

# LOCATION MAP

SCALE: 1" = 150'

## PROJECT CONTACTS

**OWNER:**

MONTEFIORE HEALTH SYSTEM NYACK CAMPUS  
160 NORTH MIDLAND AVENUE  
NYACK, NY 10960

**ARCHITECT:**

POMARICO DESIGN STUDIO ARCHITECTURE, PLLC  
19 FRONT STREET  
NEWBURGH, NY 12550  
(845) 561-0448

**CIVIL ENGINEER & SURVEYOR:**

LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE  
ARCHITECTURE AND GEOLOGY, D.P.C.  
300 KIMBALL DRIVE, 4TH FLOOR  
PARSIPPANY, NJ 07054  
(973) 560-4900

# MONTEFIORE HEALTH SYSTEM NYACK CAMPUS DOT SUBMISSION

LAST REVISED: 06.13.2025

## ROUTE 9W DRIVEWAY IMPROVEMENTS

SICKLES AVE TO FIFTH AVE  
NYACK, NY 10960

TAX LOT INFO  
SECTION: 66.21  
BLOCK: 1  
LOTS: 74, 74.1 & 74.2

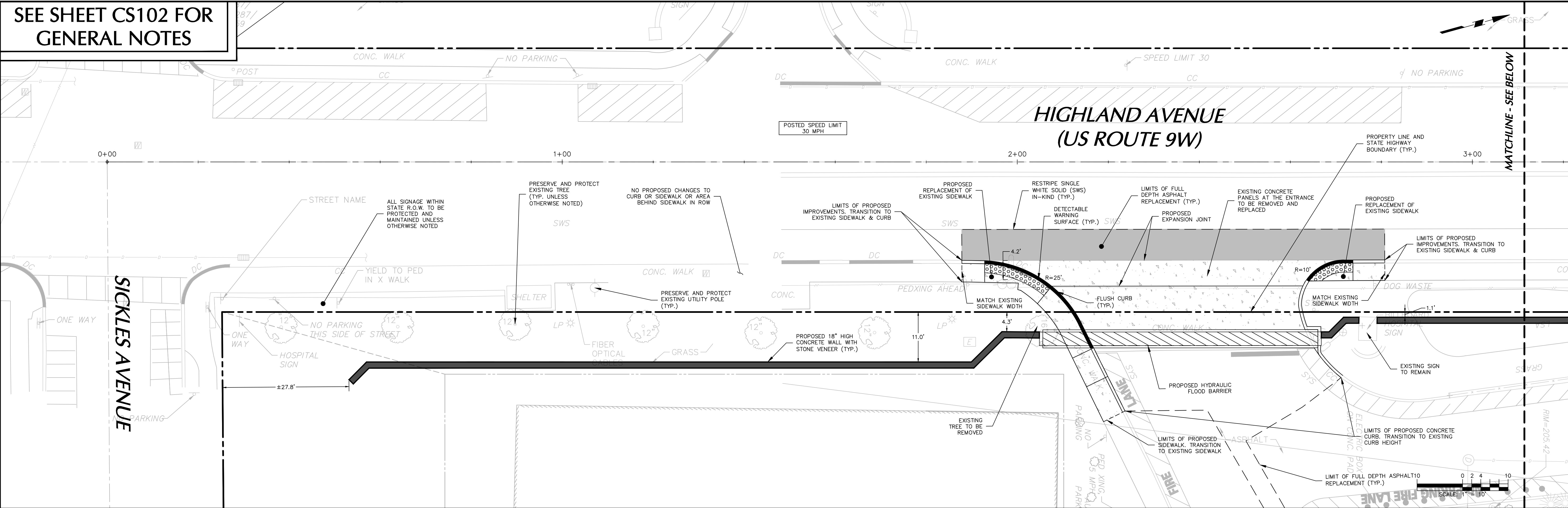
## INDEX OF DRAWINGS

LANGAN		DATE	LAST REVISED
CS001	COVER SHEET	05.16.2025	06.13.2025
CS101	SITE PLAN	05.16.2025	06.13.2025
CS102	SITE PLAN	05.16.2025	06.13.2025
CG101	GRADING PLAN	05.16.2025	06.13.2025
CG102	GRADING PLAN	05.16.2025	06.13.2025
CS501	DETAILS	05.16.2025	06.13.2025
KT101	MAINTENANCE AND PROTECTION OF TRAFFIC PLAN	05.16.2025	06.13.2025

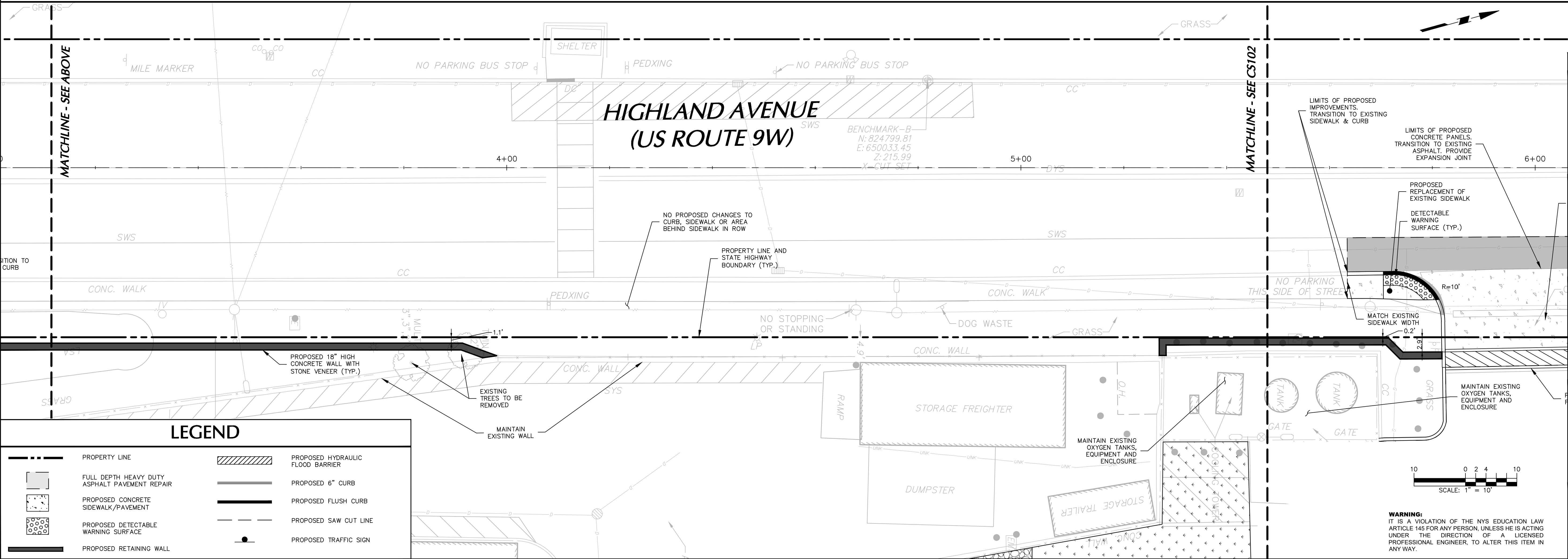
06/13/2025	REVISED FOR VILLAGE AND NYS DOT COMMENTS	1.
Date	Description	No.
Revisions		
		
SIGNATURE _____ DATE SIGNED 6/13/2025 BRYAN WAINOR PROFESSIONAL ENGINEER NY Lic. No. 080661-1		
<b>LANGAN</b> Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com		
MONTEFIORE HEALTH SYSTEM NYACK CAMPUS ROUTE 9W DRIVEWAY IMPROVEMENTS VILLAGE OF NYACK		
ROCKLAND COUNTY NEW YORK		
Drawing Title		
COVER SHEET		
Project No. 100754212	CS100	
Date 5/16/2025		
Drawn By AK		
Checked By SF		
Sheet 1 of 7		



SEE SHEET CS102 FOR  
GENERAL NOTES





SITE PLAN - STA. 0+00 to 3+15



SITE PLAN - STA. 3+15 to 5+50

Date	Description	No.
06/13/2025	REVISED FOR VILLAGE AND NYSDOT COMMENTS	1.

Revisions

  
SIGNATURE:  DATE SIGNED: 6/13/2025  
PROFESSIONAL ENGINEER NY Lic. No. 080661-1

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**MONTEFIORE HEALTH  
SYSTEM NYACK CAMPUS  
ROUTE 9W DRIVEWAY  
IMPROVEMENTS**  
VILLAGE OF NYACK

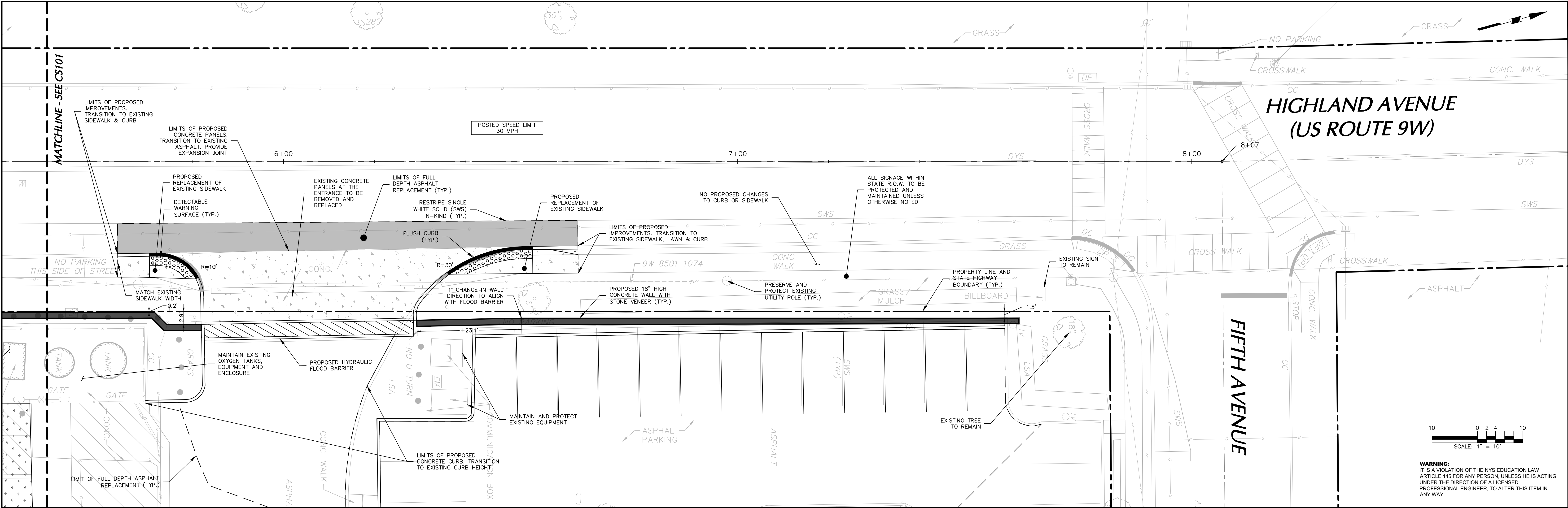
ROCKLAND COUNTY NEW YORK  
Drawing Title

**SITE PLAN**

Project No.	100754212	<b>CS101</b>
Date	5/16/2025	
Drawn By	JR	
Checked By	SF	

Sheet 2 of 7





SITE PLAN - STA. 5+50 to 8+07

GENERAL NOTES

- EXISTING BOUNDARY AND TOPOGRAPHY INFORMATION IS BASED ON PLAN TITLED "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY", PREPARED BY BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C., DATED 08/13/2024.
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK STATE PLANE COORDINATE SYSTEM NAD1983 (2011) DERIVED USING SURVEY-GRADE GNSS EQUIPMENT.
- ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING STRUCTURES, PAVEMENTS, SLABS, CURBING, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON PLANS.
- THE CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATION, ORDINANCES, AND STATUTES.
- THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES, OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY, OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OR ASBESTOS OR OTHER HAZARDOUS MATERIALS.
- THE CONTRACTOR SHALL DEMOLISH ALL CURBS, SIDEWALKS, PAVEMENT, ETC. WHERE INDICATED WITHIN THE LIMITS OF WORK. EDGES OF PAVEMENT DEMOLITION SHALL BE SAW CUT. ALL DEMOLITION AND MATERIAL REUSE SHALL BE IN ACCORDANCE WITH ENVIRONMENTAL REQUIREMENTS FOR THE VILLAGE.
- THE CONTRACTOR SHALL VERIFY THAT A SOIL EROSION AND SEDIMENT CONTROL PERMIT HAS BEEN OBTAINED FOR DEMOLITION ACTIVITIES. CONTRACTOR SHALL COMPLY WITH THE CONDITIONS THEREON BY INSTALLING AND MAINTAINING ALL SESC MEASURES AND MAKING REQUIRED NOTIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE NECESSARY SOIL EROSION CONTROL MEASURES AS DEEMED NECESSARY TO ALLEVIATE SOIL MIGRATION DOWNSTREAM OF THE PROJECT WORK LIMITS. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITY IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK), DATED NOVEMBER 2016.
- THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE CONTRACTOR SHALL SCHEDULE AND COORDINATE HIS OPERATIONS WITH THE VARIOUS COMPANIES OR AGENCIES WHOSE INTERESTS ARE AFFECTED BY THIS PROJECT.
- THE SITE CONTRACTOR SHALL USE CARE DURING CONSTRUCTION TO AVOID DISTURBING OR DAMAGING ANY AND ALL UTILITIES, FACILITIES AND PAVEMENTS INTENDED TO REMAIN. IT SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE TO AND/OR RESTORE ANY INTERRUPTION TO ANY UTILITY SERVICE THAT MAY BE CAUSED BY THE SITE CONTRACTOR'S CONSTRUCTION OR EQUIPMENT, AT THE SITE CONTRACTOR'S EXPENSE, WITH NO ADDITIONAL EXPENSE TO THE OWNER. SIMILARLY, ANY DAMAGE TO FACILITIES OR PAVEMENTS WILL BE THE SITE CONTRACTOR'S RESPONSIBILITY AND SHALL BE RESTORED TO THE SATISFACTION OF, AND AT NO ADDITIONAL COST TO, THE OWNER.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY/VILLAGE AND STATE LAWS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.
- WHERE APPLICABLE, REMOVAL AND DISPOSAL OF THE EXISTING BUILDING FOUNDATIONS, MANHOLES, CATCH BASINS, UNDERGROUND PIPING, PAVEMENT MATERIALS, ETC. SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO WORK WITHIN THE PUBLIC R.O.W.
- THE CONTRACTOR SHALL COORDINATE SHOULDER CLOSURE TO MAINTAIN PEDESTRIAN ACCESS ALONG HIGHLAND AVENUE.
- ALL DISTURBED AREAS SHALL RECEIVE 6" TOPSOIL AND SEED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL ALL THE APPROPRIATE UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAYS AT LEAST 72 HOURS BEFORE ANY EXCAVATION OR GRADING TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, DEPTHS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF LANGAN ENGINEERING. CALL BEFORE YOU DIG- 1-800-272-1000.
- ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF WORK.
- PROOF ROLL ALL CUT AREAS. PLACE AND COMPACT APPROVED FILL MATERIALS IN 12-INCH MAXIMUM LOOSE LIFTS USING AT LEAST 6 PASSES WITH AT MINIMUM, A 5 TON STATIC DRUM WEIGHT VIBRATORY ROLLER. COMPACT TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
- ALL PROPOSED SIDEWALKS, CURB RAMPS, A.D.A.-ACCESSIBLE PARKING STALLS AND ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE A.D.A. REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO MAXIMUM 2% CROSS SLOPE, MAXIMUM 5% RUNNING SLOPE AND MAXIMUM 8.33% (1:12) RAMP SLOPE.

LEGEN

	PROPERTY LINE	
	FULL DEPTH HEAVY DUTY ASPHALT PAVEMENT REPAIR	
	PROPOSED CONCRETE SIDEWALK/PAVEMENT	
	PROPOSED DETECTABLE WARNING SURFACE	
	PROPOSED RETAINING WALL	

06/13/2025	REVISED FOR VILLAGE AND NYSDOT COMMENTS	1.
Date	Description	No.
Revisions		
SIGNATURE	DATE SIGNED	6/13/2025
BRIAN MARTIN PROFESSIONAL ENGINEER NY Lic. No. 080661-1		

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**MONTEFIORE HEALTH  
SYSTEM NYACK CAMPUS  
ROUTE 9W DRIVEWAY  
IMPROVEMENTS**  
VILLAGE OF NYACK

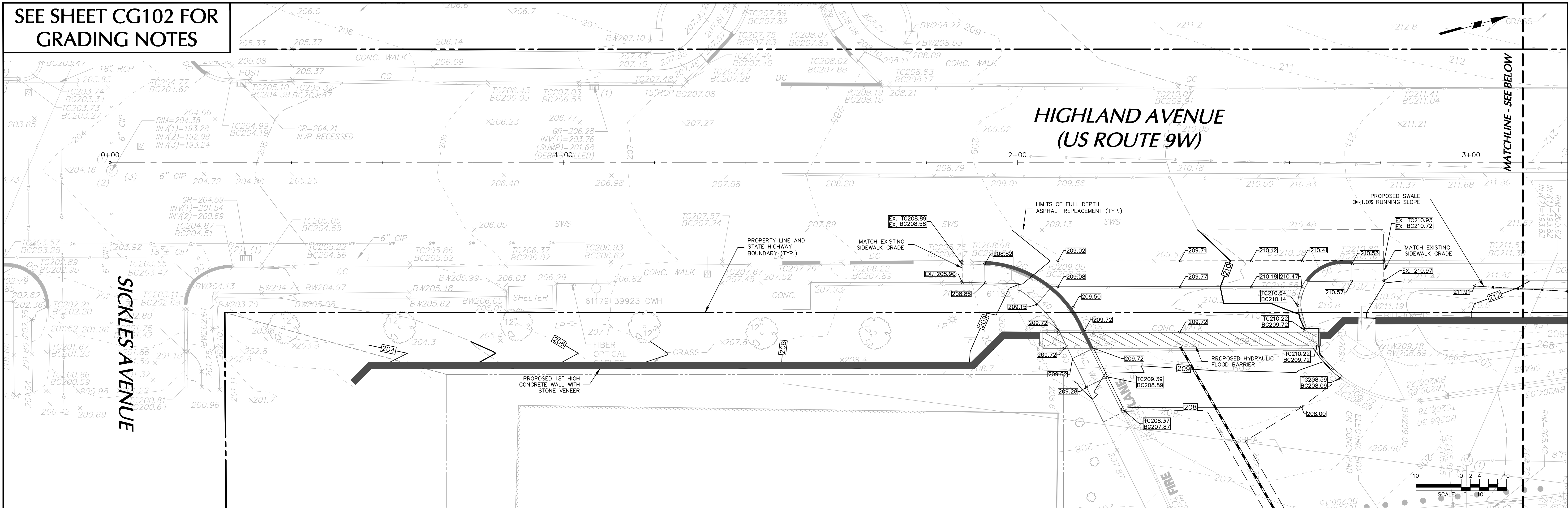
ROCKLAND COUNTY NEW YORK  
Drawing Title

SITE PLAN

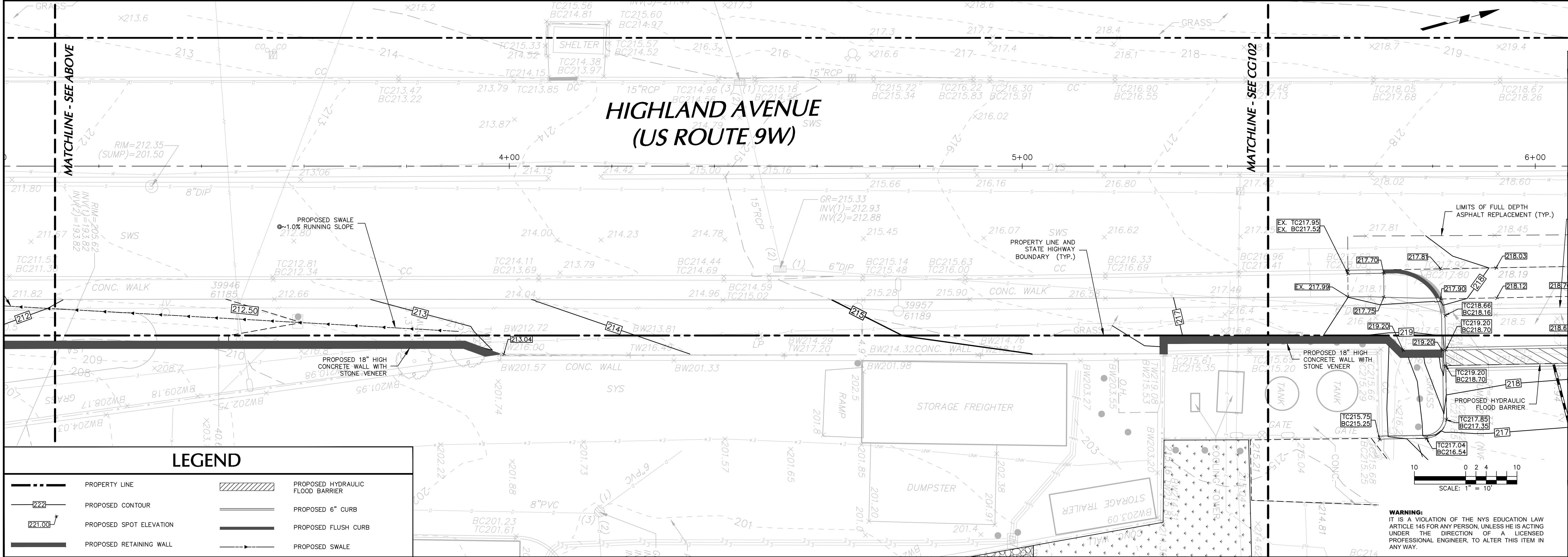
Project No.	100754212	CS102
Date	5/16/2025	
Drawn By	JR	
Checked By	SF	
Sheet 3 of 7		



SEE SHEET CG102 FOR  
GRADING NOTES



GRADING PLAN - STA. 0+00 to 3+15



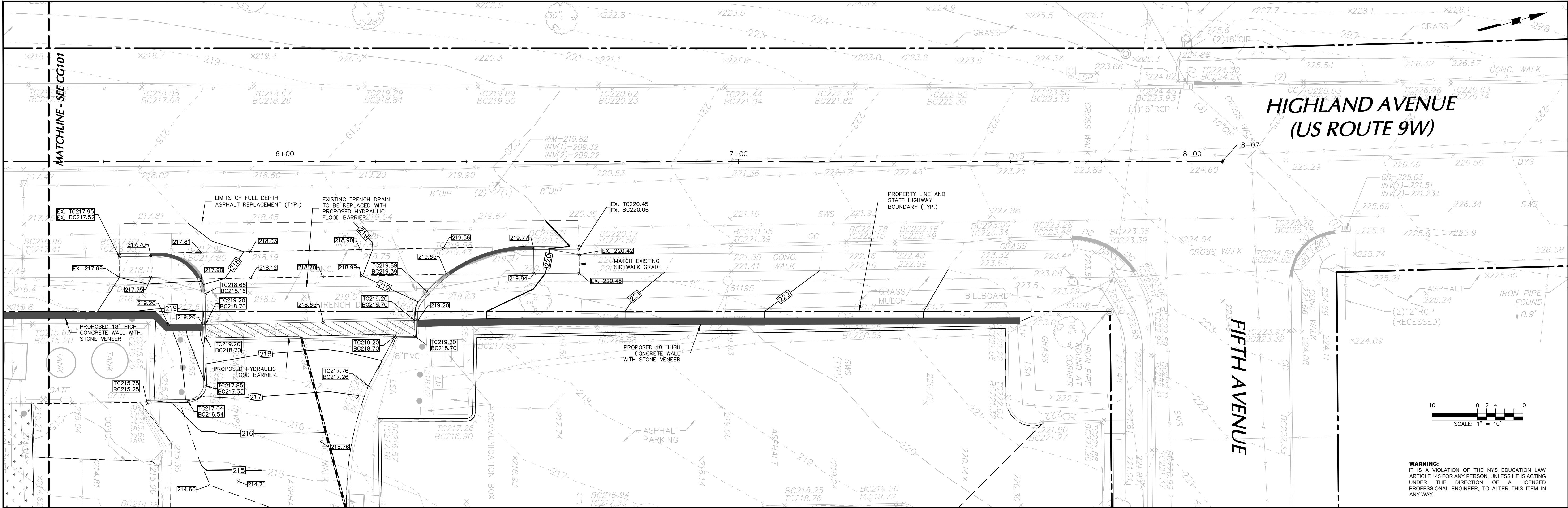
LEGEND

	PROPERTY LINE		PROPOSED HYDRAULIC FLOOD BARRIER
	PROPOSED CONTOUR		PROPOSED 6" CURB
	PROPOSED SPOT ELEVATION		PROPOSED FLUSH CURB
	PROPOSED RETAINING WALL		PROPOSED SWALE

GRADING PLAN - STA. 3+15 to 5+50

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PROFESSIONAL ENGINEER NY Lic. No. 080661-1	6/13/2025	
<b>LANGAN</b> Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com		
<b>MONTEFIORE HEALTH SYSTEM NYACK CAMPUS ROUTE 9W DRIVEWAY IMPROVEMENTS</b> VILLAGE OF NYACK		
<b>ROCKLAND COUNTY</b> NEW YORK		
Drawing Title		
<b>GRADING PLAN</b>		
Project No.	100754212	<b>CG101</b>
Date	5/16/2025	
Drawn By	JR	
Checked By	SF	
Sheet 4 of 7		





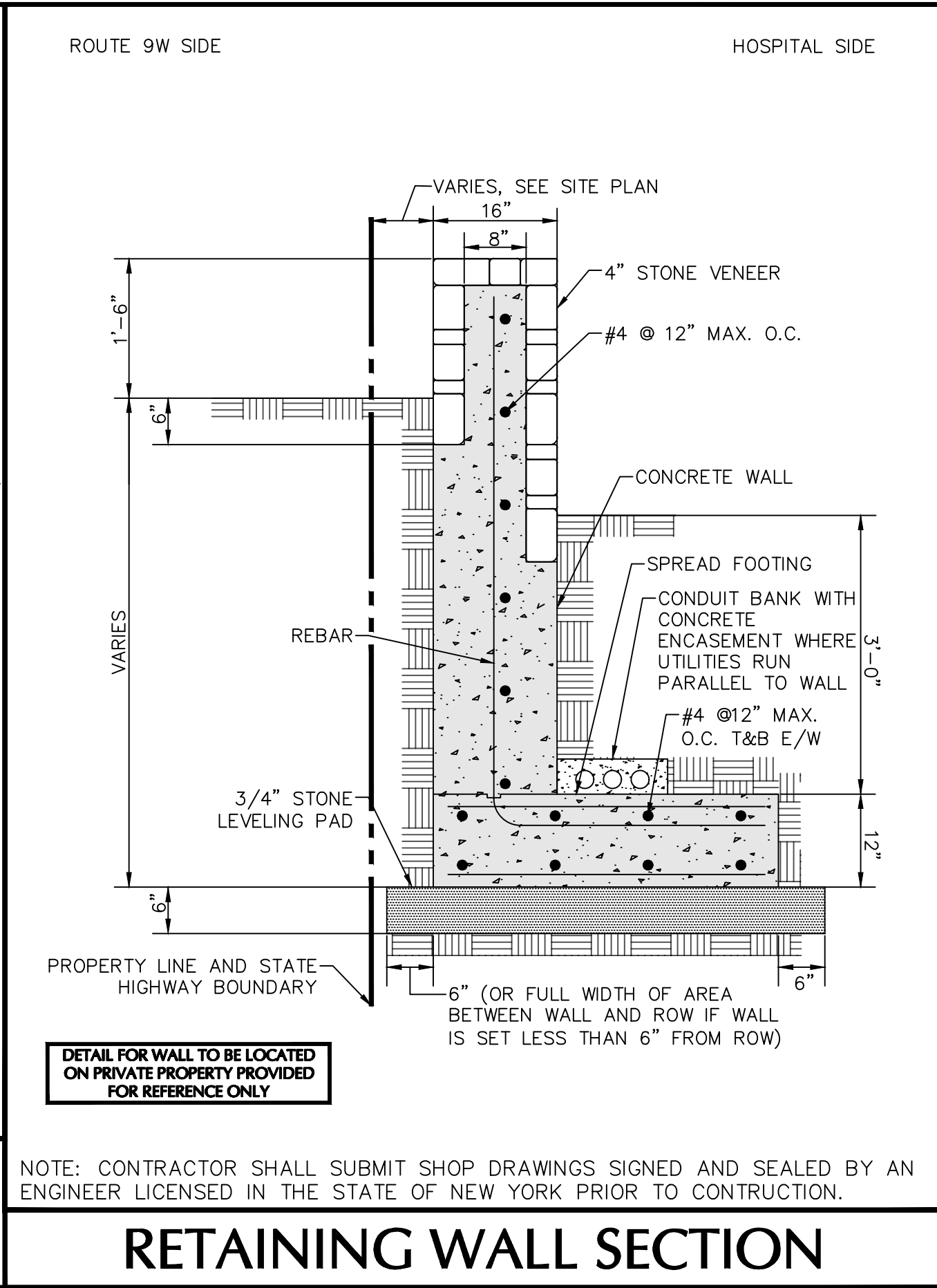
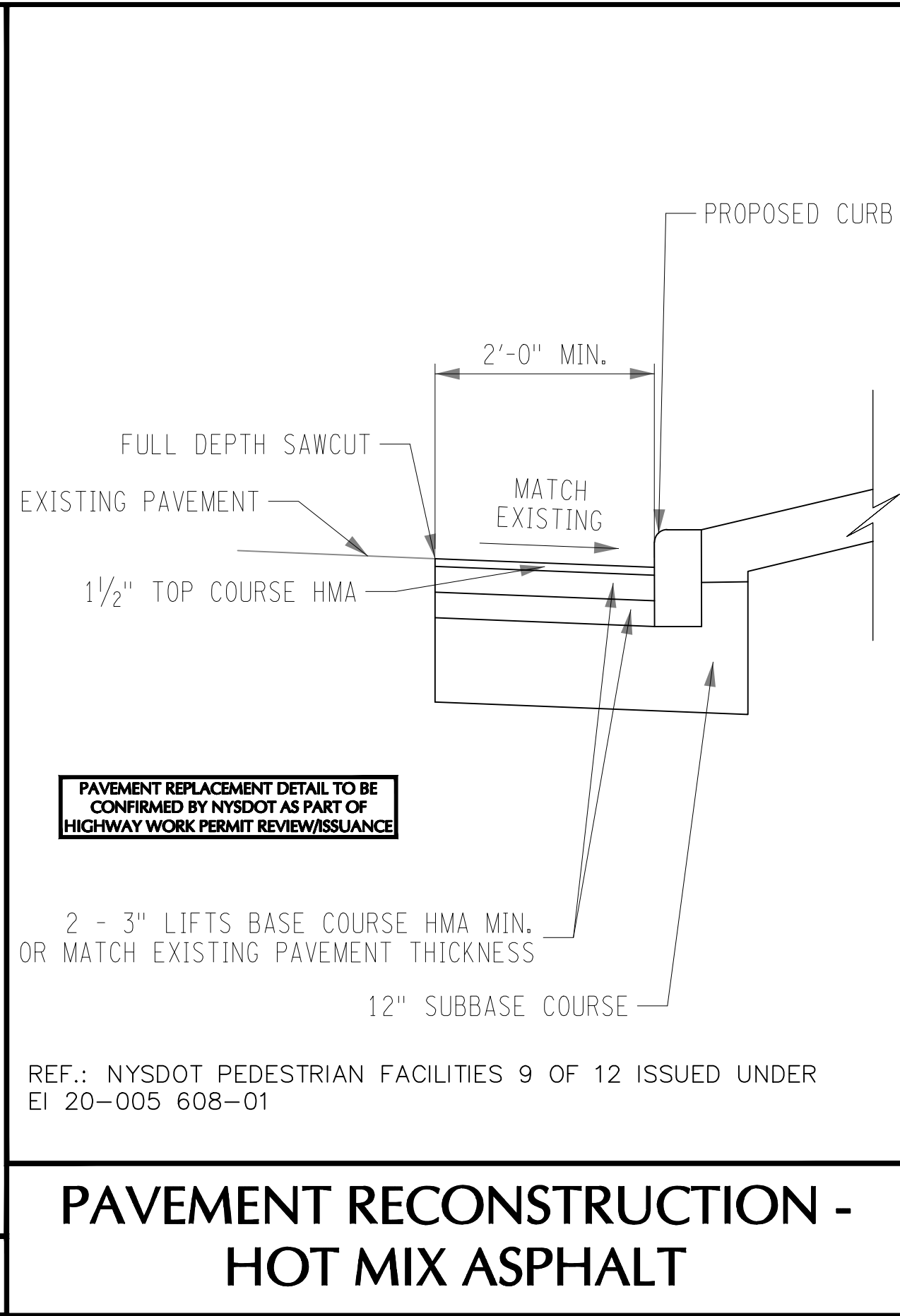
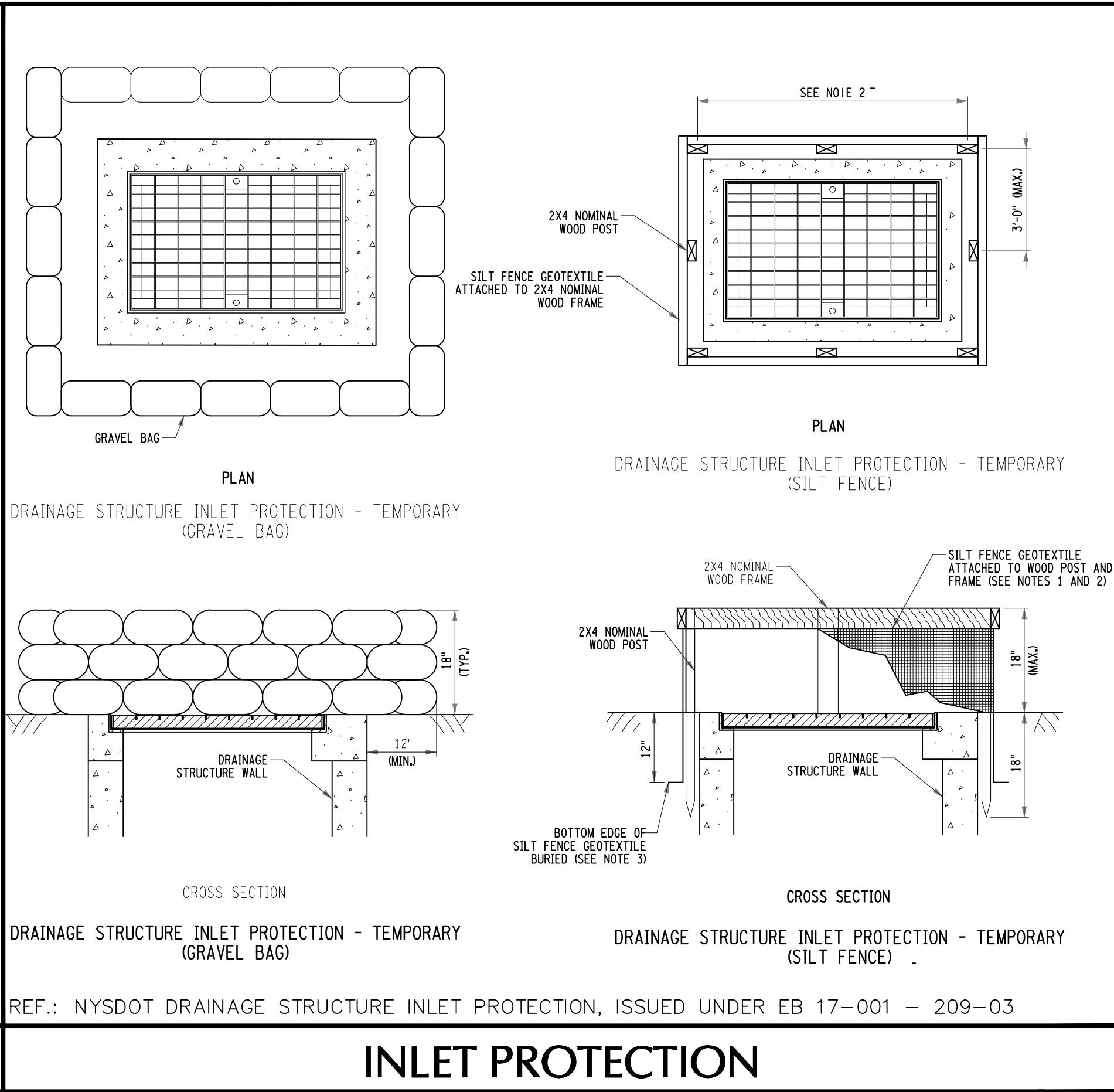
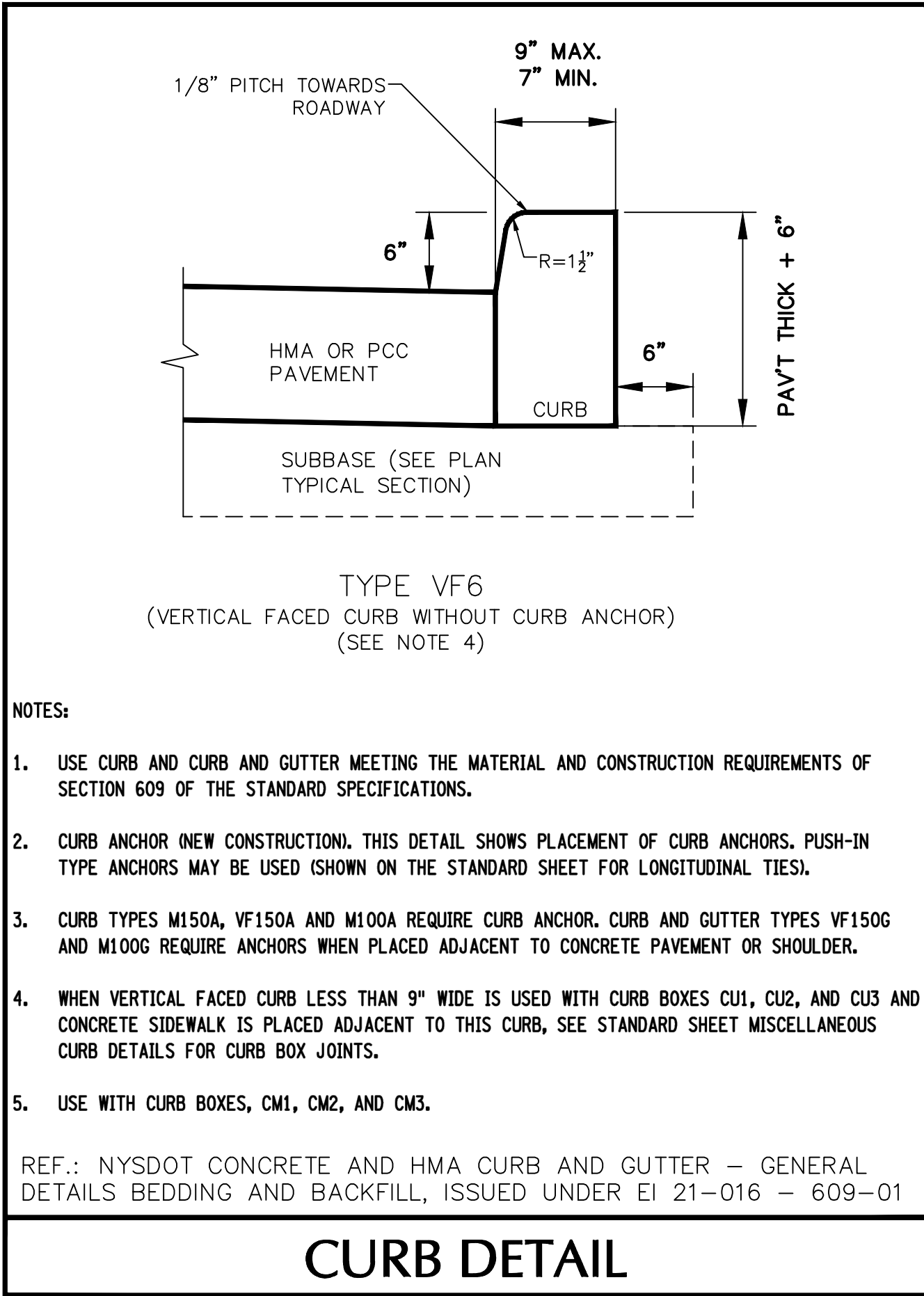
GRADING PLAN - STA. 5+50 to 8+07


GRADING NOTES	
1. EXISTING BOUNDARY AND TOPOGRAPHY INFORMATION IS BASED ON PLAN TITLED "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY", PREPARED BY BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C., DATED 08/13/2024.	7. ALL PROPOSED ON-SITE UTILITIES TO BE INSTALLED UNDERGROUND. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
2. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK STATE PLANE COORDINATE SYSTEM NAD1983 (2011) DERIVED USING SURVEY-GRADE GNSS EQUIPMENT.	8. SITE FILL SHALL CONSIST OF MATERIAL FROM APPROVED ONSITE SOURCES OR APPROVED OFFSITE MATERIAL. THE GEOTECHNICAL ENGINEER WILL REVIEW AND APPROVE ALL MATERIALS.
3. ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).	9. PROOF ROLL ALL CUT AREAS. PLACE AND COMPACT APPROVED FILL MATERIALS IN 12-INCH MAXIMUM LOOSE LIFTS USING AT LEAST 6 PASSES WITH, AT MINIMUM, A 5 TON STATIC DRUM WEIGHT VIBRATORY ROLLER. COMPACT TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
4. ONCE EXISTING UTILITIES TO REMAIN ARE LOCATED, ANY POTENTIAL CONFLICTS WITH OTHER UTILITIES, RELOCATED UTILITY POLES, ETC. SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.	10. NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL. REMOVED TOPSOIL MUST BE REDISTRIBUTED THROUGHOUT THE SITE AND UTILIZED AS SUCH.
5. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL ALL THE APPROPRIATE UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAYS AT LEAST 72 HOURS BEFORE ANY EXCAVATION OR GRADING TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, DEPTHS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF LANGAN ENGINEERING. CALL BEFORE YOU DIG- 1-800-272-1000.	11. ALL PROPOSED SIDEWALKS, CURB RAMPS, A.D.A.-ACCESSIBLE PARKING STALLS AND ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE A.D.A. REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO MAXIMUM 2% CROSS SLOPE, MAXIMUM 5% RUNNING SLOPE AND MAXIMUM 8.33% (1:12) RAMP SLOPE.
6. ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.	12. THE CONTRACTOR WILL BE REQUIRED TO CLEAN ANY ACCUMULATION OF SILT, DEBRIS OR FOREIGN MATTER OF ANY KIND AND THE STORMWATER SYSTEM SHALL BE KEPT CLEAN OF ANY SUCH ACCUMULATION UNTIL FINAL ACCEPTANCE OF WORK. NO ADDITIONAL PAYMENT WILL BE MADE FOR THIS WORK.
	13. CONTRACTOR TO REVIEW AND PERFORM WORK IN ACCORDANCE TO STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE SUBJECT SITE.

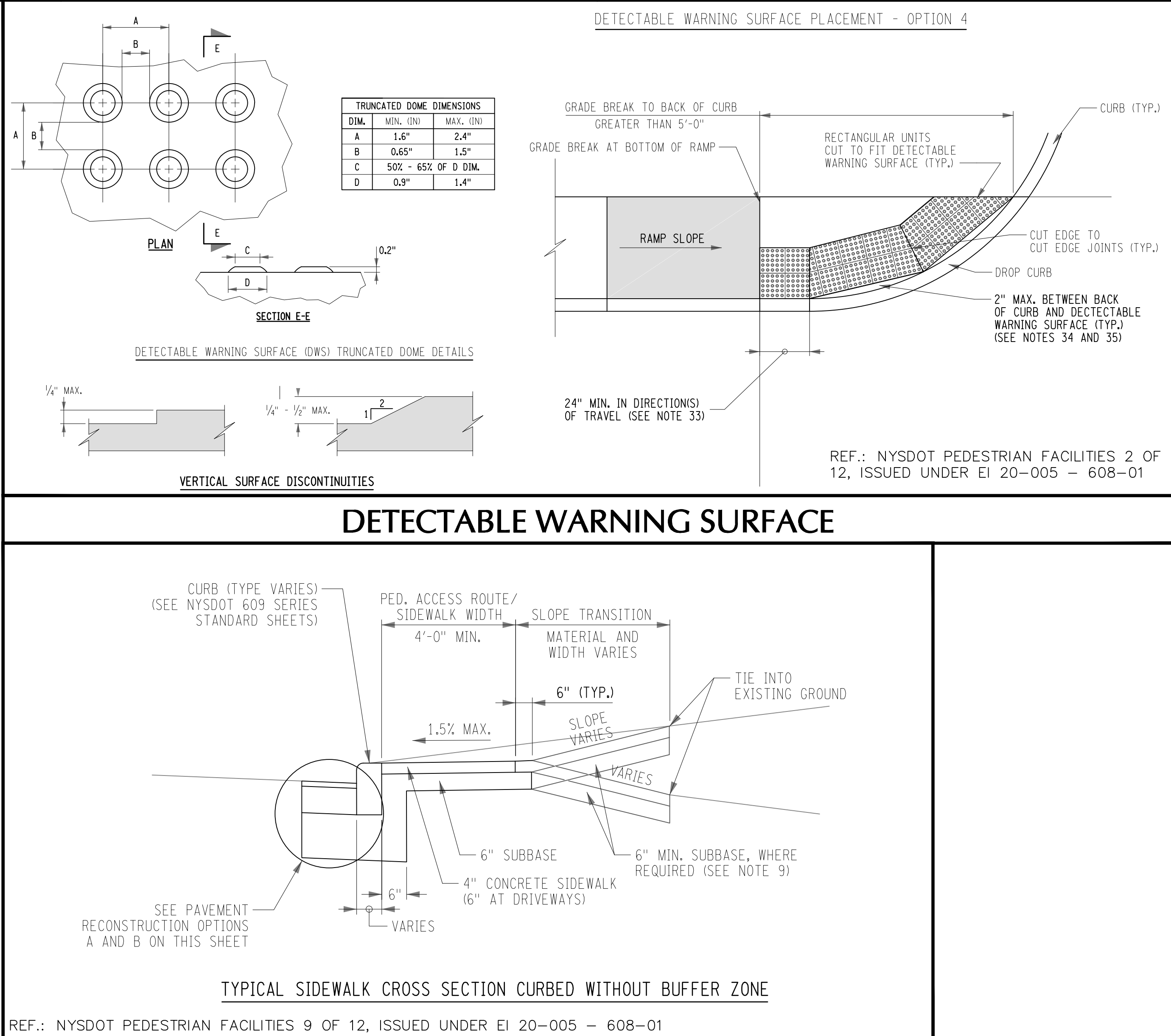
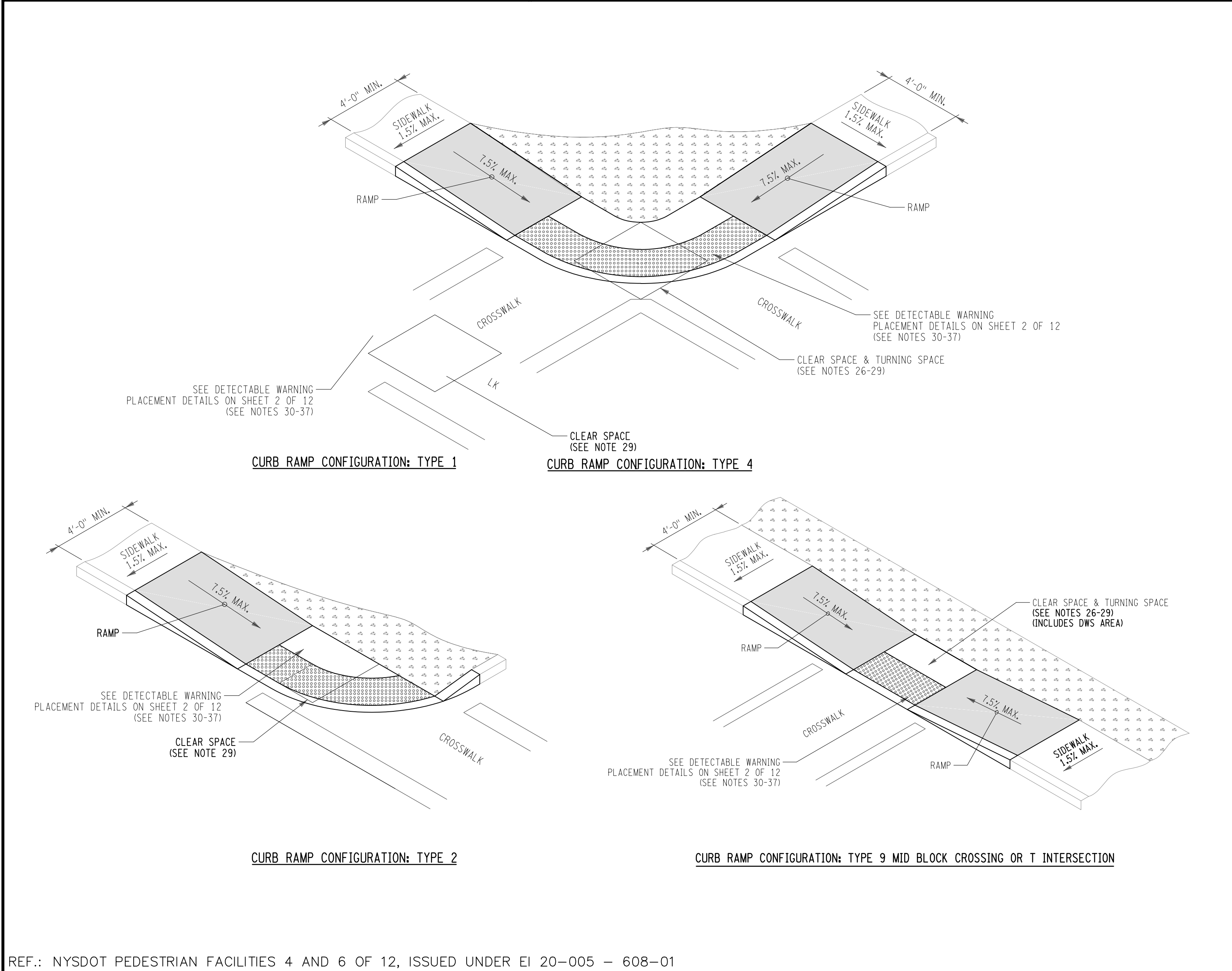
LEGEND	
	PROPERTY LINE
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED RETAINING WALL

06/13/2025	REVISED FOR VILLAGE AND NYSDOT COMMENTS	1.
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<b>MONTEFIORE HEALTH SYSTEM NYACK CAMPUS ROUTE 9W DRIVEWAY IMPROVEMENTS</b> VILLAGE OF NYACK		
ROCKLAND COUNTY NEW YORK		
Drawing Title		
<b>GRADING PLAN</b>		
Project No.	100754212	<b>CG102</b>
Date	5/16/2025	
Drawn By	JR	
Checked By	SF	
		Sheet 5 of 7





<b>WARNING:</b> IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.		
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BRYAN WAINOR	6/13/2025	
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<b>MONTEFIORE HEALTH SYSTEM NYACK CAMPUS ROUTE 9W DRIVEWAY IMPROVEMENTS</b> VILLAGE OF NYACK ROCKLAND COUNTY NEW YORK		
Drawing Title		
<b>DETAILS I</b>		
Project No.	<b>CS501</b>	
Date		
Drawn By		
Checked By		
100754212	5/16/2025	JR
SF		
Sheet	6	of 7





MAINTENANCE AND PROTECTION OF TRAFFIC NOTES

1. HIGHLAND AVE (US ROUTE 9W) SPEED LIMIT IS 30 MPH.
2. MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE PERMITTEE. ANY SUBCONTRACTORS WORKING FOR THE PERMITTEE MUST HAVE A COPY OF THE HIGHWAY WORK PERMIT ON THE SITE AND MUST BE FAMILIAR WITH THE TRAFFIC CONTROL REQUIREMENTS. IT IS STRONGLY ADVISED THAT A "TAILGATE" SAFETY MEETING WITH EACH WORK CREW BE INITIATED BEFORE THE START OF WORK.
3. TRAFFIC CONTROL SCHEMES MUST BE IN PLACE, AND MAINTAINED, THROUGHOUT THE DURATION OF WORK.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC TO BE IN ACCORDANCE WITH THE NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND THE NYS SUPPLEMENT. REFER TO NYSDOT'S WEB SITE [HTTPS://WWW.DOT.NY.GOV/DIVISIONS/OPERATING/OOM/TRANSPORTATION-SYSTEMS/SAFETY-PROGRAM-TECHNICAL-OPERATIONS/WORK-ZONE-CONTROL-FOR-WORK-ZONE-TRAFFIC-CONTROL-TYPICAL-DRAWINGS](https://www.dot.ny.gov/divisions/operating/oom/transportation-systems/safety-program-technical-operations/work-zone-control-for-work-zone-traffic-control-typical-drawings).
5. ANYONE WORKING WITHIN THE RIGHT-OF-WAY SHALL WEAR HIGH-VISIBILITY APPAREL MEETING THE ANSI 107-2004 CLASS II STANDARDS AND A HARD HAT.
6. AT THE START OF WORK ON THE PROJECT, ALL WORK ZONE TRAFFIC CONTROL DEVICES SHALL APPEAR IN "ACCEPTABLE" CONDITION. THESE DEVICES SHALL NOT BE ALLOWED TO FALL BELOW THE "MARGINAL" CONDITION AT ANY TIME DURING THE LIFE OF THE PROJECT. FADED AND DETERIORATED PANELS AND NON-STANDARD LEGENDS ARE NOT ACCEPTABLE.
7. ALL ORANGE SIGNS ON RIGID PANELS SHALL BE FLUORESCENT-ORANGE ASTM TYPE IX SHEETING. ALL OTHER SIGNS SHALL MEET THE REFLECTIVITY REQUIREMENTS OF THE STANDARD SPECIFICATIONS.
8. NO LOW-MOUNTED SIGNS SHALL BE PERMITTED, EXCEPT FOR FLEXIBLE PANELS MEETING THE CURRENT SPECIFICATION REQUIREMENTS.
9. IF AT ANY TIME, IN THE OPINION OF THE ENGINEER, CONDITIONS SHALL WARRANT MODIFICATIONS TO THE SCHEMES SHOWN ON THIS OR OTHER MAINTENANCE AND PROTECTION OF TRAFFIC DRAWINGS, THE CONTRACTOR SHALL PERFORM THE MODIFICATIONS INCLUDING REOPENING OF ANY LANE CLOSURES ON AN EMERGENCY BASIS AS ORDERED BY THE ENGINEER.
10. CONSTRUCTION SIGNS SHALL BE POSTED ONLY WHEN WORK IS IN PROGRESS. CONSTRUCTION SIGNS HAVING CENTER HINGED SIGN PANELS OR HAVING FOLDING PORTABLE SIGN SUPPORTS SHALL BE FOLDED DOWN WHEN THE WORK THEY PERTAIN TO IS NOT IN PROGRESS. OTHER CONSTRUCTION SIGNS WHICH CANNOT BE FOLDED DOWN SHALL BE REMOVED OR COVERED. THE COVERING OF SIGNS SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 645-2.02 AND 645-3.17 OF THE NYSDOT STANDARD SPECIFICATIONS.
11. ALL CONSTRUCTION SIGNS SHALL HAVE AN ORANGE BACKGROUND AND BLACK LETTERS AND BORDERS (REFLECTORIZED IS USED AT NIGHT). IDENTIFY ALL CONSTRUCTION SIGNS WITH "CONTRACTOR'S NAME, CONTRACT NO., AND NYSDOT WRITTEN ON THE BACK OF THE SIGN.
12. THE EXACT LOCATION OF CONSTRUCTION SIGNS SHOWN WILL BE DETERMINED IN THE FIELD BY THE ENGINEER.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FURNISH, INSTALL, MAINTAIN AND REMOVE ALL SIGNS AND TRAFFIC CONTROL SAFETY DEVICES.
14. TRAVEL LANES SHALL BE SWEEPED CLEAN BY THE CONTRACTOR BEFORE THEY ARE RE-OPENED TO TRAFFIC. ALL PAVEMENT LANE MARKINGS SHALL BE MAINTAINED AND RESTORED AFTER COMPLETION OF WORK.
15. TO ENSURE A SAFE TRAFFIC FLOW AT ALL TIMES, STORAGE OF MATERIALS AND EQUIPMENT, INCLUDING EMPLOYEES CARS, SHALL NOT BE PERMITTED WITHIN THE TRAVELED WAY OF HIGHWAY. STORAGE AREAS SHALL BE SEPARATED FROM THE TRAVELED WAY BY A CLEAR SPACE OF 8 FEET MINIMUM WIDTH, UNLESS SUCH STORAGE IS PLACED BEHIND TEMPORARY CHANNELIZING DEVICES.
16. THE MAINTENANCE AND PROTECTION OF TRAFFIC SCHEMES SHOWN IN THE PLANS OR PROPOSAL ARE TO PROTECT THE TRAVELING PUBLIC. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE WORKERS AND TO PROVIDE THEM WITH SAFE ACCESS TO WORK SITES.
17. LEFT LANE CLOSURES ARE SYMMETRICAL TO RIGHT LANE CLOSURES.
18. LANE CLOSURES SHALL BE STARTED TO PROVIDE OPTIMUM VISIBILITY, I.E., BEFORE CURVES AND CRESTS AND SHOULD BE LOCATED AWAY FROM OTHER CONFLICT POINTS SUCH AS INTERSECTIONS WHENEVER POSSIBLE.
19. ALL LANE CLOSURE AND TRAFFIC CONTROL MUST CONFORM TO NYSDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
20. PERMISSIBLE LANE CLOSING HOURS ARE AS PER NYSDOT SPECIFICATIONS



SOURCE: NEARMAP IMAGERY (12/31/2024)

LOCATION MAP

1"=100'

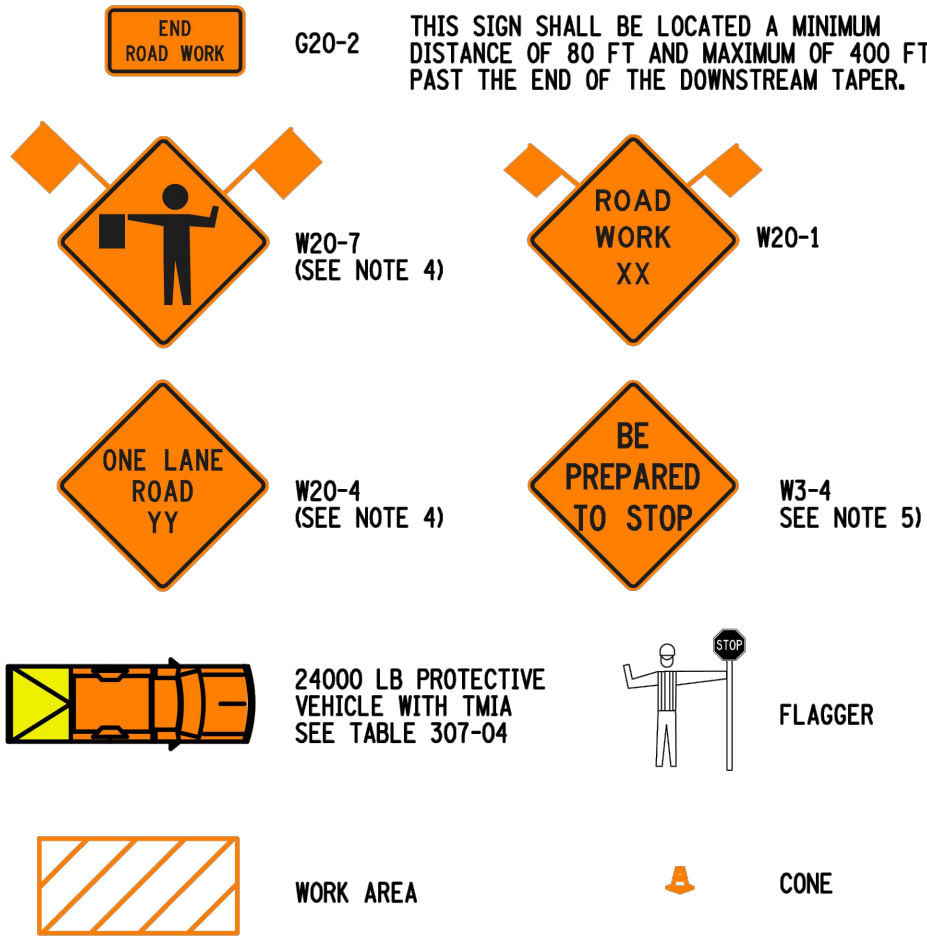
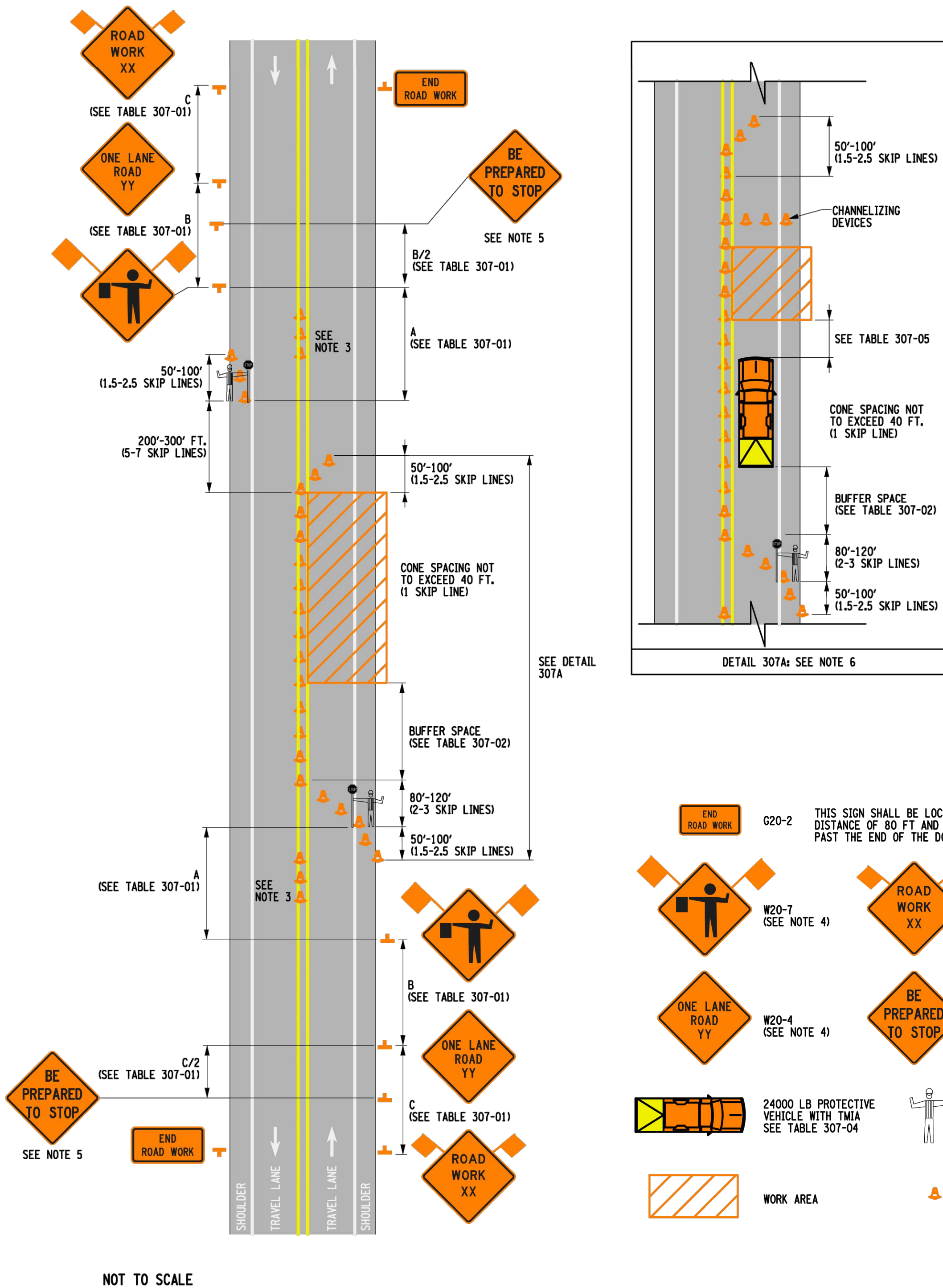


TABLE 307-01: ADVANCE WARNING SIGN SPACING

ROAD TYPE	DISTANCE BETWEEN SIGNS			SIGN LEGEND	
	A (FT.)	B (FT.)	C (FT.)	XX	YY
URBAN (≤ 30 MPH)	100	100	100	AHEAD	AHEAD
URBAN (35-40 MPH)	200	200	200	AHEAD	AHEAD
URBAN (≥ 45 MPH)	350	350	350	1000 FT.	AHEAD
RURAL	500	500	500	1500 FT.	1000 FT.

• PRECONSTRUCTION POSTED SPEED LIMIT

TABLE 307-02: LONGITUDINAL BUFFER SPACE

PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	LONGITUDINAL BUFFER SPACE DISTANCE (FT.) / # OF SKIP LINES
25	155/4
30	200/5
35	250/6
40	305/8
45	360/9
50	425/11
55	495/13

TABLE 307-03: REQUIRED SIGN SIZES\*

SIGN	NON-FREEWAY	FREEWAY
G20-2	36x18	48x24
W3-4	36x36	48x48
W20-1	36x36	48x48
W20-4	36x36	48x48
W20-7	36x36	48x48
WARNING FLAG	18x18	18x18

\*FREEWAY SIZES MAY BE USED ON NON-FREEWAY, IF SPACE CONSTRAINTS DO NOT EXIST.

TABLE 307-04: PROTECTIVE VEHICLE REQUIREMENTS

CLOSURE TYPE	ROAD TYPE & SPEED	NON-FREEWAY		
		≥ 45 MPH	35 - 40 MPH	≤ 30 MPH
LANE CLOSURE OR ENCROACHMENT	EXPOSURE CONDITIONS <sup>1</sup>			
	WORKERS ON FOOT OR VEHICLE EXPOSED TO TRAFFIC	P, TMIA	P, TMIA	P
SHOULDER CLOSURE OR ENCROACHMENT	OTHER HAZARDS NO WORKERS EXPOSED	P, TMIA	P	SEE NOTE 2
	WORKERS ON FOOT OR VEHICLE EXPOSED TO TRAFFIC	P, TMIA	P	P
SHOULDER CLOSURE OR ENCROACHMENT	OTHER HAZARDS NO WORKERS EXPOSED	P, TMIA	P	SEE NOTE 2
	WORKERS ON FOOT OR VEHICLE EXPOSED TO TRAFFIC	P, TMIA	P	P

LEGEND

P: PROTECTIVE VEHICLE REQUIRED FOR EACH CLOSED LANE & EACH CLOSED PAVED SHOULDER 8' OR WIDER, IF THE WORK SPACE MOVES WITHIN THE STATIONARY CLOSURE, THE PROTECTIVE VEHICLE SHALL BE REPOSITIONED ACCORDINGLY

TMIA: TMIA REQUIRED

NOTES:

1. THE EXPOSURE CONDITIONS ASSUMES THERE IS NO POSITIVE PROTECTION PRESENT

2. EITHER A PROTECTIVE VEHICLE OR THE STANDARD BUFFER SPACE SHALL BE PROVIDED

NOTES:

- SHORT-TERM STATIONARY IS DAYTIME WORK THAT OCCUPIES A LOCATION FOR MORE THAN 1 HOUR WITHIN A SINGLE DAY PERIOD.
- IN URBAN CONDITIONS, ADVANCE WARNING SIGN SPACINGS MAY BE ADJUSTED IN ORDER TO ACCOMMODATE SIDE STREETS AND DRIVEWAYS. IF THERE IS A CONFLICT, MOVE THE SIGN UPSTREAM.
- CENTERLINE CONES MAY BE ADDED TO ENHANCE THE VISIBILITY OF THE FLAGGER STATION. IF CONES ARE USED, PLACE THEM 100 FT. MINIMUM FROM FLAGGER.
- FLAGGER SYMBOL SIGN (W20-7) AND "ONE LANE ROAD AHEAD" SIGN (W20-4) SHALL BE REMOVED, COVERED OR TURNED AWAY FROM ROAD USERS WHEN FLAGGING OPERATIONS ARE NOT OCCURRING.
- IF THE TRAFFIC IS EXPECTED TO QUEUE PAST THE W20-4 SIGN, A W3-4 SIGN SHOULD BE ADDED.
- IF CONDITIONS WARRANT, PROTECTIVE VEHICLE WITH APPROPRIATE ROLL AHEAD DISTANCE MAY BE USED IN ADVANCE OF THE WORK AREA. TO USE PROTECTIVE VEHICLE, BUFFER SPACE SHALL BE PROVIDED ACCORDINGLY.
- WHEN A SIDE ROAD OR DRIVEWAY INTERSECTS THE ROADWAY WITHIN A WORK ZONE TRAFFIC CONTROL AREA, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES AND/OR FLAGGERS SHALL BE PLACED AS NEEDED. ADDITIONAL FLAGGERS SHALL BE LOCATED AT ALL INTERSECTIONS AND COMMERCIAL DRIVEWAYS LOCATED WITHIN OR NEAR THE ACTIVE WORK SPACE.
- CHANNELIZING DEVICES SHALL BE PLACED TRANSVERSELY A MINIMUM OF EVERY 800' AS SHOWN WHEN A PAVED SHOULDER HAVING A WIDTH OF 8' OR GREATER IS CLOSED FOR A DISTANCE GREATER THAN 800'.
- ALL FLAGGERS SHALL USE 24"(MIN.) OCTAGON SHAPED STOP/SLOW PADDLES HAVING 6' STAFF. THE PADDLE IS THE PREFERRED DEVICE, BUT THE FLAG MAY BE USED AT INTERSECTIONS WHERE THE STOP/SLOW PADDLE WOULD OFFER CONTRADICTION TO DRIVERS TRAVELING IN OPPOSITE DIRECTIONS/LEGS OF THE INTERSECTION OR DURING INCIDENT MANAGEMENT SITUATIONS.

TABLE 307-05: ROLL AHEAD DISTANCE

ROLL AHEAD DISTANCE (FT.) / # OF SKIP LINES FOR VEHICLES		
PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	STATIONARY OPERATION	
	MIN	MAX
≥ 55	120/3	200/5
45 - 50	80/2	160/4
≤ 40	40/1	120/3

06/13/2025	REVISED FOR VILLAGE AND NYSDOT COMMENTS	1.
Date	Description	No.

Revisions

SIGNATURE	DATE SIGNED	6/13/2025
BRYAN MARTIN WAINOR PROFESSIONAL ENGINEER NY Lic. No. 080661-1		

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MONTEFIORE HEALTH  
SYSTEM NYACK CAMPUS  
ROUTE 9W DRIVEWAY  
IMPROVEMENTS  
VILLAGE OF NYACK

ROCKLAND COUNTY NEW YORK

Drawing Title

MAINTENANCE  
AND PROTECTION  
OF TRAFFIC PLAN

Project No.	100754212	CS502
Date	5/16/2025	
Drawn By	JR	
Checked By	SF	

Sheet 7 of 7

**WARNING:**  
IT IS A VIOLATION OF THE NYS EDUCATION LAW  
ARTICLE 146 FOR ANY PERSON, UNLESS HE IS ACTING  
UNDER THE DIRECTION OF A LICENSED  
PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN  
ANY WAY.

NYSDOT WZTC TWO-LANE TWO-WAY ROAD CLOSURE WITH FLAGGERS INTERMEDIATE TERM OPERATIONS