

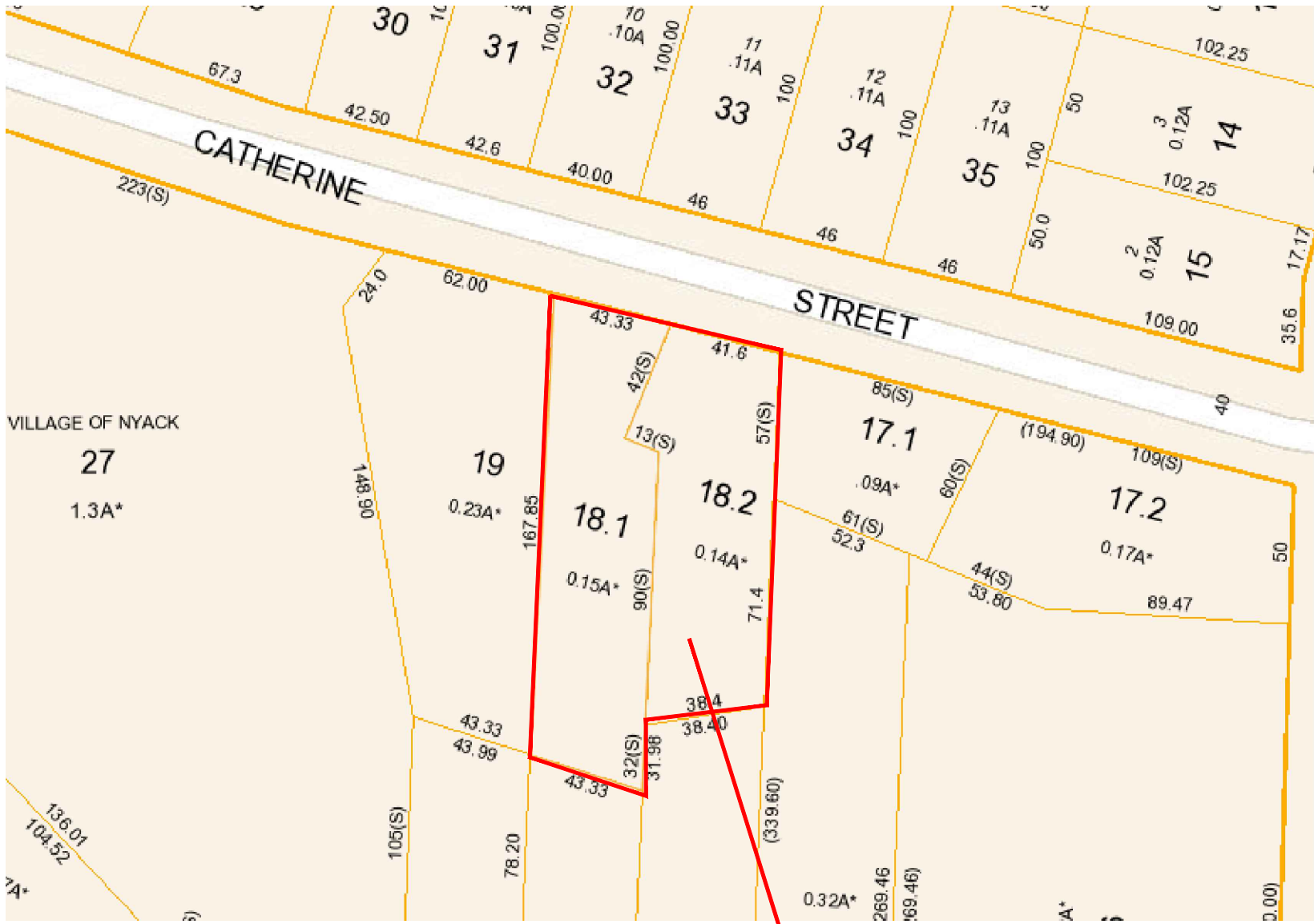
Proposed 2 Family Dwelling at:
55 Catherine Street, Nyack NY

PROJECT INFORMATION:

OWNER:
NAME: SHABAN SINANAJ
ADDRESS: 55 CATHERINE STREET
VILLAGE OF NYACK , NY
EMAIL: Shben43@gmail.com
PHONE: 917 817-4617

ARCHITECT:
NAME: HAYNES ARCHITECTURE PC- Thomas Haynes
ADDRESS: 570 YONKERS AVENUE
YONKERS NEW YORK 10704
TELEPHONE: 1-(914)-963-3838
EMAIL: TJ@HAYNESDESIGNGROUP.COM

LOCATION MAP: NOT TO SCALE



SECTION: 65.36
BLOCK: 2
LOT: 18.1, 18.2
ZONE: TFR

SUBJECT PROPERTY:
55 CATHERINE STREET
NYACK, NY

SCOPE OF WORK:

COMBINE TWO LOTS FOR A
PROPOSED NEW 2-FAMILY DWELLING

GENERAL NOTES:

- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE AND ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF AGENCIES HAVING JURISDICTION. ALL CONTRACTORS AND SUBCONTRACTORS ARE TO COMPLY WITH ALL O.S.H.A. REQUIREMENTS PERTAINING TO THEIR WORK.
- THE GENERAL CONTRACTOR (G.C.) AND ALL SUBCONTRACTORS ARE TO PROVIDE ALL LABOR MATERIALS, TOOLS, EQUIPMENT, SCAFFOLDING, SUPPLIES, LAYOUT AND SERVICES NECESSARY TO EXECUTE AND COMPLETE ALL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, UNLESS OTHERWISE NOTED. PREPARATION AND INSTALLATIONS TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS WHETHER OR NOT SPECIFICALLY NOTED ON THE DRAWINGS.
- THE G.C. AND ALL SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH ALL APPLICABLE CODES AND REGULATIONS IN REGARDS TO THEIR WORK FOR THEY WILL BE RESPONSIBLE FOR SAME.
- THE G.C. IS TO FILE WORKERS COMPENSATION WITH THE DEPARTMENT OF BUILDINGS.
- THE G.C. IS TO OBTAIN AND PAY FOR THE BUILDING PERMIT. THE SUBCONTRACTORS ARE TO PAY FOR AND OBTAIN PERMIT REQUIRED IN CONNECTION WITH THEIR WORK.
- THE G.C. AND SUBCONTRACTORS ARE TO ARRANGE FOR AND AND PAY ALL FEES IN CONNECTION WITH ALL REQUIRED INSPECTIONS.
- PLANS ARE SUBJECT TO CHANGES AS DIRECTED BY THE DEPARTMENT OF BUILDINGS.
- THE G.C. AND SUBCONTRACTORS ARE TO REVIEW THE CONSTRUCTION DOCUMENTS, SPECIFICATIONS, NOTES AND ADDENDUMS THOROUGHLY TO DETERMINE THE EXTENT OF WORK UNDER THEIR TRADE AND THE WORK OF OTHER TRADES REQUIRING COORDINATION, FOR THEY WILL BE RESPONSIBLE FOR SAME. THE ARCHITECT WILL CLARIFY ANY DISCREPANCIES OR CONTRACTOR QUESTIONS IN WRITING PRIOR TO BID SUBMISSION.
- DO NOT SCALE DRAWINGS. USE COMPUTED DIMENSIONS ONLY. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS ARE TO BE CONSIDERED AS REASONABLY CORRECT, BUT IT IS UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITIONS.
- THE G.C. AND ALL SUBCONTRACTORS ARE TO INVESTIGATE THE JOB SITE AND ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND START OF CONSTRUCTION. ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. DISCREPANCIES AND UNCOVERED CONDITIONS NOT ADDRESSED SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT.
- ALL WORK IS TO BE PERFORMED IN A NEAT, PROFESSIONAL MANNER BY SKILLED MECHANICS.
- THE G.C. AND OTHER SUBCONTRACTORS ARE TO BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS, SAFETY AND SECURITY ON THE SITE AT ALL TIMES. SPECIAL ATTENTION TO SAFETY IS TO BE PROVIDED DURING ALL REQUIRED DEMOLITION WORK. THE ARCHITECT AND THE ARCHITECT'S AGENTS ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND IS HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS FROM ANY CLAIMS, LOSSES, SUITS, OR LEGAL ACTIONS ARISING FROM THE CONTRACTORS PERFORMANCE OF THE WORK ON THIS PROJECT.
- THE G.C. IS TO RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR AND PAY THE FEE TO LOCATE AND STAKE THE PROPOSED STRUCTURE(S). THE LAND SURVEYOR IS TO ESTABLISH THE GRADE DATUM(S) IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. - IF REQUIRED IN SCOPE OF WORK
- THE G.C. IS TO NOTIFY THE BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE POURING OF CONCRETE FOOTINGS.
- THE G.C. IS TO SECURE AND PAY FEES FOR THE CERTIFICATE OF OCCUPANCY AFTER COMPLETION OF THE WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS, ADDENDA'S AND OTHER APPROVED CHANGE ORDERS. SUBMIT COPIES OF THE CERTIFICATE OF OCCUPANCY TO THE OWNER PRIOR TO SUBMITTING FOR FINAL PAYMENT.
- NO EXTRA CHARGES WILL BE ACCEPTED DUE TO AN INCOMPLETE FIELD OBSERVATION BY THE G.C. AND ALL SUBCONTRACTORS, EXCEPT FOR HIDDEN CONDITIONS AS DETERMINED BY THE ARCHITECT.
- THE OWNER AND/OR THE ARCHITECT RESERVES THE RIGHT TO REQUEST SUBMITTALS AND/OR SHOP DRAWINGS FOR APPROVAL ON ANY AND ALL ITEMS SPECIFIED ON THE DRAWINGS INCLUDING BUT NOT LIMITED TO STRUCTURAL STEEL, STEEL REINFORCEMENT, DOOR HARDWARE, PLUMBING AND ELECTRICAL FIXTURES AND HVAC EQUIPMENT. THE CONTRACTOR MUST SUBMIT (3) COPIES OF EQUIPMENT AND FIXTURE CUTS ON ITEMS THAT THE CONTRACTOR IS REQUESTING TO SUBSTITUTE FOR THE ITEMS SPECIFIED ON THE DRAWINGS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE WORK UNDER THEIR CONTRACT INCLUDING PARTS AND LABOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE.
- THE ARCHITECT HAS NOT BEEN RETAINED TO PERFORM WORK DURING CONSTRUCTION OF A PROJECT AND ASSUMES NO RESPONSIBILITY FOR INSPECTIONS, CHANGES IN DESIGN OR CONSTRUCTION MEANS AND METHODS.

SMOKE ALARM NOTES:

PROVIDE DETECTORS AS PER SECTION R314 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. DEVICES TO BE LOCATED AS FOLLOWS:

- ONE FOR EACH SLEEPING ROOM
- ONE DIRECTLY OUTSIDE EACH SLEEPING ROOM
- ONE FOR EACH STORY, INCLUDING BASEMENT

CARBON MONOXIDE ALARM NOTES:

PROVIDE DETECTORS AS PER SECTION R314 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. DEVICES TO BE LOCATED AS FOLLOWS:

- ONE FOR EACH STORY HAVING A SLEEPING AREA
- ONE FOR EACH STORY WHERE FUEL FIRED APPLIANCES AND EQUIPMENT OR ATTACHED GARAGES ARE LOCATED

2020 RESIDENTIAL CODE OF NEW YORK STATE

REGULATION	ALLOWED/ REQUIRED	PROPOSED
USE/ OCCUPANCY	2-FAMILY	2-FAMILY
HEIGHT/ FIRE AREAS	2 1/2 STORY	2 1/2 STORY
TYPE OF CONSTRUCTION	TYPE 5-B	TYPE 5-B

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE VILLAGE OF NYACK MUNICIPAL CODE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE AND THE 2020 RESIDENTIAL CODE OF NEW YORK STATE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE														
GROUND SNOW LOAD (PSF)	WIND DESIGN		TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION I	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:			WIND DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED (MPH)						WEATHERING	FROST LINE DEPTH	TERMITE					
30	115		NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	10deg.F	YES	3/3/2014	1000	53deg.F

MANUAL J DESIGN CRITERIA

ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMP.	DESIGN TEMP. COOLING	HEATING TEMP. DIFFERENCE
72 FT.	41.095951	72deg F	75deg F	.97	70deg F	75deg F	-5 (IT-OT)
COOLING TEMP. DIFFERENCE	WIND VELOCITY HEATING	WIND VELOCITY COOLING	COINCIDENT WET BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY	
-5 (IT-OT)	15 MPH	7.5 MPH	72	M	22.5%	65%	

2020 ENERGY STRETCH CODE OF NEW YORK STATE

*INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE: 4A										
REQUIRED:	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WALL FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB FLOOR & DEPTH R-VALUE	CRAWL SPACE R-VALUE
	0.27	0.5	0.4	R-49	R-21	R-15/20	R-30	R-15/19	R-10 / 4-FT.	R-15/19
PROPOSED:	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WALL FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB FLOOR & DEPTH R-VALUE	CRAWL SPACE R-VALUE
	0.27	N/A	0.4	R-49	R-21	N/A	R-30	R-15/19	R-10 / 4-FT.	R-15/19

- NOTES:
- ALL NEW WINDOWS SHALL HAVE INSULATED GLASS
 - ALL NEW DOORS SHALL BE FULLY WEATHER STRIPPED
 - PROVIDE CAULKING AROUND ALL DOORS AND WINDOWS TO PREVENT AIR INFILTRATION INTO BUILDING
 - PROVIDE CAULKING AROUND ALL FLOOR & CEILING PENETRATIONS (MECHANICAL, PLUMBING AND ELECTRICAL)
 - ALL NEW INSULATIONS TO BE FIBERGLASS BATT. WITH FOIL FACED VAPOR BARRIER

DRAWING LIST:

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revisions:

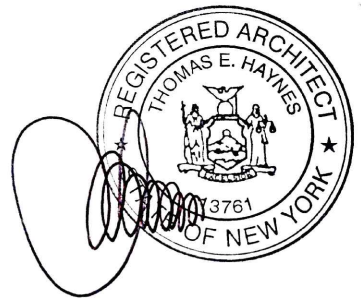
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GENERAL NOTES

Seal: Architect Thomas E. Haynes



JOB NUMBER:

original
filing date:06-23-2025

drawn by:

checked by:

drawing no.:

2412

A-01

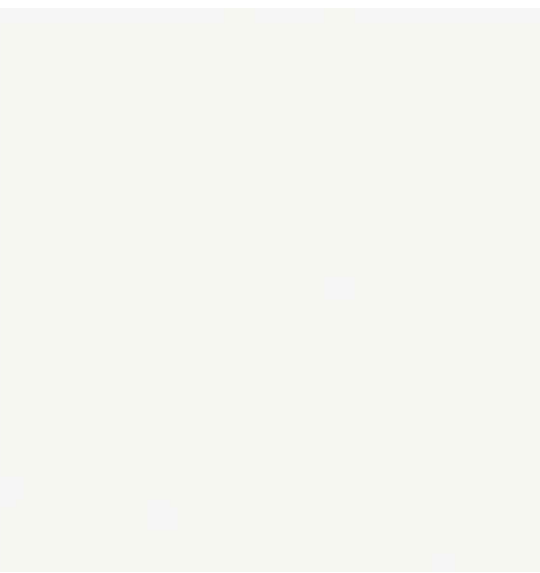
MATERIAL SELECTION :



SIDING- HORIZONTAL / VERTICAL:
HARDIEPANEL® VERTICAL SIDING SMOOTH
HARDIEPLANK® LAP SIDING SMOOTH 7"
COLOR: ARCTIC WHITE



SHINGLES:
GAF TIMBERLINE HD ARCHITECTURAL SINGLES
COLOR: CHARCOAL



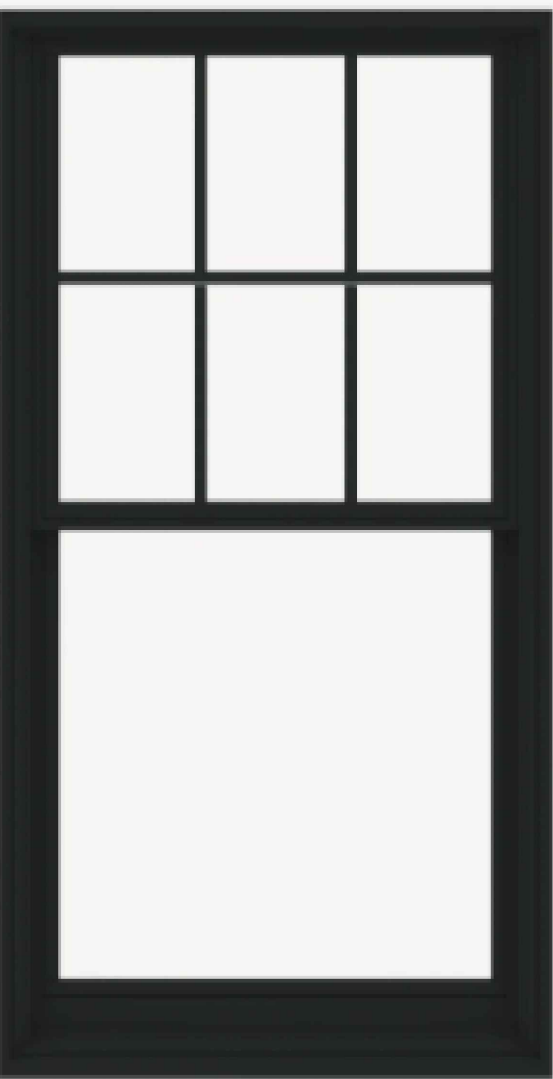
TRIM:
AZEK WINDOW / CORNER BOARD TRIM
COLOR: COLONIAL WHITE



ALUMINUM GUTTER :
AMERIMAX 5-IN K-STYLE GUTTER
COLOR: WHITE



RAILINGS:
HORIZONTAL CABLE RAILINGS
COLOR: BLACK



WINDOW / DOORS:
ANDERSEN 400 SERIES W/
COLONIAL GRILLES- TOP SASH ONLY
BLACK



3"W X 24"D X 24"H STANDARD THORTON
ARCHITECTURAL GRADE PVC BRACKET
WITH TRADITIONAL ENDS
COLOR: WHITE



FRONT STEPS/ PAVER:
BLUESTONE PLATFORM/ TREADS
COLOR: GREY



FRONT DOOR:
ANDERSEN PANEL STYLE
179 STRAIGHTLINE GLASS PANEL
COLOR: BLACK



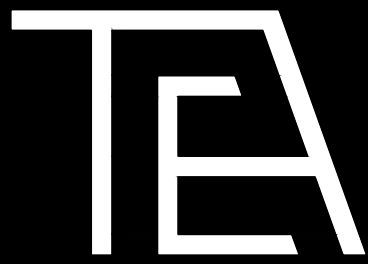
REAR DECK COMPOSITE DECKING :
TIMBER TECH
COLOR: DRIFT WOOD



48" HIGH ARBORVIATE TREES @ 48" O. C.
-SEE SITE PLAN



3" CALIPER AMELANCHIER SERVICEBERRY TREES
-SEE SITE PLAN



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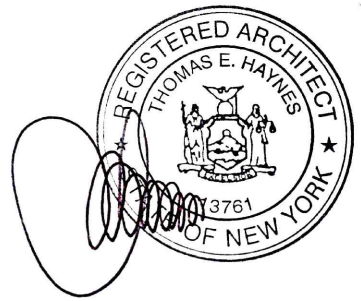
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MATERIALS

Seal: Architect Thomas E. Haynes



JOB NUMBER:

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A-02



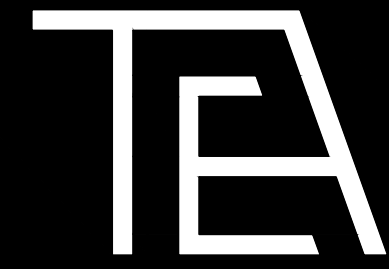
EXISTING DWELLING: 55 CATHERINE STREET **TO BE DEMOLISHED*



57 CATHERINE STREET (ADJACENT PROPERTY TO RIGHT)



39-51 CATHERINE STREET (ADJACENT PROPERTY TO LEFT)



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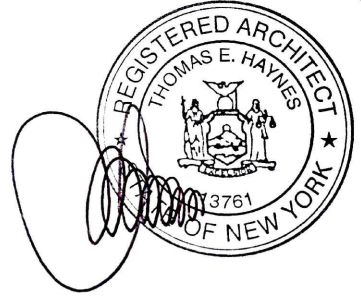
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PHOTOS

seal: Architect Thomas E. Haynes

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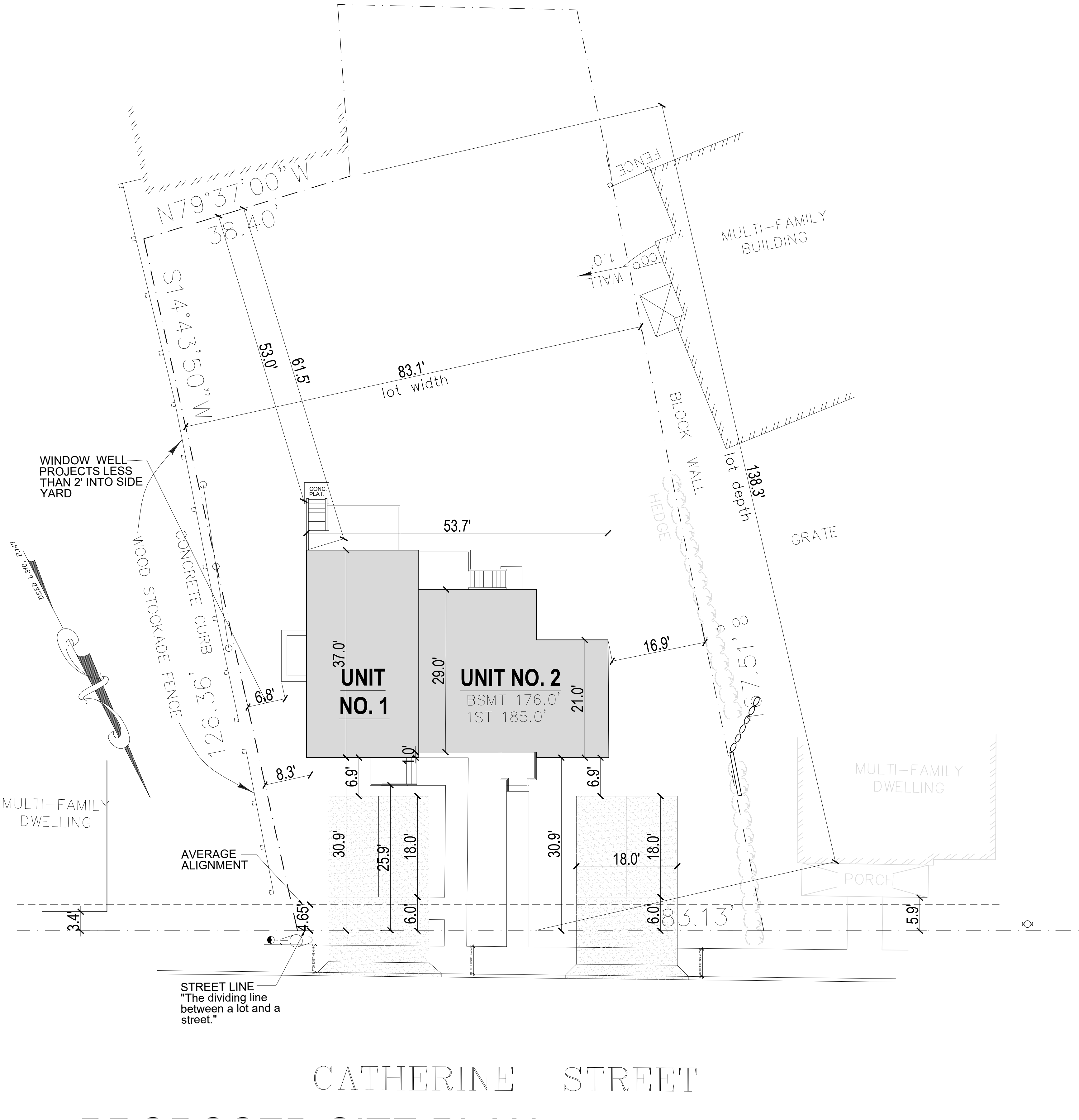
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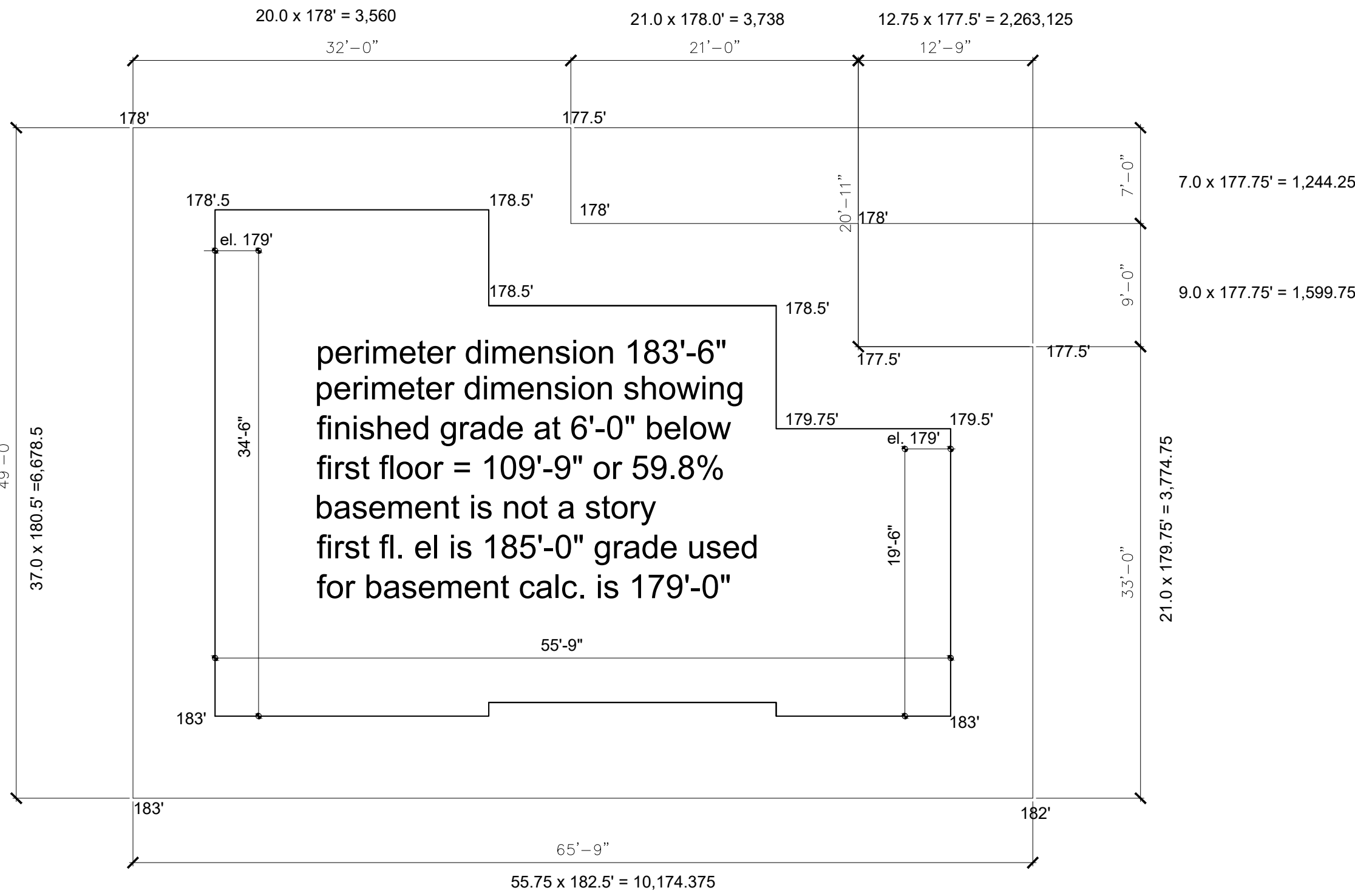


PLOT PLAN

SCALE: 3/32" = 1'-0"

SCHEDULE OF DIMENSIONAL REGULATIONS RESIDENTIAL USE TFR – 2 FAMILY ZONE			
LOT & BULK REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQ.FT.)	10,000	LOT 18.1 = 7026 SF. LOT 18.2 = 5,451 SF	12,477
MIN. LOT WIDTH	75'-0"		83.1'
MIN. LOT DEPTH	100'-0"		138.3'
MIN. FRONT SETBACK 20% LOT AREA DIVIDED BY LOT WIDTH OR AVERAGE ALIGNMENT	30.018'		30.9' TO BUILDING 6.0' TO PARKING <small>NOTE: PROPOSED PARKING IS COMPLIANT AS REQUIRED FRONT YARD SETBACK IS 4.65 AS PER AVERAGE ALIGNMENT. PROPOSED PARKING LOCATION IS NOT IN FRONT YARD</small>
MIN. SIDE SETBACK 10% LOT WIDTH	8.313'		8.333' 83.13' X 10% = 8.313
MIN. SIDE SETBACK BOTH– 30% LOT WIDTH	24.939'		25.2'
MIN. REAR SETBACK – 30% OF LOT AREA DIVIDED BY LOT WIDTH	45.027'		53.0' TO STEPS
BUILDING HEIGHT (STORIES)	2		2
BUILDING HEIGHT (FEET)	32'-0"		26'-4"
MINIMUM DWELLING UNIT SIZE (SQUARE FEET)	750 SF PER UNIT		UNIT#1 =1480 SQ. FT. UNIT#2 =1756 SQ. FT.
MINIMUM USABLE OPEN SPACE (PER DWELLING UNIT)	500		1800 SQ. FT.
PARKING REQUIREMENTS	2 SPACES PER UNIT– TOTAL 4		2 SPACES PER UNIT– TOTAL 4

PARKING SURFACE – AS PER 360-4.5 PARKING AND LOADING (H)
DRAINAGE AND SURFACING – WHENEVER PRACTICABLE, USE PERVIOUS
MATERIALS TO SURFACE OPEN PARKING SPACES –



33,032.75 / 183.5' perimeter = 180.014' = grade plane elevation
= shown as pre construction

AVERAGE GRADE PLANE CALCULATIONS DIAGRAM:
BASEMENT GRADE CALCULATIONS DIAGRAM:

TEA

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PLOT PLAN
ZONING ANALYSIS

Seal: Architect Thomas E. Haynes

original
filing date:06-23-2025

drawn by:

checked by:

drawing no.:

JOB NUMBER:

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SP-01



NOTE:	THE EXISTING CULVERT SHALL BE TELEVIEWED BOTH BEFORE AND AFTER CONSTRUCTION
NOTE:	THE EXISTING UTILITY POLE WILL BE USED TO PROVIDE ELECTRIC SERVICE TO THE PROPOSED DWELLINGS.
NOTE:	THE OWNER SHALL PROVIDE A STORM WATER MAINTENANCE AGREEMENT AS REQUIRED BY THE VILLAGE.
NOTE:	THE DRYWELLS SHALL PROVIDE VIEWPOINTS AND CLEANOUT PORTS.

NOTE: THERE ARE (4) EXISTING TREES BEING REMOVED - SEE SCHEDULE
THE PROPOSED LANDSCAPING WILL BE AS PER DWG SP-01
(3) FRONT TREES SHALL BE AS REQ. PROTECTED - SEE DETAIL SP-02

PARKING SURFACE - AS PER 360-4.5 PARKING AND LOADING (H)
DRAINAGE AND SURFACING - WHENEVER PRACTICABLE, USE PERVIOUS
MATERIALS TO SURFACE OPEN PARKING SPACES -

FRONT YARD AVERAGE ALIGNMENT- AS PER 360-4.2 MEASUREMENTS
AND EXCEPTIONS B (f) AVERAGE FRONT SETBACK CAN AVERAGE
BETWEEN THE BUILDINGS ON EITHER SIDE



1. PLACEMENT OF FOOTING TO BE ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 2000 PSF OR APPROVED COMPACTED FILL AS OUTLINED BELOW.
2. PLACEMENT OF FLOOR SLABS AND PAVEMENTS ARE TO BE PLACED ON COMPACTED FILL AT 95% OF MAXIMUM DENSITY COMPLYING WITH ASTM D1557. LAWN AND UNPAVED AREAS ARE TO HAVE COMPACTED FILL OF 90% OF MAXIMUM DENSITY. PROVIDE MAXIMUM PERCENTAGE OF DENSITY AS SPECIFIED.
3. BACKFILLING AND COMPACTION AT FOUNDATION WALLS AND PIERS ARE TO BE PERFORMED ON EACH SIDE SIMULTANEOUSLY. DIFFERENCES IN FILL ELEVATIONS ARE NOT TO EXCEED 8" ON EITHER SIDE OF THE FOUNDATION AT ANY TIME.
4. BACKFILLING AGAINST BASEMENT FOUNDATION WALLS SHALL NOT BE DONE UNTIL CONCRETE OR MORTAR HAS CURED AT LEAST 7 DAYS AND THE BASEMENT SLAB AND FIRST FLOOR DECK IS INSTALLED. OR IF THE CONTRACTOR PROPERLY BRACES THE BASEMENT WALLS TO RESIST THE SOIL PRESSURES OF THE BACKFILLING OPERATIONS.
5. AT NO TIME SHALL BULLDOZER, CONCRETE TRUCKS OR OTHER HEAVY EQUIPMENT BE PERMITTED TO APPROACH FOUNDATION WALLS CLOSER THAN 8'-0".
6. SOILS FOR BACK FILLING AND COMPACTION ARE TO BE FREE OF ORGANIC MATERIAL, ROCK OR LUMPS GREATER THAN 6", OF PREDOMINATELY GRANULAR NON-EXPANSIVE SOILS, FREE OF ROOTS AND OTHER DELETERIOUS MATTER SUBJECT TO THE APPROVAL OF THE SOILS ENGINEER AND ARCHITECT.
7. THE FILL TO BE WITHIN OPTIMUM MOISTURE CONTENT BEFORE COMPACTING MOISTEN OR AERATE EACH LAYER TO PROVIDE OPTIMUM MOISTURE CONTENT. ANY SOIL WHICH IS TOO WET TO COMPACT MUST BE REMOVED, STOCKPILED AND SPREAD AND ALLOWED TO DRY PRIOR TO PLACEMENT.
8. PLACE BACK FILL IN LAYERS NOT TO EXCEED 8" IN LOOSE DEPTH.
9. DO NOT PLACE BACK FILL MATERIALS ON SURFACES THAT ARE MUDDY, FROZEN OR CONTAIN FROST.
10. IF REQUESTED BY THE ARCHITECT PROVIDE THE SERVICES OF A CONSTRUCTION SOIL ENGINEER TO DO ONE FIELD SOIL DENSITY TEST FOR EVERY 2000 S.F. OF PAVED AREA, BUT NOT LESS THAN 3 TESTS. PROVIDE TO THE ARCHITECT A WRITTEN REPORT PREPARED BY THE SOIL ENGINEER CERTIFYING THAT THE COMPACTION REQUIREMENTS HAVE BEEN OBTAINED. STATE IN THE REPORT THE AREA OR FILL OR EMBANKMENT, THE COMPACTION DENSITY OBTAINED, SOIL MOISTURE CONTENT AND THE TYPE OR CLASSIFICATION OF THE FILL MATERIAL PLACED.
11. IF IN THE OPINION OF THE SOILS ENGINEER OR THE ARCHITECT BASED ON THE REPORTS OF THE CONSTRUCTION SOIL ENGINEER OR THE FIELD TESTS WHICH HAVE BEEN PLACED ARE BELOW SPECIFIED COMPACTION DENSITY, PROVIDE ADDITIONAL COMPACTION AND TESTING AS REQUIRED TO BRING SOIL COMPACTION UP TO SPECIFIED REQUIREMENTS.
12. OBTAIN THE CONSTRUCTION SOIL ENGINEER AND THE ARCHITECT'S APPROVAL OF THE SUB GRADES AND FILL LAYERS BEFORE SUBSEQUENT CONSTRUCTION IS PERMITTED.

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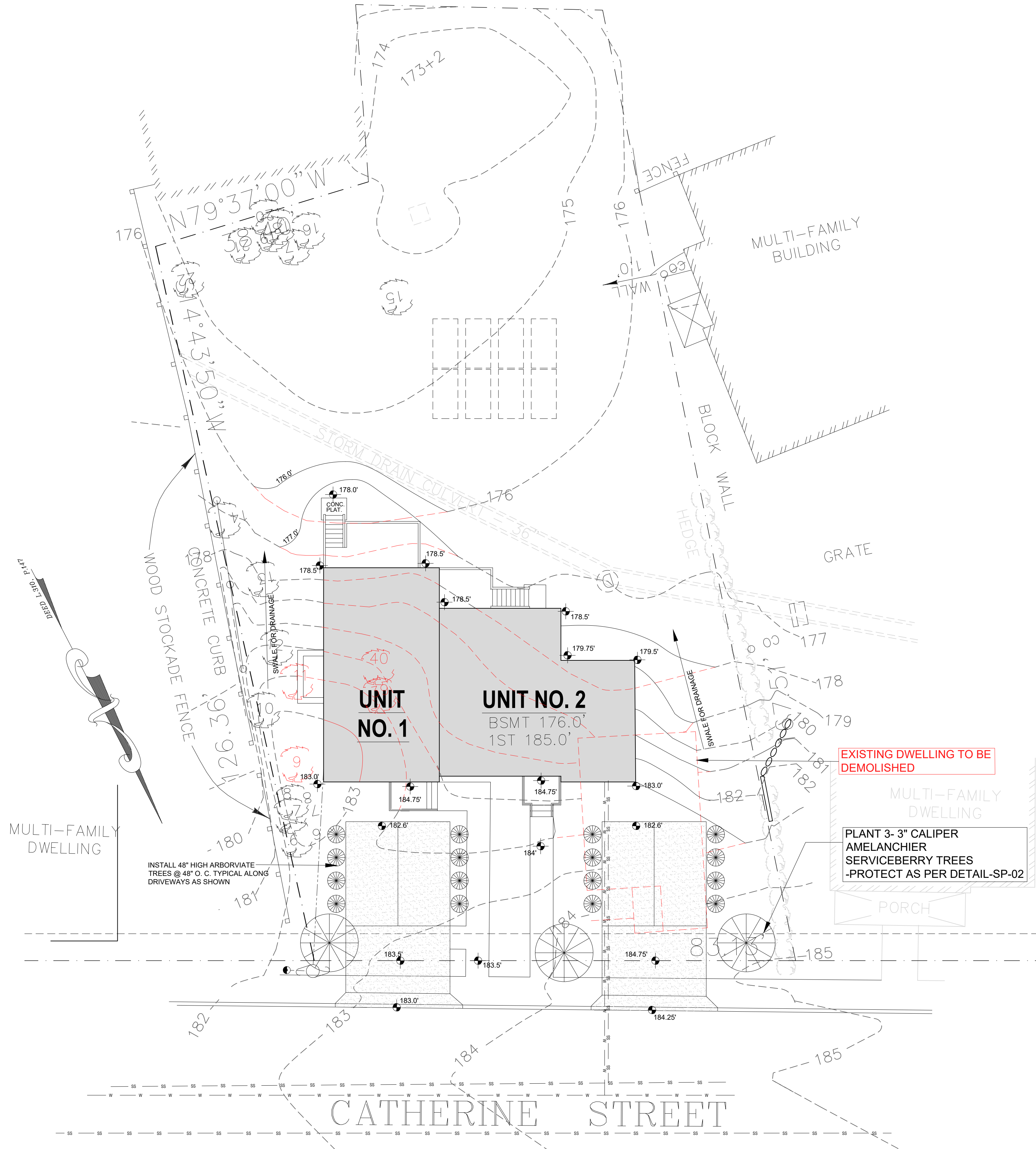
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seal: Architect Thomas E. Haynes

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SP-02



LANDSCAPING / GRADING PLAN

SCALE: 3/32" = 1'-0"

NOTE: ALL EROSION CONTROL AND TREE PROTECTION SHALL BE INSTALLED/ MAINTAINED AS PER INFORMATION PROVIDED ON ENGINEERING DRAWINGS - SEE ATTACHED

- NOTE:
1. ALL MATERIAL STORED ON SITE FOR PROPOSED WORK SHALL BE STORED ON EXISTING DRIVEWAY OR GARAGE
 2. NO MATERIALS SHALL BE STORED IN CLOSE PROXIMITY TO EXISTING TREES
 3. NO TREES SHALL BE REMOVED, ALTERED OR DESTROYED DURING DURATION OF CONSTRUCTION WITHOUT REQUIRED PERMIT FROM TOWN/VILLAGE

NOTE: EXISTING DWELLING TO BE DEMOLISHED AS SHOWN

NOTE: MAINTAIN 10'-0" MIN. FROM ALL PROPERTY LINES AND STRUCTURES TO CULTEC UNITS

NOTE: SEE ENGINEERING DRAWINGS FOR ALL STORMWATER MANAGEMENT / EROSION CONTROL INFORMATION

TREE SCHEDULE

6, ASH, 12"	16, ASH, 12"
7, MAPLE, 10"	17, ASH, 12"
8, MAPLE, 24"	18, ASH, 16"
9, MAPLE, 8" REMOVED	19, ASH, 18"
10, MAPLE, 10"	20, MAPLE, 10"
11, MAPLE, 10" REMOVED	21, MAPLE, 16"
12, MAPLE, 8"	22, MAPLE, 22"
13, MAPLE, 26"	39, MAPLE, 12" REMOVED
14, MAPLE, 8"	40, MAPLE, 14" REMOVED
15, MAPLE, 38"	

NOTE: ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH CONSTRUCTION FENCE PLACED AT THE DRIP LINE BEFORE CONSTRUCTION COMMENCES.
-SEE ENGINEERING DRAWINGS FOR DETAIL

TEA

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project title:

Proposed 2 Family Dwelling at:
55 Catherine Street,
Nyack NY

GRADING/ LANDSCAPING PLOT PLAN

seal: Architect Thomas E. Haynes

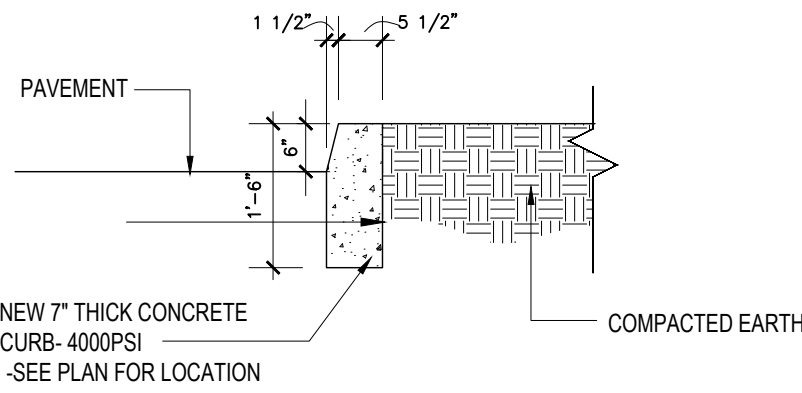


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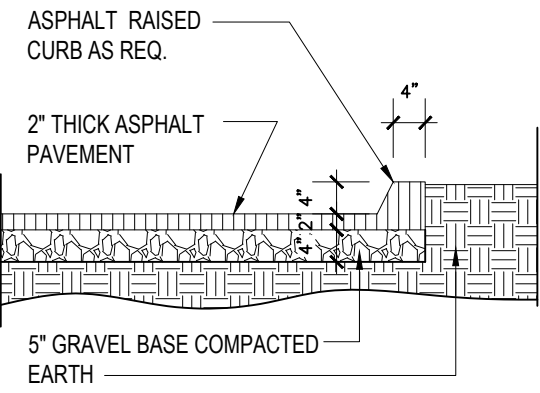
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CONCRETE CURB/ DRIVEWAY DETAIL

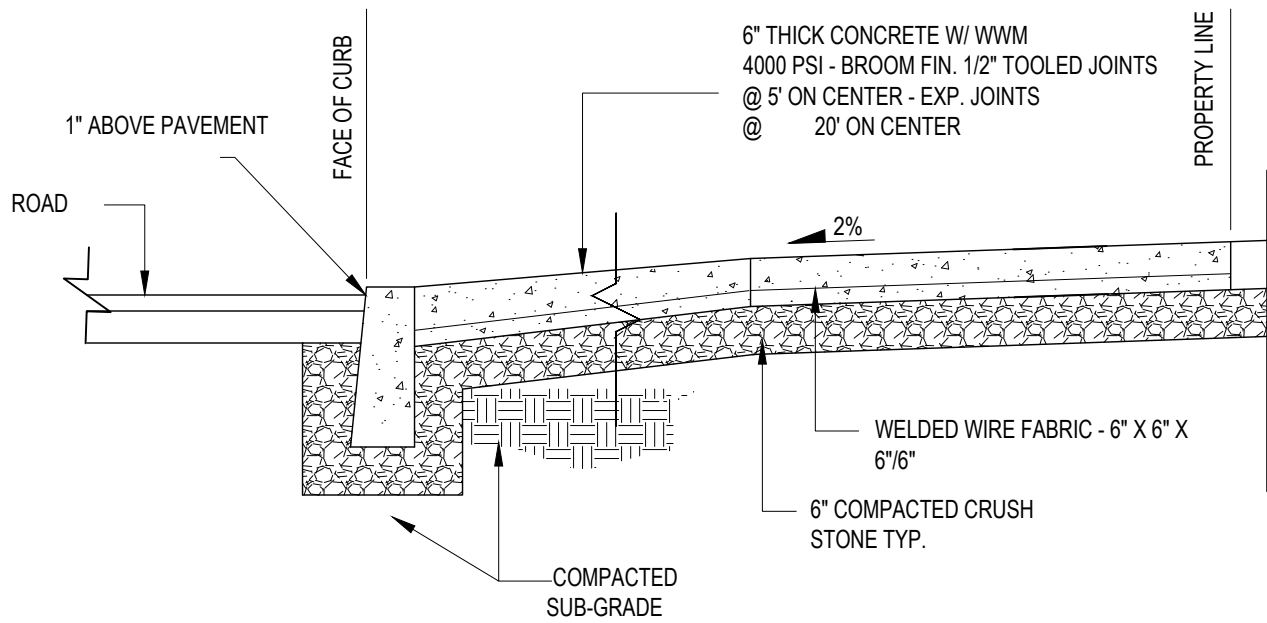
SCALE: 1/2" = 1'-0"

NOTE: ALL NEW CONCRETE CURBS AND WALKS SHALL BE INSTALLED LEVEL AND/OR ALIGNED WITH ADJACENT CURBS AND WALKS



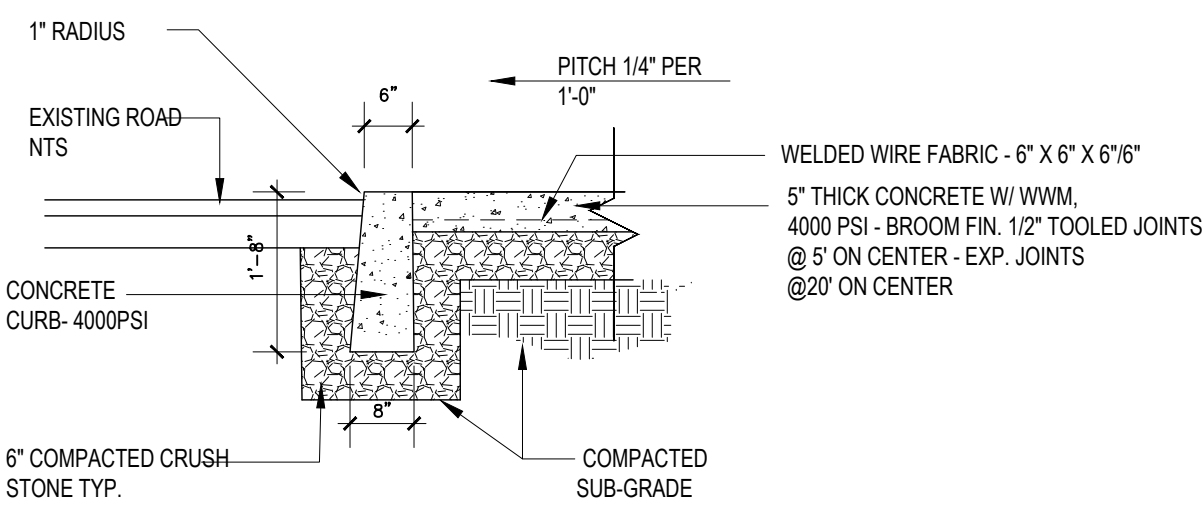
PAVING DETAIL

SCALE: 1/2" = 1'-0"



CONCRETE APRON DETAIL

SCALE: 1/2" = 1'-0"

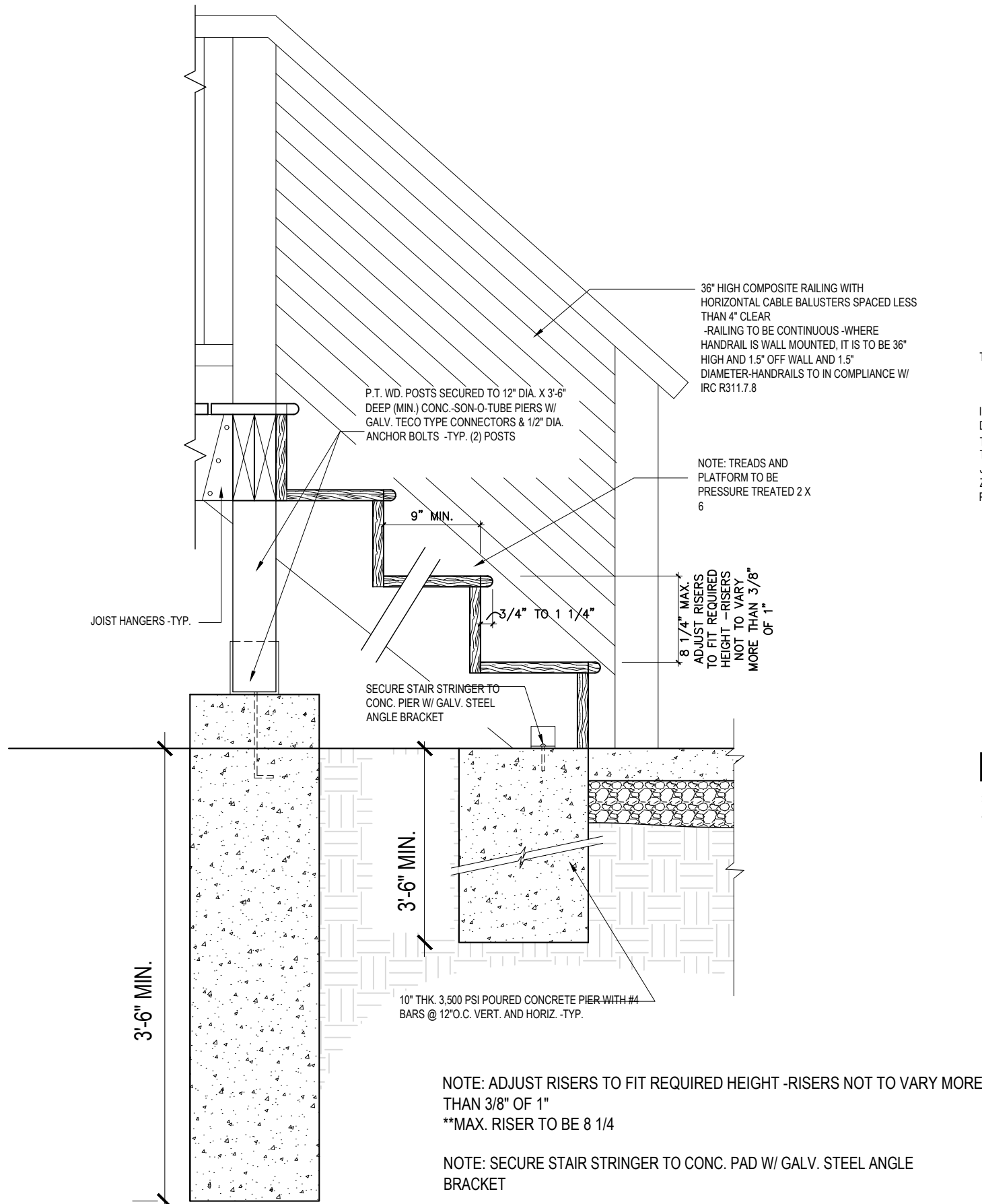


CONCRETE SIDEWALK / CURB DETAIL

SCALE: 1/2" = 1'-0"

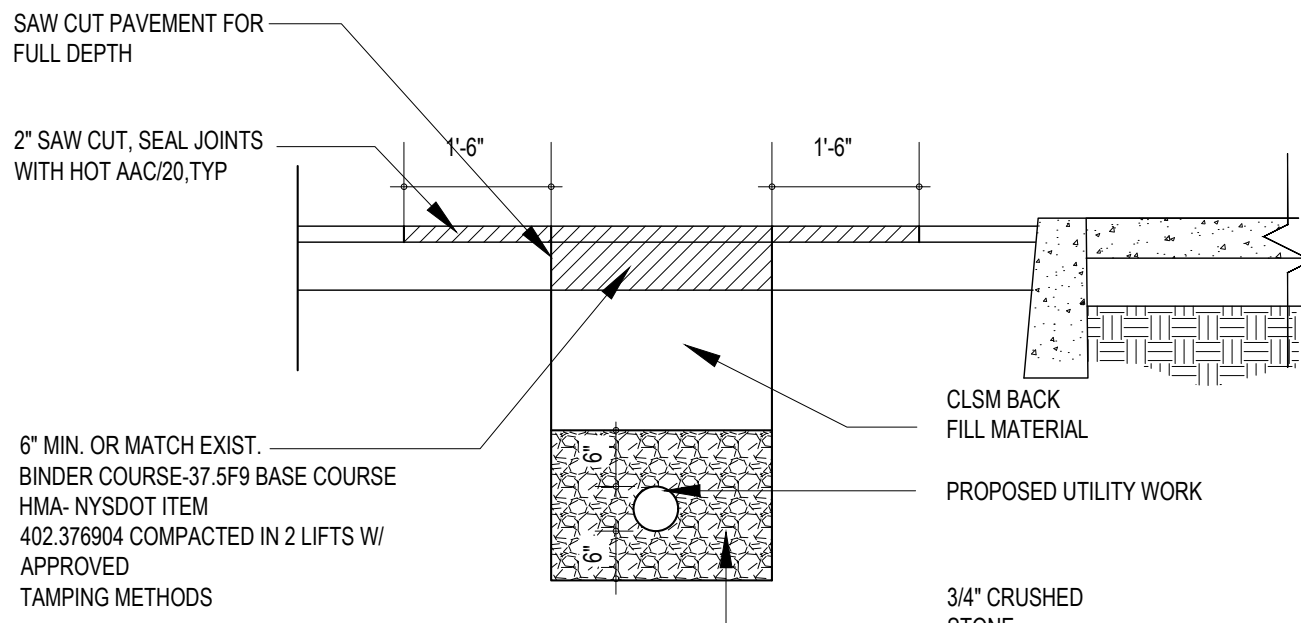
GENERAL NOTES

1. WALK AND DRIVEWAY PAVING MUST START BEHIND STREET CURBING
2. CURB AT DRIVEWAY ENTRANCE MUST MAINTAIN A MINIMUM OF 1 INCH ABOVE THE STREET
3. DRIVEWAYS BELOW STREET ELEVATION MUST PITCH A MINIMUM OF 4" TOWARD THE STREET BEFORE CHANGING TO DOWNWARD ELEVATION.
4. PERMITS ARE REQUIRED FOR DRIVEWAY INSTALLATIONS, WIDENING, WALKWAY IMPROVEMENTS AND INSTALLATIONS
5. DRIVEWAY PAVEMENT WIDTH SHALL NOT EXCEED 20'-0" AND CURB LENGTH SHALL NOT EXCEED 22'-0"
6. CURB RESTORATION - IF CURBS ARE LOWERED, RAISED, RESET OR DISTURBED IN ANY WAY, CONTRACTOR MUST SAW-CUT ROADWAY THAT ABUTS THE CURBING DEPTH AT LEAST 2INCHES AND AT WIDTH AS NEEDED IN ORDER TO CREATE AN EVEN BLACK TOP PATCH -PATCH MUST BE SEALED
7. ALL CONCRETE MUST BE FIBER REINFORCED



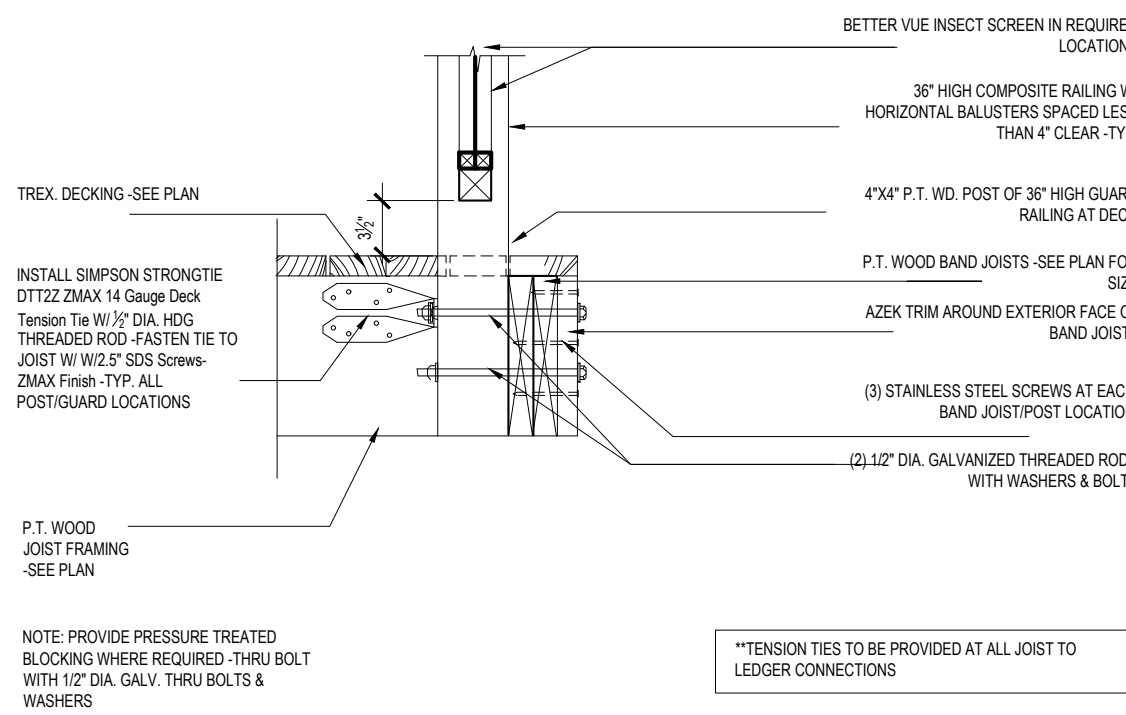
TYP. WOOD STAIR DETAIL

SCALE: 1"=1'-0"



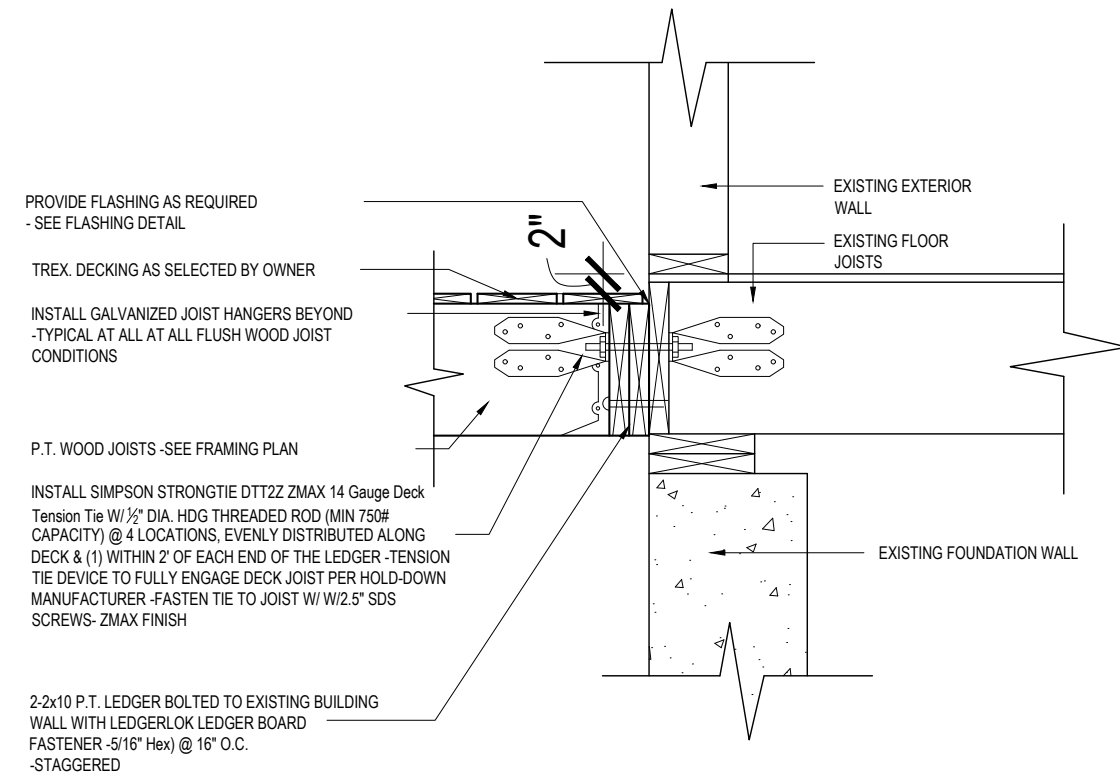
TRENCH REPAIR DETAIL

SCALE: 1/2" = 1'-0"



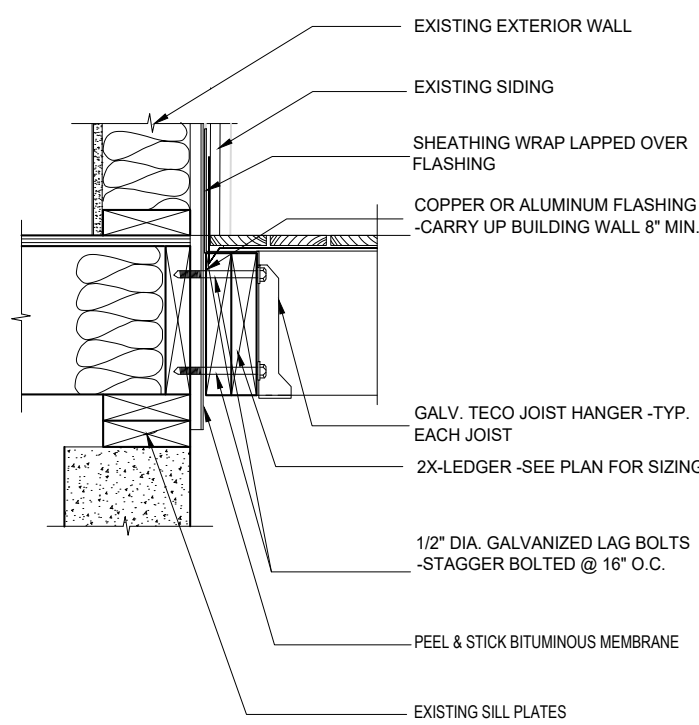
DECK POST /GUARD DETAIL A'

SCALE: 1"=1'-0"



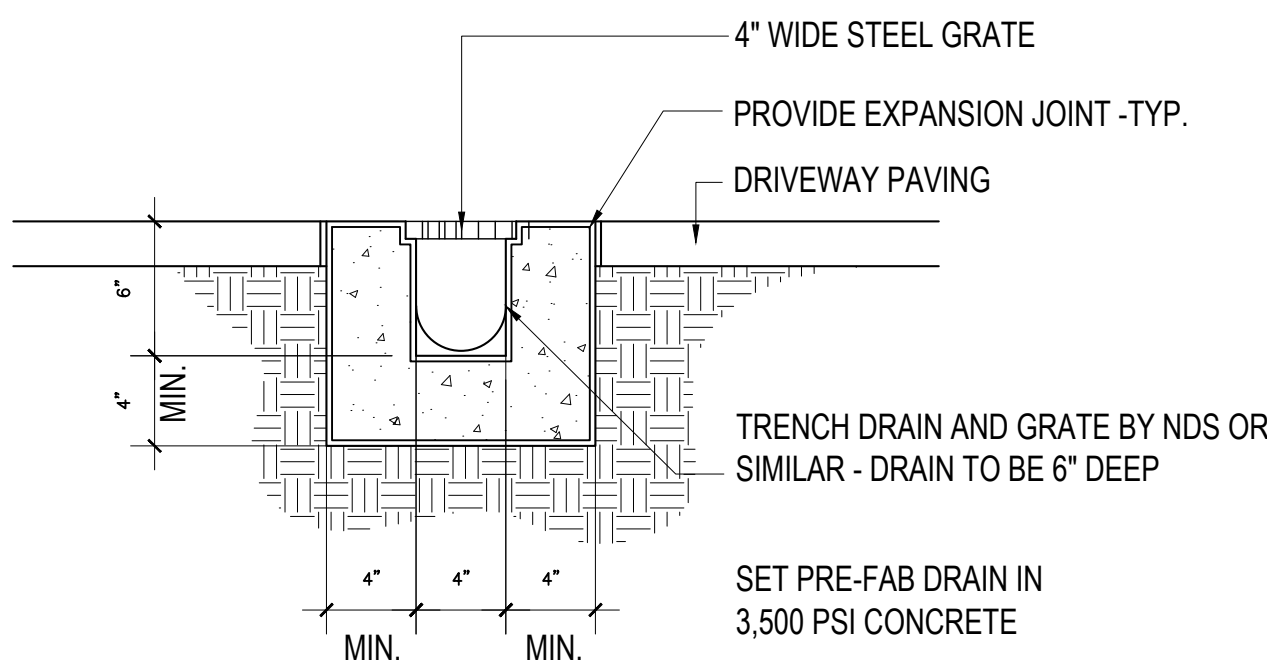
DECK @ EXTERIOR WALL

SCALE: 1"=1'-0"



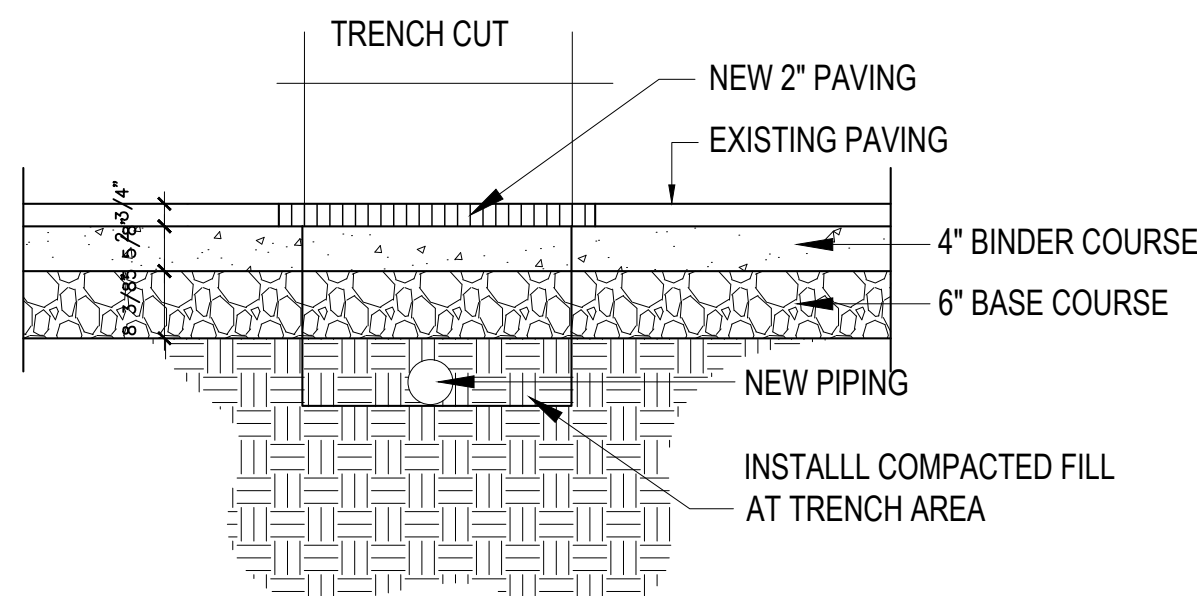
FLASHING @ DECK/ EXTERIOR WALL DETAIL

SCALE: 1"=1'-0"



TRENCH DRAIN DETAIL

SCALE: N.T.S



ROAD DRAIN REPAIR DETAIL

SCALE: N.T.S

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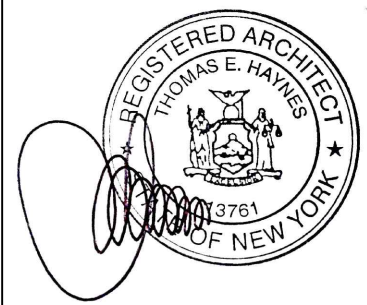
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SITE DETAILS

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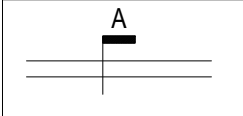
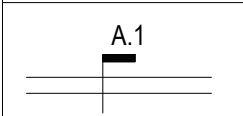
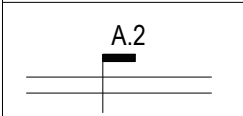
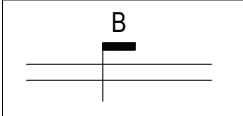
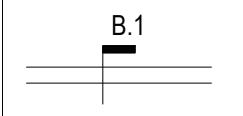
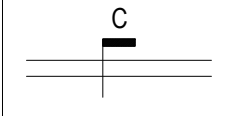
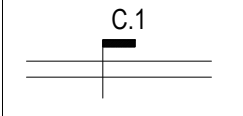
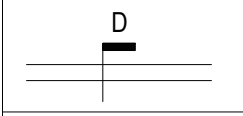
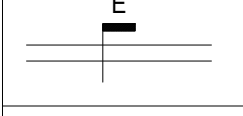
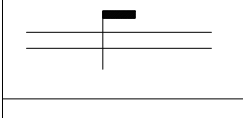
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2412

SP-04

WALL DESCRIPTIONS

	NEW 2" X 4" WOOD STUDS @ 16" O.C. FROM F.F. TO WOOD JOIST ABOVE, W/ 1 LAYER 5/8" GYP. EACH SIDE FROM F.F. TO WD. JOIST ABOVE.
	SAME AS WALL TYPE "A" WITH ONE LAYER OF 5/8" WATER RESISTANT GREEN BOARD ON BATHROOM SIDE FROM F.F. TO WOOD JOIST ABOVE. -NOTE: IN AREAS TO BE TILED, CONTRACTOR TO INSTALL (1) LAYER OF 5/8" CEMENT BOARD
	NEW 2" X 6" WOOD STUDS @ 16" O.C. FROM F.F. TO WOOD JOIST ABOVE, W/ R-19 BATT. INSULATION & 1 LAYER 5/8" F.C.-60 (1HR RATED) GYP. EACH SIDE FROM F.F. TO WD. JOIST ABOVE. -UL DESIGN #U333
	HARDIPLANK SIDING AS SELECTED BY OWNER OVER 15# FELT PAPER, 5/8" ZIP SHEATHING -R-21 SPRAY INSULATION -2" X 6" WOOD STUDS @ 16" O.C. FROM F.F. TO WOOD JOIST ABOVE, WITH VAPOR BARRIER, AND/ 5/8" PAINTED GYP. BOARD FINISH ON INTERIOR SIDE -INSTALL BASEBOARD MOLDING AS SELECTED BY OWNER
	SAME AS WALL TYPE "B" WITH ONE LAYER OF 5/8" WATER RESISTANT GREEN BOARD ON BATHROOM SIDE FROM F.F. TO WOOD JOIST ABOVE. -NOTE: IN AREAS TO BE TILED, CONTRACTOR TO INSTALL (1) LAYER OF 1/2" CEMENT BOARD
	NEW 2" X 4" WOOD STUD FURRING @ 16" O.C. hold 2" off wall FROM F.F. TO WOOD JOIST ABOVE, W/ R-15 BATT. INSULATION & 1 LAYER 5/8" GYP. ON INTERIOR SIDE
	SAME AS WALL TYPE "C" WITH ONE LAYER OF 5/8" WATER RESISTANT GREEN BOARD ON BATHROOM SIDE FROM F.F. TO WOOD JOIST ABOVE. -NOTE: IN AREAS TO BE TILED, CONTRACTOR TO INSTALL (1) LAYER OF 1/2" CEMENT BOARD
	NEW 2" X 4" WOOD STUDS @ 16" O.C. FROM F.F. TO WOOD JOIST ABOVE, W/ 1 LAYER 5/8" -F.C.-60 (1HR RATED) GYP. EACH SIDE FROM F.F. TO WD. JOIST ABOVE. -UL DESIGN # U333
	NEW 2" X 4" WOOD STUDS @ 16" O.C. FROM F.F. TO WOOD JOIST ABOVE, W/ 1 LAYER 5/8" -F.C.-60 (1HR RATED) GYP. EACH ROOM SIDE FROM F.F. TO WD. JOIST ABOVE. -INSTALL 1/2" DENSGLASS BETWEEN STUDS - UL DESIGN # U333
	10" THICK CONCRETE FOUNDATION WITH #4 BARS AT 12" ON CENTER EACH WAY MIDDLE OF WALL - ON 24" WIDE X 12" THICK CONCRETE FOOTING WITH 3 #4 BARS CONTINUOUS BOTTOM - SECURE WALL TO FOOTING WITH #4 BAR DOWELS @ 12" ON CENTER.
**NOTE: ALL SOLE PLATES WITH DIRECT CONTACT WITH CONCRETE SLAB TO BE PRESSURE TREATED -TYPICAL FOR ALL BASEMENT WALLS AND FURRING	
GENERAL NOTES:	DESIGN LOAD:
1. ALL LUMBER IS BE DOUGLAS FIR #2 OR BETTER 2. ATTACH ATTIC JOISTS TO RAFTERS RUNNING PERPENDICULAR WITH 1"x4"x32" LONG MIN. CROSSTIES @ 16" O.C. PER R 802.3.1 3. ALL FASTENING OF STRUCTURAL MEMBERS SHALL BE AS PER TABLE R 602.3(1) 4. ALL FLUSH WOOD CONNECTIONS TO RECEIVE TECO CONNECTOR / JOIST HANGER -TYP. EACH JOIST AND/OR RAFTER 5. ALL PLATES ON FLOOR SLABS TO BE PRESSURE TREATED WOOD 6. ALL WOOD TO CONCRETE CONDITIONS TO BE PRESSURE TREATED WOOD 7. ALL EXTERIOR USED WOOD TO BE PRESSURE TREATED WOOD	NOTE: ROOF DESIGN LOAD IS 40# LIVE LOAD ATTIC DESIGN LOAD IS 30# LIVE LOAD 1ST FLOOR DESIGN LOAD IS 40# LIVE LOAD / 10# DEAD LOAD WOOD DECK DESIGN LOAD IS 40# LIVE LOAD / 10# DEAD LOAD

DOOR SCHEDULE

**NOTE: CONTRACTOR TO VERIFY ALL DOOR SIZING/HEIGHTS BEFORE PLACING ORDER							
** NOTE: ALL INSULATED, TYPE "B" LABEL AND ENTRY DOORS TO BE WEATHER STRIPPED AND W/ U-VALUE OF u0.35 MAX							
DOOR NO.	FRAME	SIZE	STYLE	MATERIAL	UNDERCUT	FINISH	REMARKS
D.1	WOOD	3'-0" X 6'-8" X 1 3/4" W/ SIDELIGHTS	SWING	GLASS/ COMPOSITE	NO	FACTORY	INSULATED GLASS ENTRY DOOR -COORD. DIMS IN FIELD -WEATHERSTIP DOOR & SADDLE ANDERSEN 400 SERIES DOOR: FWH3168 SIDELIGHT: FWSL1368 TRANSOM: FWT5011 *OR SIMILAR
D.2	WOOD	2'-0" X 6'-8" X 1 3/4"	SWING	SOLID CORE WOOD	YES	PAINT	
D.3	WOOD	2'-6" X 6'-8" X 1 3/4"	SWING	SOLID CORE WOOD	YES	PAINT	
D.4	WOOD	(2)-2'-0" X 6'-8" X 1 3/4"	SWING	SOLID CORE WOOD	YES	PAINT	
D.5	WOOD	3'-0" X 6'-8" X 1 3/4" W/ TRANSOM	SWING	GLASS/ COMPOSITE	NO	FACTORY	INSULATED GLASS ENTRY DOOR -COORD. DIMS IN FIELD -WEATHERSTIP DOOR & SADDLE ANDERSEN 400 SERIES - DOOR: FWH3168 TRANSOM: FWT3011 *OR SIMILAR
D.6	WOOD	5'-0" X 6'-8" X 1 3/4"	BI-FOLD	SOLID CORE WOOD	NO	FACTORY	
D.7	WOOD	6'-0" X 6'-8" X 1 3/4" W/ TRANSOM	SLIDING	GLASS/ COMPOSITE	NO	FACTORY	INSULATED GLASS ENTRY DOOR -COORD. DIMS IN FIELD -WEATHERSTIP DOOR & SADDLE ANDERSEN 400 SERIES DOOR: FW6068R
D.8	WOOD	2'-6" X 6'-8" X 1 3/4"	SWING	GLASS/ COMPOSITE	NO	FACTORY	INSULATED GLASS ENTRY DOOR -COORD. DIMS IN FIELD -WEATHERSTIP DOOR & SADDLE ANDERSEN 400 SERIES - FWH2668 OR SIMILAR*
D.9	WOOD	2'-6" X 6'-8" X 1 3/4"	SWING	HOLLOW METAL 'B' LABEL	NO	FACTORY	90 MIN RATED -FRAME TO BE RATED -INSULATED ENTRY DOOR-WEATHERSTRIPPED- MAX 0.35 U-VALUE -HARDWARE PROVIDED BY OWNER -HINGES AS SPECIFIED BY OWNER AND SUPPLIED BY DOOR MANUFACTURER

WINDOW SCHEDULE

**NOTE: CONTRACTOR TO VERIFY ALL WINDOW SIZING BEFORE PLACING ORDER								
**NOTE: WINDOW HEAD HEIGHTS TO BE 6'-8" UNLESS OTHERWISE SPECIFIED -								
DOOR NO.	MANUFACTURE	TYPE	MODEL #	SIZE	SILL HEIGHT:	GLAZING / U-FACTOR	REMARKS	GLASS
W1	ANDERSEN 200 SERIES	DBL.HNG.	TW244DH3049	3'-0" X 4'-9"	1'-11"	AS PER NYS ENERGY STRETCH CODE -SEE A-01	*EGRESS APPROVED*	9.91
W2	ANDERSEN 200 SERIES	DBL.HNG.	TW244DH3049	2'-3'-0" X 4'-9"	1'-11"	AS PER NYS ENERGY STRETCH CODE -SEE A-01	*EGRESS APPROVED*	19.82
W3	ANDERSEN 200 SERIES	DBL.HNG.	TW244DH3049	3'-0" X 4'-9"	1'-11"	AS PER NYS ENERGY STRETCH CODE -SEE A-01		
W4	ANDERSEN 200 SERIES	DBL.HNG.	TW244DH2849	2'-6" X 4'-9"	1'-11"	AS PER NYS ENERGY STRETCH CODE -SEE A-01		8.56
W5	ANDERSEN 200 SERIES	CASEMENT		3'-0" X 3'-5"		AS PER NYS ENERGY STRETCH CODE -SEE A-01		
W6	ANDERSEN 200 SERIES	CASEMENT		2 - 3'-0" X 3'-5"		AS PER NYS ENERGY STRETCH CODE -SEE A-01		

* EGRESS WINDOWS:

1. OPENINGS TO HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.
2. THE NET CLEAR HEIGHT OPENING SHALL NOT BE LESS THAN 24 INCHES.
3. THE NET CLEAR WIDTH OPENING SHALL NOT BE LESS THAN 20 INCHES.
- 4.THE SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

GENERAL NOTES:
NOTE: CONTRACTOR TO PROVIDE CLOTHES POLE & SHELF AT ALL CLOSET LOCATIONS -COORDINATE PANTY SHELVING AND ALL BUILT-IN MILLWORK WITH CONTRACTOR AND/OR MILLWORKER AND/OR INTERIOR DESIGNER -SHOP DRAWINGS TO BE PRESENTED TO OWNER FOR REVIEW AND APPROVAL
NOTE: CONTRACTOR TO FIELD VERIFY AS-BUILT CONDITIONS AND COORDINATE ACTUAL NUMBER OF RISERS/ TREADS FOR ALL NEW STAIRS AS PER CODE REQUIREMENTS / AS-BUILT CONDITIONS -TREADS AND RISERS: THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE WALKING SURFACE OF TREADS AND LANDINGS OF A STAIRWAY SHALL BE SLOPED NO STEEPER THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
NOTE: ALL BATHTUB AND SHOWER SPACES TO COMPLY WITH R307.2 -ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR. -ALL PROPOSED BATHTUB AND SHOWER CABINS TO RECEIVE DUROCK BACKING WITH CERAMIC TILE FINISH OVER -FULL HEIGHT *ALL PROPOSED SHOWER DOORS TO BE 24" WIDE
NOTE: ALL PROPOSED HANDRAILS/ GUARDRAILS TO BE 36" HIGH AND HANDRAIL WITH BALUSTERS SPACED LESS THAN 4" CLEAR -RAILING TO BE CONTINUOUS -WHERE HANDRAIL IS WALL MOUNTED, IT IS TO BE 36" HIGH AND 1.5" OFF WALL AND 1.5" DIAMETER-HANDRAILS TO IN COMPLIANCE W/ R311.7.8
NOTE: THE BASEMENT, 1ST & 2ND FLOOR HALLWAYS AND BEDROOMS TO COMPLY W/ SMOKE & CARBON MONOXIDE REQUIREMENTS AS PER ACCORDANCE W/ NY STATE RESIDENTIAL BUILDING CODE 2020



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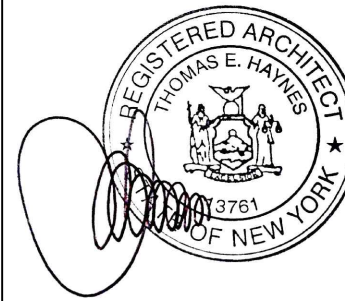
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DETAILS / SCHEDULES

seal: Architect Thomas E. Haynes

original
filing date:06-23-2025



drawn by:

checked by:

drawing no.:

JOB NUMBER:

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A-100

CONSTRUCTION NOTES:

- FIRST FLOOR:**
PROPOSED ENTRY FOYER:
1. INSTALL NEW EXTERIOR/ INTERIOR BEARING/ NON BEARING WALLS, WALL FINISHES AND BASEBOARD MOLDINGS - AS SELECTED BY OWNER. PAINT ALL TRIM WITH PRIME COAT AND 2 FINISH COATS OF PAINT - AS SELECTED BY OWNER.
 2. INSTALL NEW WINDOWS AND INTERIOR/EXTERIOR TRIM AS INDICATED. PAINT ALL INTERIOR BAND EXTERIOR TRIM - PRIME AND 2 FINISH COATS OF PAINT AS SELECTED BY OWNER.
 3. INSTALL NEW DOORS, FRAMES, HARDWARE AND CASEWORK AS SELECTED BY OWNER. PAINT DOORS AND FRAMES - PRIME AND 2 COATS PAINT AS SELECTED BY OWNER.
 4. INSTALL NEW 3/4 T&G PLYWD. SUBFLOOR OVER NEW WOOD JOISTS -INSTALL NEW 3/4" OAK HARDWOOD FINISHED FLOORING (AS SELECTED BY OWNER) SAND, STAIN AND FLOOR TO RECEIVE (3) COATS OF POLYURETHANE.
 5. INSTALL NEW 5/8" GYP. BD. FINISH ON CEILING AND PARTITIONS AS PER SCHEDULE
 6. INSTALL GYPSUM BOARD -TAPE. 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILINGS.
 7. INSTALL NEW WOOD STAIR - OAK TREADS AND PIE RISERS - OAK RAILING W/ BALUSTERS SPACED LESS THAN 4" CLEAR -TYP. - RAILING AND BALUSTERS AS SELECTED BY OWNER- PAINT ALL RISERS AND BALUSTERS - PRIME COAT AND 2 FINISH COATS PAINT AS SELECTED BY OWNER.

- PROPOSED LAV & BATH:**
1. INSTALL NEW WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED -AS SELECTED BY OWNER - PAINT ALL WITH PRIME COAT AND 2 FINISH COATS PAINT AS SELECTED BY OWNER.
 2. INSTALL NEW DOORS, FRAMES, HARDWARE AND CASEWORK AS INDICATED AND AS SELECTED BY OWNER
 3. CONSTRUCT NEW LAV AS NOTED:
-INSTALL NEW PLUMBING FIXTURES AS SELECTED BY OWNER
-INSTALL NEW CERAMIC TILE OVER NEW 1/2" CEMENT BOARD OVER 3/4" T&G PLYWD. SUBFLOOR - TILE AS SELECTED BY OWNER
-INSTALL STONE SADDLE AT ENTRY AS SELECTED BY OWNER
-INSTALL NEW 1/2" CEMENT BOARD ON WALLS UNDER ANY PROPOSED TILE
-COORD. W/ ARCHITETC - TILE AS SELECTED BY OWNER
-INSTALL NEW MECHANICAL EXHAUST FAN -CONNECT TO LIGHT SWITCH AND VENT TO EXTERIOR -MAINTAIN 36" MIN. FROM ALL WINDOWS -TYP.
-INSTALL NEW VANITY, MIRRORS, LIGHT FIXTURES, TOILET ACCESSORIES AND HARDWARE AS SELECTED BY OWNER
 4. INSTALL NEW 5/8" GYP. BD. FINISH ON WALLS AND CEILING.
 5. INSTALL GYPSUM BOARD - TAPE. 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.

- HALLWAYS:**
1. INSTALL NEW WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED - AS SELECTED BY OWNER
 2. INSTALL NEW DOORS, FRAMES, HARDWARE AND CASEWORK AS INDICATED AND AS SELECTED BY OWNER
 3. INSTALL NEW 3/4 T&G PLYWD. SUBFLOOR OVER NEW WOOD JOISTS -INSTALL NEW FINISHED FLOORING (AS SELECTED BY OWNER) SAND, STAIN AND FLOOR TO RECEIVE (3) COATS OF POLYURETHANE
 4. INSTALL NEW WD. STAIR WITH OAK TREADS AND PINE RISERS - W/ 36" HIGH RAILING W/ BALUSTERS SPACED 4" ON CENTER - RAILING AND BALUSTERS AS SELECTED BY OWNER. STAIN, SAND A 3 COATS POLYURETHANE ON TREADS AND RAILINGS - PAINT RISERS AND BALUSTERS.
 5. INSTALL NEW 5/8" GYP. BD. FINISH ON WALLS AND CEILING.
 6. INSTALL GYPSUM BOARD - TAPE. 3 COATS OF COMPOUND SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.

- GARAGE AREAS:**
1. INSTALL NEW WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED - AS SELECTED BY OWNER
 2. INSTALL WINDOWS, DOORS, FRAMES, HARDWARE AND MOTORIZED OVERHEAD DOOR AS INDICATED. OVERHARD DOOR AS SELECTED BY OWNER. PAINT ALL DOORS, FRAMES AND WINDOWS - PRIME AND 3 COATS OF PAINT AS SELECTED BY OWNER.
 3. INSTALL CONCRETE FLOOR WITH STEEL TROWEL FINISH- PITCH SLAB AS SHOWN
 4. INSTALL NEW WD. STAIR. INSTALL EPOXY FLOOR FINISH - COLOR AS SELECTED BY OWNER.
 5. INSTALL NEW 5/8" GYP. BD. FINISH ON WALLS AND CEILING.
 6. INSTALL GYPSUM BOARD -TAPE. 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.

- UTILITY ROOM:**
1. INSTALL NEW WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED - AS SELECTED BY OWNER - PAINT ALL WALLS, CEILINGS, TRIM - PRIME COAT AND 2 FINISH COATS PAINT AS SELECTED BY OWNER.
 2. INSTALL DOORS, FRAMES AND HARDWARE AS INDICATED AND AS SELECTED BY OWNER.
 3. INSTALL TILE FLOOR AND BASE - INSTALL 1/2" CEMENT BOARD OVER 3/4" PLYWOOD SUB-FLOOR - TILE AND BASE AS SELECTED BY OWNER
 4. INSTALL NEW 5/8" GYP. BD. FINISH ON WALLS AND CEILING.
 5. INSTALL GYPSUM BOARD -TAPE. 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.

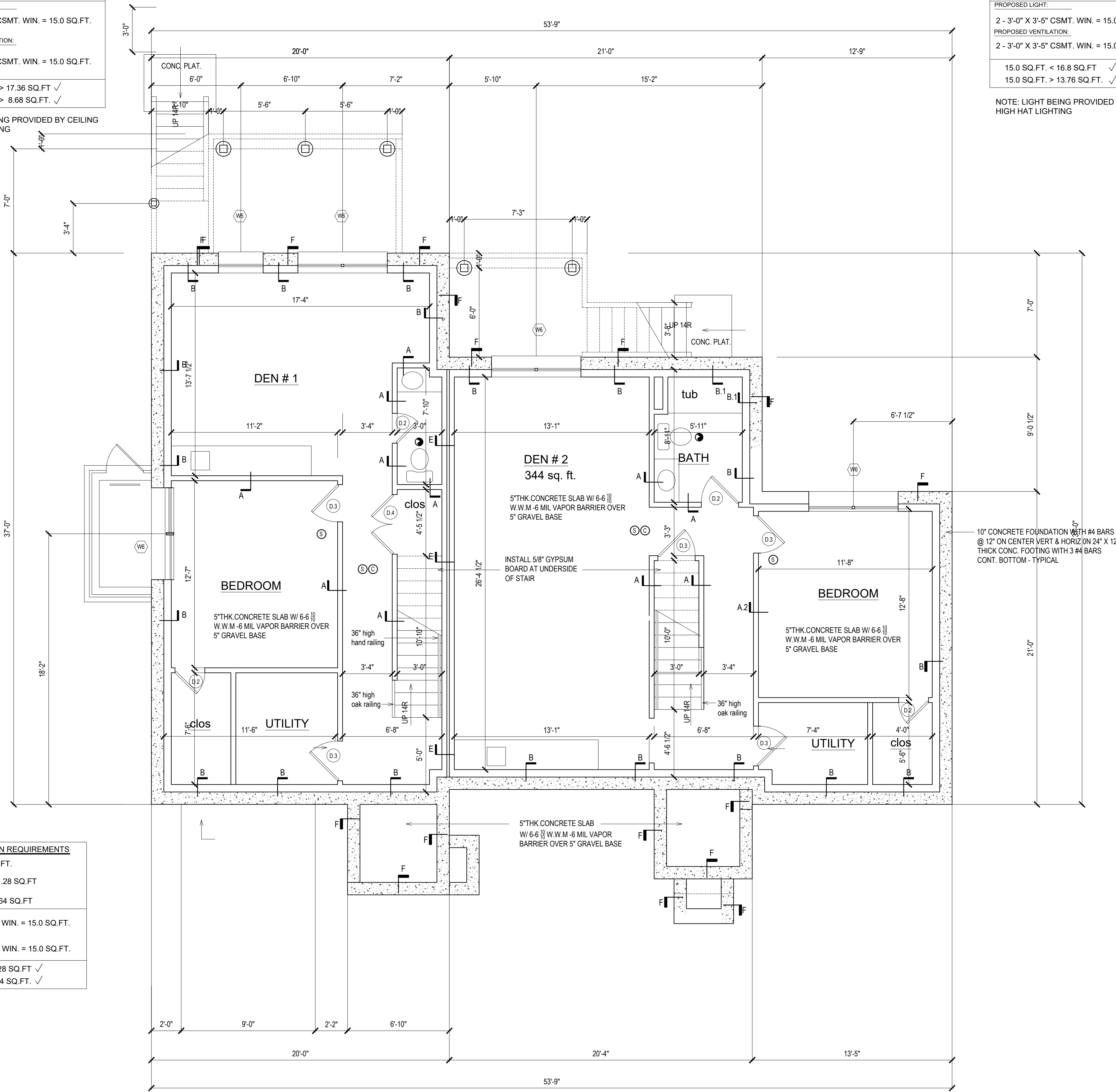
LIGHT & VENTILATION REQUIREMENTS	
DEN # 1= 217 SQ.FT.	
REQUIRED LIGHT:	
217 SQ.FT. X .08 = 17.36 SQ.FT	
REQUIRED VENTILATION:	
217 SQ.FT. X .04 = 8.68 SQ.FT	
PROPOSED LIGHT:	
3 - 3'-0" X 3'-5" CSMT. WIN. = 15.0 SQ.FT.	
PROPOSED VENTILATION:	
3 - 3'-0" X 3'-5" CSMT. WIN. = 15.0 SQ.FT.	
22.50 SQ.FT. > 17.36 SQ.FT. ✓	
22.50 SQ.FT. > 8.68 SQ.FT. ✓	

NOTE: LIGHT BEING PROVIDED BY CEILING HIGH HAT LIGHTING

LIGHT & VENTILATION REQUIREMENTS	
BEDROOM = 141 SQ.FT.	
REQUIRED LIGHT:	
141 SQ.FT. X .08 = 11.28 SQ.FT	
REQUIRED VENTILATION:	
141 SQ.FT. X .04 = 5.64 SQ.FT	
PROPOSED LIGHT:	
2 - 3'-0" X 3'-5" CSMT. WIN. = 15.0 SQ.FT.	
PROPOSED VENTILATION:	
2 - 3'-0" X 3'-5" CSMT. WIN. = 15.0 SQ.FT.	
15.00 SQ.FT. > 11.28 SQ.FT. ✓	
15.00 SQ.FT. > 5.64 SQ.FT. ✓	

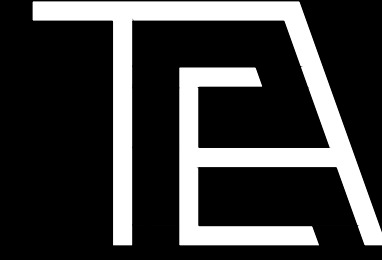
LIGHT & VENTILATION REQUIREMENTS	
DEN # 2 = 344 SQ.FT.	
REQUIRED LIGHT:	
344 SQ.FT. X .08 = 27.52 SQ.FT	
REQUIRED VENTILATION:	
344 SQ.FT. X .04 = 13.76 SQ.FT	
PROPOSED LIGHT:	
2 - 3'-0" X 3'-5" CSMT. WIN. = 15.0 SQ.FT.	
PROPOSED VENTILATION:	
2 - 3'-0" X 3'-5" CSMT. WIN. = 15.0 SQ.FT.	
15.0 SQ.FT. < 16.8 SQ.FT. ✓	
15.0 SQ.FT. > 13.76 SQ.FT. ✓	

NOTE: LIGHT BEING PROVIDED BY CEILING HIGH HAT LIGHTING



BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



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05-28-2025: DOB COMMENTS ADDRESSED
06-04-2025: PB / ENG. COMMENTS ADDRESSED
06-16-2025: ENG. COMMENTS ADDRESSED
06-23-2025: ARB SUBMISSION

project title:

Proposed 2 Family Dwelling at:
55 Catherine Street,
Nyack NY

PROPOSED PLAN

Seal: Architect Thomas E. Haynes	original filing date: 06-23-2025
	drawn by:
	checked by:
	drawing no.:

JOB NUMBER: 2412 A-101

CONSTRUCTION NOTES:

FIRST FLOOR:

PROPOSED DINING ROOM / LIVING ROOM:

1. INSTALL NEW EXTERIOR/ INTERIOR BEARING/ NON BEARING WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED - AS SELECTED BY OWNER
2. INSTALL NEW WINDOWS AND INTERIOR/EXTERIOR TRIM AS INDICATED - PAINT ALL WITH PRIME COAT AND 3 COATS FINISH PAINT AS SELECTED BY OWNER
3. INSTALL NEW 3/4 T&G PLYWD. SUBFLOOR OVER NEW WOOD JOISTS -INSTALL NEW 3/4" OAK HARDWOOD FINISHED FLOORING (AS SELECTED BY OWNER) - SAND, STAIN AND FLOOR TO RECEIVE (3) COATS OF POLYURETHANE
4. INSTALL NEW 5/8" GYP. BD. FINISH ON WALLS AND CEILING.
5. INSTALL GYPSUM BOARD - TAPE, 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.
6. INSTALL NEW CABLE RAILINGS AT DECK AREA AND FRENCH BALCONY - RAILINGS AS SELECTED BY OWNER.

PROPOSED KITCHEN / FAMILY ROOM:

1. INSTALL NEW EXTERIOR/ INTERIOR BEARING/ NON BEARING WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED - AS SELECTED BY OWNER
2. INSTALL NEW WINDOWS, DOORS AND INTERIOR/EXTERIOR TRIM AS INDICATED - PAINT ALL WITH PRIME COAT AND 2 FINISH COATS PAINT AS SELECTED BY OWNER
3. INSTALL NEW DOORS, FRAMES AND CASEWORK AS SELECTED BY OWNER
4. INSTALL NEW 3/4 T&G PLYWD. SUBFLOOR OVER NEW WOOD JOISTS -INSTALL NEW 3/4" OAK HARDWOOD FINISHED FLOORING (AS SELECTED BY OWNER) - SAND, STAIN AND FLOOR TO RECEIVE (3) COATS OF POLYURETHANE
5. INSTALL KITCHEN CABINETS, COUNTERS, BACKSPLASH, APPLIANCES AND PLUMBING FIXTURES WHERE SHOWN -INSTALL 10" DIA. RANGE HOOD DUCT AS REQUIRED TO EXTERIOR - INSTALL ALL KITCHEN APPLIANCES - PROVIDE ALL KITCHEN APPLIANCES, COUNTERS, BACKSPLASH, RANGE HOOD ETC. AS SELECTED BY OWNER
6. INSTALL NEW 5/8" GYP. BD. FINISH ON WALLS AND CEILING.
7. INSTALL GYPSUM BOARD - TAPE, 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.
8. INSTALL TILE FLOORING AND BASE - INSTALL 1/2" CEMENT BOARD OVER 3/4" PLYWOOD SUB-FLOOR - TILE AS SELECTED BY OWNER

PROPOSED CLOSET & LAUNDRY:

1. INSTALL NEW WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED - AS SELECTED BY OWNER
2. INSTALL NEW DOORS, FRAMES AND HARDWARE AS SELECTED BY OWNER - PAINT DOORS AND FRAMES WITH PRIME COAT AND 2 FINISH COATS PAINT - AS SELECTED BY OWNER
3. INSTALL NEW 3/4 T&G PLYWD. SUBFLOOR OVER NEW WOOD JOISTS -INSTALL NEW FINISHED FLOORING (AS SELECTED BY OWNER) - SAND, STAIN AND FLOOR TO RECEIVE (3) COATS OF POLYURETHANE
4. INSTALL NEW 5/8" GYP. BD. FINISH ON WALLS AND CEILING.
5. INSTALL GYPSUM BOARD - TAPE, 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.
6. INSTALL SHELF AND CLOTHES POLE IN CLOSET

PROPOSED POWDER ROOM:

1. INSTALL NEW WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED - AS SELECTED BY OWNER
2. INSTALL NEW DOOR, FRAME, HARDWARE AND CASEWORK AS INDICATED. PROVIDE DOORS AND HARDWARE AS SELECTED BY OWNER
3. CONSTRUCT NEW BATHROOM AS NOTED:
 - INSTALL NEW PLUMBING FIXTURES AS SELECTED BY OWNER.
 - INSTALL NEW CERAMIC TILE OVER NEW 1/2" CEMENT BOARD OVER 3/4" T&G PLYWD. SUBFLOOR - TILE AS SELECTED BY OWNER
 - INSTALL STONE SADDLE AT ENTRY AS SPECIFIED BY OWNER
 - INSTALL NEW 1/2" CEMENT BOARD ON WALLS UNDER ANY PROPOSED TILE
 - COORD. W/ ARCHITECT - TILE AS SELECTED BY OWNER X
 - INSTALL NEW MECHANICAL EXHAUST FAN -CONNECT TO LIGHT SWITCH AND VENT TO EXTERIOR -MAINTAIN 36" MIN. FROM ALL WINDOWS -TYP.
 - INSTALL NEW VANITY, MIRRORS, TOILET ACCESSORIES, LIGHT FIXTURES AND HARDWARE AS SELECTED BY OWNER
4. INSTALL NEW 5/8" GYP. BD. FINISH ON CEILING
5. INSTALL TAPE, 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.

HALLWAYS:

1. INSTALL NEW WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED - AS SELECTED BY DESIGNER
2. INSTALL NEW DOORS, FRAMES, HARDWARE AND CASEWORK AS INDICATED AND AS SELECTED BY OWNER
3. INSTALL NEW 3/4 T&G PLYWD. SUBFLOOR OVER NEW WOOD JOISTS -INSTALL NEW FINISHED FLOORING (AS SELECTED BY OWNER) - SAND, STAIN AND FLOOR TO RECEIVE (3) COATS OF POLYURETHANE - STAIR TREADS AND RAILINGS TO RECEIVE STAIN AS SELECTED BY OWNER AND 3 COATS OF POLYURETHANE - RISERS AND BALUSTERS TO BE PAINTED
4. INSTALL NEW WOOD STAIR WITH 3/4" OAK TREADS AND PINE RISERS - W/ 36" HIGH RAILING W/ BALUSTERS SPACED 4" O. C. - SEE DETAILS - RAILING AND BALUSTERS AS SELECTED BY OWNER - SAND, STAIN AND 3 COATS POLY ON TREADS AND RAILINGS - PAINT STAIR RISERS AND BALUSTERS.
5. INSTALL NEW 5/8" GYPSUM BOARD FINISH ON WALLS AND CEILINGS.
6. INSTALL GYPSUM BOARD - TAPE, 3 COATS COMPOUND- PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.
7. INSTALL 1 1/2" OAK HANDRAILS - STAIN, 3 COATS PLOY. FINISH.

REAR DECK:

1. INSTALL TREX DECKING AS SELECTED BY OWNER.
2. INSTALL 36" CABLE RAILING SYSTEM WITH POSTS AND RAILS AS SELECTED BY OWNER.

FRONT DECK:

1. INSTALL WATERPROOF TRAFFIC TOPING OVER 3/4" EXTERIOR PLYWOOD SHEATHING ON WOOD JOISTS
2. INSTALL 36" CABLE RAILING SYSTEM WITH POSTS AND RAILS AS SELECTED BY OWNER.

LIGHT & VENTILATION REQUIREMENTS

FAMILY ROOM/ KITCHEN # 1= 204 SQ.FT.

REQUIRED LIGHT:

204 SQ.FT. X .08 = 16.32 SQ.FT

REQUIRED VENTILATION:

204 SQ.FT. X .04 = 8.16 SQ.FT

PROPOSED LIGHT:

1 - 3'-0" X 3'-5" casement = 7.5 SQ.FT

1 - 6'-8" X 6'-8" SLID. DR. = 40.63 SQ.FT.

PROPOSED VENTILATION:

1 - 3'-0" X 3'-5" casement = 7.5 SQ.F

1 - 6'-0" X 6'-8" SLID. DR. = 17.85 SQ.FT

48.13 SQ.FT. > 16.32 SQ.FT. ✓

25.35 SQ.FT. > 8.16 SQ.FT. ✓

LIGHT & VENTILATION REQUIREMENTS

LIVING ROOM / DINING ROOM= 272 SQ.FT.

REQUIRED LIGHT:

272 SQ.FT. X .08 = 21.76 SQ.FT

REQUIRED VENTILATION:

272 SQ.FT. X .04 = 10.88 SQ.FT

PROPOSED LIGHT:

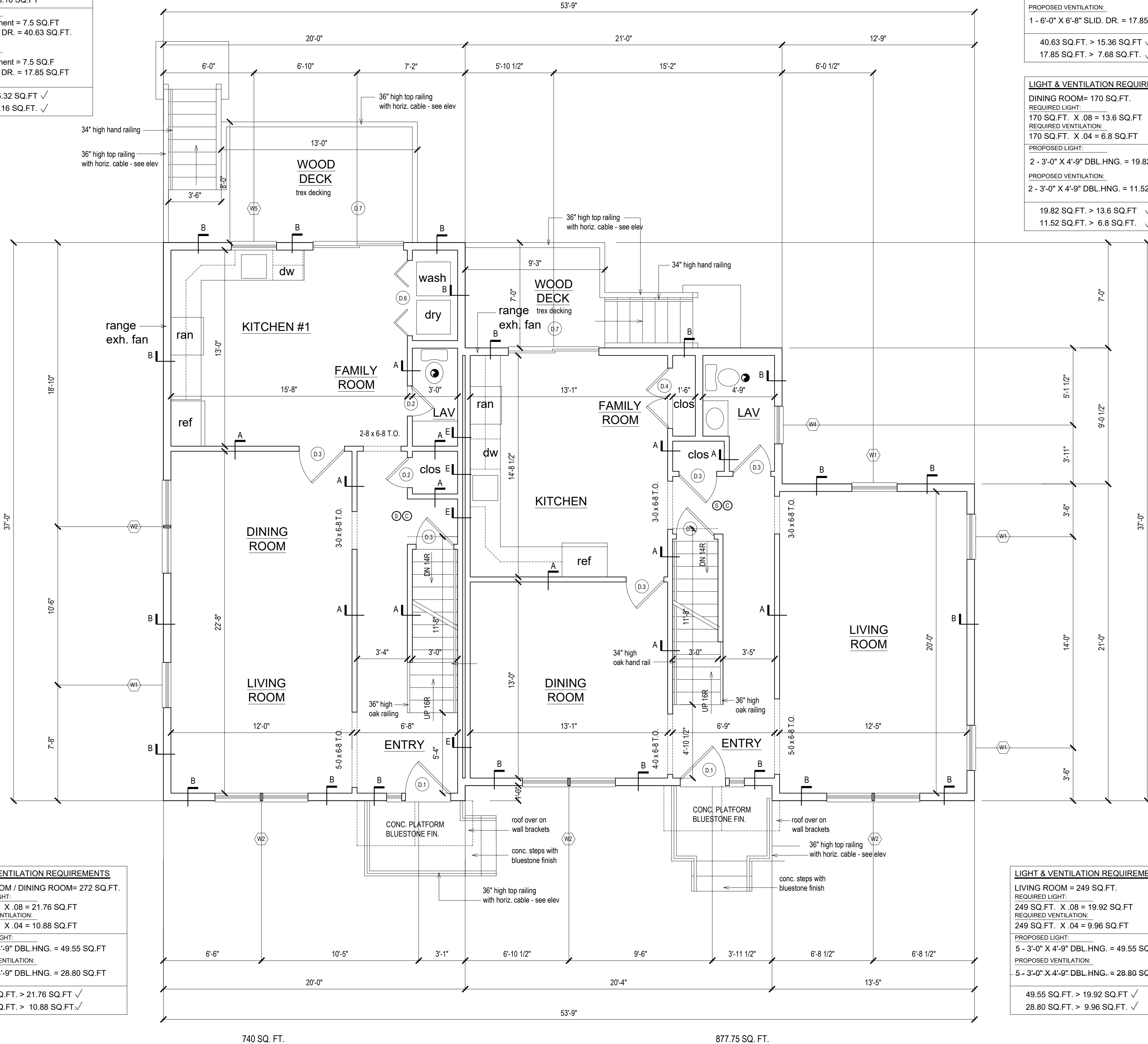
5 - 3'-0" X 4'-9" DBL.HNG. = 49.55 SQ.FT

PROPOSED VENTILATION:

5 - 3'-0" X 4'-9" DBL.HNG. = 28.80 SQ.FT

49.55 SQ.FT. > 21.76 SQ.FT. ✓

28.80 SQ.FT. > 10.88 SQ.FT. ✓



LIGHT & VENTILATION REQUIREMENTS

FAMILY ROOM/ KITCHEN # 2= 192 SQ.FT.

REQUIRED LIGHT:

192 SQ.FT. X .08 = 15.36 SQ.FT

REQUIRED VENTILATION:

192 SQ.FT. X .04 = 7.68 SQ.FT

PROPOSED LIGHT:

1 - 6'-8" X 6'-8" SLID. DR. = 40.63 SQ.FT.

PROPOSED VENTILATION:

1 - 6'-0" X 6'-8" SLID. DR. = 17.85 SQ.FT

40.63 SQ.FT. > 15.36 SQ.FT. ✓

17.85 SQ.FT. > 7.68 SQ.FT. ✓

LIGHT & VENTILATION REQUIREMENTS

DINING ROOM= 170 SQ.FT.

REQUIRED LIGHT:

170 SQ.FT. X .08 = 13.6 SQ.FT

REQUIRED VENTILATION:

170 SQ.FT. X .04 = 6.8 SQ.FT

PROPOSED LIGHT:

2 - 3'-0" X 4'-9" DBL.HNG. = 19.82 SQ.FT

PROPOSED VENTILATION:

2 - 3'-0" X 4'-9" DBL.HNG. = 11.52 SQ.FT

19.82 SQ.FT. > 13.6 SQ.FT. ✓

11.52 SQ.FT. > 6.8 SQ.FT. ✓

LIGHT & VENTILATION REQUIREMENTS

LIVING ROOM = 249 SQ.FT.

REQUIRED LIGHT:

249 SQ.FT. X .08 = 19.92 SQ.FT

REQUIRED VENTILATION:

249 SQ.FT. X .04 = 9.96 SQ.FT

PROPOSED LIGHT:

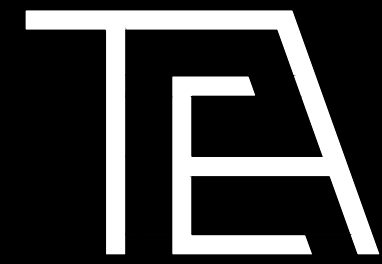
5 - 3'-0" X 4'-9" DBL.HNG. = 49.55 SQ.FT

PROPOSED VENTILATION:

5 - 3'-0" X 4'-9" DBL.HNG. = 28.80 SQ.FT

49.55 SQ.FT. > 19.92 SQ.FT. ✓

28.80 SQ.FT. > 9.96 SQ.FT. ✓



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COMMENTS DDRESSED

2.27.25- PBA SUBMISSION

/ ENG. COMMENTS ADDRESSED

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COMMENTS DDRESSED

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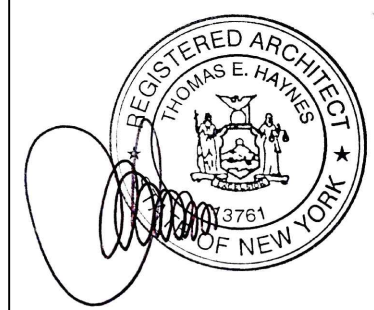
project title:

Proposed 2 Family Dwelling at:
55 Catherine Street,
Nyack NY

PROPOSED PLAN

Seal: Architect Thomas E. Haynes

original
filing date: 06-23-2025



drawn by:

checked by:

drawing no.:

JOB NUMBER:

2412

A-102

FIRST FLOOR PLAN

NOTE: HVAC PLANS TO BE FILED UNDER SEPARATE APPLICATION INCLUDING THE WHOLE HOUSE VENTILATION SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES:

SECOND FLOOR:

PROPOSED BEDROOM - ALL :

1. INSTALL NEW EXTERIOR/ INTERIOR BEARING/ NON BEARING WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED- PAINT PRIME COAT AND 2 FINISH COATS PAINT ALL AS SELECTED BY OWNER
2. INSTALL NEW WINDOWS AND INTERIOR/EXTERIOR TRIM AS INDICATED - PAINT ALL PRIME COAT AND 2 FINISH COATS PAINT AS SELECTED BY OWNER.
3. INSTALL NEW DOORS, FRAMES, HARDWARES AND AS INDICATED- ALL AS SELECTED BY OWNER.
4. INSTALL NEW 3/4 T&G PLYWD. SUBFLOOR OVER NEW WOOD JOISTS -INSTALL NEW 3/4" OAK FINISHED FLOORING (AS SELECTED BY OWNER)- SAND, STAIN AND FLOOR TO RECEIVE (3) COATS OF POLYURETHANE.
5. INSTALL NEW 5/8" GYP. BD. FINISH ON WALLS AND CEILINGS.
6. INSTALL GYPSUM BOARD - TAPE, 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING
7. CONTRACTOR TO INSTALL NEW EGRESS WINDOW AS SHOWN
-ALL EGRESS WINDOW SILLS TO BE MAX. 44"A.F.F
8. INSTALL HARDWIRED SMOKE DETECTORS W/ BATTERY BACK-UP

PROPOSED LAUNDRY AREA:

1. INSTALL NEW WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED- AS SELECTED BY DESIGNER
2. INSTALL NEW DOOR, FRAME, HARDWARE AS INDICATED AND AS SELECTED BYB OWNER.
3. INSTALL NEW 3/4 T&G PLYWD. SUBFLOOR OVER NEW WOOD JOISTS -INSTALL NEW 1/2" THK. CEMENT BOARD OVER SUBFLOOR W/ NEW CERAMIC TILE OVER - TILE AS SELECTED BY OWNER
4. INSTALL STONE SADDLE AT ENTRY DOOR
5. INSTALL NEW WASHER AND DRYER -INSTALL ON APPROVED TYPE COLLECTION PAN -INSTALL AUTOMATIC SHUT OFF VALVE AND MANUAL SHUT OFF VALVES FOR WASHER -VALVES MUST BE ACCESSIBLE WHEN APPLIANCE IS IN PLACE -VENT DRYER TO EXTERIOR-MAINTAIN 36" MIN. FROM ALL WINDOW OPENINGS -TYP.
6. INSTALL NEW 5/8" GYP. BD. FINISH ON WALLS AND CEILING.
7. INSTALL GYPSUM BOARD - TAPE, 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.

PROPOSED BATHROOMS :

1. INSTALL NEW EXTERIOR/ INTERIOR BEARING/ NON BEARING WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED -AS SELECTED BY DESIGNER
2. INSTALL NEW DOORS, FRAMES, HARDWARE AND CASEWORK AS INDICATED - ALL AS SELECTED BY OWNER.
3. CONSTRUCT NEW BATHROOM AS NOTED:
-INSTALL NEW PLUMBING FIXTURES - ALL AS SELECTAED BY OWNER.
-INSTALL NEW CERAMIC TILE OR MARBLE OVER NEW 1/2" CEMENT BOARD OVER 3/4" T&G PLYWD. SUBFLOOR - TILE AND BASE AS SELECTED BY OWNER.
-INSTALL CARRARA MARBLE SADDLE AT ENTRY
-INSTALL NEW 1/2" CEMENT BOARD ON WALLS UNDER PROPOSED TILE - TILE AS SELECTED BY OWNER.
-INSTALL MECHANICAL EXHAUST FAN - CONNECT TO LIGHT SWITCH AND VENT TO EXTERIOR -MAINTAIN 36" MIN. FROM ALL WINDOWS -TYP.
-INSTALL NEW VANITY, MIRRORS, LIGHT FIXTURES, TOILET ACCESSORIES AND HARDWARE - ALL AS SELECTED BY OWNER.
4. INSTALL NEW 5/8" GYP. BD. FINISH ON CEILING.
5. INSTALL GYPSUM BOARD - TAPE, 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.
6. INSTALL TEMPERED SAFETY GLASS FOR ALL SHOWER AND TUB GLASS PARTITIONS / SPLASH GUARDS AND DOORS - ALL AS SELECTED BY OWNER.

PROPOSED CLOSETS / W.I.C. :

1. INSTALL NEW EXTERIOR/ INTERIOR BEARING/ NON BEARING WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED - AS SELECTED BY DESIGNER
2. INSTALL NEW DOORS, FRAMES, HARDWARE AS INDICATED - ALL AS SELECTED BY OWNER.
3. INSTALL NEW 3/4 T&G PLYWD. SUBFLOOR OVER NEW WOOD JOISTS -INSTALL NEW FINISHED FLOORING (AS SELECTED BY OWNER) -CREATE FLUSH CONDITION WITH EXISTING ADJACENT FLOORS -IF WOOD, SAND, STAIN AND FLOOR TO RECEIVE (3) COATS OF POLYURETHANE
4. INSTALL NEW 5/8" GYP. BD. FINISH ON CEILING
5. PATCH TAPE, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.
6. CONTRACTOR TO PROVIDE CLOTHES POLE & SHELF AT ALL CLOSET LOCATIONS, O

PROPOSED WD. STAIR / HALLWAYS :

1. INSTALL WALLS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED - AS SELECTED BY DESIGNER
2. INSTALL NEW DOORS, FRAMES AND HARDWARE AS INDICATED - ALL AS SELECTED BY OWNER - PAINT ALL DOORS AND FRAMES PRIME AND 2 FINISH COATS PAINT AS SELECTED BY OWNER.
3. INSTALL NEW 3/4 T&G PLYWD. SUBFLOOR OVER NEW WOOD JOISTS -INSTALL NEW FINISHED 3/4" OAK FLOORING (AS SELECTED BY OWNER) - SAND, STAIN AND FLOOR TO RECEIVE (3) COATS OF POLYURETHANE. STAIR PLATFORM-M TO HAVE 3/4" OAK FINISHED FLOOR.
4. INSTALL NEW WOOD STAIR WITH 3/4" OAK TREADS AND PINE RISERS - W/ 36" HIGH RAILING W/ BALUSTERS SPACED AS REQUIRED- SEE DETAILS -RAILINGS AND BALUSTERS AS SELECTED BY OWNER- PAINT BALUSTERS AND RISERS - STAIN SAND AN 3 COATS POLY AT TREADS AND RAILINGS.
5. INSTALL NEW 5/8" GYP. BD. FINISH ON CEILING
6. INSTALL TAPE, 3 COATS OF COMPOUND, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED paint BY OWNER ON ALL WALLS AND CEILING.
7. INSTALL 1 1/2" OAK HANDRAILS - STAIN AND 3 COATS POLY FINISH.

LIGHT & VENTILATION REQUIREMENTS

BEDROOM # 1 = 171 SQ.FT.
REQUIRED LIGHT:
171 SQ.FT. X .08 = 13.68 SQ.FT
REQUIRED VENTILATION:
171 SQ.FT. X .04 = 6.84 SQ.FT

PROPOSED LIGHT:
2 - 3'-0" X 4'-8" DBL.HNG. = 20.62 SQ.FT
PROPOSED VENTILATION:
2 - 3'-0" X 4'-8" DBL.HNG. = 11.5 SQ.FT

20.62 SQ.FT. > 13.68 SQ.FT ✓
11.5 SQ.FT. > 4.16 SQ.FT. ✓

LIGHT & VENTILATION REQUIREMENTS

BEDROOM # 2 = 104 SQ.FT.
REQUIRED LIGHT:
104 SQ.FT. X .08 = 8.32 SQ.FT
REQUIRED VENTILATION:
104 SQ.FT. X .04 = 4.16 SQ.FT

PROPOSED LIGHT:
2 - 3'-0" X 4'-8" DBL.HNG. = 20.62 SQ.FT
PROPOSED VENTILATION:
2 - 3'-0" X 4'-8" DBL.HNG. = 11.5 SQ.FT

20.62 SQ.FT. > 8.32 SQ.FT ✓
11.5 SQ.FT. > 4.16 SQ.FT. ✓

LIGHT & VENTILATION REQUIREMENTS

BEDROOM # 4 = 121 SQ.FT.
REQUIRED LIGHT:
121 SQ.FT. X .08 = 9.68 SQ.FT
REQUIRED VENTILATION:
121 SQ.FT. X .04 = 4.84 SQ.FT

PROPOSED LIGHT:
2 - 3'-0" X 4'-8" DBL.HNG. = 20.62 SQ.FT
PROPOSED VENTILATION:
2 - 3'-0" X 4'-8" DBL.HNG. = 11.5 SQ.FT

20.62 SQ.FT. > 9.68 SQ.FT ✓
11.5 SQ.FT. > 4.84 SQ.FT. ✓

LIGHT & VENTILATION REQUIREMENTS

BEDROOM # 5 = 171 SQ.FT.
REQUIRED LIGHT:
171 SQ.FT. X .08 = 13.68 SQ.FT
REQUIRED VENTILATION:
171 SQ.FT. X .04 = 6.84 SQ.FT

PROPOSED LIGHT:
2 - 3'-0" X 4'-8" DBL.HNG. = 20.62 SQ.FT
PROPOSED VENTILATION:
2 - 3'-0" X 4'-8" DBL.HNG. = 11.5 SQ.FT

20.62 SQ.FT. > 13.68 SQ.FT ✓
11.5 SQ.FT. > 6.84 SQ.FT. ✓

LIGHT & VENTILATION REQUIREMENTS

BEDROOM # 3 = 104 SQ.FT.
REQUIRED LIGHT:
104 SQ.FT. X .08 = 8.32 SQ.FT
REQUIRED VENTILATION:
104 SQ.FT. X .04 = 4.16 SQ.FT

PROPOSED LIGHT:
3 - 3'-0" X 4'-8" DBL.HNG. = 30.93 SQ.FT
PROPOSED VENTILATION:
3 - 3'-0" X 4'-8" DBL.HNG. = 17.25 SQ.FT

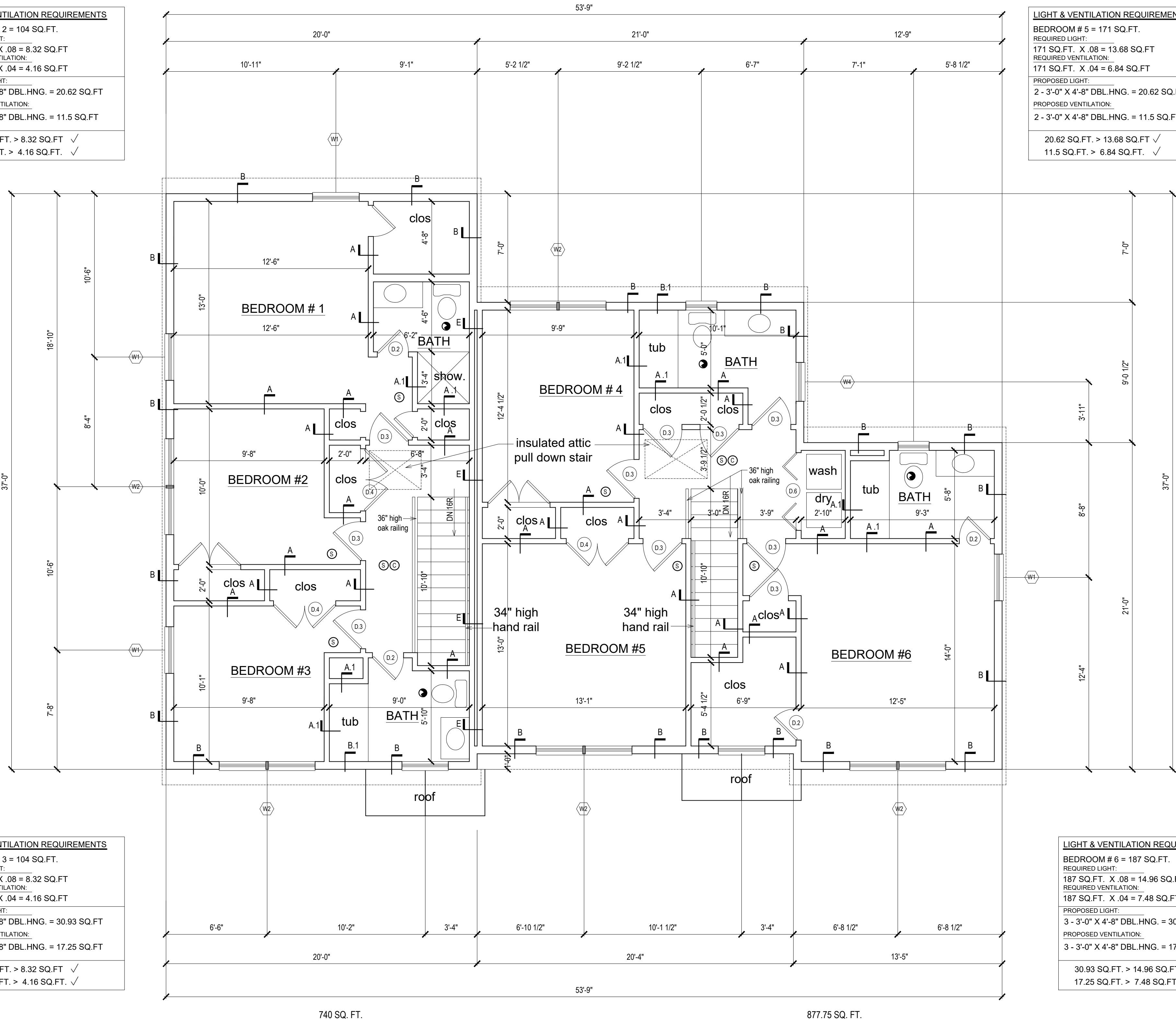
30.93 SQ.FT. > 8.32 SQ.FT ✓
17.25 SQ.FT. > 4.16 SQ.FT. ✓

LIGHT & VENTILATION REQUIREMENTS

BEDROOM # 6 = 187 SQ.FT.
REQUIRED LIGHT:
187 SQ.FT. X .08 = 14.96 SQ.FT
REQUIRED VENTILATION:
187 SQ.FT. X .04 = 7.48 SQ.FT

PROPOSED LIGHT:
3 - 3'-0" X 4'-8" DBL.HNG. = 30.93 SQ.FT
PROPOSED VENTILATION:
3 - 3'-0" X 4'-8" DBL.HNG. = 17.25 SQ.FT

30.93 SQ.FT. > 14.96 SQ.FT ✓
17.25 SQ.FT. > 7.48 SQ.FT. ✓



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

Proposed 2 Family Dwelling at:
55 Catherine Street,
Nyack NY

PROPOSED PLAN

Seal: Architect Thomas E. Haynes

original filing date: 06-23-2025

drawn by:

checked by:

drawing no.:

JOB NUMBER:

2412

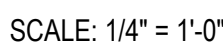
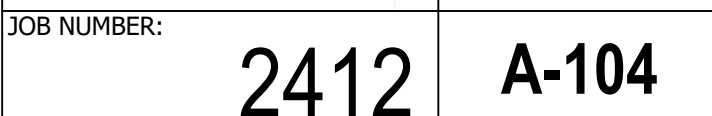
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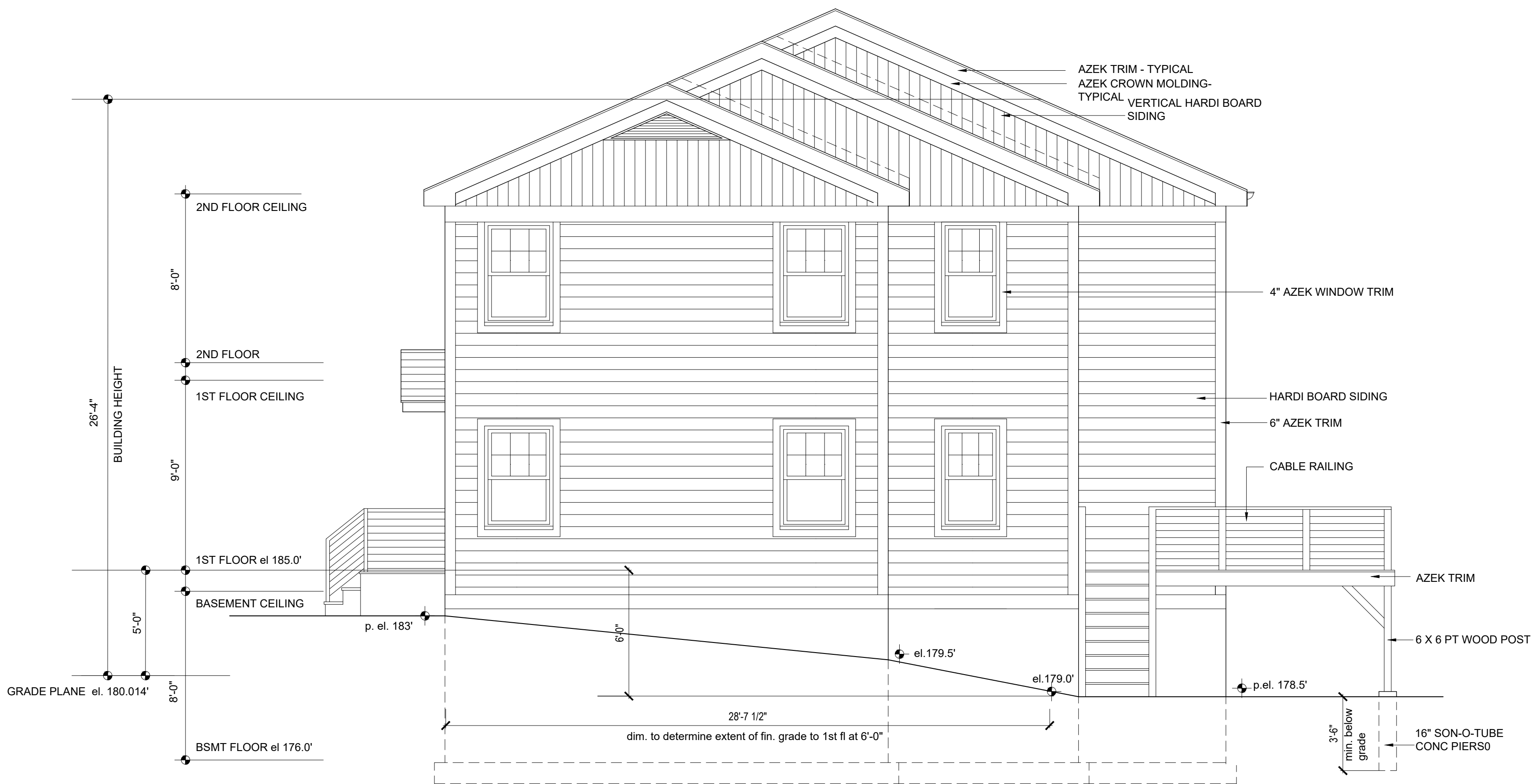


revisions:
12.13.23- DOB COMMENTS ADDRESSED
06.13.24 BOOKER ENGINEERING COMMENTS DDRESSED
2.27.25- PBA SUBMISSION / ENG. COMMENTS ADDRESSED
04.08.25 BOOKER ENGINEERING COMMENTS DDRESSED
05-22-2025: DOB COMMENTS ADDRESSED
05-28-2025: DOB COMMENTS ADDRESSED
06-04-2025: PB / ENG. COMMENTS ADDRESSED
06-16-2025: ENG. COMMENTS ADDRESSED
06-23-2025: ARB SUBMISSION

**Proposed 2 Family Dwelling at:
55 Catherine Street,
Nyack NY**

seal: Architect Thomas E. Haynes	original
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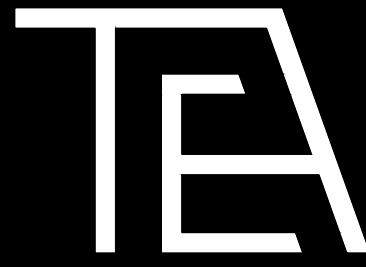




RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



HAYNES ARCHITECTURE P.C.

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project title:

Proposed 2 Family Dwelling at:
55 Catherine Street,
Nyack NY

PROPOSED
ELEVATIONS

Seal: Architect Thomas E. Haynes



JOB NUMBER:

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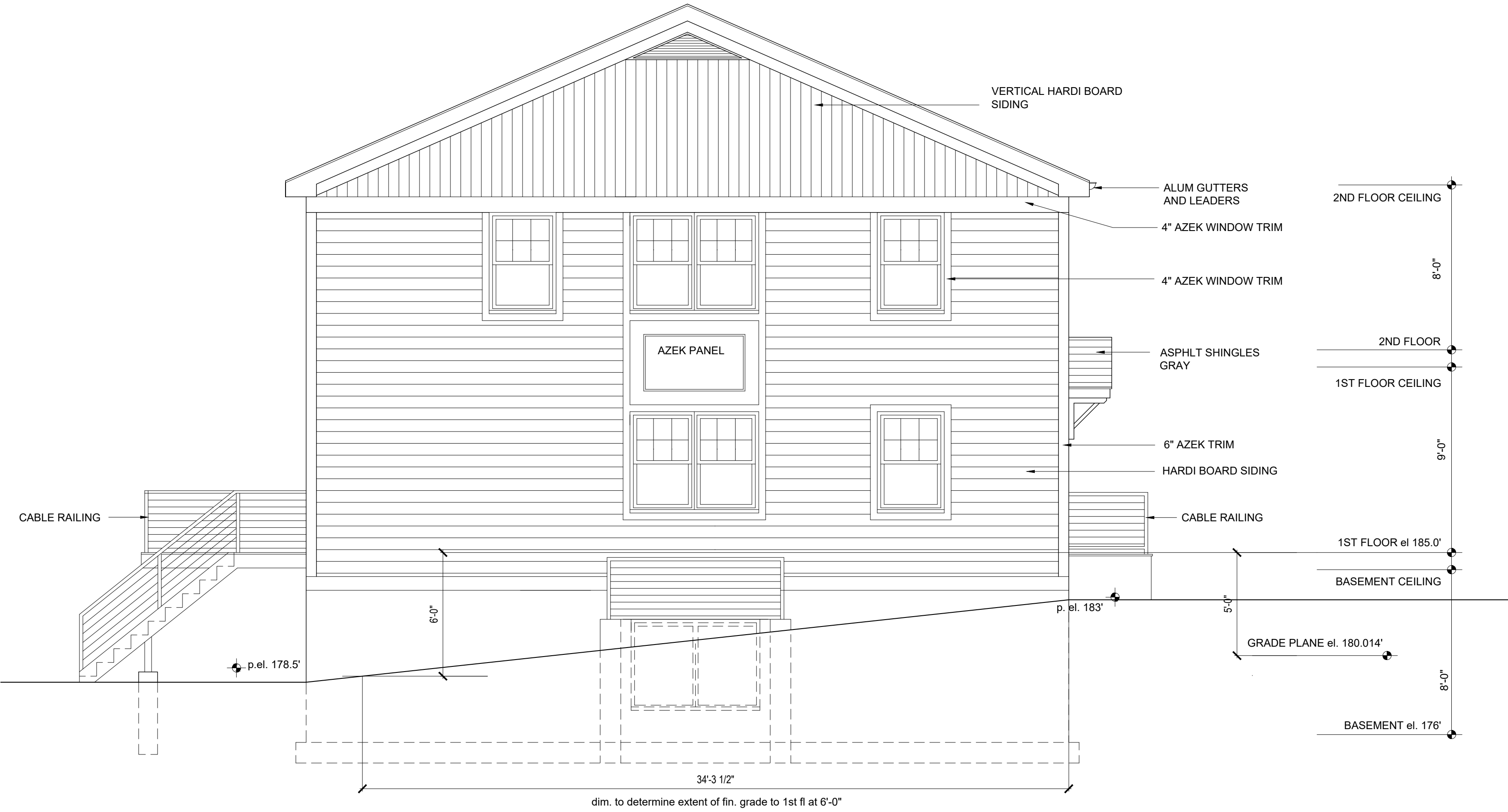
drawn by:

checked by:

drawing no.:

2412

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LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

TEA

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