

SITE and BUILDING DATA

LOT NO. 10
 BLOCK NO. 814
 BUILDING USE GROUP INTERNATIONAL RESIDENTIAL CODE: NJ EDITION, R-5
 CONSTRUCTION TYPE 5B
 AREA OF SITE 4,000 S.F.
 EXISTING FIRST FLOOR AREA: 1105 S.F.
 EXISTING SECOND FLOOR AREA: 405 S.F.
 EXISTING REAR STAIR AND PLATFORM: 28 S.F.
 EXISTING FRONT STAIR: 1 S.F.
 EXISTING FRONT WALKWAY: 128 S.F.
 EXISTING PATIO AND SIDE WALKWAY: 503 S.F.
 EXISTING DRIVEWAY: 355 S.F.
 EXISTING ROOF OVERHANGS: 50 S.F.
 EXISTING CONDENSER UNIT: 9 S.F.
 PROPOSED FIRST FLOOR EXPANSION: 482 S.F.
 PROPOSED SECOND FLOOR EXPANSION: 928 S.F.
 PROPOSED FRONT PORCH AND STAIR: 42 S.F.
 PROPOSED REAR DECK AND STAIR: 42 S.F.
 PROPOSED FRONT WALKWAY: 140 S.F.
 PROPOSED STONE PATIO: 240 S.F.
 PROPOSED ROOF OVERHANG: 45 S.F.
 PROPOSED ADDITIONAL CONDENSER UNIT: 9 S.F.
 PROPOSED DRIVEWAY AREA: 574 S.F.

EXISTING BUILDING COVERAGE CALCULATED AS FOLLOWS:

1105 S.F. + 28 S.F. + 1 S.F. + 50 S.F. = 1190 S.F. / 4,000 S.F. = 19.83%

EXISTING IMPROVED LOT COVERAGE (EXCLUDING YARD AMENITIES) CALCULATED AS FOLLOWS:

1190 S.F. - 28 S.F. + 128 S.F. + 355 S.F. = 1,445 S.F. / 4,000 S.F. = 21.1%

EXISTING IMPROVED LOT COVERAGE FOR AMENITIES RESERVE CALCULATED AS FOLLOWS:

28 S.F. + 503 S.F. + 9 S.F. = 540 S.F. / 4,000 S.F. = 9%

FINAL PROPOSED BUILDING COVERAGE CALCULATED AS FOLLOWS:

1105 S.F. + 50 S.F. + 482 S.F. + 45 S.F. + 42 S.F. + 42 S.F. = 1,804 S.F. / 4,000 S.F. = 30.00%

FINAL IMPROVED LOT COVERAGE (EXCLUDING YARD AMENITIES) CALCULATED AS FOLLOWS:

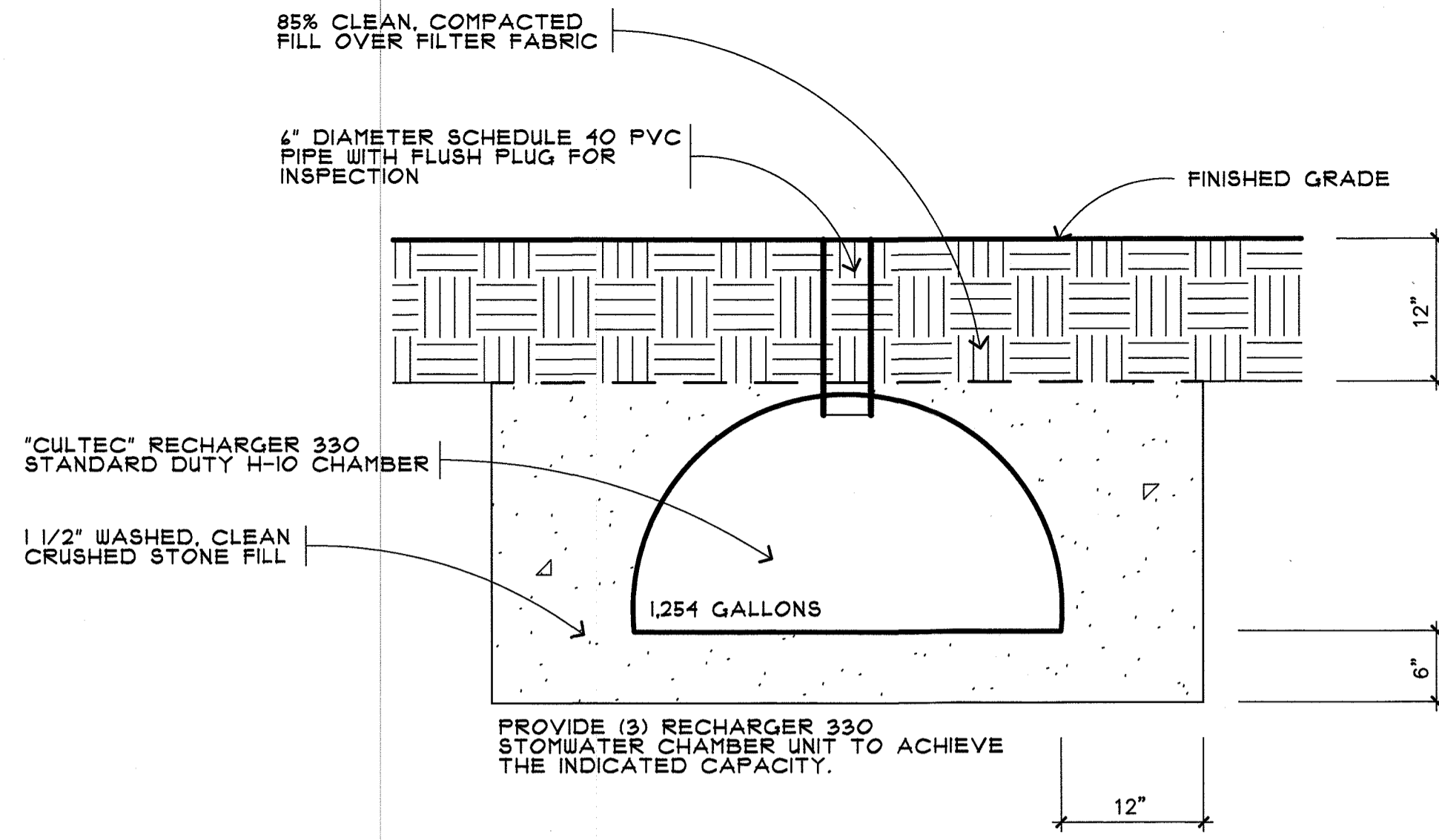
1105 S.F. + 50 S.F. + 482 S.F. + 42 S.F. + 45 S.F. + 140 S.F. + 574 S.F. = 2,458 S.F. / 4,000 S.F. = 40.9%

FINAL IMPROVED LOT COVERAGE FOR AMENITIES RESERVE CALCULATED AS FOLLOWS:

16 S.F. (25% OF REAR STAIR AND PLATFORM) + 240 S.F. + 18 S.F. (A/C CONDENSERS) = 274 S.F. / 4,000 S.F. = 4.5%

ZONING DATA R-1 ZONE

	REQUIRED/ ALLOWED	EXISTING	PROPOSED TOTAL	VARIANCE REQUIRED ?
MINIMUM LOT AREA	7,500 S.F.	4,000 S.F.	4,000 S.F.	NO. PRE-EXIST.
LOT WIDTH	75.00'	40.00'	40.00'	NO. PRE-EXIST.
MIN. LOT DEPTH	100.00'	100.00'	100.00'	NO.
LOT (BUILDING) COVERAGE	25%	19.83%	30.0%	YES.
IMP. LOT COVERAGE EXCLUDES YARD AMENITIES:	30%	21.1%	40.9%	YES.
IMP. LOT COVERAGE AMENITIES RESERVE:	5%	9%	4.5%	NO.
FRONT YARD SETBACK	30.00'	31.00'	23.12'	YES.
SIDE YARD SETBACK (SOUTH)	1.5'	12.92' / 13.00'	9.00'	NO.
SIDE YARD SETBACK (NORTH)	1.5'	1.00' / 1.02'	1.02'	YES.
REAR YARD SETBACK	25.00'	37.5'	30.00'	NO.
BUILDING HEIGHT	30'-0" (2.5 STORIES)	27'-8" (2 STORIES)	27'-8" (2 STORIES)	NO.



STORMWATER CHAMBER DETAIL

NOT TO SCALE

NOTE:

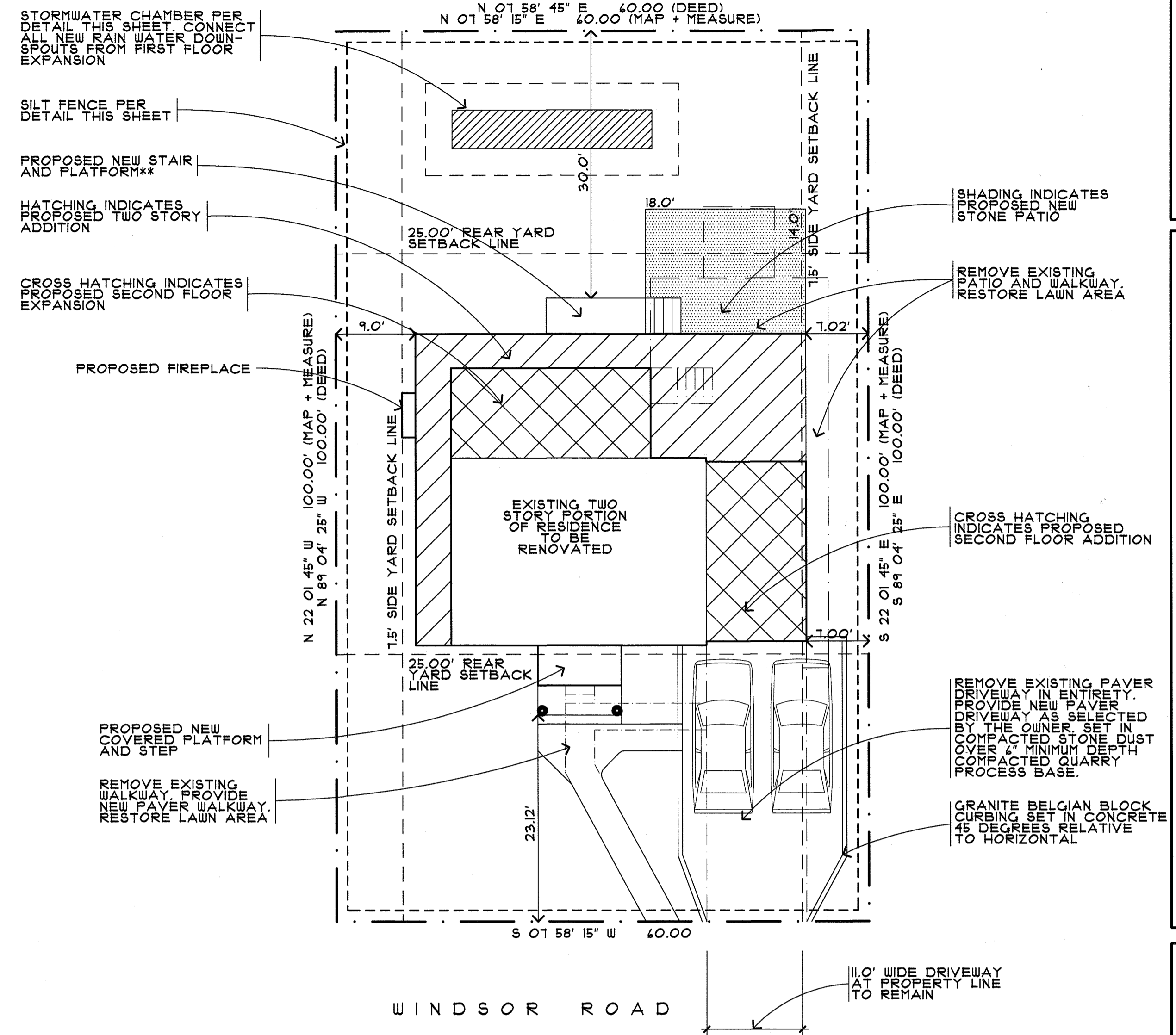
COORDINATE LOCATIONS OF STORMWATER CHAMBERS IN THE FIELD WITH THE OWNER.

STORMWATER CALCULATIONS:

532 S.F. (NEW ROOF AREA) X 3" (.25") PER HOUR = 133 CUBIC FEET PER HOUR.

133 CUBIC FEET X 1.481 GALLONS PER CUBIC FOOT = 995 GALLONS PER HOUR.

418 GALLON MINIMUM STORMWATER CHAMBER CAPACITY PROVIDED.

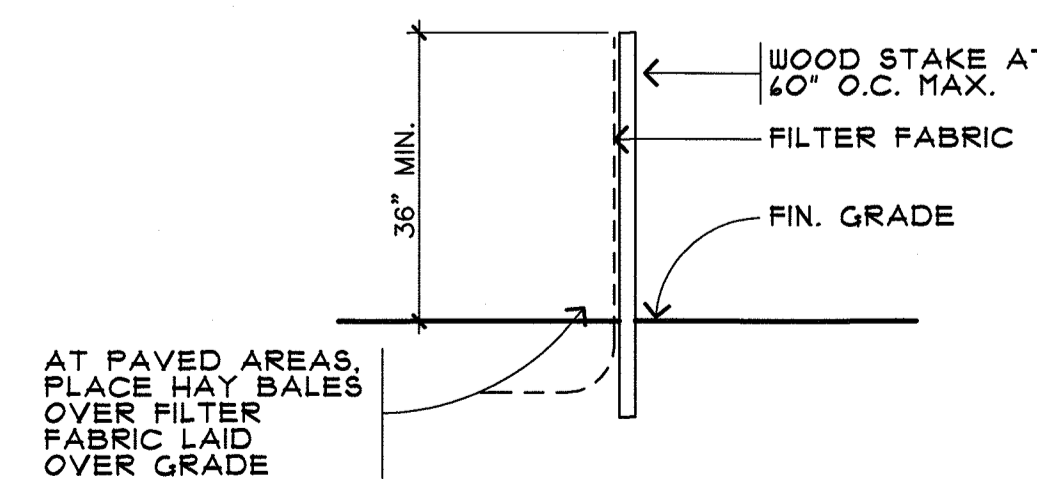


SCHEMATIC SITE PLAN

SCALE: 1" = 10'-0"

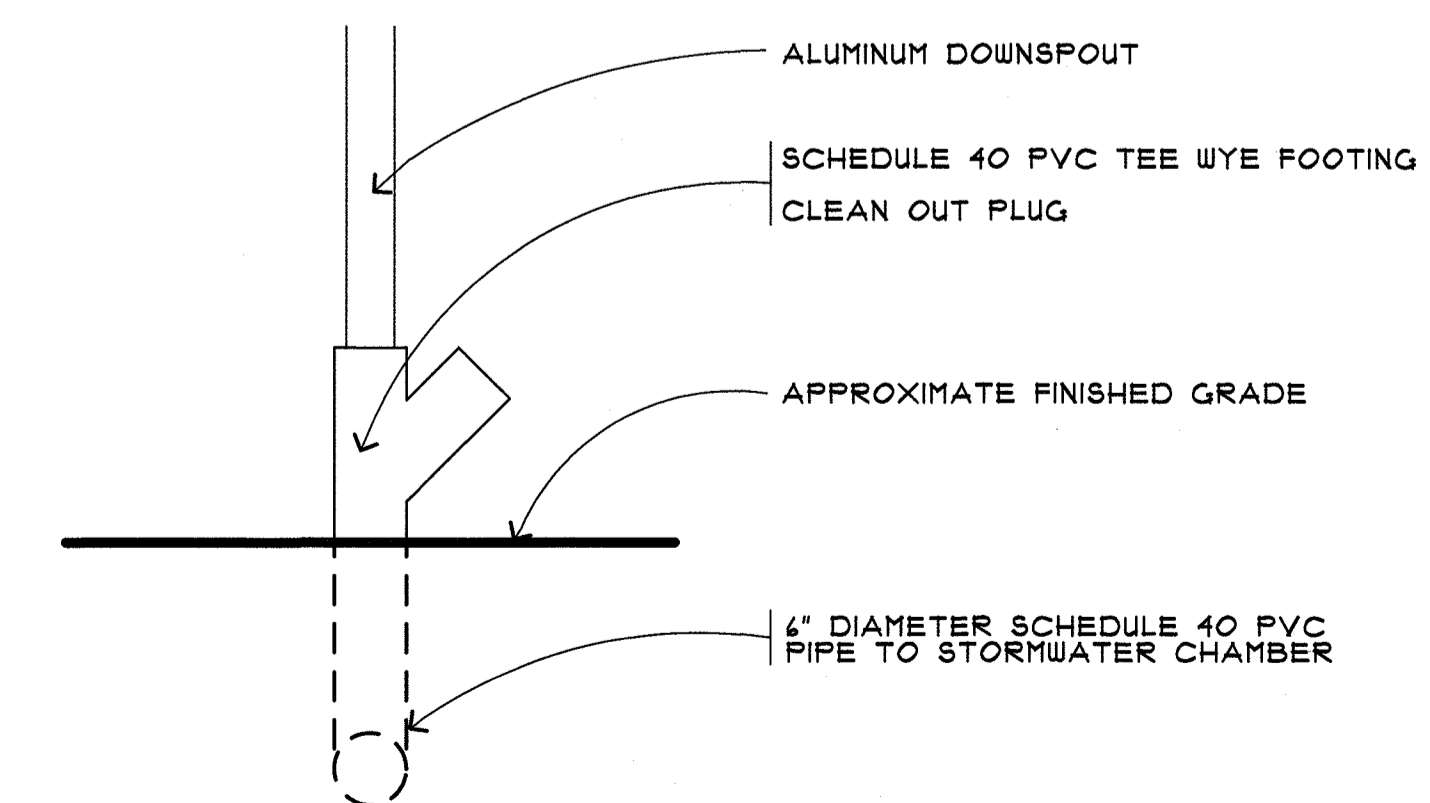
SITE PLAN INFORMATION TAKEN FROM A SURVEY PREPARED BY STEVEN L. KOESTNER, PLS. #21901 DATED OCTOBER 24, 2014.

PLAN NORTH



SILT FENCE DETAIL

NOT TO SCALE



1 DOWNSPOUT CLEAN OUT DETAIL

NOT TO SCALE

VALID IF SEALED
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 MARCH LIC. A05374

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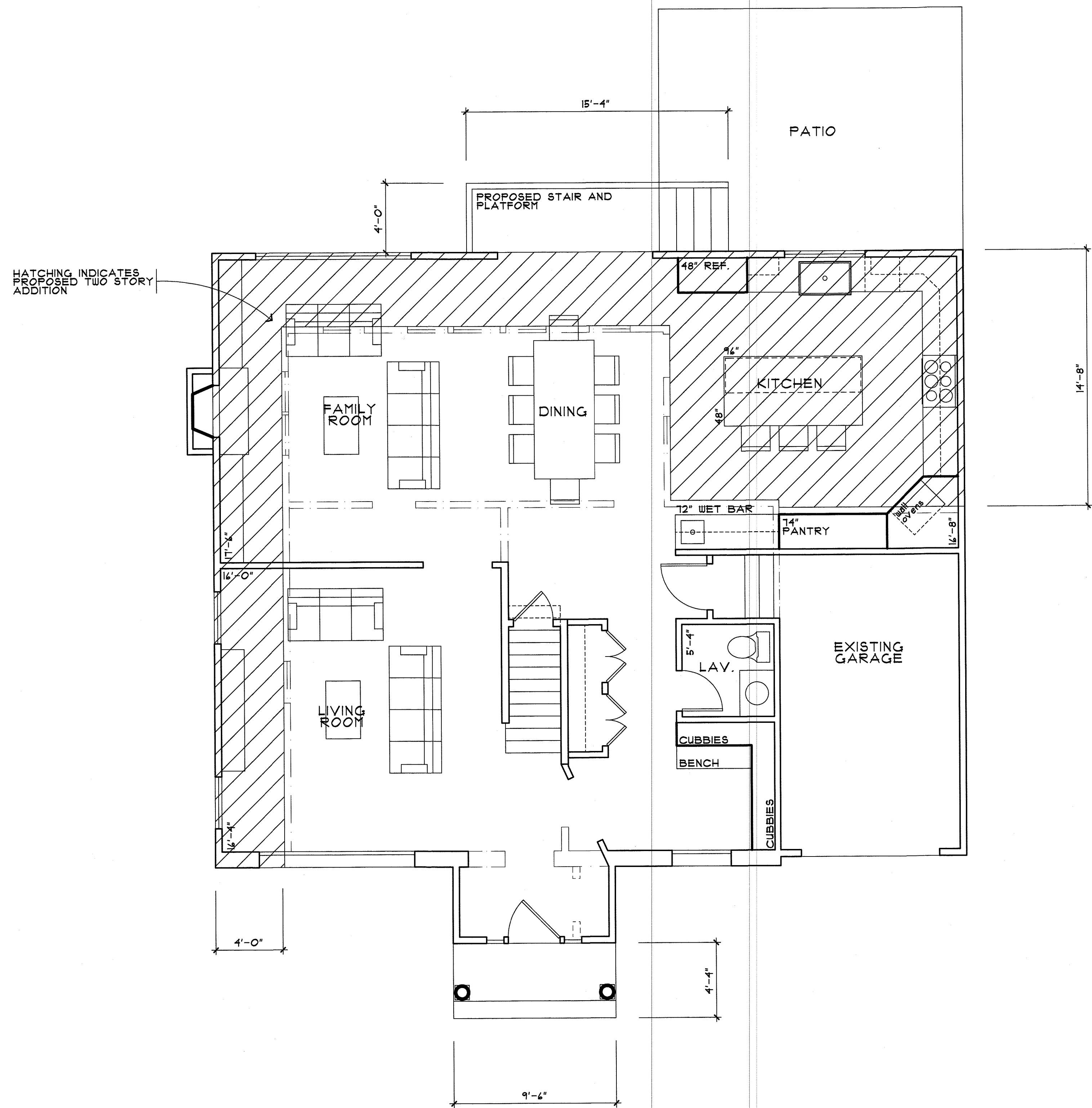
ADDITION AND ALTERATIONS TO THE
MALKI RESIDENCE
 473 WINDSOR ROAD
 RIVER EDGE, NEW JERSEY

DRAWN BY: JJB
 CHECKED BY: ME

DATE: 03/16/24

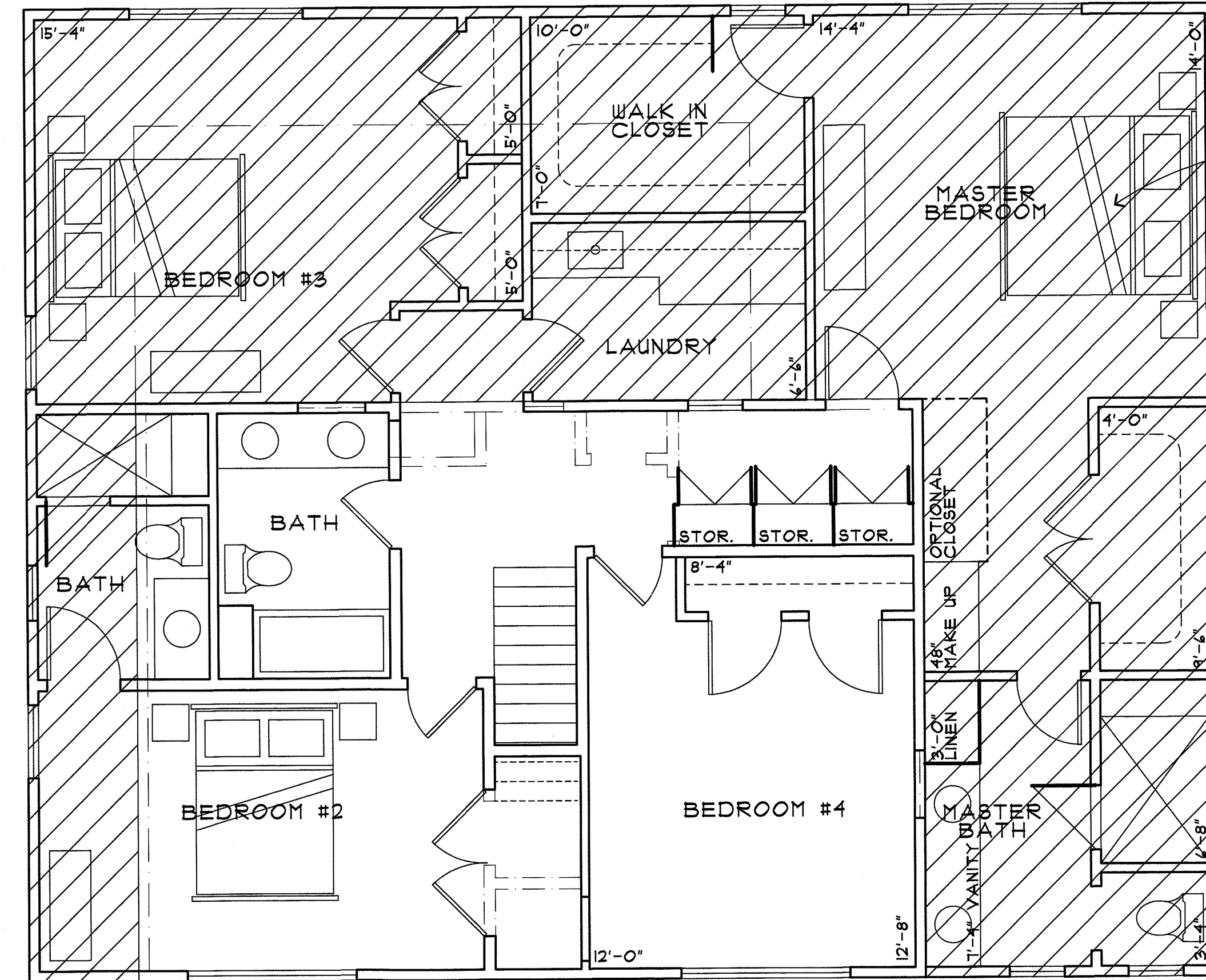
REVISIONS:
 03/19/24

SHEET NO:
 A1 OF 3



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

VALID IF SEALED

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ADDITION AND ALTERATIONS TO THE
**MALKI
RESIDENCE**
413 WINDSOR ROAD,
RIVER EDGE, NEW JERSEY

DRAWN BY: JJB
CHECKED BY: ME

DATE: 03/16/24

REVISIONS:

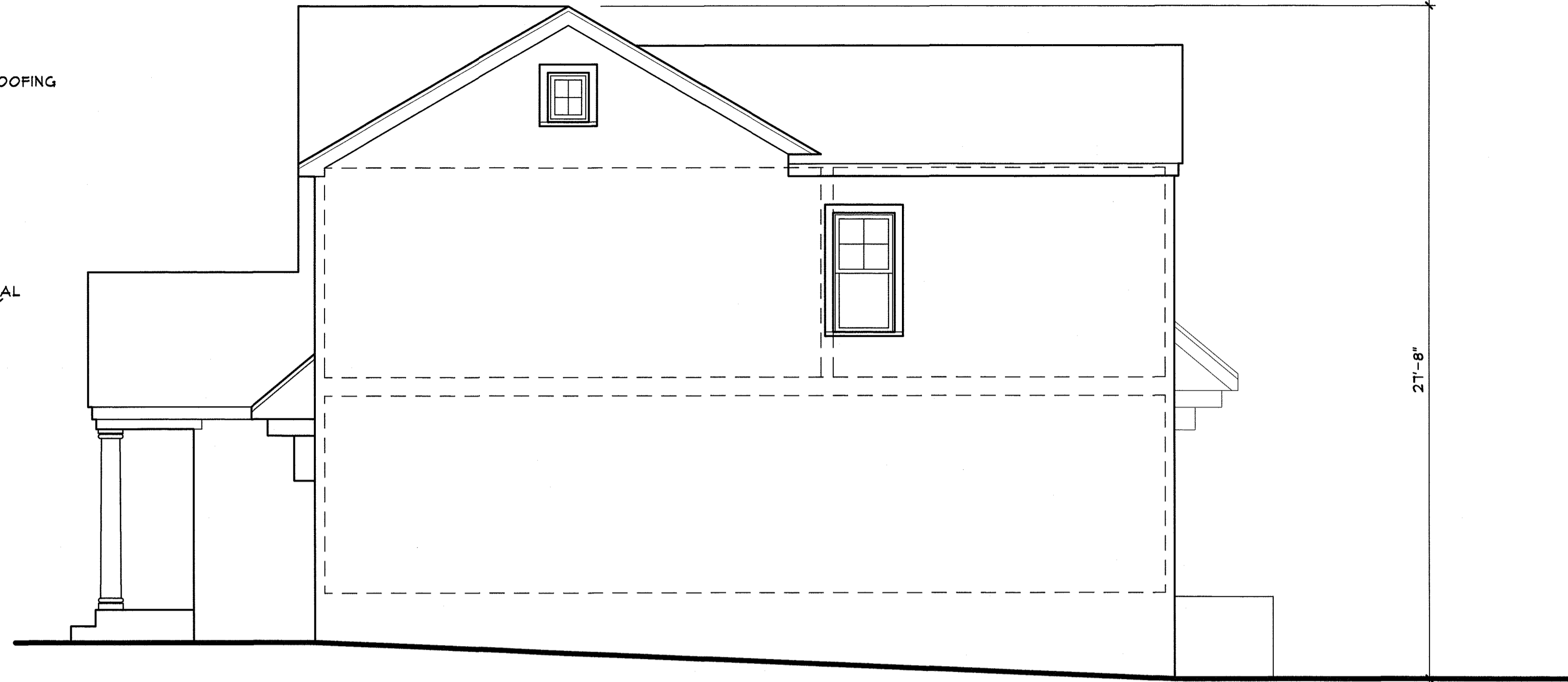
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A2 OF 3

PERMITTED 30'-0" BUILDING HEIGHT ELEVATION LINE



EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

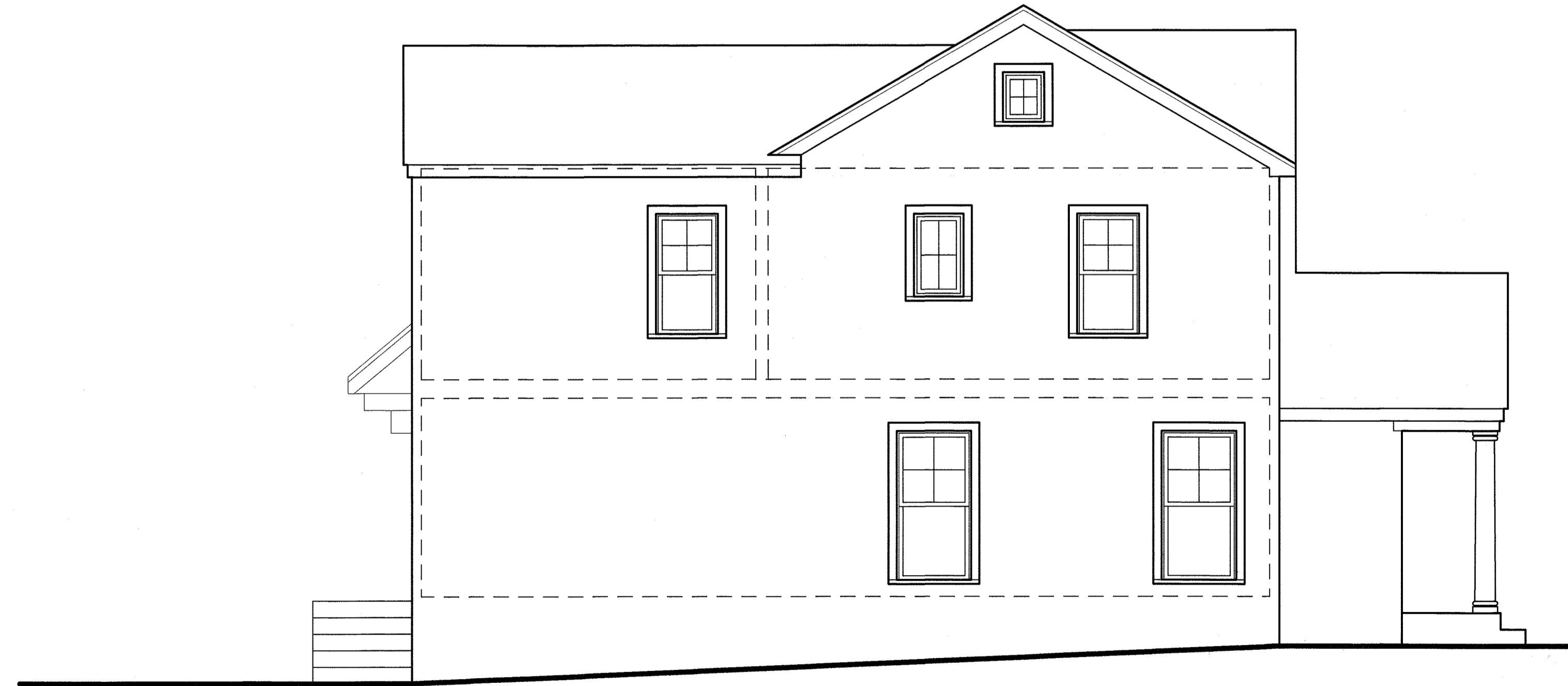
SCALE: 1/4" = 1'-0"

PERMITTED 30'-0" BUILDING HEIGHT ELEVATION LINE



WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

VALID IF SEALED

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ADDITION AND ALTERATIONS TO THE

**MALKI
RESIDENCE**
413 WINDSOR ROAD
RIVER EDGE, NEW JERSEY

DRAWN BY: JJB
CHECKED BY: ME

DATE: 03/16/24

REVISIONS:

SHEET NO:

A3 OF 3