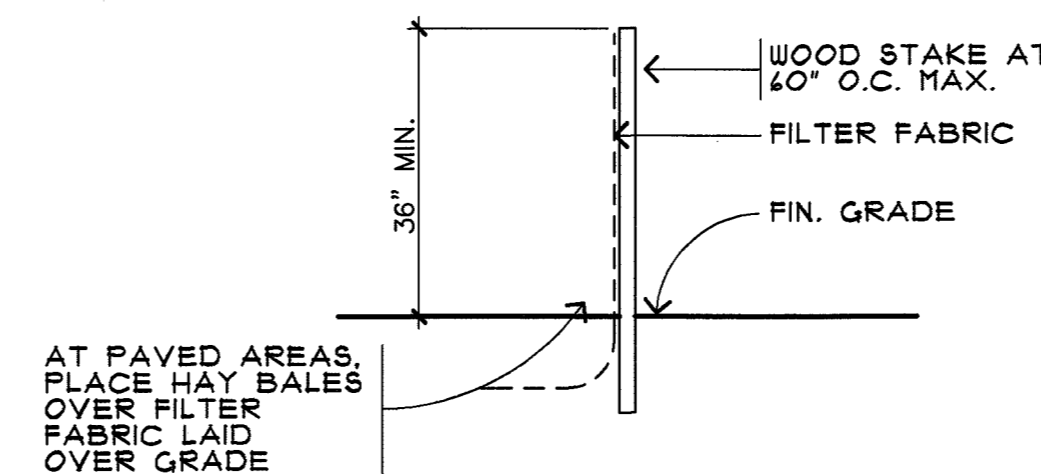
STORMWATER CHAMBER DETAIL

NOT TO SCALE
 NOTE:
 COORDINATE LOCATIONS OF STORMWATER CHAMBERS IN THE FIELD WITH THE OWNER.
 STORMWATER CALCULATIONS:
 $150 \text{ S.F. (ROOF AREA)} \times 3" (.25') \text{ PER HOUR} = 188 \text{ CUBIC FEET PER HOUR.}$
 $188 \text{ CUBIC FEET} \times 7.48 \text{ GALLONS PER CUBIC FOOT} = 1,401 \text{ GALLONS PER HOUR.}$
 $4 \times 418 = 1,672 \text{ GALLON MINIMUM STORMWATER CHAMBER CAPACITY PROVIDED.}$
 ALL RAIN WATER DOWNSPOUTS FROM THE REAR OF THE HOUSE SHALL BE CONNECTED UNDERGROUND TO THE STORMWATER CHAMBER.



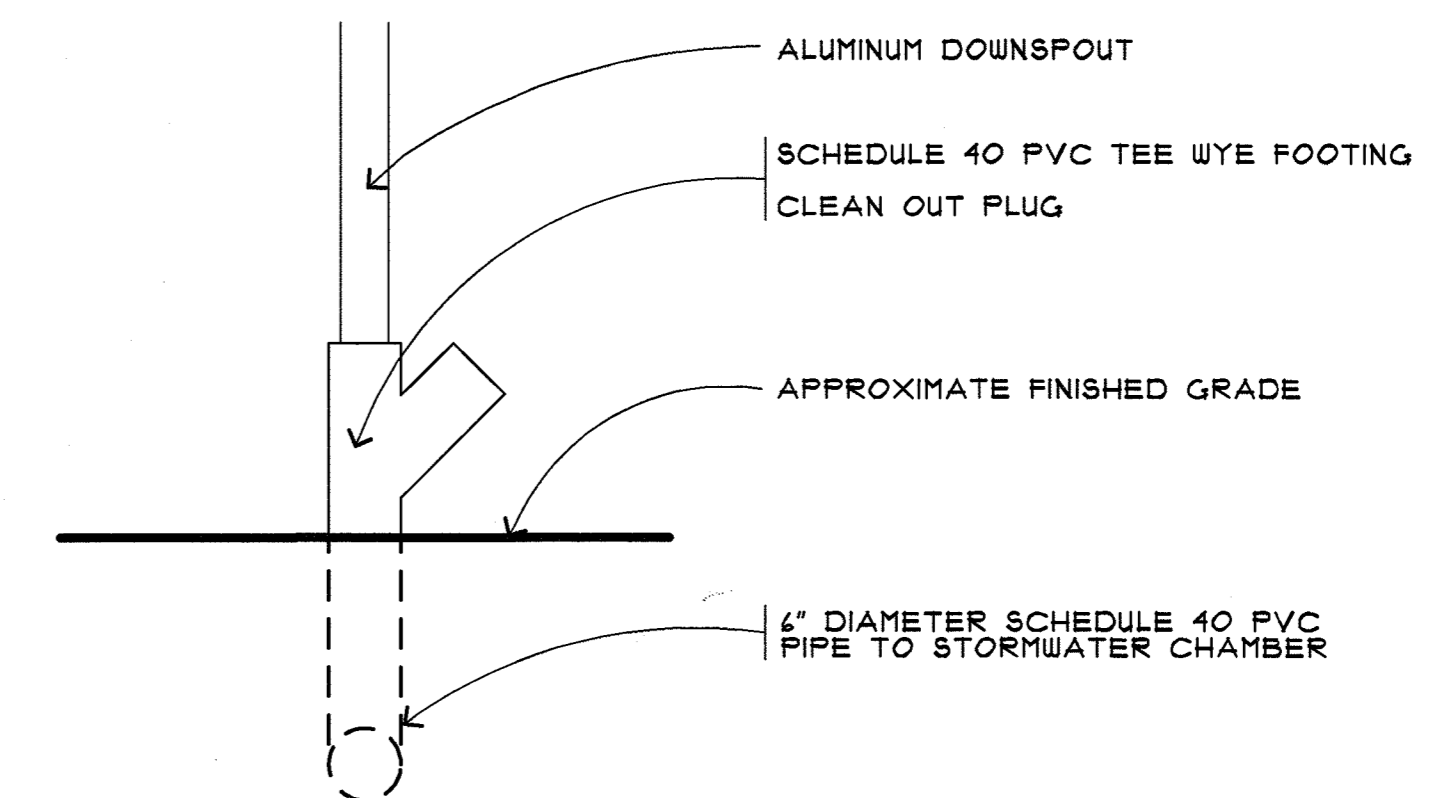
SCHEMATIC SITE PLAN

SCALE: 1" = 10'-0"
 SITE PLAN INFORMATION TAKEN FROM A SURVEY PREPARED BY CHRISTOPHER LANTELME, PLS. #39580 DATED JANUARY 15, 2025.
 PLAN NORTH



SILT FENCE DETAIL

NOT TO SCALE



DOWNSPOUT CLEAN OUT DETAIL

NOT TO SCALE

VALID IF SEALED
 JOSEPH J. BRUNO, AIA
 ARCHITECT
 N.J. REG. NO. 120831

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ADDITON AND ALTERATIONS FOR THE
D'ALESSANDRO RESIDENCE
 292 WOODLAND AVENUE
 RIVER EDGE, NEW JERSEY

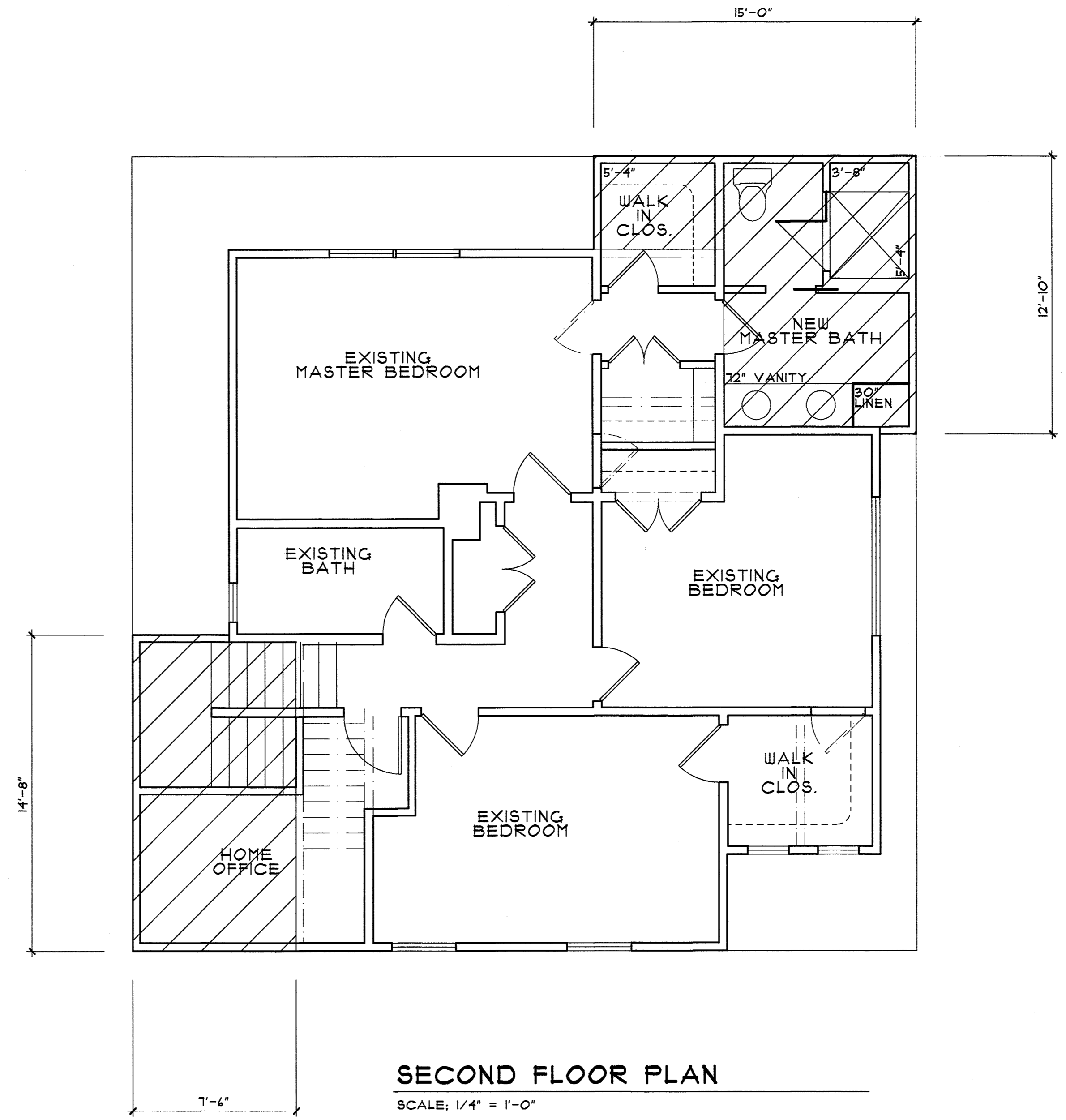
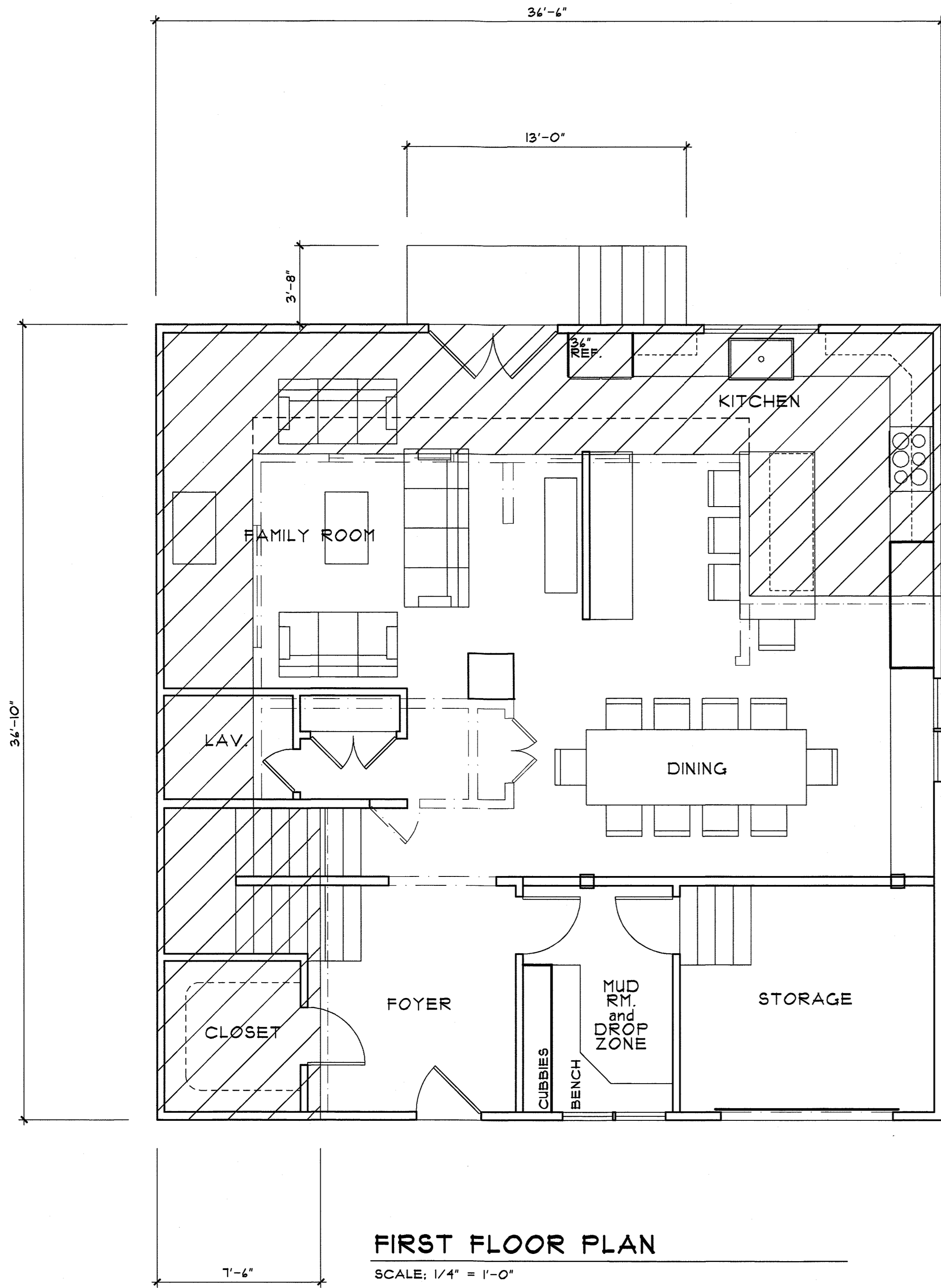
DRAWN BY: JJB
 CHECKED BY: ME

DATE: 03/10/24

REVISIONS:
 03/31/24

SHEET NO:
 1 OF 3

NOTE:
 HATCHING INDICATES PROPOSED
 NEW FLOOR AREAS AT FIRST AND
 SECOND FLOORS



VALID IF SEALED

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ADDITON AND ALTERATIONS FOR THE

D'ALESSANDRO RESIDENCE

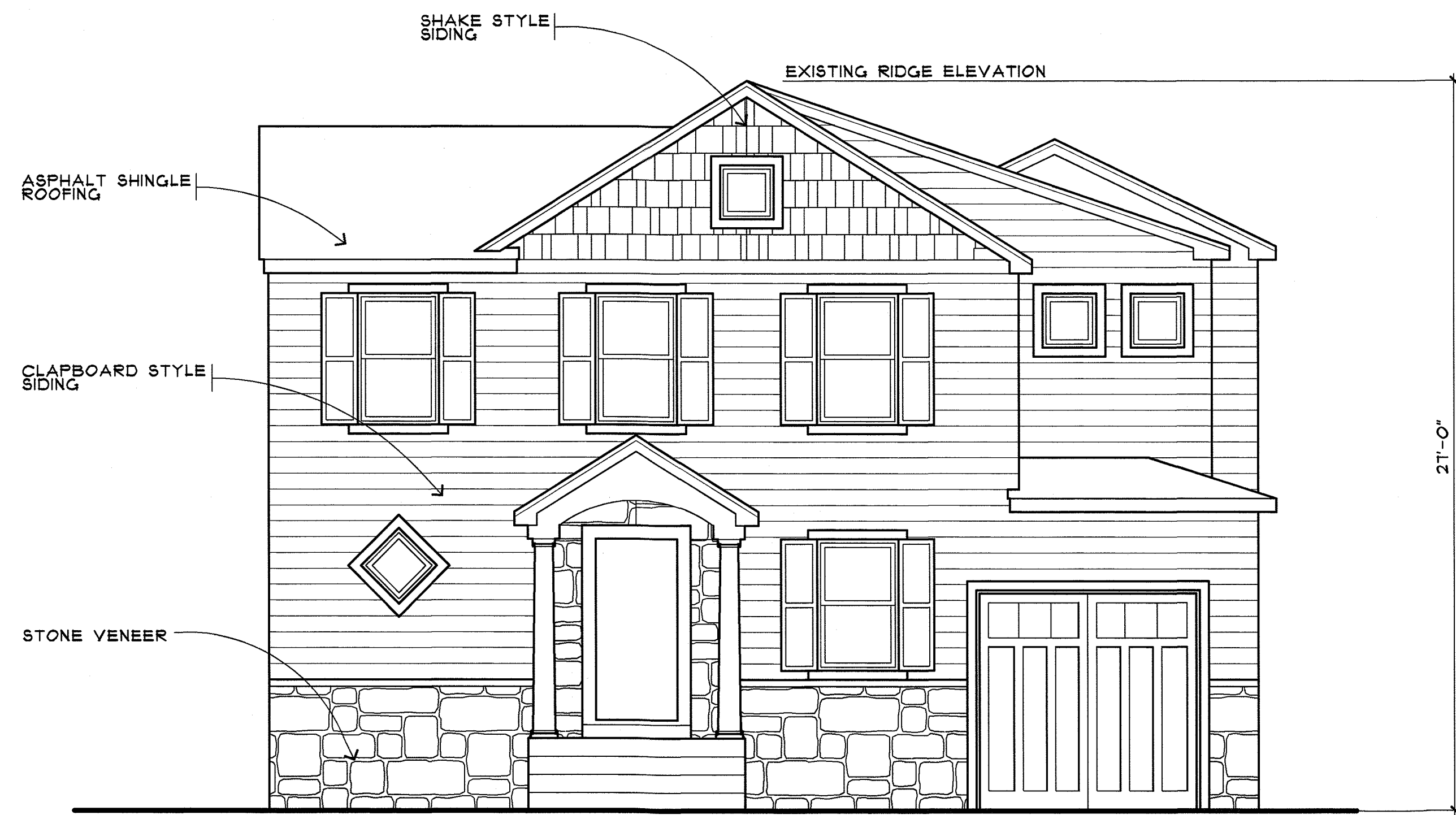
292 WOODLAND AVENUE
 RIVER EDGE, NEW JERSEY

DRAWN BY: JJB
 CHECKED BY: ME

DATE: 03/10/24

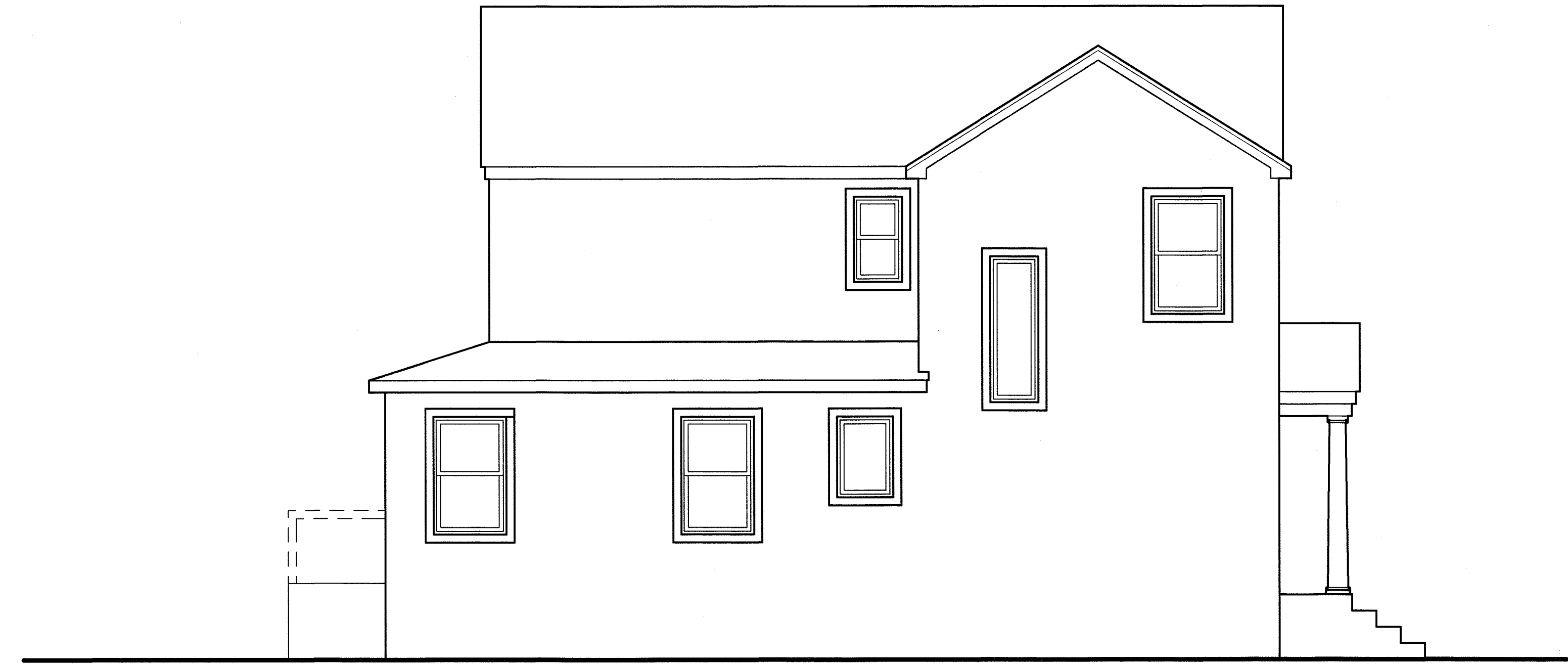
REVISIONS:
 03/31/24

SHEET NO:
 2 OF 3



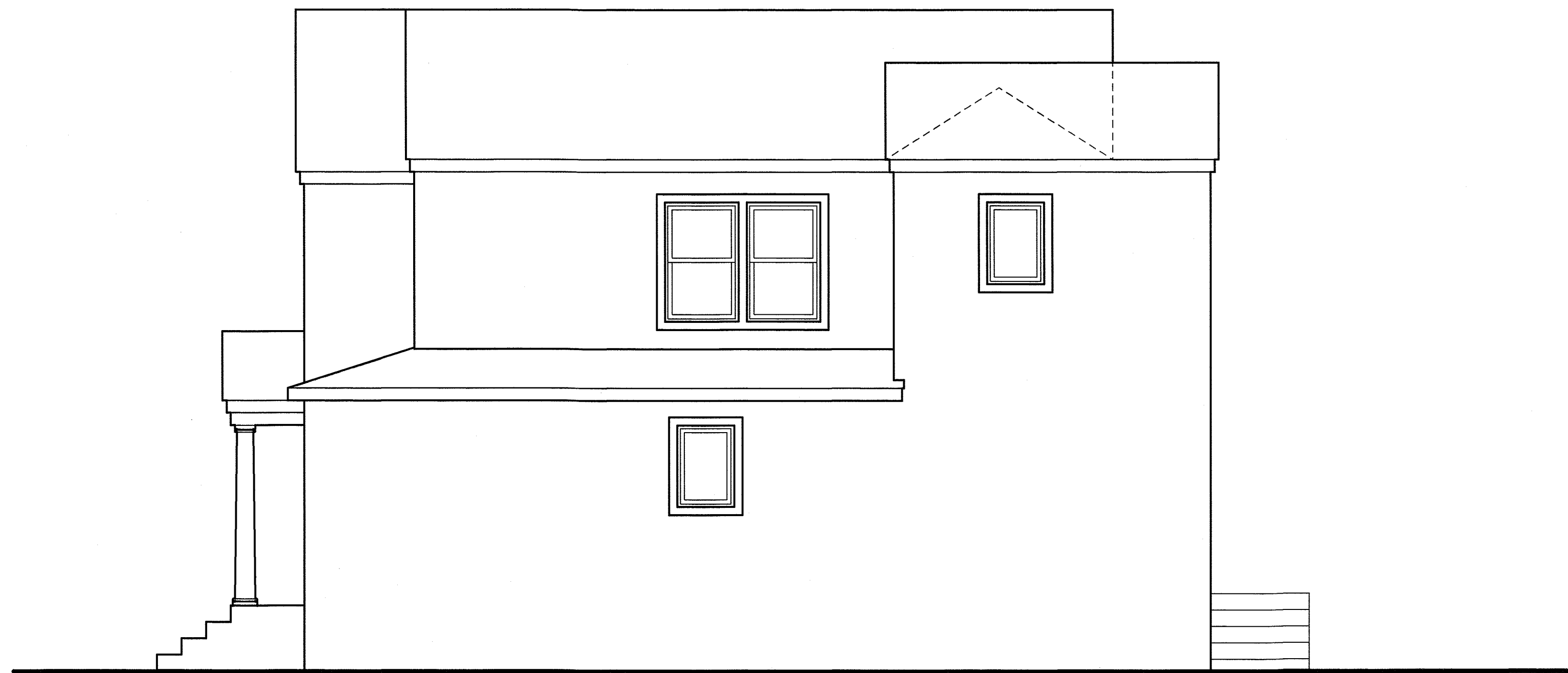
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

VALID IF SEALED
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ADDITON AND ALTERATIONS FOR THE
D'ALESSANDRO RESIDENCE
 292 WOODLAND AVENUE
 RIVER EDGE, NEW JERSEY

DRAWN BY: JJB
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 03/31/24

SHEET NO:

3 OF 3