

TITLE COMMITMENT INFORMATION

THE PROPERTY HEREON DESCRIBED IS THE SAME PROPERTY AS DESCRIBED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT #22-7406-58986-RO, WITH AN EFFECTIVE DATE OF 09.00 A.M. MARCH 16, 2022

SCHEDULE A DESCRIPTION

ALL that certain plot, piece or parcel of land, situate, lying and being in the Village of Nyack, County of Rockland and State of New York, bounded and described as follows:

BEGINNING at the northeast corner thereof, at the point of intersection of the south line of Sickles Avenue with the west line of Franklin Street; and running from thence along the west line of Franklin Street, South 26 degrees West 239 feet to an old fence post and northeast corner of lands late of William Heesz; thence North 65 degrees 15 minutes West along a board fence and the rear line of lands of said Heesz, and of the German Presbyterian Church and of John S. Flender and of Ellen R. Sturtevant, 345.52 feet to a point of 1.2 feet north of the northeast corner of the bar on the lands of Sturtevant; thence North 64 degrees 39 minutes West along the rear line of lands of said Sturtevant and lands now or formerly of Carrie Barton and part way along fences now standing along said line, 200.78 feet to lands known as Aldine Square; thence along said Aldine Square property, North 24 degrees 4 minutes East 45 feet to a stake and southeast corner of lands now late of Wilber H. Baldwin; thence easterly along said Baldwin's land, South 64 degrees 35 minutes East 100 feet to his other southeast corner; thence northerly along said Baldwin's land North 25 degrees 53 minutes East, 199.32 feet to the south line of Sickles Avenue; and thence along the south line of Sickles Avenue, South 62 degrees 27 minutes East 448.16 feet to the place of BEGINNING.

NOTES CORRESPONDING TO SCHEDULE B

NO APPLICABLE SCHEDULE B II ITEMS LISTED

INVERT INFORMATION

DMH #1
RIM: 124.39'
INVERT WEST - 12" CLAY: 120.74'
INVERT EAST - 12" CLAY: 120.59'
INVERT SOUTH - 12" CLAY: 120.69'

DMH #2
RIM: 123.10'
INVERT NORTHEAST - 6.5" PVC: 121.6'

DMH #3
RIM: 124.31'
INVERT NORTHWEST - 4" CLAY: 121.61'
INVERT EAST - 10" CLAY: 121.71'
INVERT SOUTH - 10" CLAY: 121.51'

LAND AREA

112,855 SQ. FEET ±
2.591 ACRES ±

PARKING INFORMATION

REGULAR= 26
HANDICAP= 8
TOTAL= 34

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 38067C0181G, WHICH BEARS AN EFFECTIVE DATE OF 03/03/2014 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA

ZONE "X" - AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.

TEMPORARY BENCHMARK INFORMATION

TBM #1
SET MAG-NAIL
ELEVATION: 111.13'
NORTHING: 823682.09
EASTING: 651689.53

TBM #2
SET MAG-NAIL
ELEVATION: 132.30'
NORTHING: 823682.53
EASTING: 651290.20

FOUND 12" THREADED PIPE
S 09°04'26" W 1.19'
FROM CORNER

BASIS OF BEARING

THE BASIS OF BEARING OF THIS SURVEY IS GRID NORTH BASED ON NEW YORK STATE PLANE COORDINATE SYSTEM, EAST ZONE NAD83 AS MEASURED ALONG THE NORTH LINE OF THE SUBJECT PROPERTY. THE BEARING IS DENOTED AS S 74°42'31" E. LATITUDE = 41°05'35.2524" LONGITUDE = -73°55'18.3467" CONVERGENCE ANGLE = 00°22'48.2645"

SIGNIFICANT OBSERVATIONS

FENCE APPEARS TO CROSS BOUNDARY BY AS MUCH AS 1.6'.

UTILITY INFORMATION

THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS AND UTILITY MAP DRAWINGS. BLEW & ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION. CALL NEW YORK ONE-CALL AT 811 OR 800-524-7603 FOR FIELD LOCATIONS (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITY LINES BEFORE DIGGING.

ZONING INFORMATION

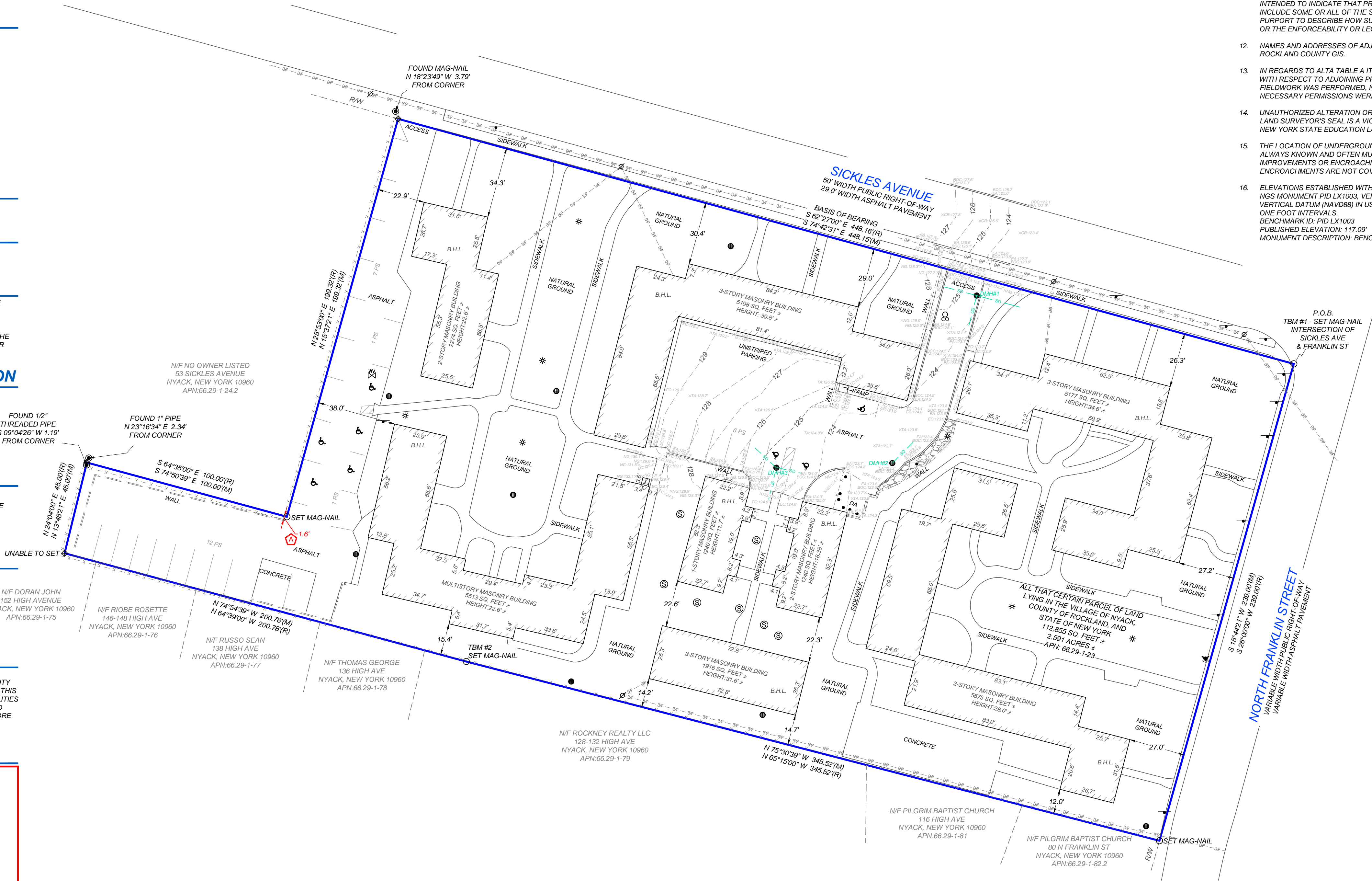
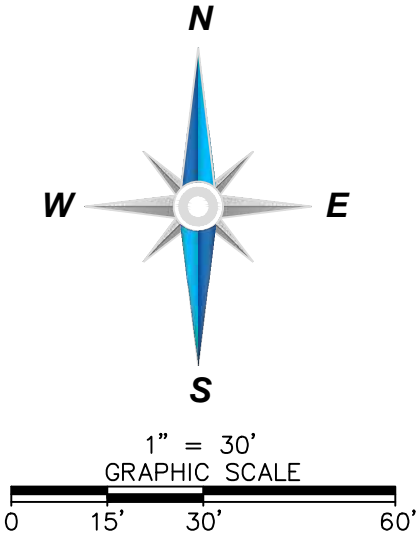
TABLE
OMITTED

ALTA/NSPS LAND TITLE SURVEY

701 SICKLES AVENUE

NYACK, NEW YORK 10960

ROCKLAND COUNTY

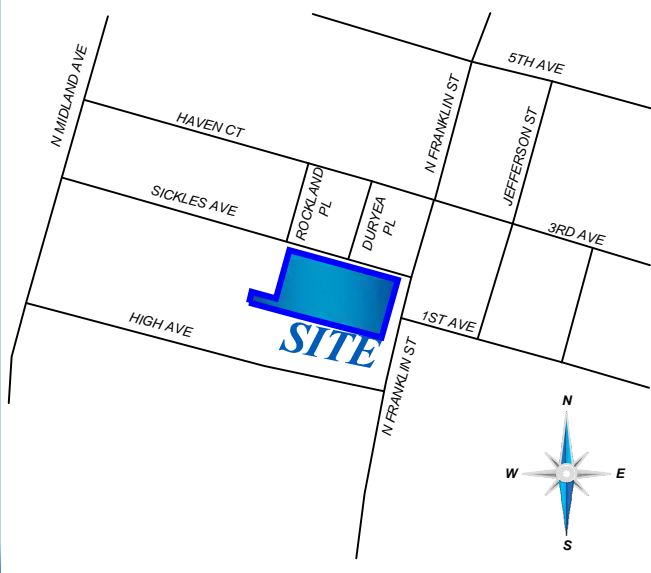


GENERAL NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- IN REGARDS TO TABLE A, ITEM 16 THERE WAS NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS EXCEPT AS SHOWN HEREON.
- IN REGARDS TO TABLE A, ITEM 17 THERE WERE NO KNOWN PROPOSED CHANGES IN RIGHT OF WAY LINES, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS EXCEPT AS SHOWN HEREON.
- AT THE TIME OF THE ALTA SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP, OR SANITARY LANDFILL.
- AT THE TIME OF THE ALTA SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY, ISOLATED GRAVE SITE OR BURIAL GROUNDS.
- THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
- THE NEAREST INTERSECTING STREET IS THE INTERSECTION OF SICKLES AVENUE AND NORTH FRANKLIN STREET, WHICH ABUTS THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO SICKLES AVENUE, BEING A PUBLICLY DEDICATED RIGHT-OF-WAY.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT OF ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PROPERTY: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF SURVEY; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- NO SURVEYOR OR ANY OTHER PERSON OTHER THAN A LICENSED NEW YORK ATTORNEY MAY PROVIDE LEGAL ADVICE CONCERNING THE STATUS OF TITLE TO THE PROPERTY DESCRIBED IN THIS SURVEY (THE SUBJECT PROPERTY). THE PURPOSE OF THIS SURVEY, AND THE COMMENTS RELATED TO THE SCHEDULE B II EXCEPTIONS, IS ONLY TO SHOW THE LOCATION OF BOUNDARIES AND PHYSICAL OBJECTIONS IN RELATION THERETO. TO THE EXTENT THAT THE SURVEY INDICATES THAT THE LEGAL INSTRUMENT "AFFECTS" THE SUBJECT PROPERTY, SUCH STATEMENT IS ONLY INTENDED TO INDICATE THAT PROPERTY BOUNDARIES INCLUDED IN SUCH INSTRUMENT INCLUDE SOME OR ALL OF THE SUBJECT PROPERTY. THE SURVEYOR DOES NOT PURPORT TO DESCRIBE HOW SUCH INSTRUMENT AFFECTS THE SUBJECT PROPERTY OR THE ENFORCEABILITY OR LEGAL CONSEQUENCES OF SUCH INSTRUMENT.
- NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM ROCKLAND COUNTY GIS.
- IN REGARDS TO ALTA TABLE A ITEM 10, NO VISIBLE CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES WERE OBSERVED AT THE TIME THE FIELDWORK WAS PERFORMED, NOR WERE ANY DESIGNATED BY THE CLIENT; NECESSARY PERMISSIONS WERE NOT PROVIDED.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
- THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS CERTIFICATE.
- ELEVATIONS ESTABLISHED WITH GPS OBSERVATIONS WITH ORIGINATING BENCHMARK NGS MONUMENT PID LX1003, VERTICAL DATUM BASED UPON NORTH AMERICAN VERTICAL DATUM (NAVD83) IN US SURVEY FEET. CONTOURS SHOWN ARE SHOWN AT ONE FOOT INTERVALS. BENCHMARK ID: PID LX1003 PUBLISHED ELEVATION: 117.09' MONUMENT DESCRIPTION: BENCHMARK DISK SET IN PAVEMENT

VICINITY MAP

NOT TO SCALE



LEGEND & SYMBOLS

- FOUND MONUMENT (AS NOTED)
- SET MONUMENT (AS NOTED)
- COMPUTED POINT
- HANDICAP PARKING
- FIRE HYDRANT
- LIGHT
- SANITARY MANHOLE
- POWER POLE
- GAS VALVE
- WATER VALVE
- GRATE TOP STORM INLET
- SIGN
- GUY ANCHOR
- BOLLARD
- CLEAN-OUT
- R/W RIGHT-OF-WAY
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION
- N/F NOW OR FORMERLY
- BHL BUILDING HEIGHT LOCATION
- P.O.B. POINT OF BEGINNING
- DA DUMPSTER AREA
- NG NATURAL GROUND
- BOC BACK OF CURB
- EA EDGE OF ASPHALT
- TA TOP OF ASPHALT
- EC EDGE OF CONCRETE
- TC TOP OF CONCRETE
- TBM TEMPORARY BENCHMARK
- BOUNDARY LINE
- FENCE LINE
- OVERHEAD POWER LINE
- STORM DRAIN LINE
- RIP-RAP

SURVEYOR'S CERTIFICATE

TO: FIDELITY NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(b)(1), 7(c), 8, 9, 10, 13, 14, 16, 17, & 19, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 04/12/2022.

DATE OF PLAT OR MAP: 04/27/2022

THE CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE.

JEROME D. BRUNNER
LAND SURVEYOR NO. 050928
STATE OF NEW YORK



3825 N. SHILOH DRIVE - FAYETTEVILLE, TN 37203
EMAIL: SURVEY@BLEWINC.COM
OFFICE: 479.443.4506 FAX: 479.582.1883
EMAIL: SURVEY@BLEWINC.COM WWW.BLEWINC.COM

SURVEYOR JOB NUMBER:
22-2922.02

SURVEY DRAWN BY:
AAA - 04/24/2022

SURVEY REVIEWED BY:
JH

SHEET:
1 OF 1

DATE	REVISION HISTORY	BY

EXISTING SITE PLAN LEGEND	
	POWER POLE
	WATER VALVE
	TELEPHONE PEDESTAL
	WATER METER
	GRATED INLET
	CLEAN OUT
	LIGHT
	SANITARY SEWER
	MANHOLE
	ELECTRICAL BOX
	CURB INLET
	UTILITY VAULT
	SIGN
	TELEPHONE BOX
	FIRE HYDRANT
	GAS METER
	DRAIN GRATE
	NATURAL GROUND
	CENTERLINE OF ROAD
	RIGHT-OF-WAY
	FIBER OPTIC BOX
	PROPERTY LINE
	CENTERLINE OF ROAD
	FENCE
	OVERHEAD POWER LINE

N/F NO OWNER LISTED
53 SICKLES AVENUE
NYACK, NEW YORK 10960
APN:66.29-1-24.2

N 24°04'00" E 45.00'(R)
N 13°48'21" E 45.00'(M)
S 64°35'00" E 100.00'(R)
S 74°50'39" E 100.00'(M)

N/F RIOBE ROSETTE
146-148 HIGH AVE
NYACK, NEW YORK 10960
APN:66.29-1-76

N/F RUSSO SEAN
138 HIGH AVE
NYACK, NEW YORK 10960
APN:66.29-1-77

N/F THOMAS GEORGE
136 HIGH AVE
NYACK, NEW YORK 10960
APN:66.29-1-78

N/F ROCKNEY REALTY LLC
128-132 HIGH AVE
NYACK, NEW YORK 10960
APN:66.29-1-79

N/F PILGRIM BAPTIST CHURCH
116 HIGH AVE
NYACK, NEW YORK 10960
APN:66.29-1-81

N/F PILGRIM BAPTIST CHURCH
80 N FRANKLIN ST
NYACK, NEW YORK 10960
APN:66.29-1-82.2

1 DEMO/NEW ARCHITECTURAL SITE PLAN - MONUMENT SIGN

3/64" = 1'-0"

ROCKLAND GARDEN APARTMENTS - PROPERTY DATA

ADDRESS	84 N FRANKLIN ST (701 SICKLES AVENUE)
CITY, STATE AND POSTAL CODE	NYACK, NEW YORK 10960
PROPERTY USE	MULTI-FAMILY RESIDENTIAL
PARCEL SIZE (ACRES)	2.59
NUMBER OF BUILDINGS	EIGHT (8)
NUMBER OF STORIES	2 & 3-STORY APT. BLDGS
YEAR BUILT	1949
NUMBER OF RESIDENTIAL UNITS	70
# OF ONE BD RM UNITS	36
# OF TWO BD RM UNITS	34
FIRE ALARM	EXISTING CENTRAL SYSTEM TO REMAIN
PROPERTY JURISDICTION	VILLAGE OF NYACK
TOWN	ORANGETOWN
ZONING DESIGNATION	MFR-1
COUNTY	ROCKLAND
PARCEL ID	66.29-1-23
OLD PARCEL TAX ID	3-132-1333.30

ZONING REGULATIONS (MFR-1 PER TABLE 4-1):

MIN. LOT AREA (SF)	20000
MIN. LOT WIDTH (FT)	100
MIN. STREET FRONTAGE	100
MIN. LOT DEPTH (FT)	100
MIN. FRONT SETBACK (FT)	30
MIN. SIDE SETBACK (ONE) (FT)	25
MIN. SIDE SETBACK (BOTH) (FT)	50
MIN. REAR SETBACK (FT)	30
BUILDING HEIGHT (STORIES)	300%
BUILDING HEIGHT (FT)	40
MAX. BUILDING LENGTH (FT)	160
MIN. USABLE OPEN SPACE (PER DU)	360
MAX. DENSITY (DU/ACRE)	14
MIN. DWELLING UNIT SIZE (SF)	600
MAX. BUILDING HEIGHT	12
PARKING REQ. DWELLING, (MULTIFAMILY 4+ UNITS)	N/A (PER TABLE 4-2)

NEW SITE PLAN LEGEND

	NEW DESIGNATED ACCESSIBLE PARKING
	NEW DESIGNATED AUDITORY / VISUALLY IMPAIRED UNITS
	NEW DESIGNATED ACCESSIBLE UNITS
	NEW CONCRETE SIDEWALK / ACCESSIBLE ROUTE / HC PKG SPACES / DUMPSTER PADS, ETC.
	NEW 5FT WIDE CROSSWALK / 8 FT WIDE PARKING AISLE
	DESIGNATED ACCESSIBLE ROUTE, TYPICAL CONTRACTOR TO REPLACE AREAS OF SIDEWALKS WITH NON-COMPLIANT SLOPES WITH NEW 1:20 MAX RUN SLOPE AND 2% MAX CROSS SLOPE. NEW SECTIONS OF SIDEWALKS TO BE 5'-0" WIDE WHERE POSSIBLE. PROVIDE NEW CURB CUTS, CURB RAMPS, ETC. AS SHOWN.
	PARKING WHEEL STOP / (TO BE PROVIDED AT ALL PARKING SPACES PERPENDICULAR TO NEW ACCESSIBLE ROUTE

LANDSCAPE SCOPE OF WORK

LEGEND

	EXISTING TREES: 1. TRIM ALL TREES THAT HAVE DRIP LINE WITHIN 3 FT OF BUILDING.
	EXISTING SHRUBS / BUSHES: 1. PRUNE AND PROVIDE MULCH BED AROUND ALL EXISTING BEDS THAT ARE ERODED

GENERAL NOTES:

- CLEAN ALL EXISTING BEDS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM NEW CONC. SIDEWALKS AND PARKING SPACES TO PREVENT STANDING WATER.
- ADD STORM DRAINS BETWEEN BUILDING 100 AND 200. REGRADE AROUND EXISTING STORM DRAINS BETWEEN BUILDING 100 AND 200 TO PREVENT STANDING WATER AND WATER INFILTRATION AT SELECT BASEMENT ROOMS. RE: SITE PLAN
- BACKFILL AND SEED AND STRAW AREAS DISRUPTED DURING CONSTRUCTION.

PARKING

STANDARD	29
ACCESSIBLE PARKING	1
ACCESSIBLE PARKING VAN	1
TOTAL	31

PROPOSED MONUMENT SIGN INFORMATION:

BUILDING SET BACK FROM THE FRONT LOT LINE	40'-4" (VARIES RE: SITE PLAN)
MONUMENT SIGN AREA PER FACE	43.25 SF
MONUMENT DISTANCE FROM BUILDING	30'-6" (VARIES RE: SITE PLAN)
MONUMENT HEIGHT TO THE TOP MOST PORTION FROM GRADE	5'-10"
SIGN SQUARE FOOTAGE (INCLUDING COLUMNS)	59 SF

REVISIONS

APPROVAL

ROCKLAND GARDEN APARTMENTS

701 SICKLES AVENUE, NYACK, NY 10960

CRAFT ARCHITECTURE, P.C. | 14241 COURSEY BLVD. STE. A12-318 | BATON ROUGE, LA 70817 | 512-588-2543



truecraftarchitecture.com

THESE DRAWINGS ARE COPYRIGHTED AND ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART. THEY ARE ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. SCALES STATED HEREON ARE VALID ON THE ORIGINAL DRAWINGS ONLY. CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN AND REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED. PLANS WERE PREPARED IN THIS OFFICE UNDER OUR PERSONAL SUPERVISION AND TO THE BEST OF OUR KNOWLEDGE COMPLY WITH STATE & LOCAL CODES.

ISSUED FOR:

PERMITTING

JOB NUMBER: 22-04

ISSUED: 05/03/24

DEMO / NEW
ARCHITECTURAL SITE
PLAN

SK3.0

PHASE: CD



ADDRESS	84 N FRANKLIN ST (701 SICKLES AVENUE)
CITY, STATE AND POSTAL CODE	NYACK, NEW YORK 10960
PROPERTY USE	MULTI-FAMILY RESIDENTIAL
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ZONING DESIGNATION	MFR-1
COUNTY	ROCKLAND
PARCEL ID	66.29-1.23
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BUILDING HEIGHT (FT)	40
MAX. BUILDING LENGTH (FT)	160
MIN. USABLE OPEN SPACE (PER DU)	360
MAX. DENSITY (DU/ACRE)	14
MIN. DWELLING UNIT SIZE (SF)	600
MAX. BUILDING HEIGHT	12
PARKING REQ. DWELLING, (MULTIFAMILY 4+ UNITS)	N/A (PER TABLE 4-2)

BUILDING SET BACK FROM THE FRONT LOT LINE	40'-4" (VARIES RE:SITE PLAN)
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ISSUED FOR:	
PERMITTING	
JOB NUMBER:	22-04
ISSUED:	05/03/24
MOUNTMENT SIGN - ENLARGED	
SK3.1	
HASE:	CD

