



Village Of Nyack

Incorporated February 27, 1883



Asst Building Inspector

Paul Rozsypal

Fire Inspector

David Smith

Code Enforcement Officers

Richard J. Siddi

Benjamin C. Wolford

BUILDING DEPARTMENT

9 North Broadway

Nyack, New York 10960-2697

(845) 358-4249 / FAX: (845) 358-0672

www.nyack.gov

buildingdepartment@nyack.gov

MANNY A. CARMONA

Chief Building Inspector

LAST REVISED: 12/10/24

Name: Sinanaj Holdings LLC

Lot #: 65.36-2-18.1

Date: 1/8/2025

Location: 55 W. Catherine St.

Phone #: (917) 817-4617

Time: 4:00 PM

Type of Inspection:

☐ NEW CONSTRUCTION

☐ FIRE SAFETY & PROPERTY MAINTENANCE

☒ CODE VIOLATION

☒ EXISTING BUILDING

☐ RE-INSPECTION

☐ ZONING VIOLATION

ORDER TO REMEDY

COMMENTS: ☒ PENDING CORRECTION

The exterior cladding was observed to be in a state of significant deterioration, allowing water and vermin to enter the building. The exterior cladding was observed to have loose and unsecured materials. Exterior cladding shall be repaired or replaced such that no water or vermin are allowed to enter the building, no loose and unsecured materials are present, and reflect a level of maintenance in keeping with the standards of the community.

The windows throughout the building were observed to be damaged, deteriorated, and missing in some instances, allowing water and vermin to enter the building. Windows shall be repaired or replaced such that no water or vermin are allowed to enter the building and reflect a level of maintenance in keeping with the standards of the community.

The roof structure was observed to be deteriorated, and contain loose, unsecured shingles and flashing. The roof structure deterioration causes an unsafe condition and allows water and vermin to enter the building. The roof shall be structurally repaired such that the unsafe condition is remedied. The loose, unsecured shingles and flashing shall be replaced. Repairs shall be made such that no water or vermin are allowed to enter the building.

§ 263-5 Exterior standards.

The exterior of the premises and the condition of the structures shall be maintained so that the premises and all buildings shall reflect a level of maintenance in keeping with the standards of the community and shall not constitute blight from the point of view of adjoining property owners or lead to the progressive deterioration of the neighborhood. Such maintenance shall include, without limitation, the following:

H. Exterior walls, including doors and windows and the areas around doors, windows, chimneys and other parts of the building, shall be so maintained as to keep water from entering the building. Materials which have been damaged or show evidence of dry rot or other deterioration shall be repaired or replaced and refinished in a workmanlike manner.

I. All exposed exterior surfaces shall be maintained free of broken or cracked glass, loose shingles or loose or crumbling stones or bricks, loose shutters, railings, aerials, excessive peeling paint or other conditions reflective of deterioration or inadequate maintenance. Said conditions shall be corrected by repair or removal. All exposed exterior surfaces of structures not inherently resistant to deterioration shall be coated, treated or sealed to protect them from deterioration or weathering. Wood, masonry or other exterior materials that will naturally resist deterioration do not have to be treated but must be otherwise maintained in a sound, secure workmanlike manner. Exterior surfaces that have been painted or otherwise coated must be maintained in a neat, orderly, serviceable manner. Floors, walls, ceilings, stairs and fixtures of

buildings shall be maintained in a clean, safe, sanitary condition. Every floor, exterior wall, roof, porch or appurtenance thereto shall be maintained in a manner so as to prevent the collapse of the same or injury to the occupants of the building or to the public.

M. Exterior walls, roofs and all other parts of the structure shall be free from loose and unsecured objects and materials. Such objects or materials shall be removed or repaired. Dangerous accumulations of ice and snow shall be removed.

Rubbish was observed accumulated on the front porch of the building, potentially causing irritation to wildlife. Rubbish shall be stored in proper containers and removed from the property.

§ 263-9 Litter; sanitary facilities and methods; abandoned refrigerators.

A. Residential, commercial and industrial premises, whether improved or vacant, shall be maintained free of litter at all times; provided, however, that this section shall not prohibit the storage of litter in appropriate private receptacles for collection.

OWNER OR REPRESENTATIVE _____

Print Name

Signature

Compliance Time: Shall be completed **IMMEDIATELY** re-inspection will be conducted on 01/22/2025

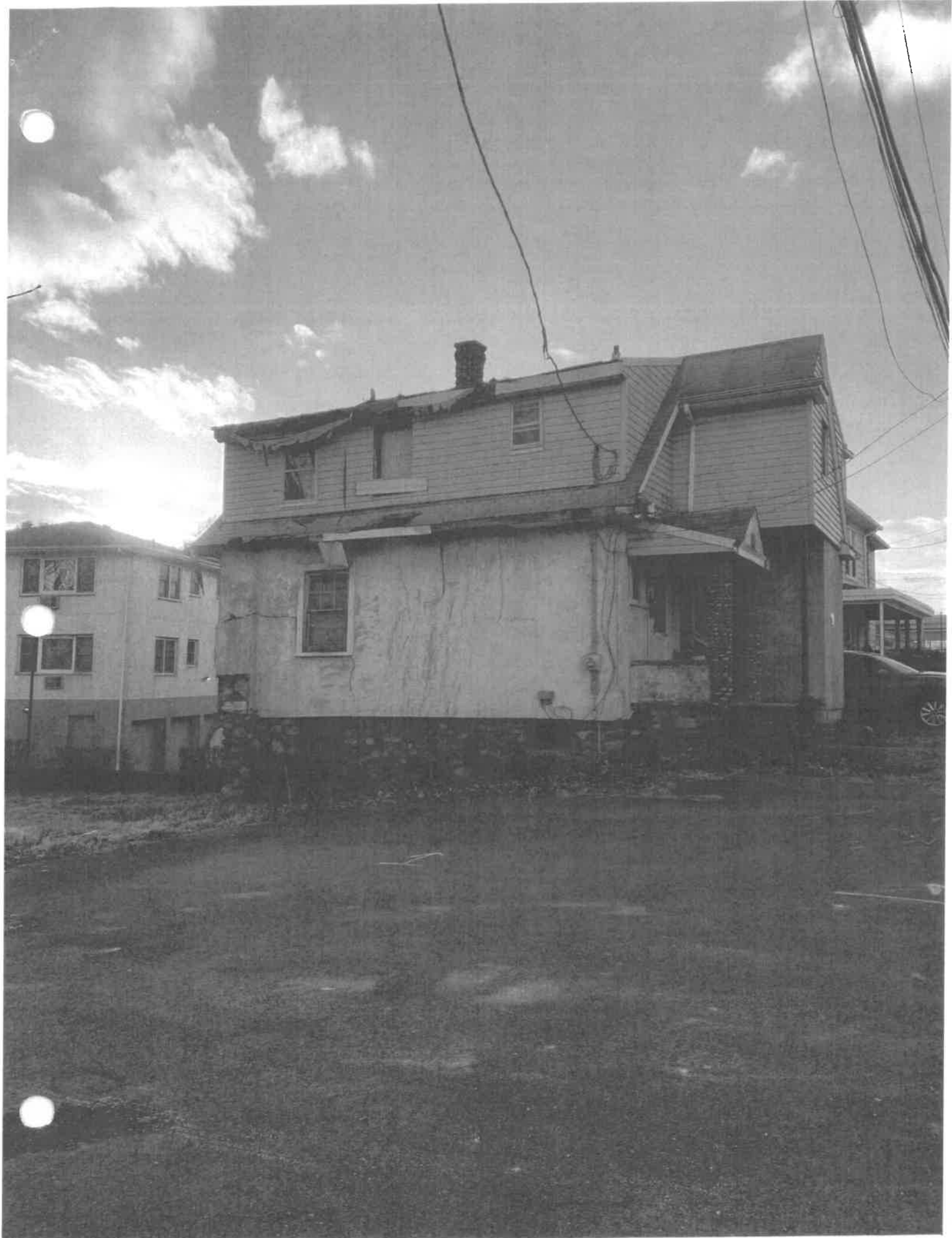
YOU ARE HEREBY PUT-ON NOTICE TO REMEDY THE ABOVE LISTED CODE VIOLATION(S). FAILURE TO REMEDY MAY CAUSE THE ISSUANCE OF A SUMMONS FOR PROSECUTION OF THE ABOVE LISTED VIOLATION(S).

PLEASE CONTACT OUR OFFICE WITH ANY QUESTIONS.

Inspector: Benjamin Wolford, Code Enforcement Officer

Phone #: (845) 358-4249
ext. 380

☐ Personally Served ☒ Posted the Building ☒ Regular Mail ☐ Certified Mail ☐ E-mail/Faxed









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MANNY A. CARMONA

Chief Building Inspector

LAST REVISED: 12/10/24

Name: Sinanaj Holdings LLC Lot #: 65.36-2-18.2 Date: 1/8/2025
Location: 53 W. Catherine St. Phone #: (917) 817-4617 Time: 4:00 PM

Type of Inspection:

- ☐ NEW CONSTRUCTION ☐ FIRE SAFETY & PROPERTY MAINTENANCE ☒ CODE VIOLATION
☒ EXISTING BUILDING ☐ RE-INSPECTION ☐ ZONING VIOLATION

ORDER TO REMEDY

COMMENTS: ☒ PENDING CORRECTION

Building materials, such as piping, were observed to be accumulated on the property. Building materials shall be removed.

§ 291-15 Removal of building debris or materials.

Whenever any building is being built, repaired or renovated, the debris from such job or building material of any kind shall be removed by and at the expense of the property owner or contractor.

§ 263-9 Litter; sanitary facilities and methods; abandoned refrigerators.

A. Residential, commercial and industrial premises, whether improved or vacant, shall be maintained free of litter at all times; provided, however, that this section shall not prohibit the storage of litter in appropriate private receptacles for collection.

OWNER OR REPRESENTATIVE _____

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