



LOCATION MAP

SCALE: 1" =100'

PROJECT CONTACTS

OWNER:

MONTEFIORE HEALTH SYSTEM NYACK CAMPUS
160 NORTH MIDLAND AVENUE
NYACK, NY 10960

ARCHITECT:

POMARICO DESIGN STUDIO ARCHITECTURE, PLLC
19 FRONT STREET
NEWBURGH, NY 12550
(845) 561-0448

CIVIL ENGINEER & SURVEYOR:

LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE
ARCHITECTURE AND GEOLOGY, D.P.C.
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ 07054
(973) 560-4900

MONTEFIORE HEALTH SYSTEM NYACK CAMPUS SITE PLAN DRAWING SET PLANNING BOARD SUBMISSION

LAST REVISED: 06.13.2025

DRAINAGE & UTILITY IMPROVEMENTS

160 NORTH MIDLAND AVENUE
NYACK, NY 10960

TAX LOT INFO
SECTION: 66.21
BLOCK: 1
LOTS: 74, 74.1 & 74.2

INDEX OF DRAWINGS

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VT102	BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY	08.13.2024	-
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CS102	PARTIAL SITE PLAN	01.29.2025	06.13.2025
CG101	PARTIAL GRADING, DRAINAGE, & UTILITY PLAN	01.29.2025	06.13.2025
CG102	PARTIAL GRADING, DRAINAGE, & UTILITY PLAN	01.29.2025	06.13.2025
CE101	PARTIAL SOIL EROSION & SEDIMENT CONTROL PLAN	01.29.2025	06.13.2025
CE101	PARTIAL SOIL EROSION & SEDIMENT CONTROL PLAN	01.29.2025	06.13.2025
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CS502	DETAILS II	01.29.2025	05.16.2025

06/13/2025	REVISED FOR VILLAGE AND NYSOT COMMENTS	3.
05/16/2025	REVISED FOR RESUBMISSION	2.
02/04/2025	PLANNING BOARD SUBMISSION	1.
Date	Description	No.

Revisions

6/13/2025

SIGNATURE
BRIAN MARTIN WARDEN
PROFESSIONAL ENGINEER NY Lic. No. 080661-1

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Project
**NYACK HOSPITAL
DRAINAGE & UTILITY
IMPROVEMENTS**
SECTION No. 66.21 BLOCK No. 1, LOT No. 74,74.1 & 74.2
NYACK
ROCKLAND COUNTY NEW YORK

Drawing Title
COVER SHEET

Project No. 100754212	CS001
Date 1/29/2025	
Drawn By JR	
Checked By MIF	



REFERENCE: AERIAL IMAGERY OBTAINED FROM NEARMAP ON 12/31/2024

06/13/2025	REVISED FOR VILLAGE AND NYSOT COMMENTS	3.
05/16/2025	REVISED FOR RESUBMISSION	2.
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Project
**NYACK HOSPITAL
DRAINAGE & UTILITY
IMPROVEMENTS**
SECTION No. 66.21 BLOCK No. 1, LOT No. 74.74.1 & 74.2
NYACK
ROCKLAND COUNTY NEW YORK

Drawing Title
**OVERALL
SITE PLAN**

Project No. 100754212	CS100
Date 1/29/2025	
Drawn By JR	
Checked By MIF	

GENERAL NOTES

1. EXISTING BOUNDARY AND TOPOGRAPHY INFORMATION IS BASED ON PLAN TITLED "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY", PREPARED BY BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C., DATED 08/13/2024.

2. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK STATE PLANE COORDINATE SYSTEM NAD1983 (2011) DERIVED USING SURVEY-GRADE GNSS EQUIPMENT.

3. ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

4. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING STRUCTURES, PAVEMENTS, SLABS, CURBING, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON PLANS.

5. THE CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATION, ORDINANCES, AND STATUTES.

6. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.

7. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES, OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY, OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OR ASBESTOS OR OTHER HAZARDOUS MATERIALS.
8. THE CONTRACTOR SHALL DEMOLISH ALL CURBS, SIDEWALKS, PAVEMENT, ETC., WHERE INDICATED WITHIN THE LIMITS OF WORK. EDGES OF PAVEMENT DEMOLITION SHALL BE SAW CUT. ALL DEMOLITION AND MATERIAL REUSE SHALL BE IN ACCORDANCE WITH ENVIRONMENTAL REQUIREMENTS FOR THE VILLAGE.

9. THE CONTRACTOR SHALL VERIFY THAT A SOIL EROSION AND SEDIMENT CONTROL PERMIT HAS BEEN OBTAINED FOR DEMOLITION ACTIVITIES. CONTRACTOR SHALL COMPLY WITH THE CONDITIONS THEREON BY INSTALLING AND MAINTAINING ALL SESC MEASURES AND MAKING REQUIRED NOTIFICATIONS.

10. THE CONTRACTOR SHALL PROVIDE NECESSARY SOIL EROSION CONTROL MEASURES AS DEEMED NECESSARY TO ALLEVIATE SOIL MIGRATION DOWNSTREAM OF THE PROJECT WORK LIMITS. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITY IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK), DATED NOVEMBER 2016.

11. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.

12. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

13. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE HIS OPERATIONS WITH THE VARIOUS COMPANIES OR AGENCIES WHOSE INTERESTS ARE AFFECTED BY THIS PROJECT.
14. THE SITE CONTRACTOR SHALL USE CARE DURING CONSTRUCTION TO AVOID DISTURBING OR DAMAGING ANY AND ALL UTILITIES, FACILITIES AND PAVEMENTS INTENDED TO REMAIN. IT SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE TO AND/OR RESTORE ANY INTERRUPTION TO ANY UTILITY SERVICE THAT MAY BE CAUSED BY THE SITE CONTRACTOR'S CONSTRUCTION OR EQUIPMENT, AT THE SITE CONTRACTOR'S EXPENSE, WITH NO ADDITIONAL EXPENSE TO THE OWNER. SIMILARLY, ANY DAMAGE TO FACILITIES OR PAVEMENTS WILL BE THE SITE CONTRACTOR'S RESPONSIBILITY AND SHALL BE RESTORED TO THE SATISFACTION OF, AND AT NO ADDITIONAL COST TO, THE OWNER.

15. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY/VILLAGE AND STATE LAWS.

16. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL PLANS IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.

17. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

18. WHERE APPLICABLE, REMOVAL AND DISPOSAL OF THE EXISTING BUILDING FOUNDATIONS, MANHOLES, CATCH BASINS, UNDERGROUND PIPING, PAVEMENT MATERIALS, ETC. SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STANDARDS.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO WORK WITHIN THE PUBLIC R.O.W.

20. THE CONTRACTOR SHALL COORDINATE SHOULDER CLOSURE TO MAINTAIN PEDESTRIAN ACCESS ALONG HIGHLAND AVENUE.

21. ALL DISTURBED AREAS SHALL RECEIVE 6" TOPSOIL AND SEED.

22. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL ALL THE APPROPRIATE UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAYS AT LEAST 72 HOURS BEFORE ANY EXCAVATION OR GRADING TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, DEPTHS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF LANGAN ENGINEERING. CALL BEFORE YOU DIG- 1-800-272-1000.

23. ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF WORK.

24. PROOF ROLL ALL CUT AREAS. PLACE AND COMPACT APPROVED FILL MATERIALS IN 12-INCH MAXIMUM LOOSE LIFTS USING AT LEAST 6 PASSES WITH, AT MINIMUM, A 5 TON STATIC DRUM WEIGHT VIBRATORY ROLLER. COMPACT TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.

25. ALL PROPOSED SIDEWALKS, CURB RAMPS, A.D.A.-ACCESSIBLE PARKING STALLS AND ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE A.D.A. REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO MAXIMUM 2% CROSS SLOPE, MAXIMUM 5% RUNNING SLOPE AND MAXIMUM 8.33% (1:12) RAMP SLOPE.

VILLAGE OF NYACK - ZONING STATISTICS TABLE
ZONING DISTRICT: HOSPITAL

16 NORTH MIDLAND AVE.
BLOCK 1, LOT 74 (TAX MAP 66.21)
VILLAGE OF NYACK, NEW YORK 10960
H DISTRICT (HOSPITAL DISTRICT)
LAST REV.: 5/15/2022

SECTION 360 - ZONING DISTRICT REGULATIONS				
CODE SECTION	DESCRIPTION	REQUIRED / PERMITTED	EXISTING (NOTE 1)	PROPOSED
\$360 2.25.D	PRINCIPAL USE	HOSPITAL	HOSPITAL / PARKING DECK	NO CHANGE
\$360 TABLE 4-1	MAX. BUILDING HEIGHT (STORIES)	3 1/2 STORIES	6 (HOSPITAL) 4.5 STORIES (PARKING DECK)	NO CHANGE
\$360 TABLE 4-1	MAX. BUILDING HEIGHT (FEET)	40 FT 72 FT WITH ADDITIONAL SETBACK (NOTE 2)	72 FT (HOSPITAL) 50.04 FT (PARKING DECK)	NO CHANGE
\$360 TABLE 4-1	MIN. LOT AREA	40,000 SF	376,215 SF	NO CHANGE
\$360 TABLE 4-1	MIN. LOT WIDTH	200 FT	757 FT	NO CHANGE
\$360 TABLE 4-1	MIN. LOT DEPTH	200 FT	495 FT	NO CHANGE
\$360 TABLE 4-1	MIN. FRONT YARD SETBACK (FACING RESIDENCE)	25 FT	71 FT (HOSPITAL) 52.75 FT (CANOPY) 209.8 FT	NO CHANGE
	SICKLES AVE.		49.3 FT (CANCER CENTER) 106.3 FT	
\$360 TABLE 4-1	PARKING DECK N. MIDLAND AVE. SICKLES AVE.	35.6 FT (NOTE 3)	62.8 FT (PARKING DECK) 45.0 FT (PARKING DECK)	NO CHANGE
	MIN. FRONT YARD SETBACK HIGHLAND AVE.		39.92 FT (JOHNSON PAVILION) 15.3 FT (CANCER CENTER)	51.42 FT (GENERATOR)
\$360 TABLE 4-1	MAX. FLOOR AREA RATIO	1.2	1.12	NO CHANGE
SECTION \$360 TABLE 4-2 - MINIMUM PARKING REQUIREMENTS				
\$25-12.2	MIN. REQUIRED NUMBER OF PARKING SPACES	528 (NOTE 3)	891 (NOTE 4)	886
\$360-4.5F	MIN. PARKING STALL SIZE	9' X 18'	9' X 18'	9' X 18'

- C - COMPLIES
- NOTES:
1. ALL EXISTING ZONING STATISTICS, EXCEPT PARKING, ARE BASED ON APPROVED SITE PLAN PREPARED BY LANGAN ENGINEERING, DATED 2020-2-12; LAST REVISED 2021-10-8.

2. BUILDING HEIGHT IN THE HOSPITAL ZONE IS ALLOWED TO EXCEED 40 FEET IF AN ADDITIONAL ONE FOOT OF SETBACK IS PROVIDED FOR EVERY TWO FEET OF HEIGHT OVER 40 FT UP TO A MAXIMUM OF 72 FT AND 6 STORIES.

3. PARKING COUNT BASED ON HOSPITAL AND CLINIC USE: 1 SPACE/1 BED = 210 BEDS/1 = 210 SPACES; 1 SPACE/2 EMPLOYEES = 636/2 = 318 SPACES AS PER HOSPITAL CORRESPONDENCE DATED 2019-1-17.

4. INCLUDES 719 ON-SITE SPACES AND 172 OFF-SITE HOSPITAL OWNED SPACES

LEGEND

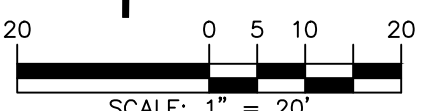
- PROPERTY LINE
- FULL DEPTH HEAVY DUTY ASPHALT PAVEMENT REPAIR
- FULL DEPTH STANDARD DUTY ASPHALT PAVEMENT REPAIR
- PROPOSED PEA GRAVEL
- PROPOSED CONCRETE SIDEWALK/PAD
- PROPOSED DETECTABLE WARNING SURFACE
- PROPOSED RETAINING WALL
- PROPOSED HYDRAULIC FLOOD BARRIER
- PROPOSED 6" CURB
- PROPOSED FLUSH CURB
- PROPOSED SAW CUT LINE
- PROPOSED TRAFFIC SIGN
- PROPOSED CAP FOR EXISTING PIPE
- EXISTING PIPE TO BE REMOVED / ABANDONED

FIFTH AVENUEHIGHLAND AVENUE
(US ROUTE 9W)

FIFTH AVENUE

EXISTING HOSPITAL

MATCHLINE SEE CS102



06/13/2025	REVISED FOR VILLAGE AND NYS DOT COMMENTS	3.
05/16/2025	REVISED FOR RESUBMISSION	2.
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Revisions

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6/13/2025
DATE SIGNED

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Project

NYACK HOSPITAL
DRAINAGE & UTILITY
IMPROVEMENTS

SECTION No. 66.21 BLOCK No. 1, LOT No. 74.74.1 & 74.2
NYACK

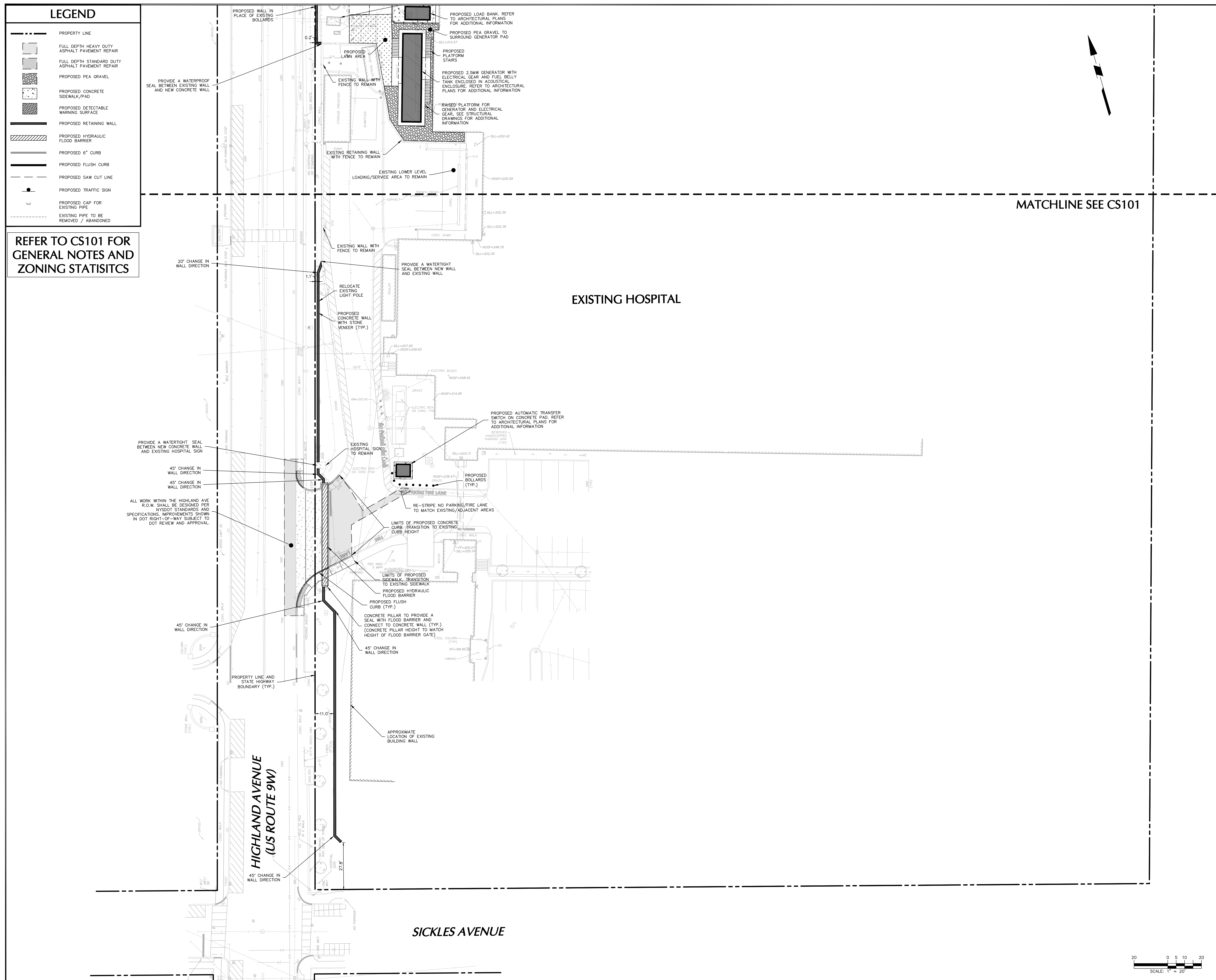
ROCKLAND COUNTY NEW YORK

Drawing Title

PARTIAL
SITE PLAN

Project No.	100754212
Date	1/29/2025
Drawn By	JR
Checked By	MIF

CS101



06/13/2025	REVISED FOR VILLAGE AND NYSDOT COMMENTS	3.
05/16/2025	REVISED FOR RESUBMISSION	2.
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Revisions



SIGNATURE _____ DATE SIGNED _____
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Project

**NYACK HOSPITAL
DRAINAGE & UTILITY
IMPROVEMENTS**

SECTION No. 66.21 BLOCK No. 1, LOT No. 74.74.1 & 74.2

NYACK

ROCKLAND COUNTY

Drawing Title

NEW YORK

PARTIAL SITE PLAN

Project No.	CS102
100754212	
Date	
1/29/2025	
Drawn By	
JR	
Checked By	
MJF	

GRADING & DRAINAGE NOTES

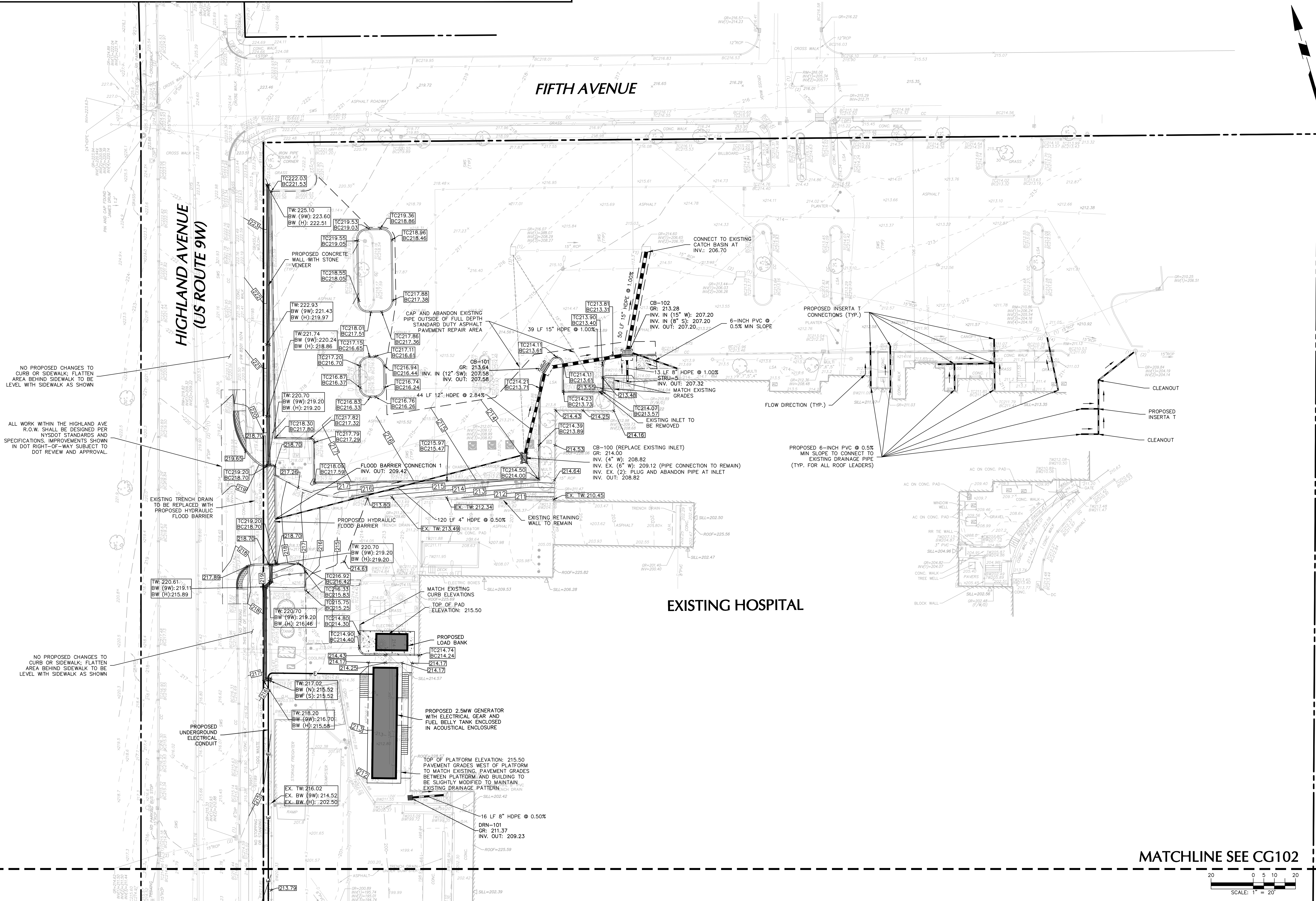
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- ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- ONCE EXISTING UTILITIES TO REMAIN ARE LOCATED, ANY POTENTIAL CONFLICTS WITH OTHER UTILITIES, RELOCATED UTILITY POLES, ETC. SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL ALL THE APPROPRIATE UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAYS AT LEAST 72 HOURS BEFORE ANY EXCAVATION OR GRADING TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, DEPTHS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF LANGAN ENGINEERING, CALL BEFORE YOU DIG- 1-800-272-1000.
- ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.
- ALL PROPOSED ON-SITE UTILITIES TO BE INSTALLED UNDERGROUND. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- SITE FILL SHALL CONSIST OF MATERIAL FROM APPROVED ONSITE SOURCES OR APPROVED OFFSITE MATERIAL. THE GEOTECHNICAL ENGINEER WILL REVIEW AND APPROVE ALL MATERIALS.
- PROOF ROLL ALL CUT AREAS, PLACE AND COMPACT APPROVED FILL MATERIALS IN 12-INCH MAXIMUM LOOSE LIFTS USING AT LEAST 6 PASSES WITH, AT MINIMUM, A 5 TON STATIC DRUM WEIGHT VIBRATORY ROLLER. COMPACT TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
- PARKING LOT SUBGRADES SHALL BE FIRM AND NON-YIELDING. SOFT AREAS AND UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIALS AND AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- PIPE BEDDING MATERIAL SHALL BE AASHTO NO. 67 PROCESSED SAND AND GRAVEL FREE FROM DEBRIS, CLAY LUMPS, ORGANIC, OR OTHER DEleterious MATERIALS, AND COMPLYING WITH THE FOLLOWING GRADATION REQUIREMENTS:
SIEVE SIZE PERCENT PASSING (BY WEIGHT)
1 INCH 100
3/4 INCH 90-100
3/8 INCH 20-55
#4 0-10
#8 0-5
- NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL. REMOVED TOPSOIL MUST BE REDISTRIBUTED THROUGHOUT THE SITE AND UTILIZED AS SUCH.
- ANY STORMWATER FACILITIES SHOWN TO REMAIN SHOULD BE INSPECTED, REPAIRED AND CLEANED AS NECESSARY.
- STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED REGULARLY TO INSURE CONTINUAL FUNCTIONING OF THE SYSTEM AT DESIGN CAPACITY. SEE THE STORMWATER POLLUTION PREVENTION PLAN FOR MAINTENANCE SCHEDULE, INSTRUCTIONS AND PROCEDURES.
- ALL PROPOSED SIDEWALKS, CURB RAMPS, ADA--ACCESSIBLE PARKING STALLS AND ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE A.D.A. REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO MAXIMUM 2% CROSS SLOPE, MAXIMUM 5% RUNNING SLOPE AND MAXIMUM 8.33% (1:12) RAMP SLOPE.
- ALL STORMWATER IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL AND ITS APPENDICES.
- ALL STORM SEWERS SHOWN HEREON SHALL BE HDPE WITH WATERTIGHT JOINTS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING.
- ABBREVIATIONS
HDPE = HIGH DENSITY POLYETHYLENE
DIP = DUCTILE IRON PIPE
INV = INVERT
LF = LINEAR FEET
GR = GRATE ELEVATION
FG = FINISHED GRADE
RM = RM ELEVATION
MH = MANHOLE
CB = CATCH BASIN

LEGEND

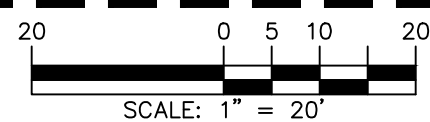
- PROPERTY LINE
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CATCH BASIN
- PROPOSED STORMWATER PIPE
- PROPOSED RETAINING WALL
- PROPOSED HYDRAULIC FLOOD BARRIER
- PROPOSED 6" CURB
- PROPOSED FLUSH CURB

RETAINING WALL LABEL LEGEND

- TW: 222.50 PROPOSED TOP OF WALL ELEVATION
- BW (SW): 221.00 FINISHED GRADE ELEVATION ON ROUTE 9W SIDE OF WALL
- BW (H): 220.00 FINISHED GRADE ELEVATION ON HOSPITAL SIDE OF WALL



MATCHLINE SEE CG102

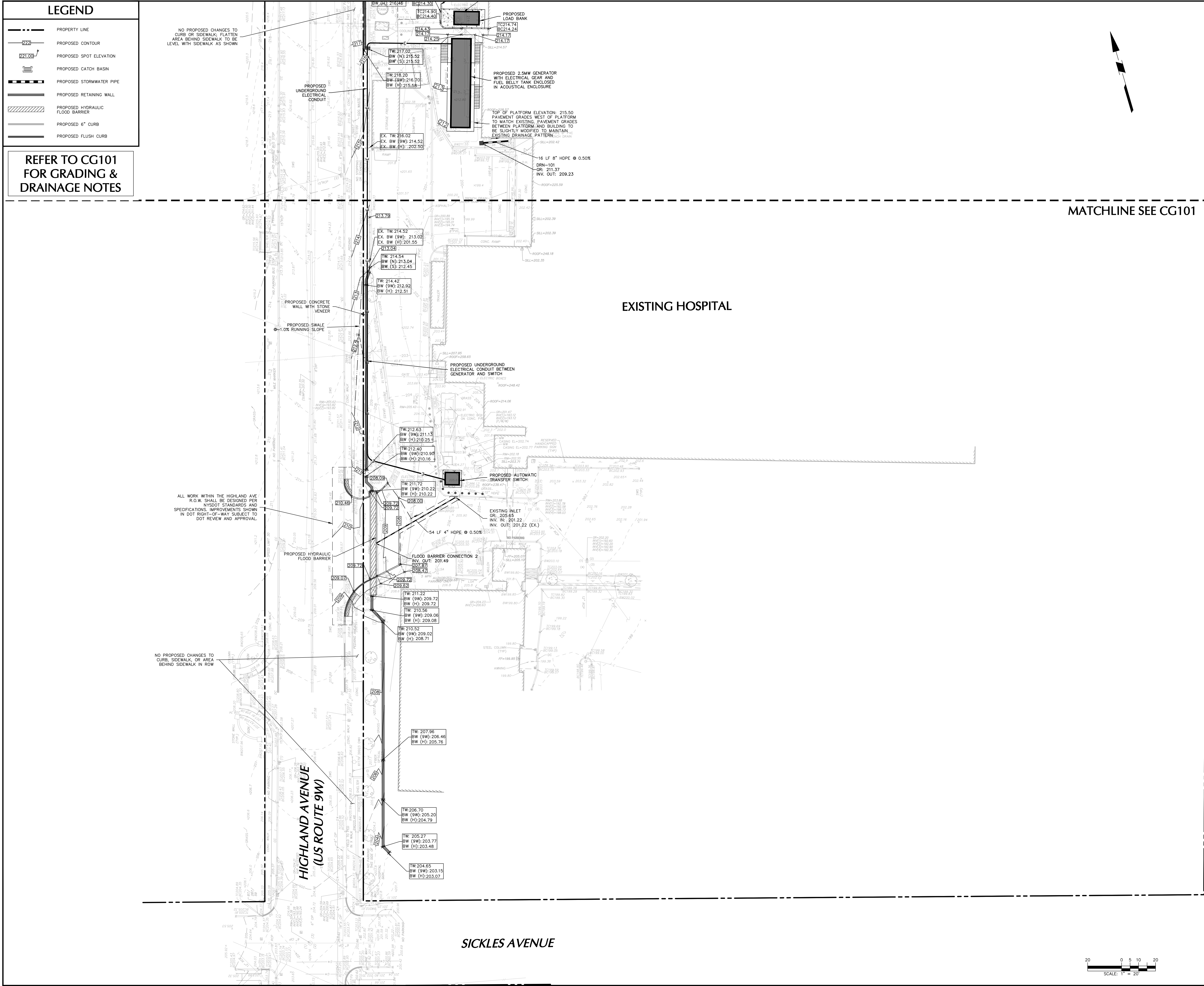


06/13/2025	REVISED FOR VILLAGE AND NYSDOT COMMENTS	3.
05/16/2025	REVISED FOR RESUBMISSION	2.
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Project		
NYACK HOSPITAL DRAINAGE & UTILITY IMPROVEMENTS		
SECTION No. 66.21 BLOCK No. 1, LOT No. 74,74.1 & 74.2 NYACK NEW YORK		
Drawing Title		
PARTIAL GRADING, DRAINAGE, AND UTILITY PLAN		

Project No.	100754212	CG101
Date	1/29/2025	
Drawn By	JR	
Checked By	MIF	



06/13/2025	REVISED FOR VILLAGE AND NYSDOT COMMENTS	3.
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02/04/2025	PLANNING BOARD SUBMISSION	1.
Date	Description	No.

Revisions



SIGNATURE:  DATE SIGNED: 6/13/2025

PROFESSIONAL ENGINEER NY Lic. No. 080661-1

LANGAN

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Project

NYACK HOSPITAL DRAINAGE & UTILITY IMPROVEMENTS

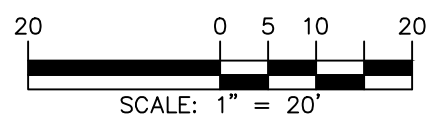
SECTION No. 66.21 BLOCK No. 1, LOT No. 74,74.1 & 74.2 NYACK

ROCKLAND COUNTY NEW YORK

Drawing Title

PARTIAL GRADING, DRAINAGE, AND UTILITY PLAN

Project No.	100754212	CG102
Date	1/29/2025	
Drawn By	JR	
Checked By	MJF	



SOIL EROSION AND SEDIMENT CONTROL NOTES

1. EXISTING BOUNDARY AND TOPOGRAPHY INFORMATION IS BASED ON PLAN TITLED "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY", PREPARED BY BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C., DATED 08/13/2024.
2. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK STATE PLANE COORDINATE SYSTEM NAD1983 (2011) DERIVED USING SURVEY-GRADE GNSS EQUIPMENT.
3. ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
4. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED NOVEMBER 2016. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
5. ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
6. SEEDING DATES, THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCOD: SPRING = 3/1-5/15 AND FALL = 8/15 - 10/1.
7. SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
8. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
9. MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
10. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE DESIGN BUILDER. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
11. THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (845) 364-2671 OR EMAIL - ENV@CO.ROCKLAND.NY.US.
12. THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DIVISION OF ENVIRONMENTAL RESOURCES (DER) AT 845-364-2670 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
13. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
14. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SOODING OR PLANTING. A DEPTH OF 5.0 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
15. ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
16. A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" - 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
17. STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
18. THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

SEQUENCE OF CONSTRUCTION

1. NOTIFY THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT IN WRITING AT LEAST 48 HOURS PRIOR TO ANY PROJECT PRE-CONSTRUCTION MEETING OR SITE DISTURBANCES. ----
2. PLACE AND MAINTAIN THE INLET PROTECTION AS SHOWN ON THE PLAN. 1 DAY
3. SITE DEMOLITION, ROUGH GRADE THE SITE. 2 WEEKS
4. CONSTRUCT STORM SEWERS AND SEDIMENT CONTROL MEASURES AROUND INLETS. 1 WEEK
5. COMPLETE FINAL SITE GRADING, CURB, ASPHALT PAVING AND SIDEWALK INSTALLATION. 1 MONTH
6. ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL IMPROVEMENTS TO THE SITE ARE COMPLETE AND THE ROADS AND PARKING AREAS ARE PAVED. ONGOING
7. CLEAN ALL SITE DRAINAGE STRUCTURES AND PIPES OF SILT AND DEBRIS, DOWNSTREAM/OFF-SITE DRAINAGE FACILITIES SHALL BE INSPECTED AND CLEANED OF SILT AND DEBRIS RESULTING FROM SITE CONSTRUCTION PRIOR TO FINAL TURNOVER. 1 WEEK
8. NOTIFY THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AT THE COMPLETION OF CONSTRUCTION. ----

DUST CONTROL NOTES

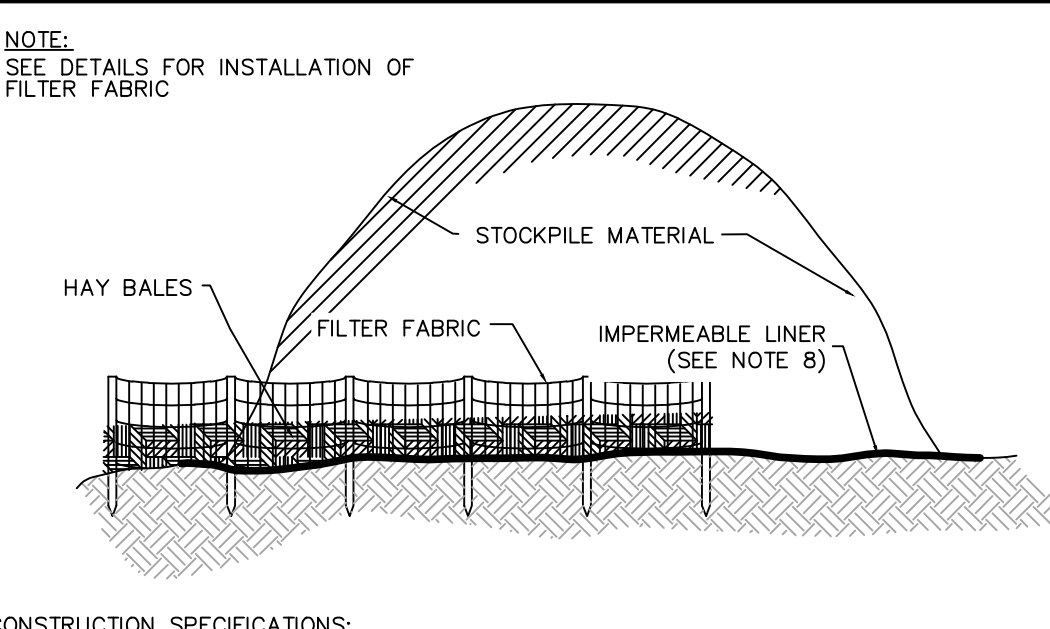
MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, P. 26-1		
POLYACRYLAMIDE (PAM) - DRY SPREAD	NONE	COARSE SPRAY	1200
ACCULATED SOY BEAN SOAP STICK			
TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDOWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.			
SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.			
BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.			
CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.			
STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.			

LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE
- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PROPOSED CONTOUR
- PROPOSED CATCH BASIN
- PROPOSED STORMWATER PIPE

TOTAL DISTURBANCE
AREA = 0.69 ACRES

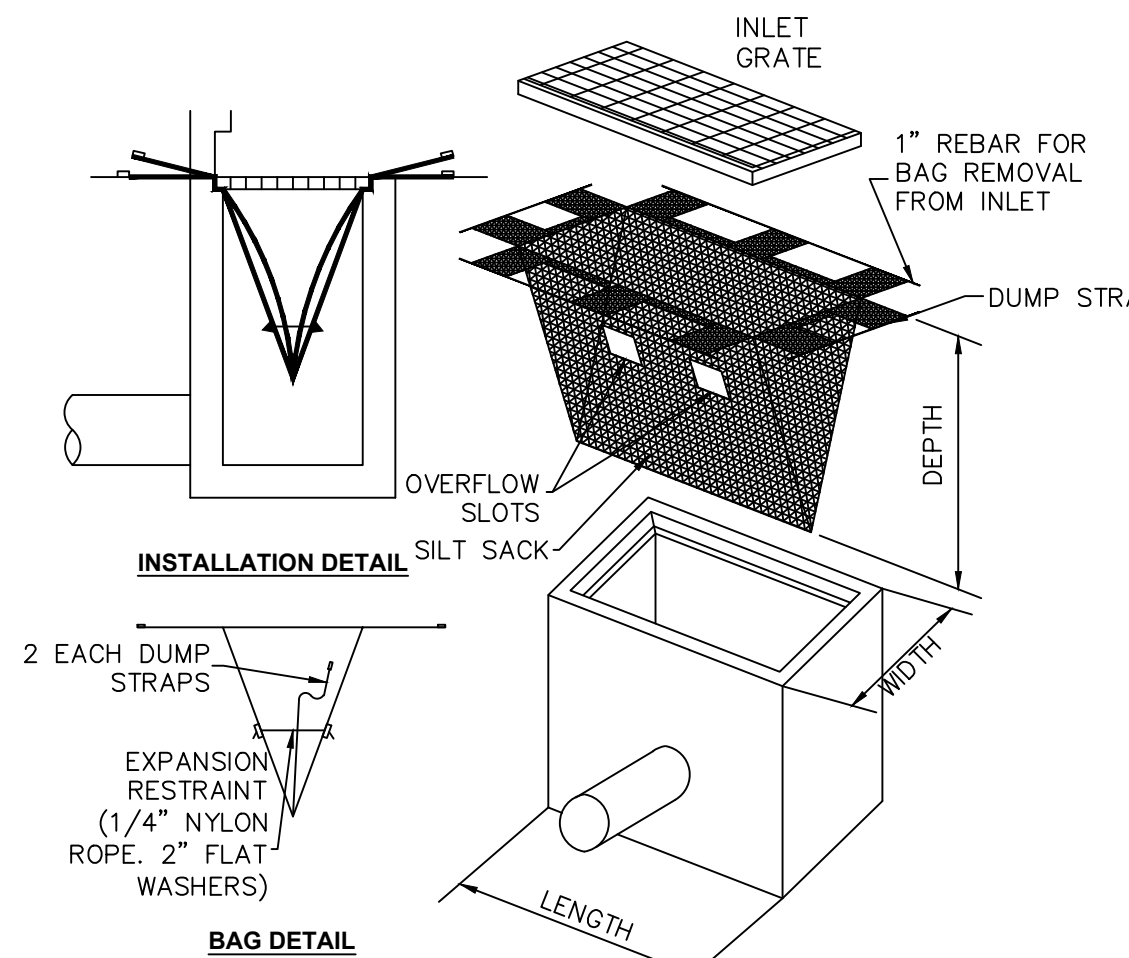
STOCKPILE LOCATIONS AND
STABILIZED CONSTRUCTION
ENTRANCE TO BE COORDINATED
WITH BUILDING DEPARTMENT
PRIOR TO CONSTRUCTION



- CONSTRUCTION SPECIFICATIONS:
1. AREA CHOSEN FOR FILL MATERIAL SHALL BE DRY AND STABLE
 2. MAXIMUM SLOPE OF FILL MATERIAL PILE SHALL BE 2:1
 3. EACH PILE SHALL BE SURROUNDED BY SILT FENCE.
 4. UPON COMPLETION, EACH PILE SHALL BE COVERED WITH 6-MIL PLASTIC OR STABILIZED WITH VEGETATION.
 5. SEPARATE CERTIFIED CLEAN MATERIALS FROM OTHER MATERIALS WHEN STOCKPILING.
 6. DRESSED MATERIAL MUST BE COVERED WITH 6-MIL PLASTIC AT THE END OF EACH DAY.
 7. FOR STOCKPILE ON PAVED AREA, PILE MUST BE UNDERLAIN BY FILTER CLOTH, SEE TYPICAL ROADWAY SECTION ON SHEET C-2.
 8. IMPERMEABLE GEOSYNTHETIC LINER WITH 40-MIL HDPE GEOMEMBRANE CUSHIONED ABOVE AND BELOW WITH A 10 OUNCE NON-WOVEN GEOTEXTILE.

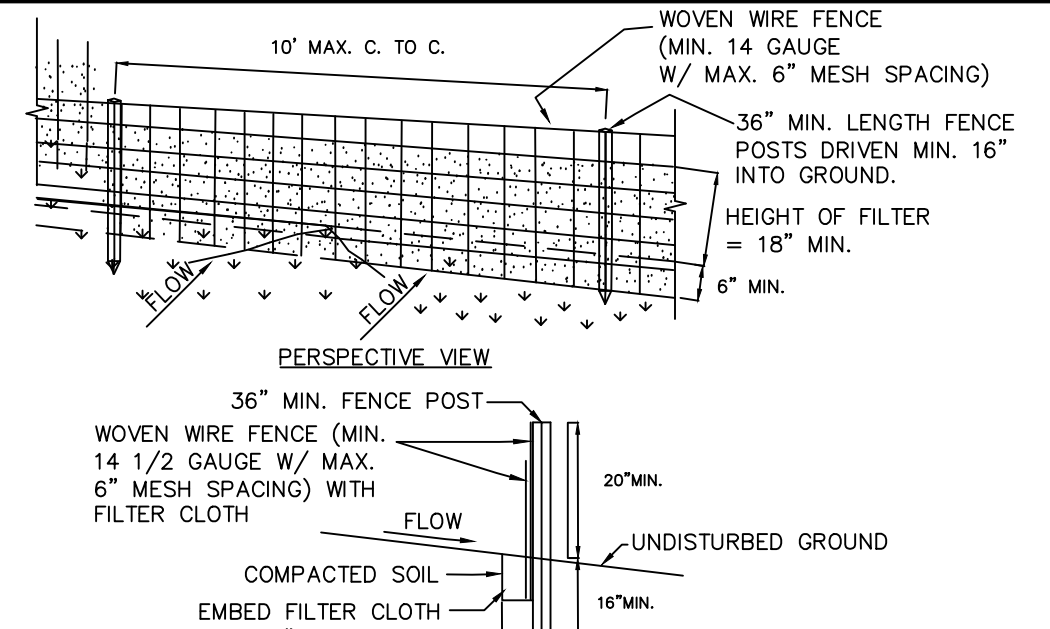
ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

STOCKPILE DETAIL



- REQUIREMENTS FOR INLET PROTECTION:
1. IN ALL CASES, INLET PROTECTION SHOULD NOT COMPLETELY CLOSE OFF THE INLET.
 2. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
 3. INSPECTIONS SHALL BE FREQUENT.
 4. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED.
 5. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARD THE INLET HAS BEEN STABILIZED.

NTS

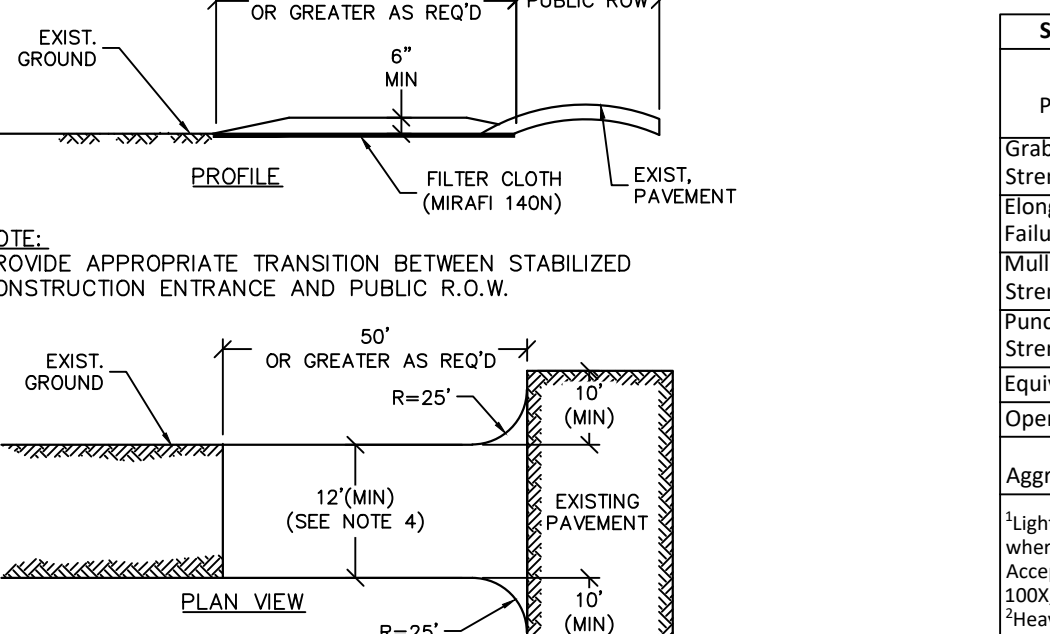


- CONSTRUCTION SPECIFICATIONS:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFL 100X, STABILINKA 1140N, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL BE GEOTAP, ENVIRONMENT, OR APPROVED EQUIVALENT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE REINFORCED SILT FENCE.

CRITERIA FOR SILT FENCE FABRIC			
Fabric Properties	Minimum Acceptable Value	Test Method	
Grab Tensile Strength (lbs)	110	ASTM D 4632	
Knotting at Failure (%)	20	ASTM D 4632	
Mullen Burst Strength (PSI)	300	ASTM D 3786	
Puncture Strength (lbs)	60	ASTM D 4633	
Minimum Trapezoidal Tear Strength (lbs)	50	ASTM D 4533	
Flow Through Rate (gal/min/sf)	25	ASTM D 4491	
Equivalent Opening Size	40-80	US Std Sieve	
Minimum UV Residual (%)	70	ASTM D 4751	

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SILT FENCE



- CONSTRUCTION SPECIFICATIONS:
1. STONE SIZE - USE 3" STONE (NYS DOT ITEM #623.11 SIZE DESIGNATION #2, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50 FEET
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH TWELVE (12) FOOT MINIMUM. BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

Stabilized Construction Access-Geotextile Property Requirements			
Fabric Properties	Light Duty Roads Grade Subgrade	Heavy Duty Haul Roads Rough Graded	Test Method
Grab Tensile Strength (lbs)	200	220	ASTM D1682
Elongation at Failure (%)	50	60	ASTM D1682
Mullen Burst Strength (lbs)	190	430	ASTM D3786
Puncture Strength (lbs)	40	125	ASTM D753 Modified
Equivalent Opening Size	40-80	40-80	US Std Sieve
Aggregate Depth	6	10	CW-02215

Light Duty Road: Area sites that have been graded to subgrade and where most travel would be single axle vehicles and an occasional multi-axle truck. Acceptable materials are Treva Spunbond 1135, Mirafl 6000, or equivalent.

Heavy Duty Road: Area sites with only rough grading, and where most travel would be multi-axle vehicles. Acceptable materials are Treva Spunbond 1135, Mirafl 6000, or equivalent.

*Fabric not meeting these specifications may be used only when design procedure and supporting documentation are supplied to determine aggregate depth and fabric strength.

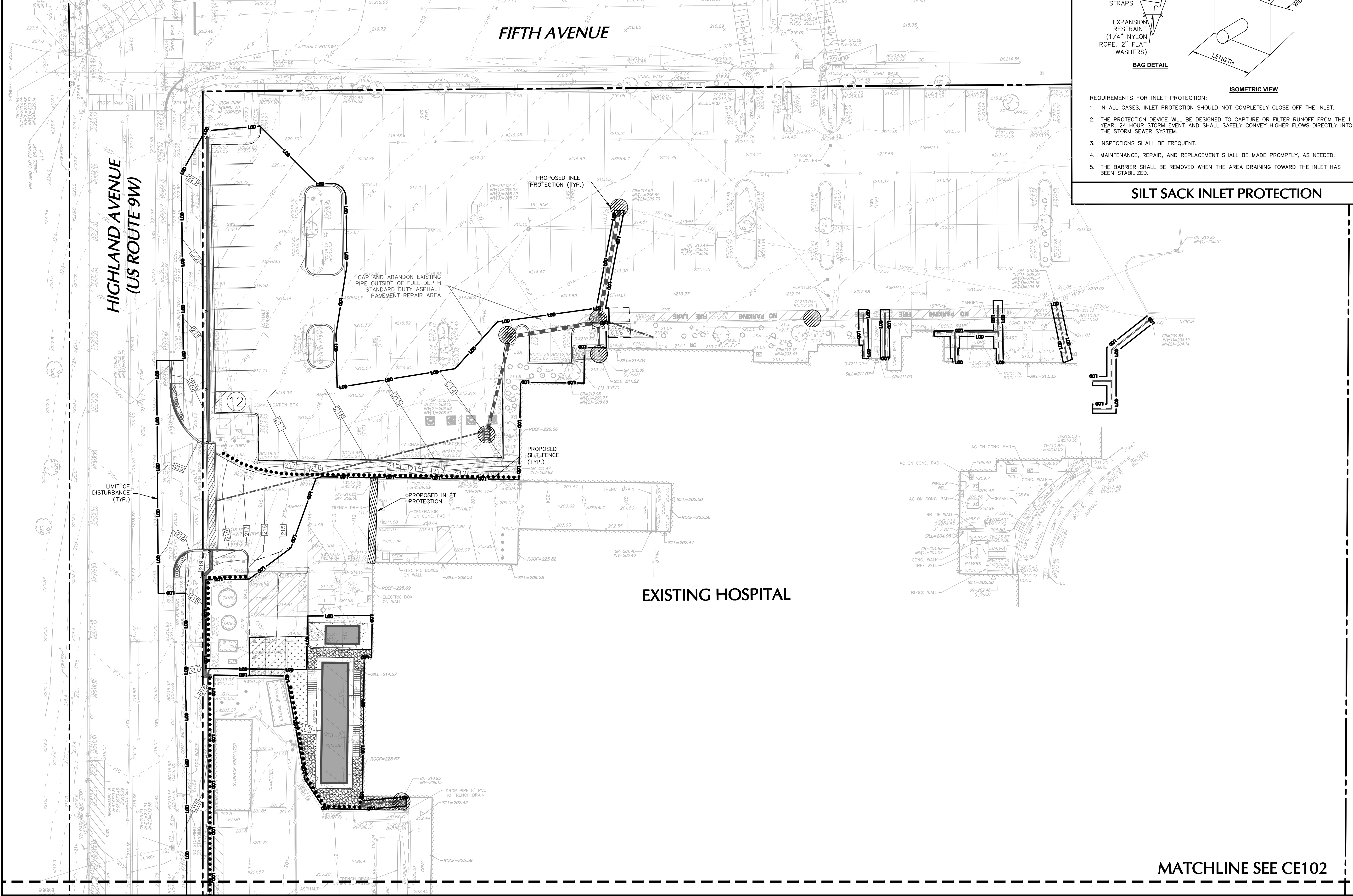
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ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

NTS

SILT SACK INLET PROTECTION

STABILIZED CONSTRUCTION ENTRANCE



EXISTING HOSPITAL

MATCHLINE SEE CE102



06/13/2025	REVISED FOR VILLAGE AND NYS DOT COMMENTS	3.
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SIGNATURE DATE SIGNED

BRUNO L. LANGE

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NYACK HOSPITAL
DRAINAGE & UTILITY
IMPROVEMENTS

SECTION No. 66.21 BLOCK No. 1, LOT No. 74,74.1 & 74.2

NYACK

ROCKLAND COUNTY NEW YORK

Drawing Title

**PARTIAL SOIL EROSION
AND SEDIMENT
CONTROL PLAN**

Project No.	100754212
Date	1/29/2025
Drawn By	JR
Checked By	MIF

CE101

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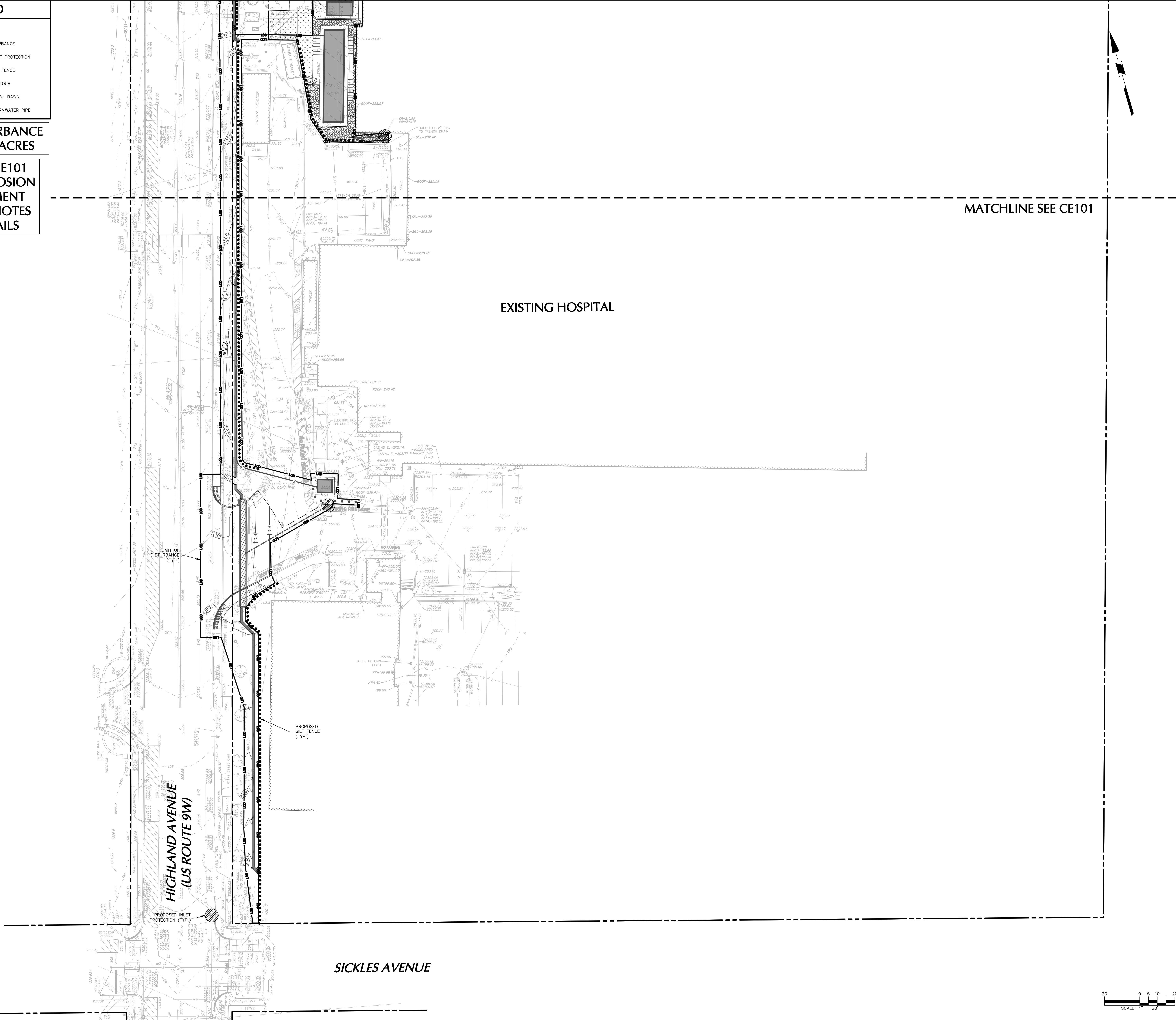
LANGAN

LEGEND

- PROPERTY LINE
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TOTAL DISTURBANCE
AREA = 0.69 ACRES

REFER TO CE101
FOR SOIL EROSION
AND SEDIMENT
CONTROL NOTES
AND DETAILS

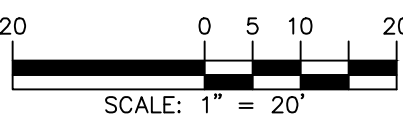


MATCHLINE SEE CE101

EXISTING HOSPITAL

HIGHLAND AVENUE
(US ROUTE 9W)

SICKLES AVENUE



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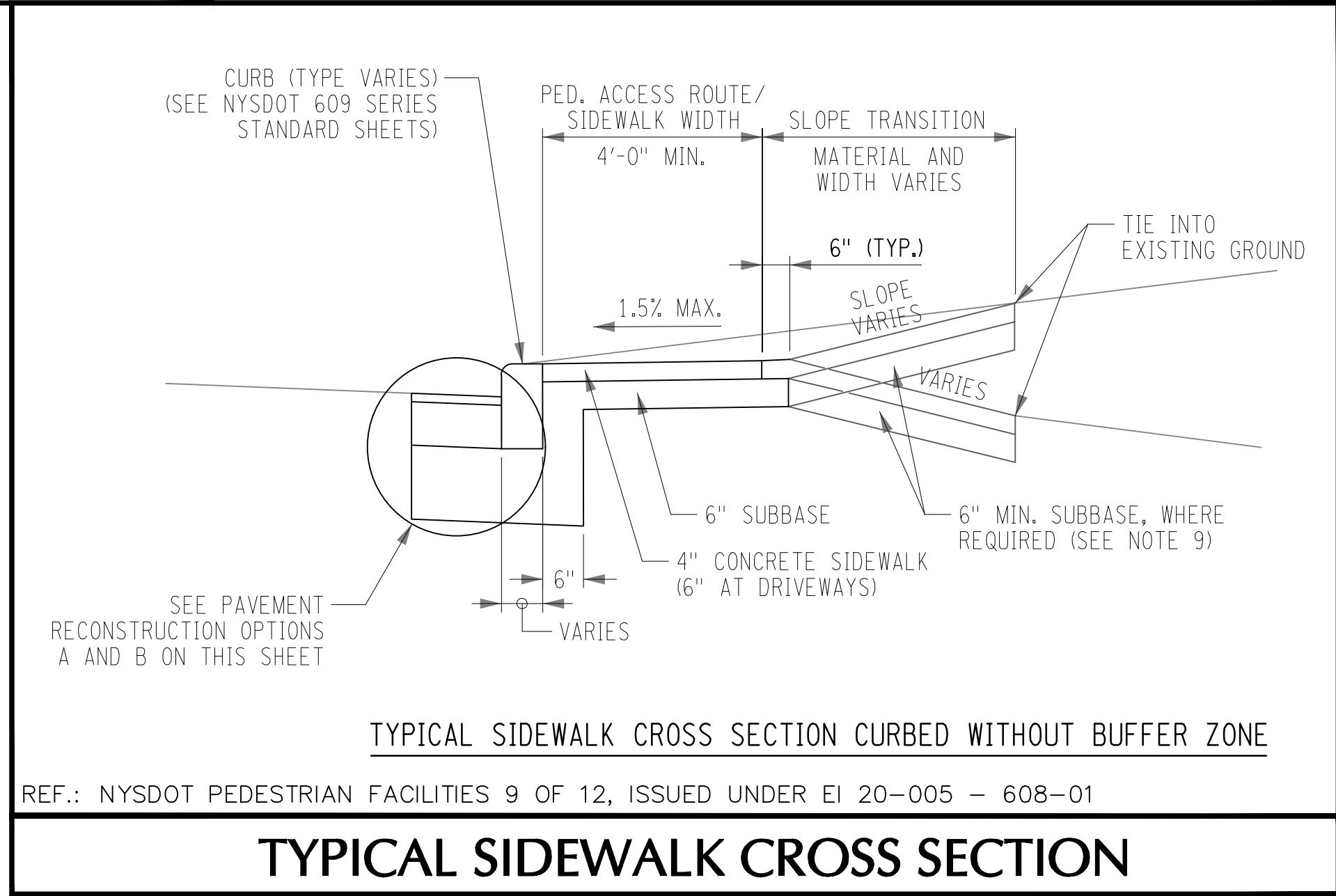
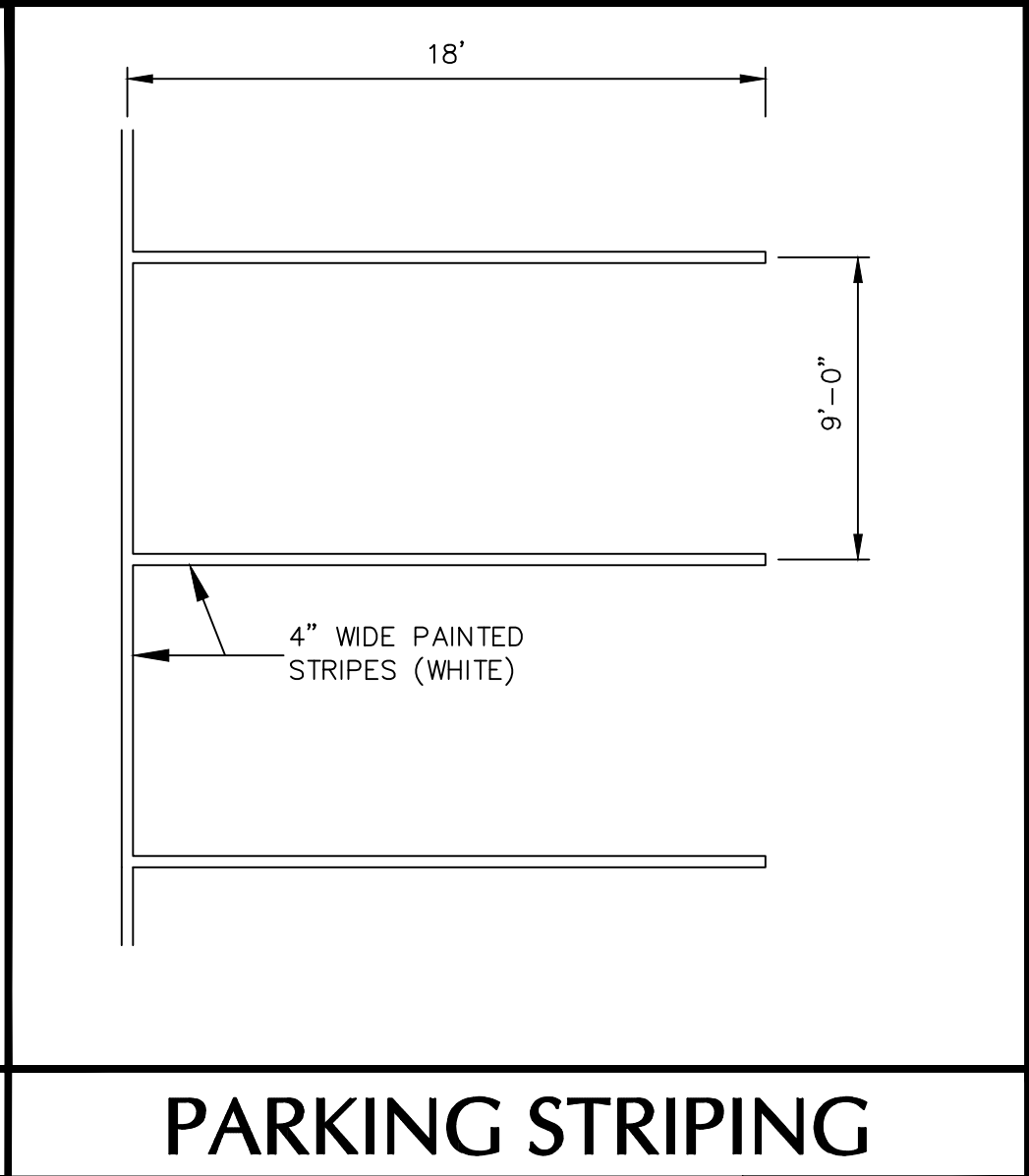
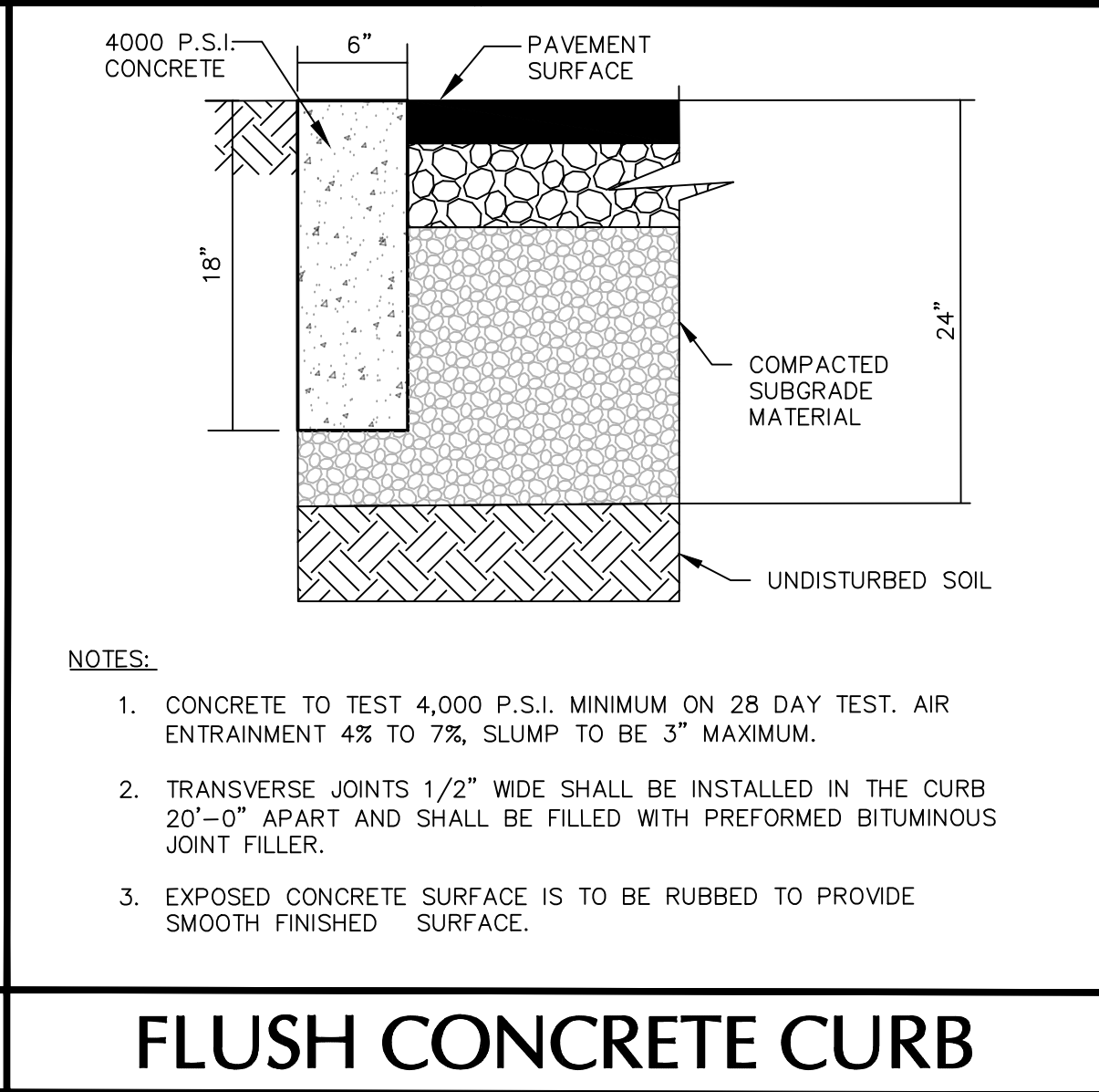
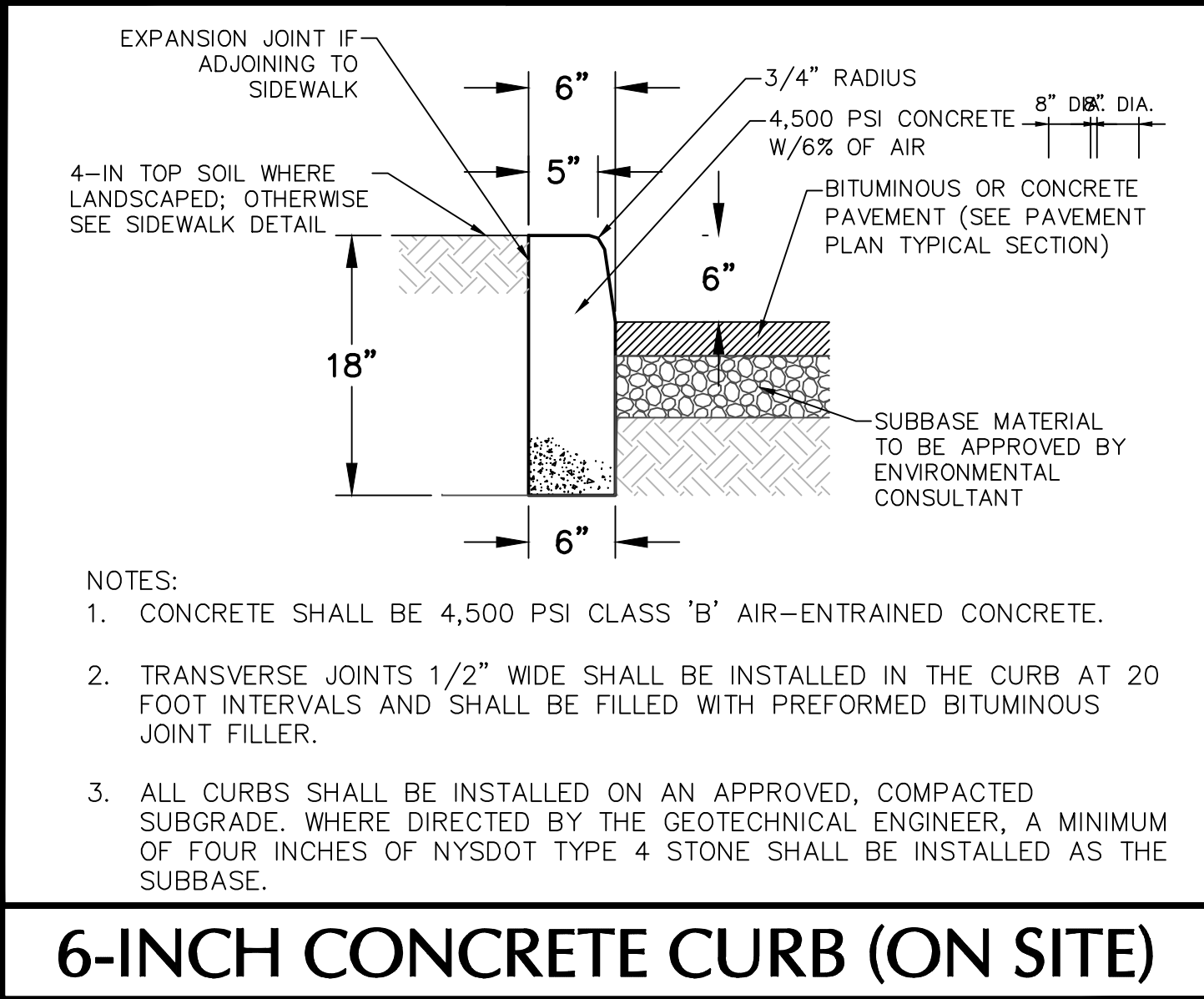
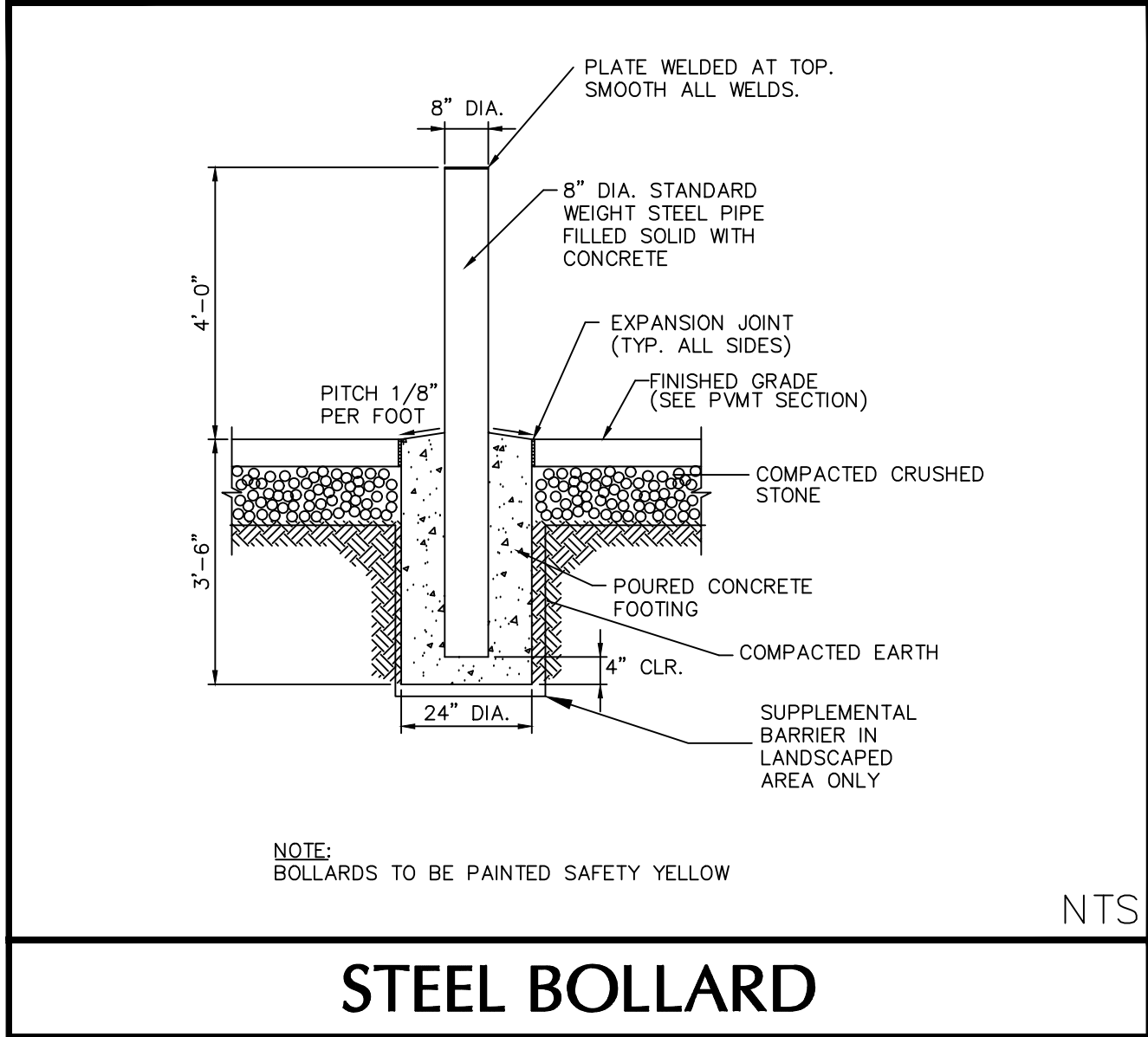
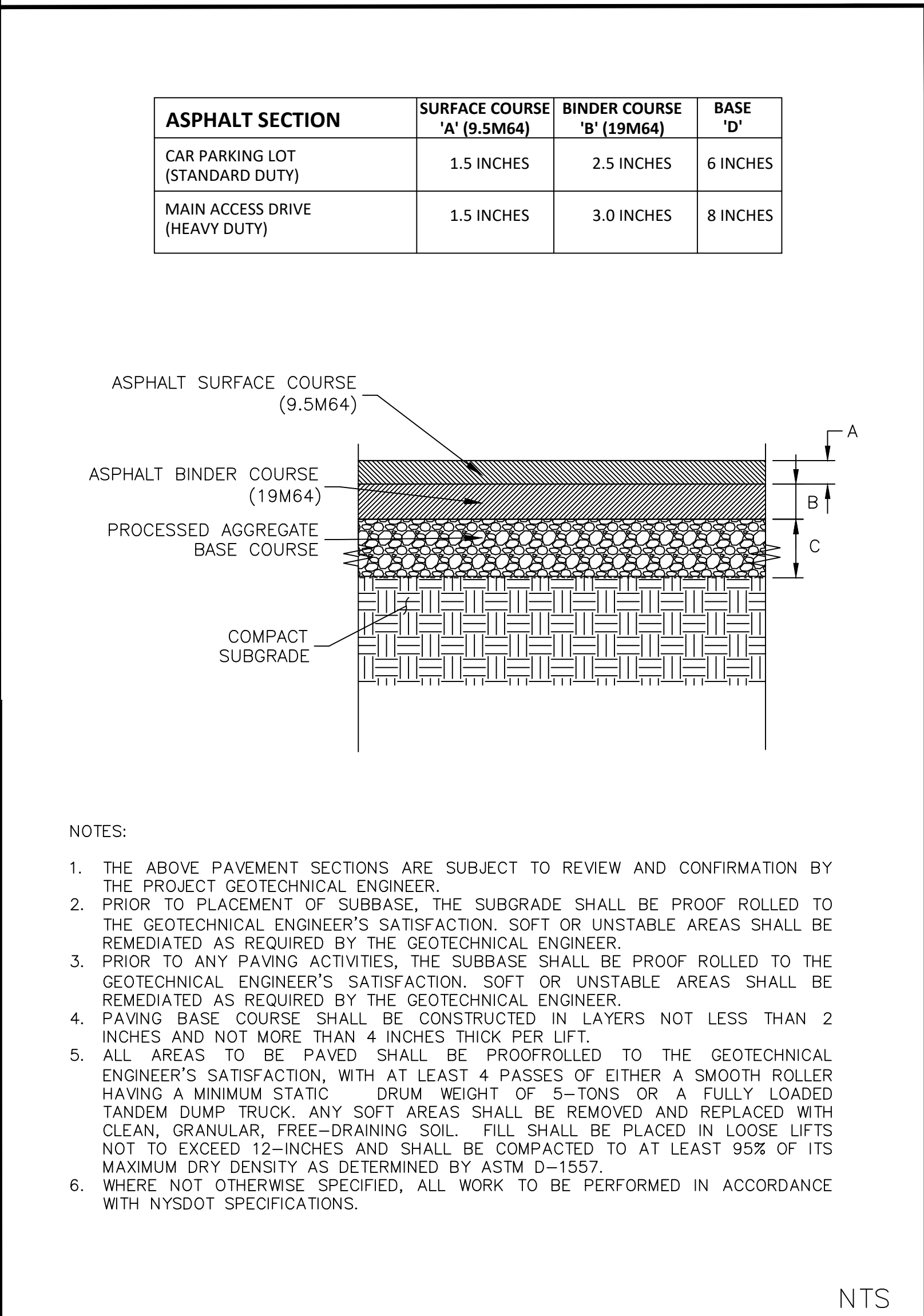
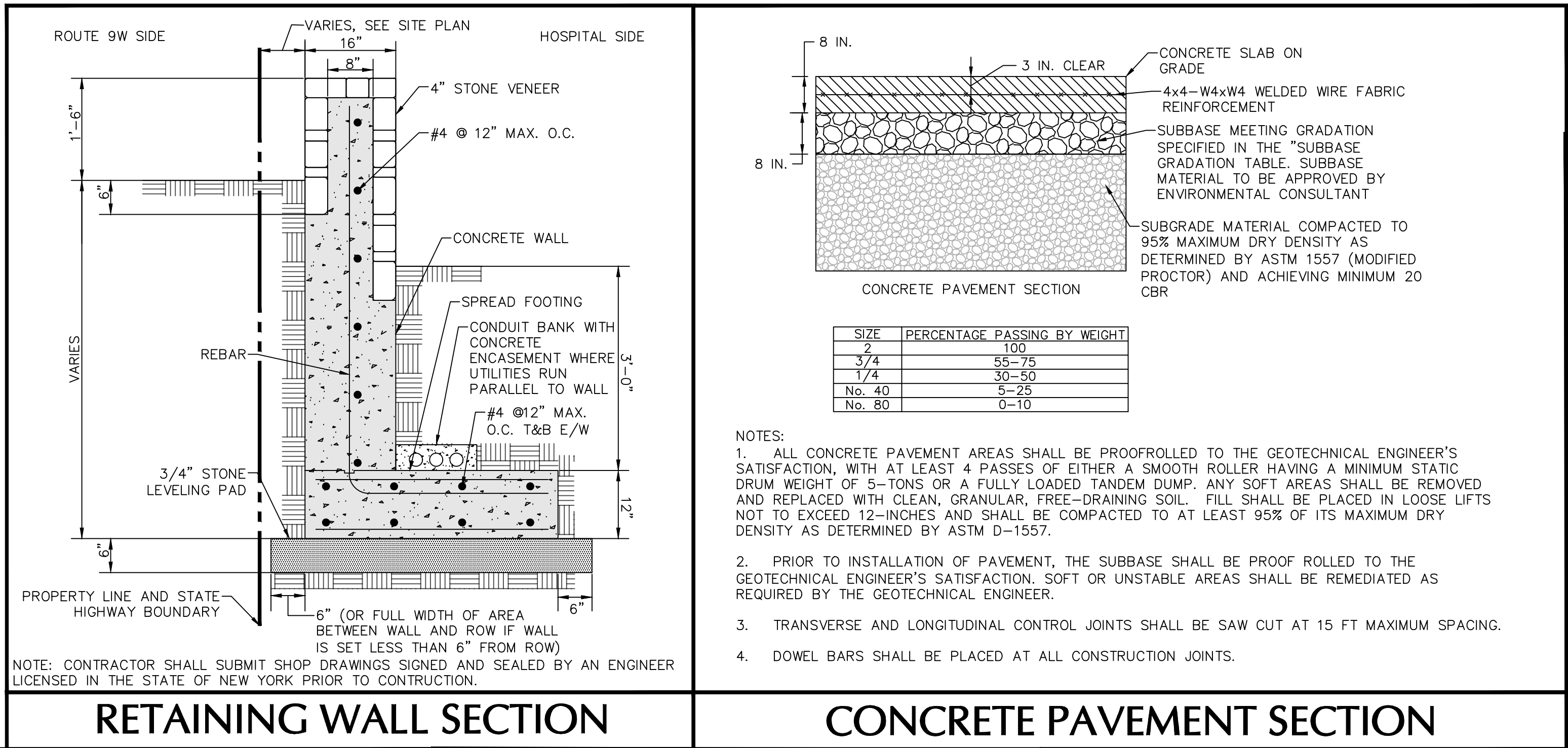
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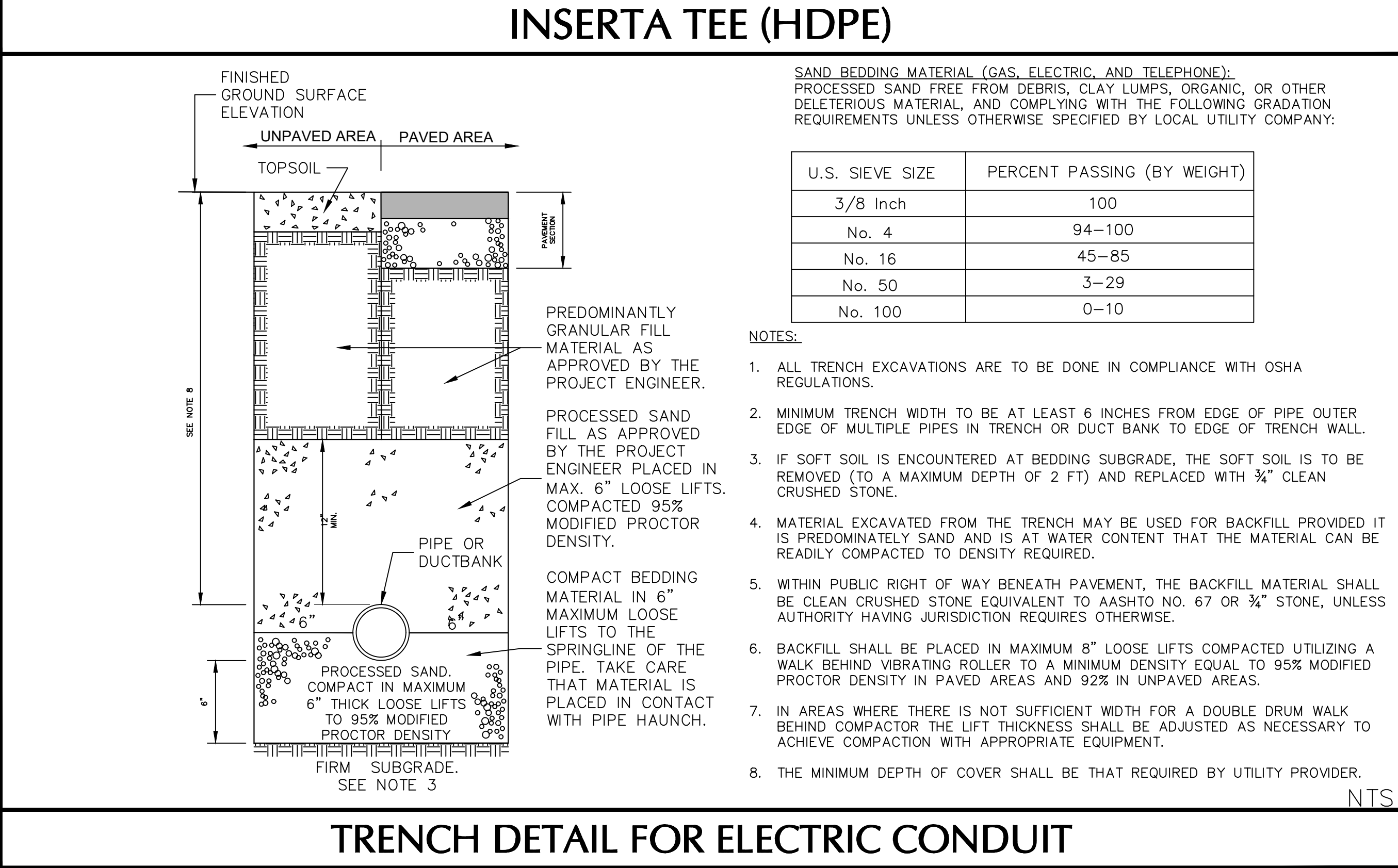
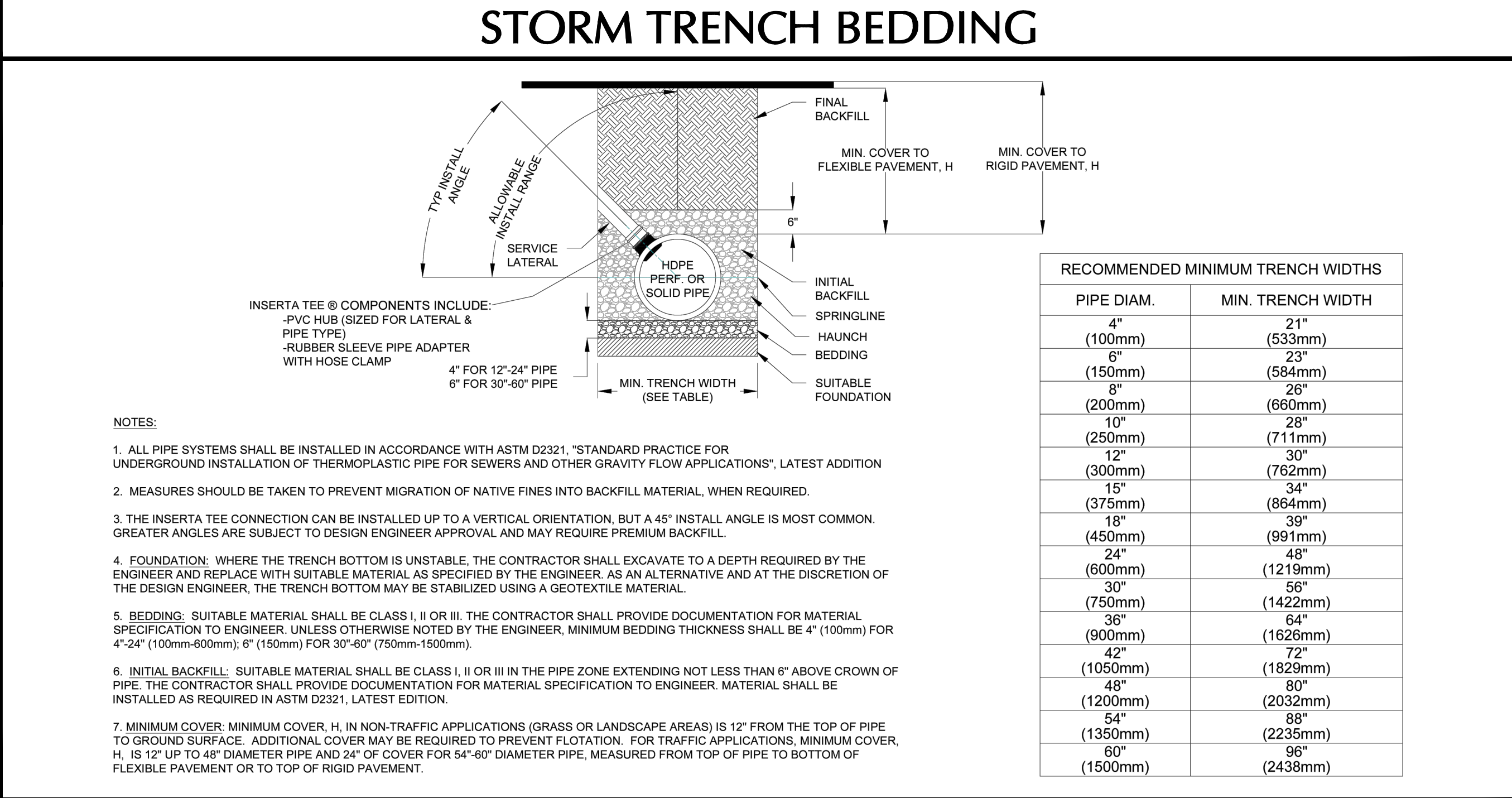
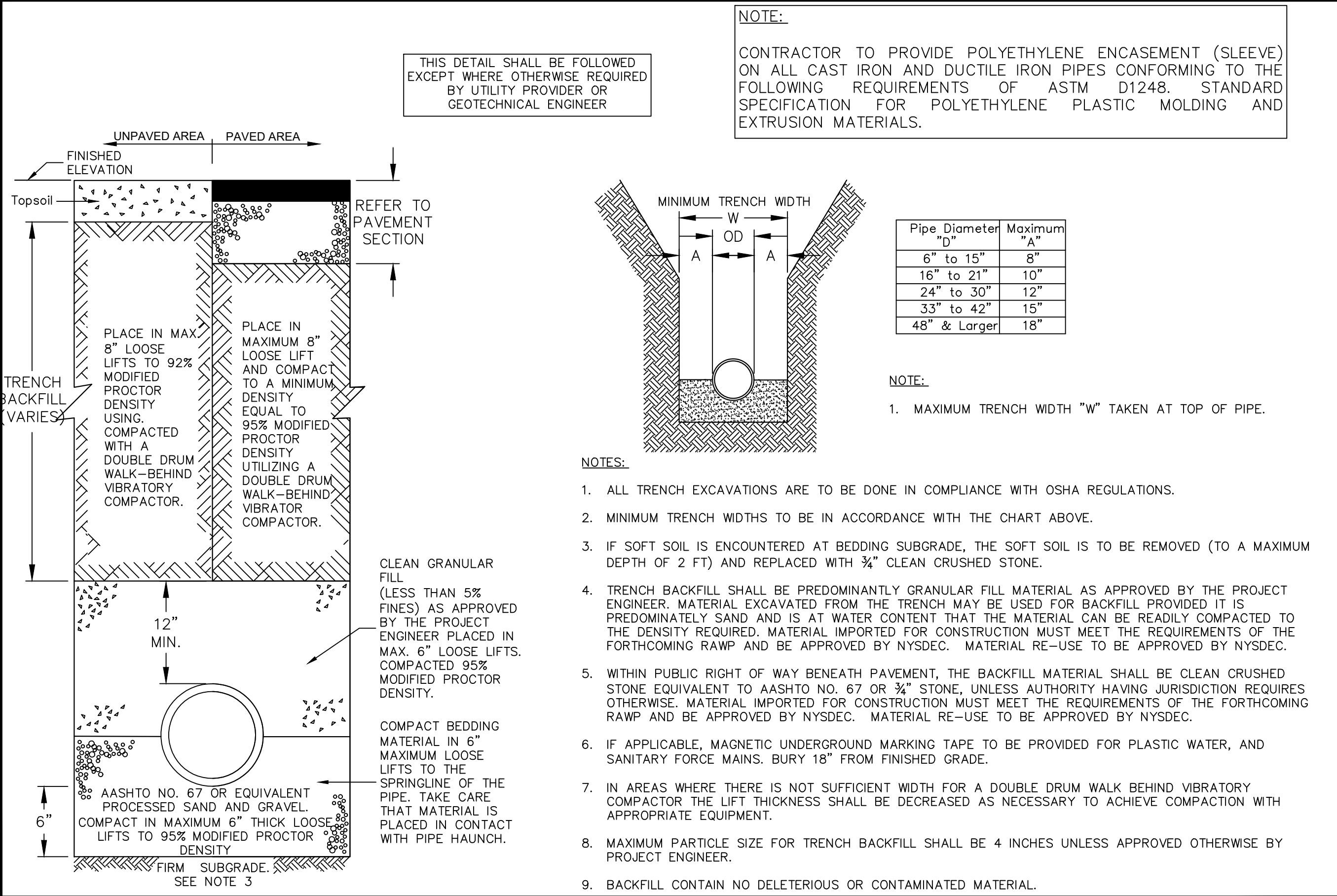
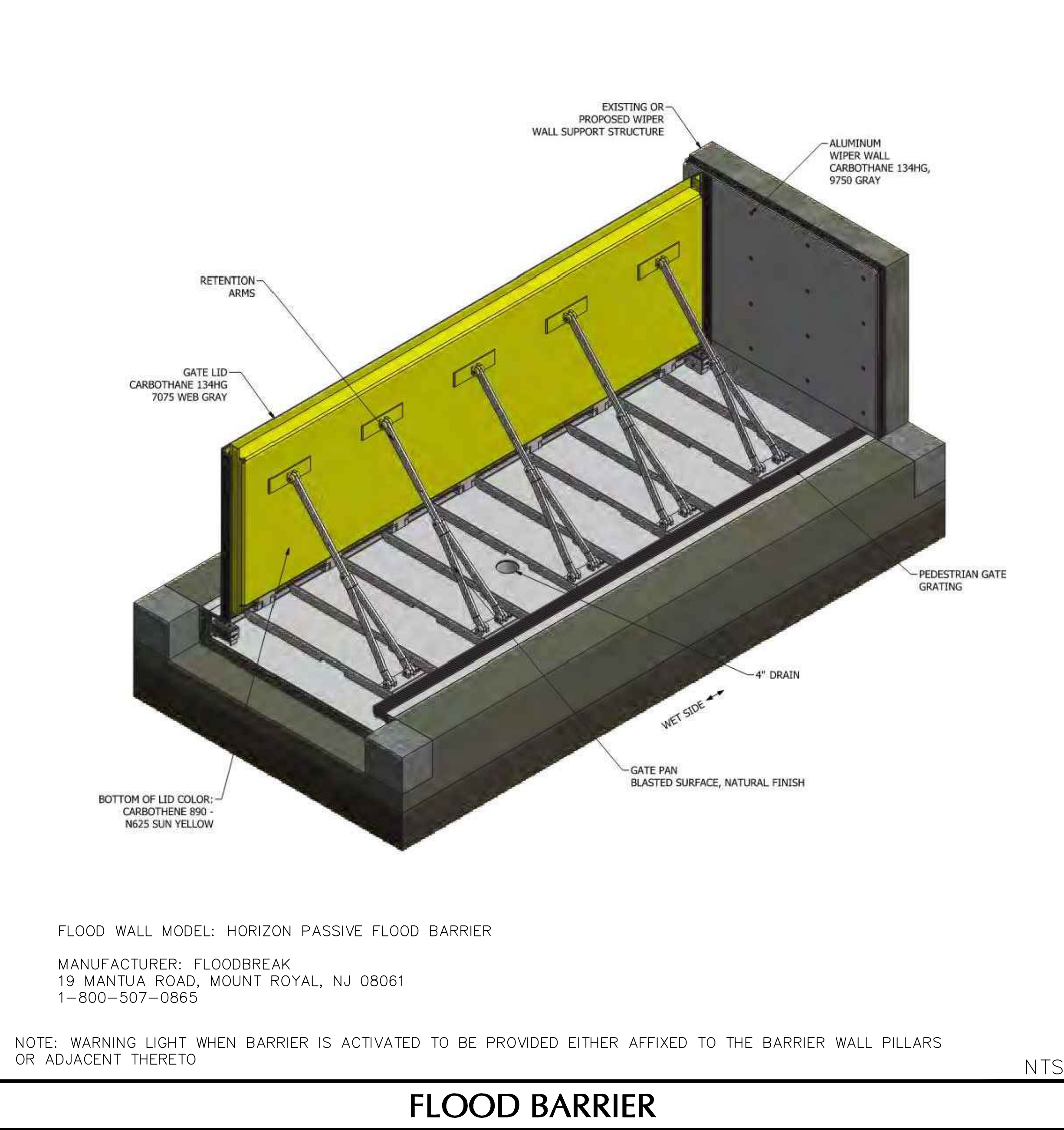
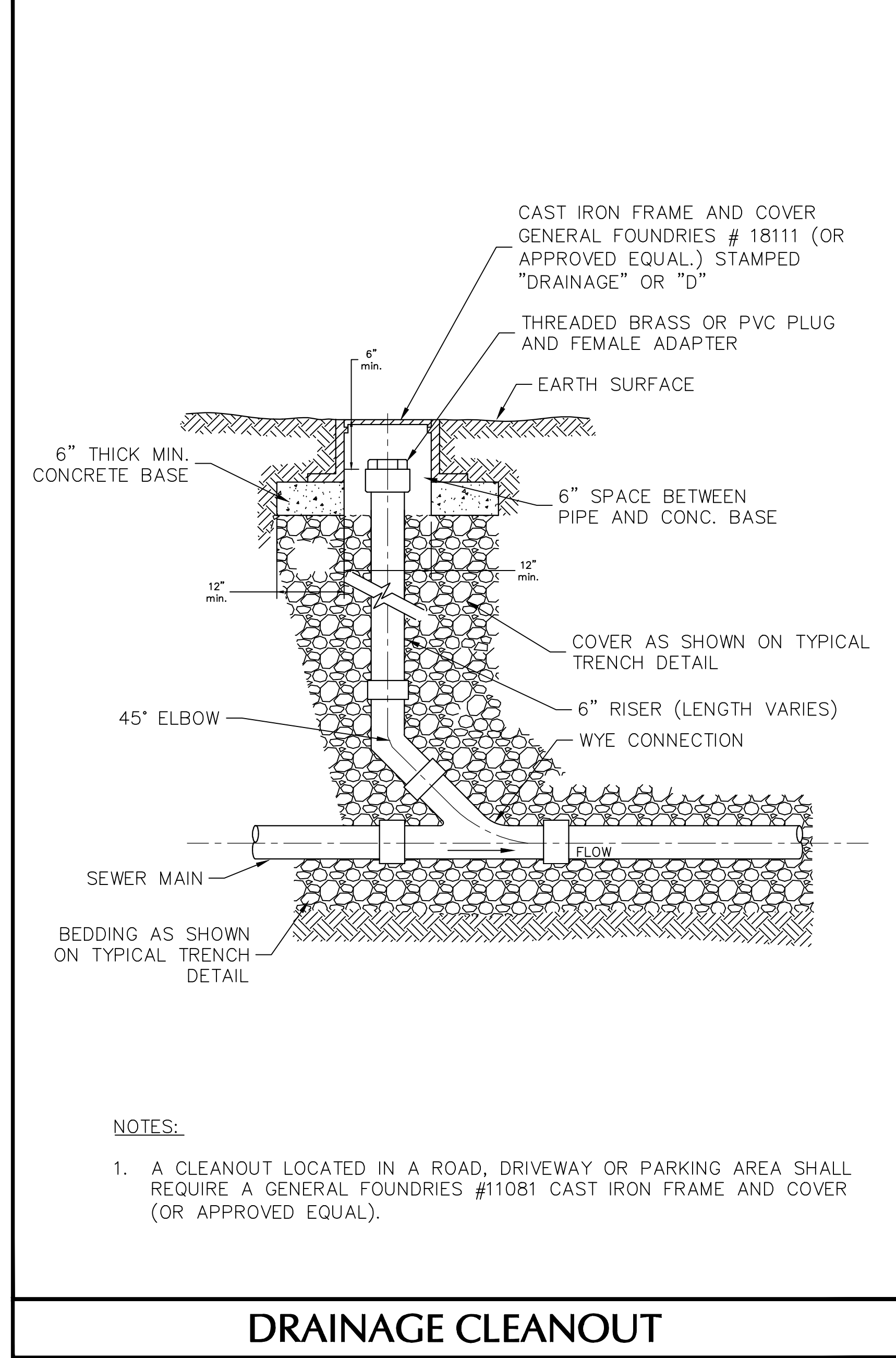
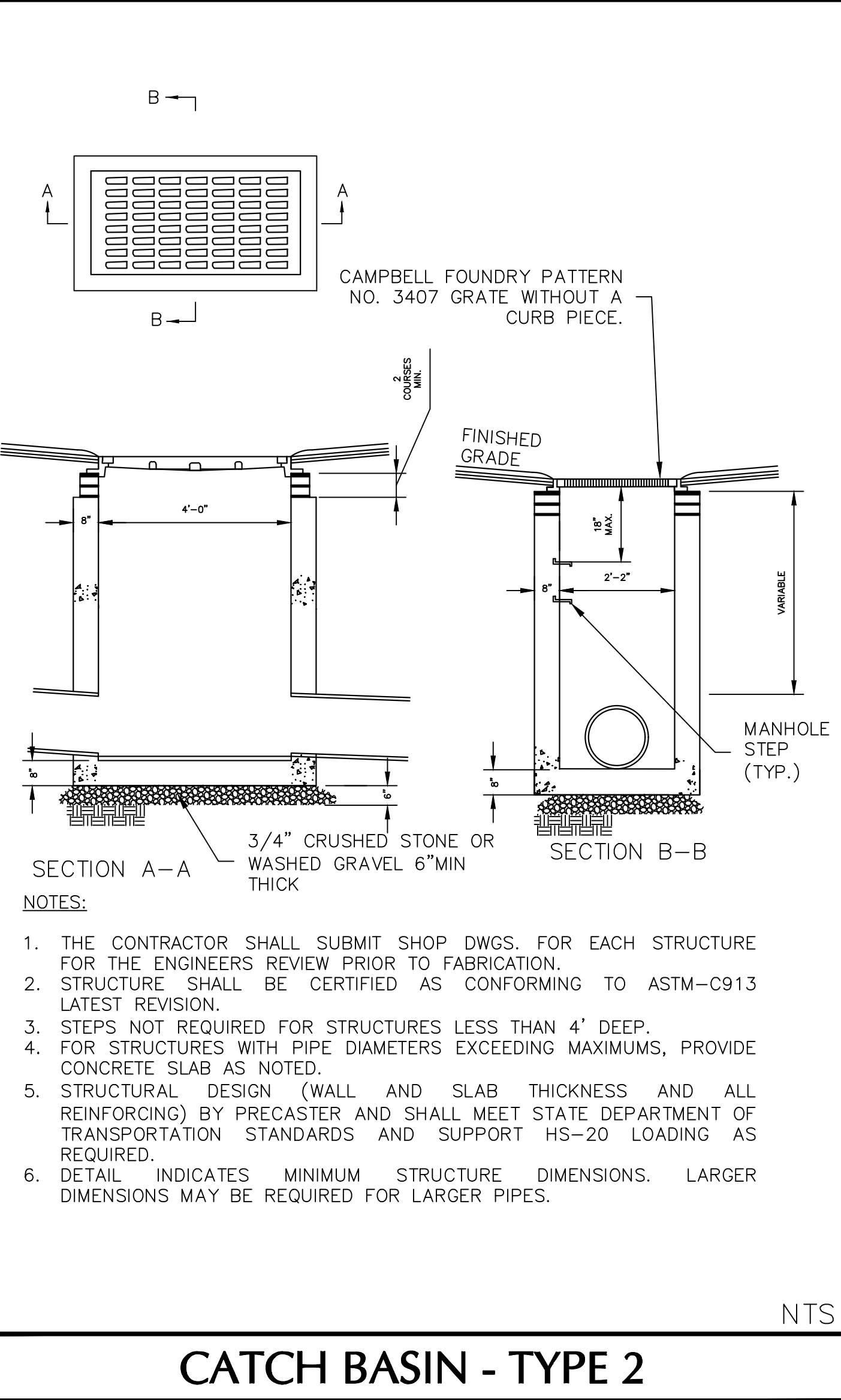
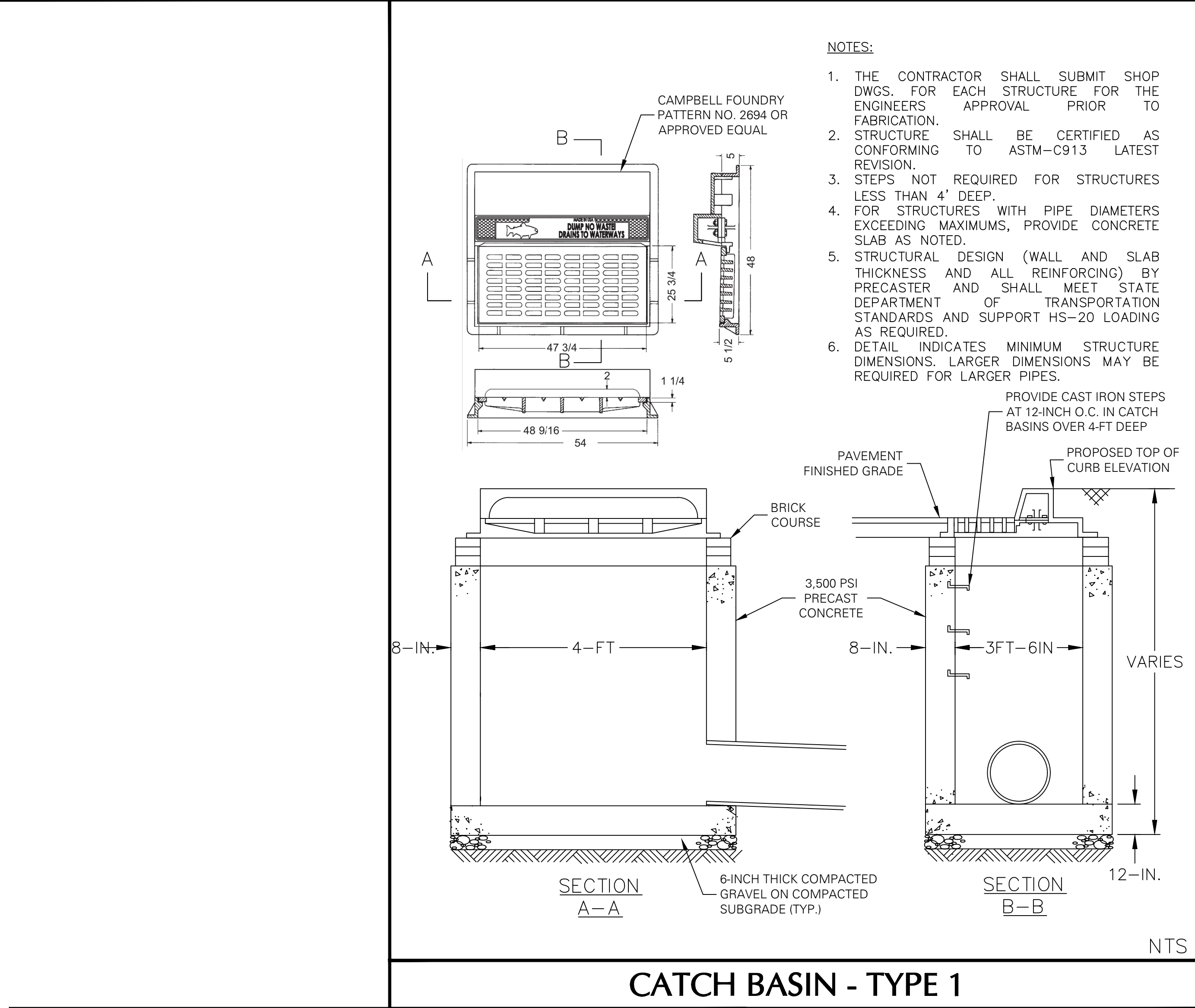
SECTION No. 66.21 BLOCK No. 1, LOT No. 74.7, 1 & 74.2 NYACK

ROCKLAND COUNTY NEW YORK

Drawing Title

DETAILS I

CS501



05/16/2025	REVISED FOR RESUBMISSION	2.
02/04/2025	PLANNING BOARD SUBMISSION	1.
Date	Description	No.

Revisions

STATE OF NEW YORK
6/13/2025
DATE SIGNED
SIGNATURE: [Signature]
PROFESSIONAL ENGINEER NY Lic. No. 080661-1

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Project
NYACK HOSPITAL DRAINAGE & UTILITY IMPROVEMENTS
SECTION No. 66.21 BLOCK No. 1, LOT No. 74,74.1 & 74.2
ROCKLAND COUNTY NYACK NEW YORK
Drawing Title

DETAILS II

Project No.	100754212	CS502
Date	1/29/2025	
Drawn By	JR	
Checked By	MF	

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