PROJECT NAME: 19 CATHERINE STREET

PROJECT ARCHITECT: DOMINICK R. PILLA ASSOCIATES PC

PROJECT ADDRESS: 19 CATHERINE ST. NYACK NY 10960

ISSUED: FOR REVIEW

ARCHITECTURAL PLANS

DATE: 3/20/2025

INDEX OF SYMBOLS

INTERIOR ELEVATION

ELEVATION MARK

US	ABOVE ACOUSTICAL	GD GDIS	GARAGE DRAIN GARBAGE DISPOSAL	PVC QTY	POLY VINYL CHLORIDE QUANTITY
	ACOUSTICAL CEILING TILE AREA DRAIN	GFRC GL	GLASS FIBER REINFORCED CONC. GLASS / GLAZING / GLAZE	R	RISER
	AMERICANS WITH DISABILITIES	GR	GRADE	R. RB	RADIUS RESILIENT BASE
	ACT (ACCESSIBILITY GUIDELINES) ADJUSTABLE	GUT Gyp	GUTTER GYPSUM	RD RECT	ROOF DRAIN RECTANGULAR
	ADJACENT ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD	REF	REFERENCE
	ACRYLIC LATEX SEALANT	H	HIGH	REFRIG REINF	REFRIGERATOR REINFORCING
M D	ALUMINUM ANODIZED	H/C HB	HANDICAPPED HOSE BIBB	REQ'D REV	REQUIRED REVISION
Н	ACCESS PANEL	HC HD	HOLLOW CORE	RF	ROOF
EM	ARCHITECT ASSEMBLY	HDF	HEAD HIGH DESITY FIBER BOARD	RL RLD	RELOCATED DOOR
	ASPHALT COMPOSITION TILES AVERAGE	HDWR HM	HARDWARE HOLLOW METAL	RM RO	ROOM ROUGH OPENING
I.	ARCHITECTURAL WOOD- WORKING INSTITUTE	HNCG HOLD.	HOLLOW NEOPRENE COMP. GASKET HOLD DIMENSION	RRD	RADIUS ROOF DRAIN
	BALCONY	HORZ	HORIZONTAL	RT SAN	RESILIENT TILE SANITARY
	BRICK COURSE BALCONY DRAIN	HP HR	HOLD POINT HOUR	SC	SOLID CORE
Л	BITUMINOUS BRACKET	HT HTH	HEIGHT HARD TROWEL, MOIST CURE	SCH SEC	SCHEDULE SECTION
N	BUILDING BUILT-IN		AND HARDENER	SEC'Y SF	SECRETARY SQUARE FOOT
.Ν	BEAM	HTS	HARD TROWEL, MOIST CURE AND SEAL	SFO	SOLICITATION FOR OFFER
	BRICK BUILT-UP ROOF	HVAC HW	HEATING, VENTILATING, AND A.C. HOT WATER	SHT SIM	SHEET SIMILAR
	BRONZE	HWH	HOT WATER HOT WATER HEATER	SP SPE	STAIR PRESSURIZATION STAND PIPE EXTENSION
	CONSTRUCTION ADMINISTRATOR CABINET	ICE.	ICE MAKER	SPEC	SPECIFICATION
	CATCH BASIN CEMENTITIOUS COATING	ID IN	INSIDE DIAMETER INCH	SQ SQ. YD.	SQUARE SQUARE YARD
	COVE CERAMIC TILE CEMENT	INCAD	INCANDESCENT	SS SSS	STAINLESS STEEL SILICONE SANITARY SEALANT
	CONTROL JOINT	INSUL INT	INSULATION INTERIOR	ST	STONE
	CORK JOINT FILLER CENTERLINE	J-BOX	JUNCTION BOX	STD STL	STANDARD STEEL
	CEILING	JAN	JANITOR	STP STR	STAND PIPE STAIR
	CLOSET CLEAR	JTWB JC	JATOBA HARDWOOD JANITOR'S CLOSET	STRUC	STRUCTURE / STRUCTURAL
	CONCRETE MASONRY UNIT COLUMN	JST JT	JOIST JOINT	SUP SUSP	SUPPLY SUSPENDED
•	CONCRETE	KD	KNOCKED DOWN	SYM SYS	SYMETRICAL SYSTEM
	CONFERENCE CONNECTION	KE	KITCHEN EXHAUST		
T	CONSTRUCTION CONTINUOUS	KIT KL	KITCHEN KNURLED LEVER (PUBLIC SIDE)	T T.O.	TREAD TOP OF
	CORRIDOR	L LAM	LENGTH LAMINATE		
	CARPET CONCEALED SPLINE	LAV	LAVATORY	T&G TBD	TONGUE & GROOVE TO BE DETERMINED
	CERAMIC TILE CENTER	LBS LIN	POUNDS LINEAR	TBS	TO BE SPECIFIED
	COLD WATER	LT	LIGHT / LIGHTING	TE TEL	TOILET EXHAUST TELEPHONE
	DEPTH	MACH	MACHINE	TEMP TGL	TEMPERATURE TEMPERED GLASS
	DEMOLITION DIAMETER	MAR MAS	MARBLE MASONRY MAXIMUM	THD THK	THRESHOLD
	DIMENSION DISPENSER	MAX MC	MAXIMUM MECHANICAL CONTRACTOR	TLT	THICK TOILET
	DISPOSAL	MDF MDO	MEDIUM DENSITY FIBER BOARD MEDIUM DENSITY OVERLAY	T.O.P. TYP	TOP OF PARAPET TYPICAL
	DOWN DAMPPROOFING	MECH	MECHANICAL	TIT	INDERWRITERIC I ADORATOR
	DOOR DOWNSPOUT	MEMB MFD	MEMBRANE MANUFACTURED	UL UON	UNDERWRITER'S LABORATOR'S UNLESS OTHERWISE NOTED
	DETAIL	MFR MH	MANUFACTURER MANHOLE	USG	U.S. GYPSUM COMPANY
	DRYWALL DRAWING	MIN	MINIMUM	VNL VCT	VINYL FABRIC VINYL COMPOSTION TILE
2	DISHWASHER EACH	MIRR MISC	MIRROR MISCELLANEOUS		VERTICAL
	ELECTRICAL CONTRACTOR	MIW	MICROWAVE	VEST VIF	VESTIBULE VERIFY IN FIELD
	EXT. INSULATION + FIN. SYS. EXPANSION JOINT	MO MRNG	MASONRY OPENING MOLDED RESILIENT	VWC	VERILL IN FIELD VINYL WALL COVERING
	ELEVATION ELECTRICAL	MTL	NEOPRENE GASK. METAL	W	WIDE / WIDTH
	ELEVATOR	MULL MW	MULLION METALLIC WATERPROOFING	W/ W/O	WITH WITHOUT
	ENTRANCE MAT ENCLOSURE ENGINEER			WC WD	WATER CLOSET WOOD
	ENGINEER EXPANDED POLYETH.	NAP NIC	NAPKIN NOT IN CONTRACT	WP	WATERPROOFING
	JOINTFILLER	NO NOM	NUMBER	WPT WPMEM	WORKING POINT WATERPROOF MEMBRANE
	EQUAL EQUIPMENT	NOM	NOMINAL NOT TO SCALE	WR WRGB	WATER RESISTANT
1	ESTIMATE ELECTRIC WATER CLOSET	OA	OUTSIDE AIR	WS	WETSTACK
	EXHAUST	OC OD	ON CENTER OUTSIDE DIAMETER	WT	WEIGHT
	EXISTING EXPANSION	OFF	OFFICE	YH	YARD HYDRANT
	EXTERIOR GRADE SOFFIT BOARD EXTERIOR	OPG OPP	OPENING OPPOSITE	1SRS	ONE-PART SILICONE RUBBER SEALANT
		OZ	OUNCE	2PUMS	TWO-PART POLYURETHANE
	FURNISH AND INSTALL FABRICATE	PNT	PAINT PLANTER DRAIN	2PUS	MODIFIED TWO-PART POLYURETHENE
	FLOOR DRAIN FIRE EXTINGUISHER	PD PDR	PLANTER DRAIN POWDER	2103	SEALANT
	FINISH(ED)	PH PLAM	PENTHOUSE PLASTIC LAMINATE	&	AND
	FLOORING FLOOR	PL	PROPERTY LINE	<u>@</u>	AT DEGREE
}	FLUORESCENT FOUNDATION	PLAS PLBG	PLASTIC PLUMBING	.e	DIAMETER
	FIREPROOF(ING)	PLT PLYWD	PLATE PLYWOOD	+/-	PLUS AND MINUS
	FIRE RATED FACE OF	POL	POLISHED		
	FOOT / FEET FOOTING	PP PPMC	PRECAST PAVERS POLYISOBUTYLENE/POLYBUTENE		
	10011110	PSF	MASTIC COMPOUND POUNDS PER SQUARE FOOT		
	CDANITE				
I	GRANITE GAUGE GALVANIZED	PT PTD	PRESSURE TREATED PAINTED		

GRID LINE

ROOM TAG

ELEVATION ABOVE

FINSIHED FLOOR

ROOM NAME

ROOM # - TEXT

WINDOW TAG

SMOKE DETECTOR

DOOR TAG

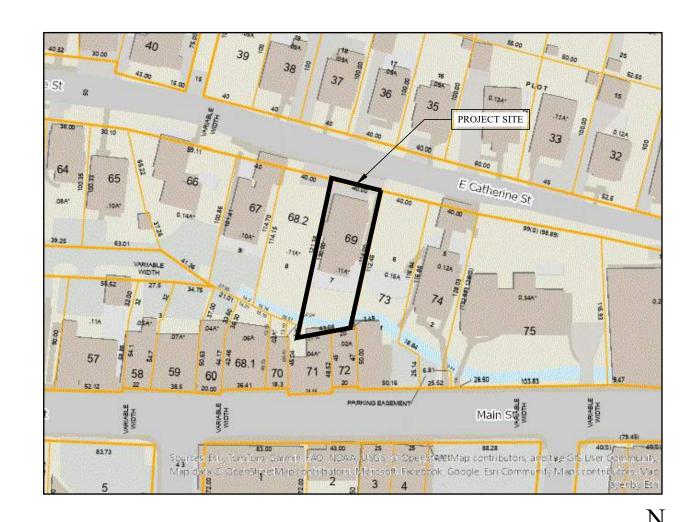
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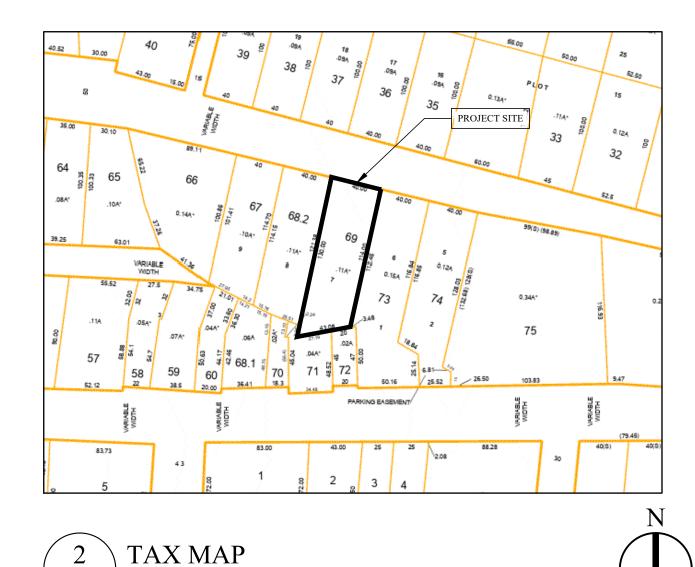
REVISION MARK

EXIT LIGHT WITH

DIRECTIONAL ARROWS









NOT TO SCALE

3	\ ZONING MAP	
	NOT TO SCALE	

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PROJECT INFORMATION:

PROJECT ADDRESS: 19 CATHERINE ST. NYACK, NY 10960

MARK COYNE **OWNER:**

19 CATHERINE STREET NYACK, NY 10960

ZONING INFORMATION:

TAX LOT: **SECTION:** 66.29 BLOCK 2 LOT 69

ZONING DISTRICT: REQUIRED PARKING:

1.0 PER EU; 2.0 PER 1 OR

GREATER BR

SCOPE OF WORK:

PROPOSED CONVERSION OF THE EXISTING SINGLE FAMILY RESIDENCE TO A TWO FAMILY RESIDENCE

BUILDING CODES:

- 2020 NYS STRETCH ENERGY CODE

WORK AREA:

• +/- 1,014 SQ FT

OCCUPANCY GROUP:

LIST OF VARIANCES:

• EXISTING NON-CONFORMING BULK ZONING. SEE

PROFESSIONAL STATEMENT:

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PERSONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE NYS ENERGY CODE 2020.

AUTOMATIC FIRE SPRINKLER SYSTEMS:

PENDING VARIANCE APPROVAL FROM NEW YORK DEPARTMENT OF STATE FOR AUTOMATIC SPRINKLER SYSTEMS REQUIRED FOR ONE- AND TWO-FAMILY **DWELLINGS**

R313.2

AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS WHERE SUCH DWELLINGS HAVE A HEIGHT OF THREE STORIES ABOVE GRADE PLANE.

- NEW YORK STATE RESIDENTIAL CODE 2020

DETACHED TWO-FAMILY DWELLING

ZONING ANALYSIS TABLE ON SHEET SP-001 FOR DETAILS.

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NO. DATE

19 CATHERINE STREET

NYACK, NY 10960

TITLE SHEET

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDG THE PLANS AND SPECIFICATIONS COMPLY WITH THE

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SEAL AND SIGNATURE:

DOMINICK R. PILLA, P.E., R.A. NY P.E. 074213-1 NY R.A. 027028-1

ISSUE:	FOR REVIEV
DATE:	3/20/2025
PROJECT NO.:	25-04
DRAWN/CHK BY:	MA/SN
SCALE:	AS NOTE
DWG NO.:	

T-001.00

T-001 TITLE SHEET

NEW YORK STATE RESIDENTIAL CODE 2020

APPENDIX J EXISTING BUILDINGS AND STRUCTURES

SECTION AJ201 DEFINITIONS

CHANGE OF OCCUPANCY. A CHANGE IN THE OCCUPANCY OR USE OF A BUILDING, SUCH AS A CHANGE FROM A ONE-FAMILY DWELLING TO A TWO-FAMILY DWELLING, OR FROM AN OCCUPANCY REGULATED BY THE BUILDING CODE OF NEW YORK STATE TO A DETACHED ONE-OR TWO-FAMILY DWELLING OR MULTIPLE SINGLE-FAMILY DWELLINGS (TOWNHOUSES) REGULATED BY THIS CODE.

SECTION AJ104 ENERGY EFFICIENCY

AJ104.2 CHANGE IN OCCUPANCY OR USE

SPACES UNDERGOING A CHANGE IN OCCUPANCY THAT WOULD RESULT IN AN INCREASE IN DEMAND FOR EITHER FOSSIL FUEL OR ELECTRICAL ENERGY SHALL COMPLY WITH SECTION N1111 OF THIS CODE.

SECTION AJ701 CHANGE OF OCCUPANCY

AJ701.1 SCOPE

WHERE THE CHARACTER OR USE OF AN EXISTING BUILDING IS CHANGED, AS DESCRIBED IN SECTION AJ301, TO A ONE- OR TWO-FAMILY DWELLING OR MULTIPLE SINGLE-FAMILY DWELLING (TOWNHOUSE) NOT MORE THAN THREE STORIES ABOVE GRADE PLANE IN HEIGHT WITH A SEPARATE MEANS OF EGRESS, OR WHERE AN OWNER-OCCUPIED ONE-FAMILY DWELLING IS CONVERTED FOR USE AS A BED AND BREAKFAST DWELLING, THE BUILDING SHALL COMPLY WITH THIS SECTION.

ALTERATIONS PERFORMED IN CONNECTION WITH A CHANGE OF OCCUPANCY SHALL COMPLY WITH SECTION AJ501 OR AJ601 AS APPLICABLE. CHANGES OF OCCUPANCY TO HISTORIC BUILDINGS SHALL COMPLY WITH THIS SECTION, EXCEPT AS MODIFIED BY SECTION AJ901. OWNER-OCCUPIED ONE-FAMILY DWELLINGS CONVERTED FOR USE AS A BED AND BREAKFAST DWELLINGS SHALL ALSO COMPLY WITH SECTION AJ702.

AJ701.2 COMPLIANCE

THE BUILDING SHALL COMPLY WITH THE PROVISIONS OF THIS CODE.

EXCEPTION: COMPLIANCE WITH THE PROVISIONS OF THIS CODE IS NOT REQUIRED WHERE THE CHANGE OF OCCUPANCY IS FROM A TWOFAMILY DWELLING TO A ONE-FAMILY DWELLING; SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE PROVIDED AS REQUIRED IN SECTION AJ701.3.

AJ701.2.1 EXISTING EMERGENCY ESCAPE AND RESCUE OPENINGS

EMERGENCY ESCAPE AND RESCUE OPENINGS NEED NOT MEET THE REQUIREMENTS OF THIS CODE WHERE SUCH OPENINGS WERE LAWFULLY IN EXISTENCE AT THE TIME OF THE ADOPTION OF THIS CODE.

AJ701.2.2 EXISTING STAIRS

EXISTING STAIRS ARE PERMITTED TO REMAIN, PROVIDED ALL OF THE FOLLOWING CONDITIONS ARE MET:

- 1. THE PRODUCT OBTAINED BY MULTIPLYING THE HEIGHT OF THE RISER BY THE DEPTH OF THE TREAD SHALL BE NOT LESS THAN 70 INCHES (1778 MM) NOR MORE THAN 80 INCHES (2032 MM). RISER HEIGHT SHALL NOT EXCEED 9 INCHES (229 MM).
- STAIRS SHALL HAVE MINIMUM HEADROOM OF 6 FEET 6 INCHES (1981 MM), EXCEPT THAT STAIRS FOR
 OCCASIONAL USE TO BASEMENTS AND ATTICS ARE PERMITTED TO HAVE MINIMUM HEADROOM OF 6
 FEET 4 INCHES (1930 MM).
- 3. VARIATIONS IN RISER HEIGHT IN A RUN OF STAIRS SHALL NOT EXCEED $^3/_8$ INCH (9.5 MM).
- 4. WIDTH SHALL BE NOT LESS THAN 30 INCHES (762 MM).

AJ701.2.3 EXISTING CEILING HEIGHTS

- 1. EXISTING CEILING HEIGHTS SHALL BE PERMITTED TO REMAIN IF THEY EQUAL OR EXCEED THE FOLLOWING:
- HABITABLE SPACE SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6 FEET 8 INCHES (2032 MM), MEASURED FROM THE FINISHED FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
 2. SPACE, OTHER THAN HABITABLE, SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6 FEET 6
- 2. SPACE, OTHER THAN HABITABLE, SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6 FEET 6 INCHES (1981 MM), MEASURED FROM THE FINISHED FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.

AJ701.2.4 EXISTING FOUNDATIONS

EXISTING FOUNDATIONS ARE PERMITTED TO REMAIN WHERE THE CHANGE IN USE WILL INCREASE THE SOIL BEARING PRESSURE BY NO MORE THAN 5 PERCENT.

AJ701.2.5 SEISMIC LOAD PROVISIONS

SPECIFIC SEISMIC LOAD DETAILING PROVISIONS REQUIRED FOR NEW STRUCTURES ARE NOT REQUIRED TO BE MET WHERE IT CAN BE SHOWN THAT AN ACCEPTABLE LEVEL OF PERFORMANCE AND SEISMIC SAFETY IS OBTAINED FOR THE APPLICABLE SEISMIC DESIGN CATEGORY.

AJ701.3 FIRE AND LIFE SAFETY PROTECTION

FIRE AND LIFE SAFETY PROTECTION SHALL COMPLY WITH THIS SECTION.

AJ701.3.1 SMOKE ALARMS

SMOKE ALARMS, LOCATED AS REQUIRED FOR NEW DWELLINGS, SHALL BE PROVIDED; THE SMOKE ALARMS SHALL BE INTERCONNECTED IN ACCORDANCE WITH SECTION R314.4.

EXCEPTION: IN OTHER THAN BED AND BREAKFAST DWELLINGS, SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED TO BE INTERCONNECTED AND HARD WIRED WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE.

AJ701.3.1.1 POWER SOURCE

SMOKE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHEN INSTALLED IN BUILDINGS WITHOUT COMMERCIAL POWER OR AN ON-SITE ELECTRICAL POWER SYSTEM, OR IN BUILDINGS WHERE EXISTING INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE.

AJ701.3.1.2 INTERCONNECTION

SMOKE ALARMS SHALL NOT BE REQUIRED TO BE INTERCONNECTED WHERE BATTERY OPERATED ALARMS ARE PERMITTED.

AJ701.3.2 CARBON MONOXIDE ALARMS

WHERE A BUILDING UNDERGOES A CHANGE OF OCCUPANCY TO A DWELLING UNIT, CARBON MONOXIDE ALARMS SHALL BE PROVIDED THROUGHOUT THE DWELLING UNIT. THE SELECTION, DESIGN, AND LOCATION OF CARBON MONOXIDE ALARMS SHALL COMPLY WITH THE REQUIREMENTS FOR NEW CONSTRUCTION.

AJ701.3.2.1 POWER SUPPLY AND INTERCONNECTION

- 1. CARBON MONOXIDE ALARMS POWERED BY A 10-YEAR BATTERY SHALL BE ALLOWED AND INTERCONNECTION OF ALARMS SHALL NOT BE REQUIRED IN:
- 2. BUILDINGS THAT UNDERGO A CHANGE OF OCCUPANCY UNLESS OTHERWISE REQUIRED BY OTHER
- APPLICABLE PROVISIONS OF THE UNIFORM CODE.

 3. DWELLING UNITS WITHOUT COMMERCIAL POWER.

AJ701.3.3 AUTOMATIC FIRE SPRINKLER SYSTEM

AN AUTOMATIC SPRINKLER SYSTEM AS REQUIRED FOR NEW DWELLINGS SHALL BE PROVIDED.

CHAPTER 3 BUILDING PLANNING

R303.1 HABITABLE ROOMS

HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE OPENABLE AREA TO THE OUTDOORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.

R304 MINIMUM ROOM AREAS

R304.1 MINIMUM AREA

HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 70 SQUARE FEET (6.5 M2).

R304.2 MINIMUM DIMENSIONS

HABITABLE ROOMS SHALL BE NOT LESS THAN 7 FEET (2134 MM) IN ANY HORIZONTAL DIMENSION EXCEPTION: KITCHENS.

R305.1 MINIMUM HEIGHT

HABITABLE SPACE, HALLWAYS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET (2134 MM). BATHROOMS, TOILET ROOMS AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6 FEET 8 INCHES (2032 MM).

EXCEPTIONS:

- 1. FOR ROOMS WITH SLOPED CEILINGS, THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 5 FEET (1524 MM) AND NOT LESS THAN 50 PERCENT OF THE REQUIRED FLOOR AREA SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET (2134 MM).
- 2. THE CEILING HEIGHT ABOVE BATHROOM AND TOILET ROOM FIXTURES SHALL BE SUCH THAT THE FIXTURE IS CAPABLE OF BEING USED FOR ITS INTENDED PURPOSE. A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6 FEET 8 INCHES (2032 MM) ABOVE AN AREA OF NOT LESS THAN 30 INCHES (762 MM) BY 30 INCHES (762 MM) AT THE SHOWERHEAD.
- 3. BEAMS, GIRDERS, DUCTS OR OTHER OBSTRUCTIONS IN BASEMENTS CONTAINING HABITABLE SPACE SHALL BE PERMITTED TO PROJECT TO WITHIN 6 FEET 4 INCHES (1931 MM) OF THE FINISHED FLOOR.

R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

EXCEPTIONS:

- 1. STORM SHELTERS AND BASEMENTS USED ONLY TO HOUSE MECHANICAL EQUIPMENT NOT
- EXCEEDING A TOTAL FLOOR AREA OF 200 SQUARE FEET (18.58 M2).
 WHERE THE DWELLING OR TOWNHOUSE IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION P2904, SLEEPING ROOMS IN BASEMENTS SHALL NOT BE REQUIRED TO HAVE EMERGENCY ESCAPE AND RESCUE OPENINGS PROVIDED THAT THE BASEMENT HAS ONE OF THE FOLLOWING:
- ONE MEANS OF EGRESS COMPLYING WITH SECTION R311 AND ONE EMERGENCY ESCAPE AND RESCUE OPENING.
- TWO MEANS OF EGRESS COMPLYING WITH SECTION R311.

R310.1.1 OPERATIONAL CONSTRAINTS AND OPENING CONTROL DEVICES

EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING SHALL COMPLY WITH ASTM F2090.

R310.2 EMERGENCY ESCAPE AND RESCUE OPENINGS

EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS AS SPECIFIED IN THIS SECTION.

R310.2.1 MINIMUM OPENING AREA

EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M2). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24 INCHES (610 MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508 MM).

EXCEPTION: GRADE FLOOR OPENINGS OR BELOW-GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5 SQUARE FEET (0.465 M2).

R310.2.2 WINDOW SILL HEIGHT

WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR; WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

R311.1 MEANS OF EGRESS

DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS IN ACCORDANCE WITH THIS SECTION. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

R311.2 EGRESS DOOR

NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

SECTION R313 AUTOMATIC FIRE SPRINKLER SYSTEMS

R313.2 ONE- AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SPRINKLER SYSTEMS

AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS WHERE SUCH DWELLINGS HAVE A HEIGHT OF THREE STORIES ABOVE GRADE PLANE.

DRPILLA CONSULTING ENGINEERS

845.727.7793
 143 Main Street Nyack, NY, 10960
 drpilla.com
 212.224.9520
 5 Columbus Circle, 11th F New York, NY, 10019

NO. DATE DESCRIPTION

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NYACK. NY 10960

BUILDING CODE NOTES

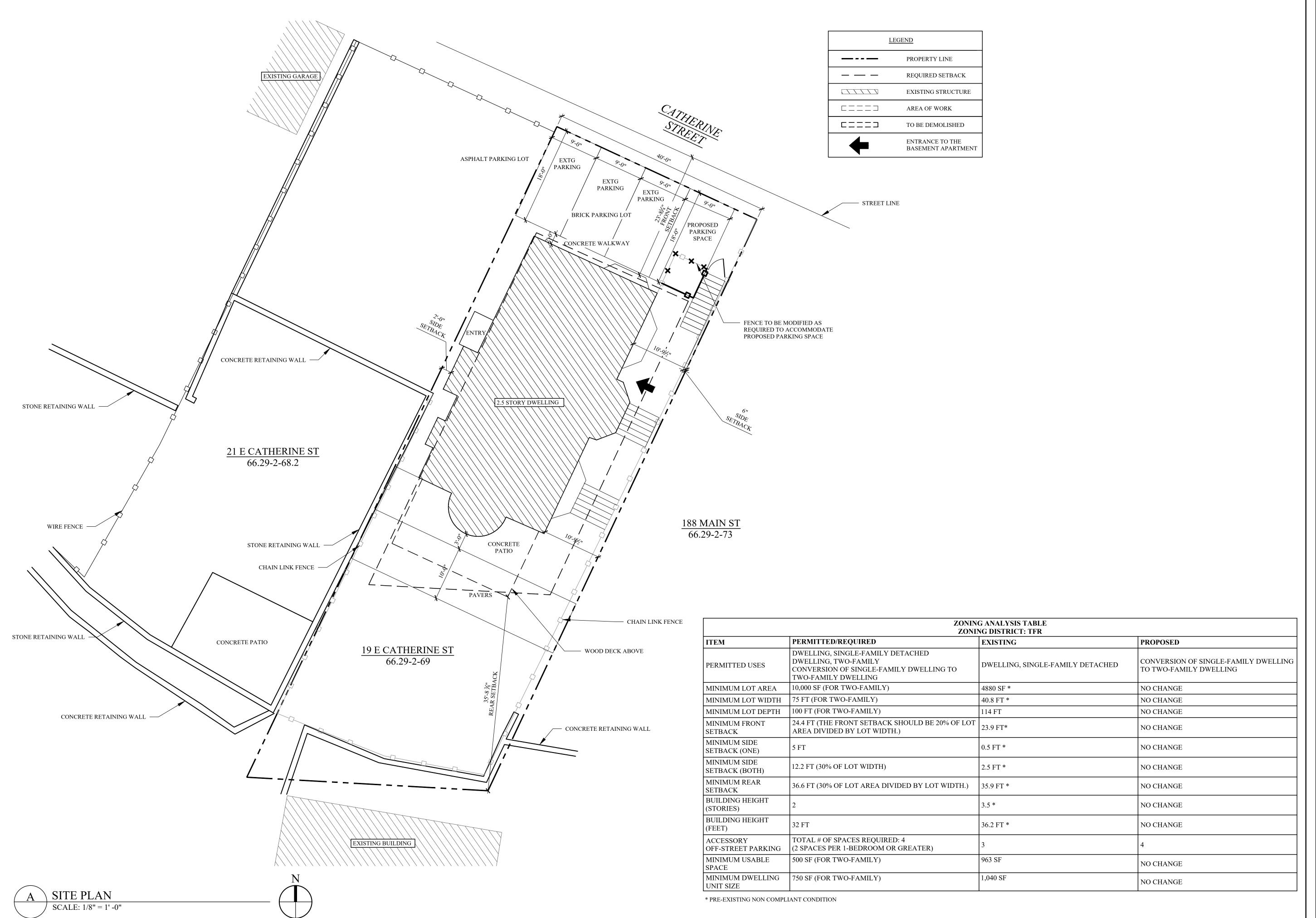
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PROJECT NO.:	25-04
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SCALE:	AS NOTE

G-001.00

T-001 TITLE SHEET 2 OF



CONSULTING ENGINEERS - DOMINICK R. PILLA ASSOCIATES-

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Nyack, NY, 10960 New York, NY, 10019

DESCRIPTION

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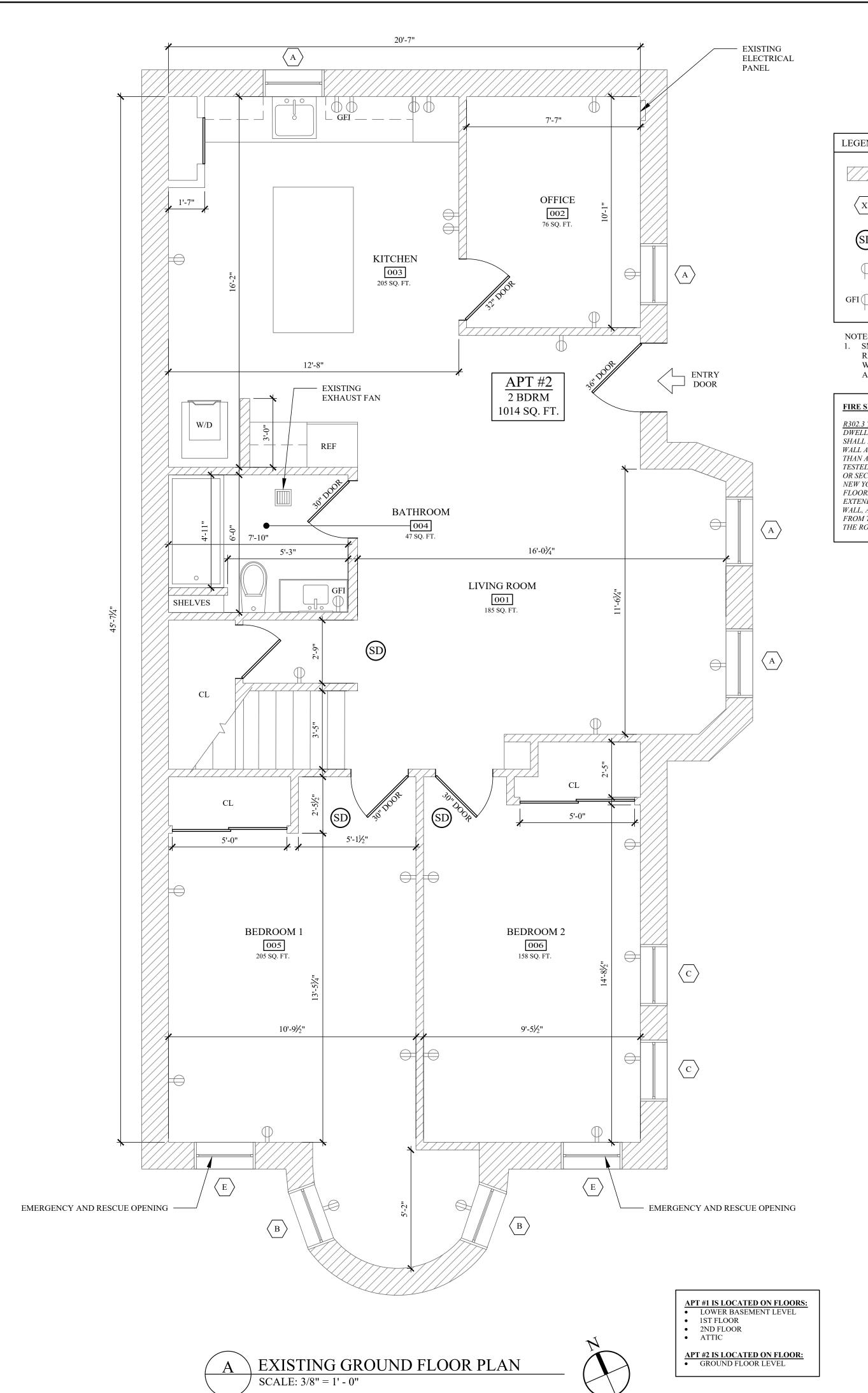
SITE PLAN

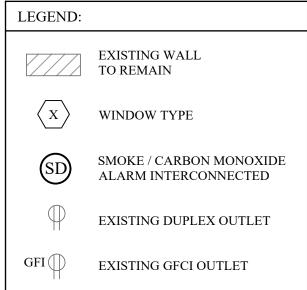
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SP-001 SITE PLAN



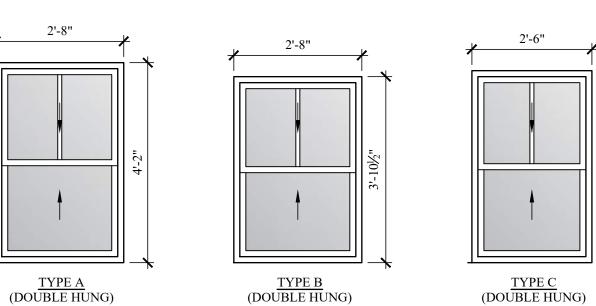


1. SMOKE ALARMS SHALL NOT BE REQUIRED TO BE INTERCONNECTED WHERE BATTERY OPERATED ALARMS ARE PERMITTED.

FIRE SEPARATION

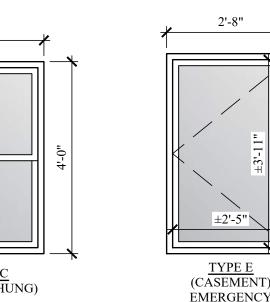
R302.3 TWO-FAMILY DWELLINGS

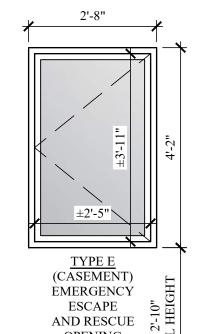
DWELLING UNITS IN TWO-FAMILY DWELLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING WHERE TESTED IN ACCORDANCE WITH ASTM E119, UL 263 OR SECTION 703.3 OF THE BUILDING CODE OF NEW YORK STATE. FIRE-RESISTANCE-RATED FLOOR/CEILING AND WALL ASSEMBLIES SHALL EXTEND TO AND BE TIGHT AGAINST THE EXTERIOR WALL, AND WALL ASSEMBLIES SHALL EXTEND FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING.



WINDOW TYPES

SCALE: 1/2"=1'-0"





OPENING

R310.2.1 MINIMUM OPENING AREA EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN **5.7 SQUARE FEET** (0.530 M2). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN <u>24 INCHES</u> (610 MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN <u>20 INCHES</u> (508 MM).

NYS STRETCH ENERGY CODE 2020 FENESTRATION U-FACTOR = 0.27 MAX (TABLE R402.1.4)

LIGHT AND AIR CALCULATIONS						
ROOM#	ROOM NAME	ROOM AREA (SF)	LIGHT AREA REQ'D (SF)	LIGHT AREA SUPPLIED (SF)	VENT. AREA REQ'D (SF)	VENT. AREA SUPPLIED (SF)
#001	LIVING ROOM	185 SF	14.8 SF	15 SF	7.4 SF	7.5 SF
#005	BEDROOM 1	205 SF	16.4 SF	22.5 SF	8.2 SF	11.3 SF
#006	BEDROOM 2	158 SF	12.6 SF	22.5 SF	6.3 SF	11.3 SF

R303.1 HABITABLE ROOMS

HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN **8 PERCENT** OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE OPENABLE AREA TO THE OUTDOORS SHALL BE NOT LESS THAN <u>4 PERCENT</u> OF THE FLOOR AREA BEING VENTILATED.

DRPILLA
CONSULTING ENGINEERS
- DOMINICK R. PILLA ASSOCIATES -

9 143 Main Street 9 5 Columbus Circle, 11th Fl Nyack, NY, 10960 New York, NY, 10019

DESCRIPTION

NO. DATE

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EXISTING GROUND FLOOR PLAN

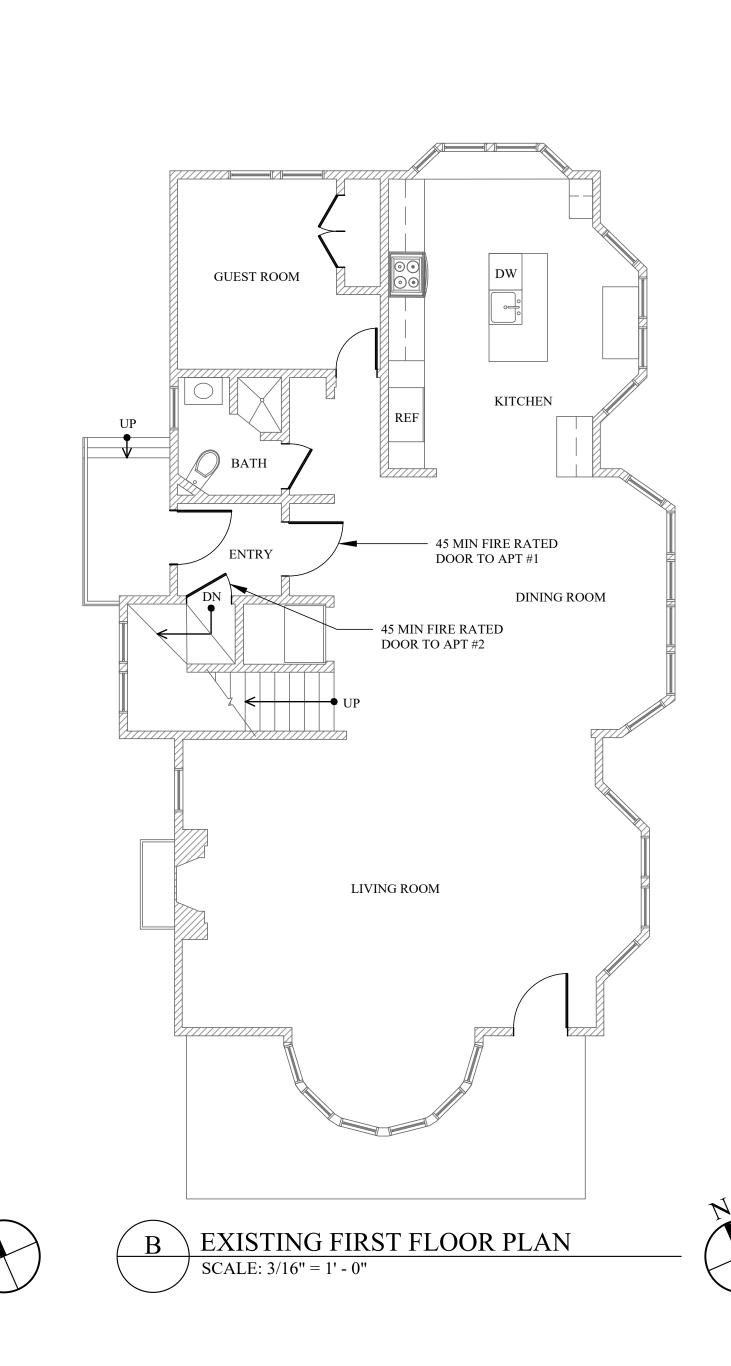
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A-101 EXISTING FLOOR PLANS



OFFICE

RECREATION ROOM

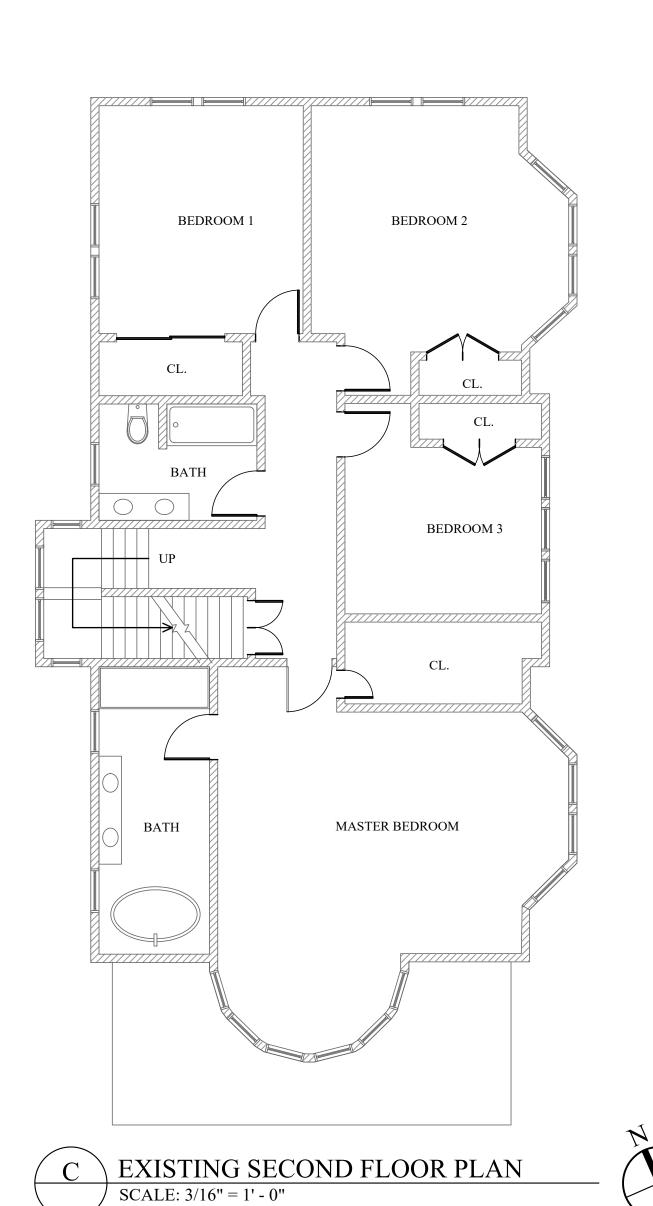
KITCHEN

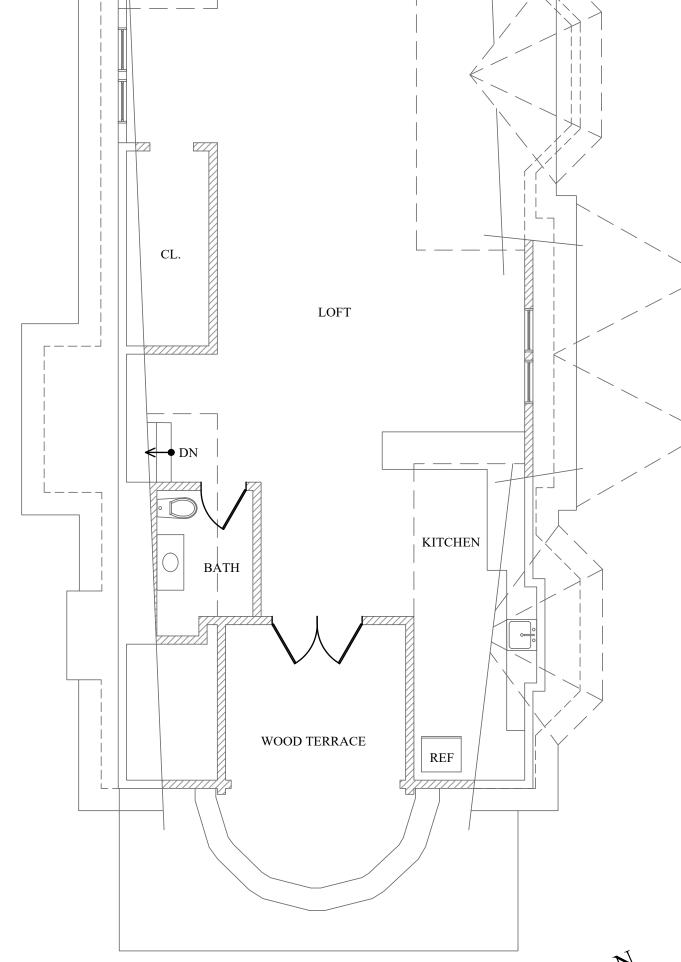
EXISTING LOWER BASEMENT FLOOR PLAN

DEN

UTILITY ROOM

SCALE: 3/16" = 1' - 0"





_ EXISTING ATTIC FLOOR PLAN SCALE: 3/16" = 1' - 0"

APT #1 IS LOCATED ON FLOORS:

LOWER BASEMENT LEVEL

1ST FLOOR

APT #2 IS LOCATED ON FLOOR:

GROUND FLOOR LEVEL

• 2ND FLOOR • ATTIC

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EXISTING FLOOR PLANS

NYACK, NY 10960

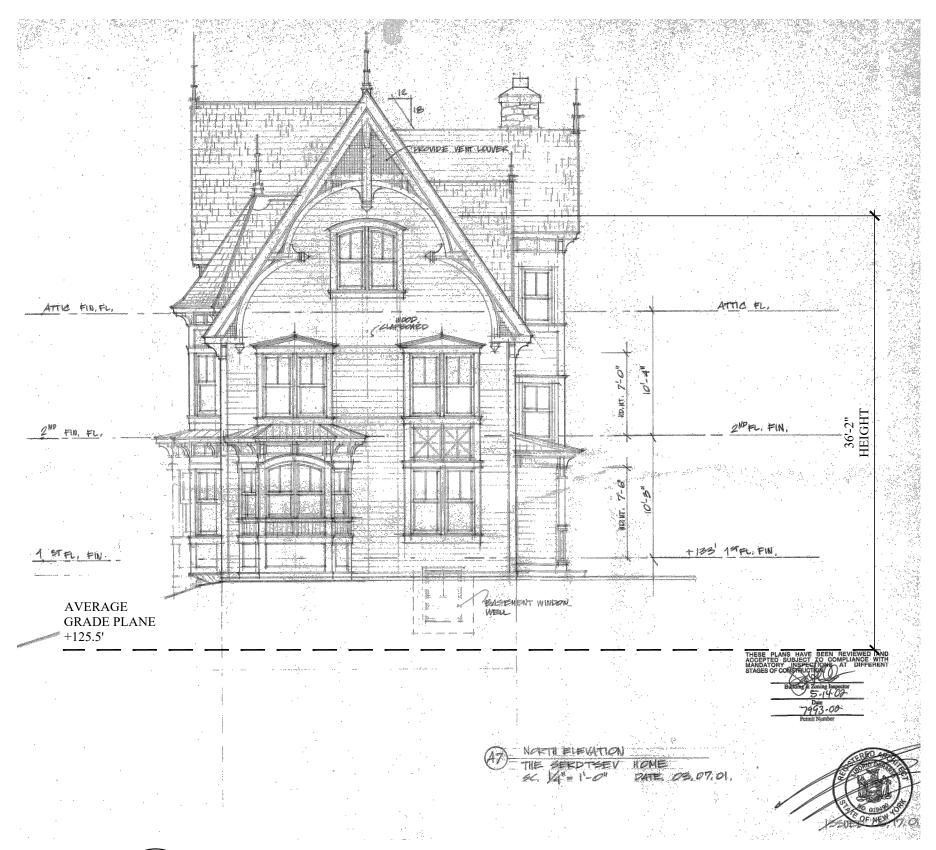
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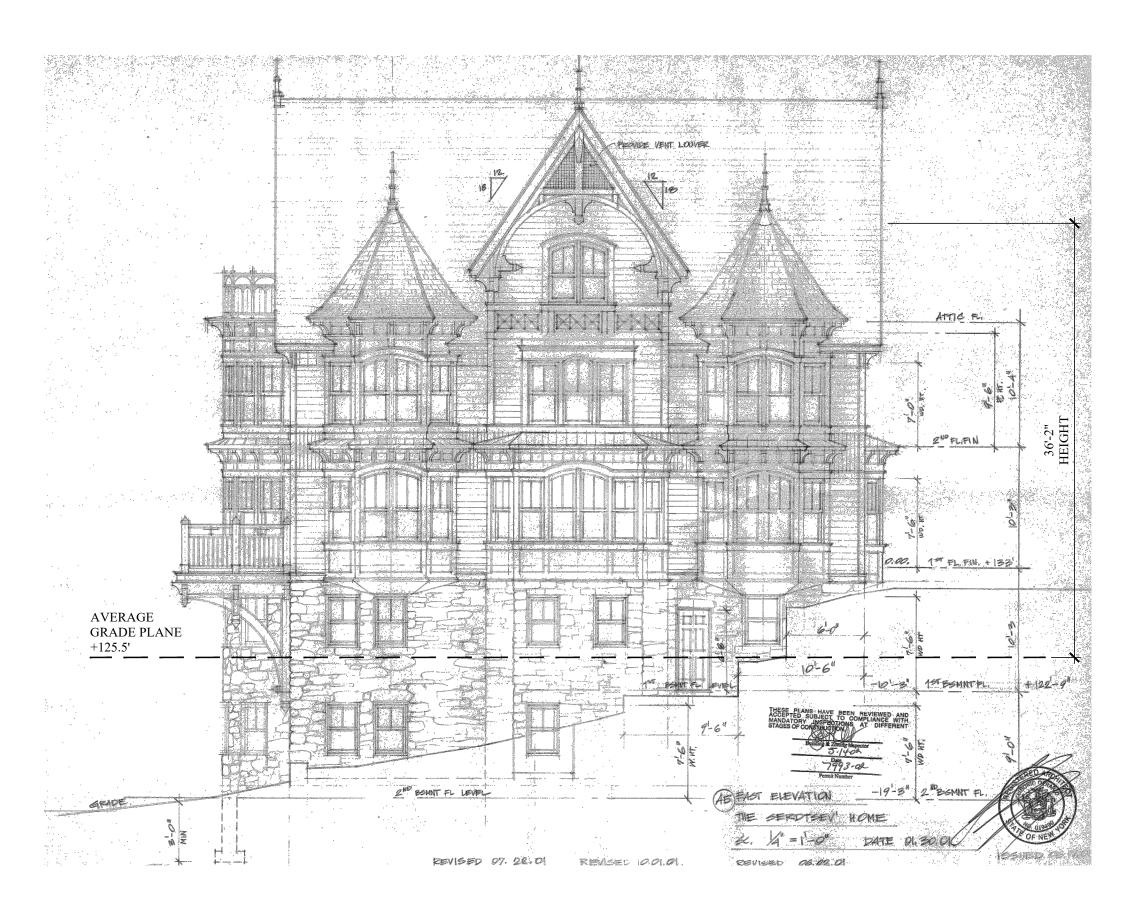
A-101 EXISTING FLOOR PLANS 5 OF 6



A NORTH ELEVATION

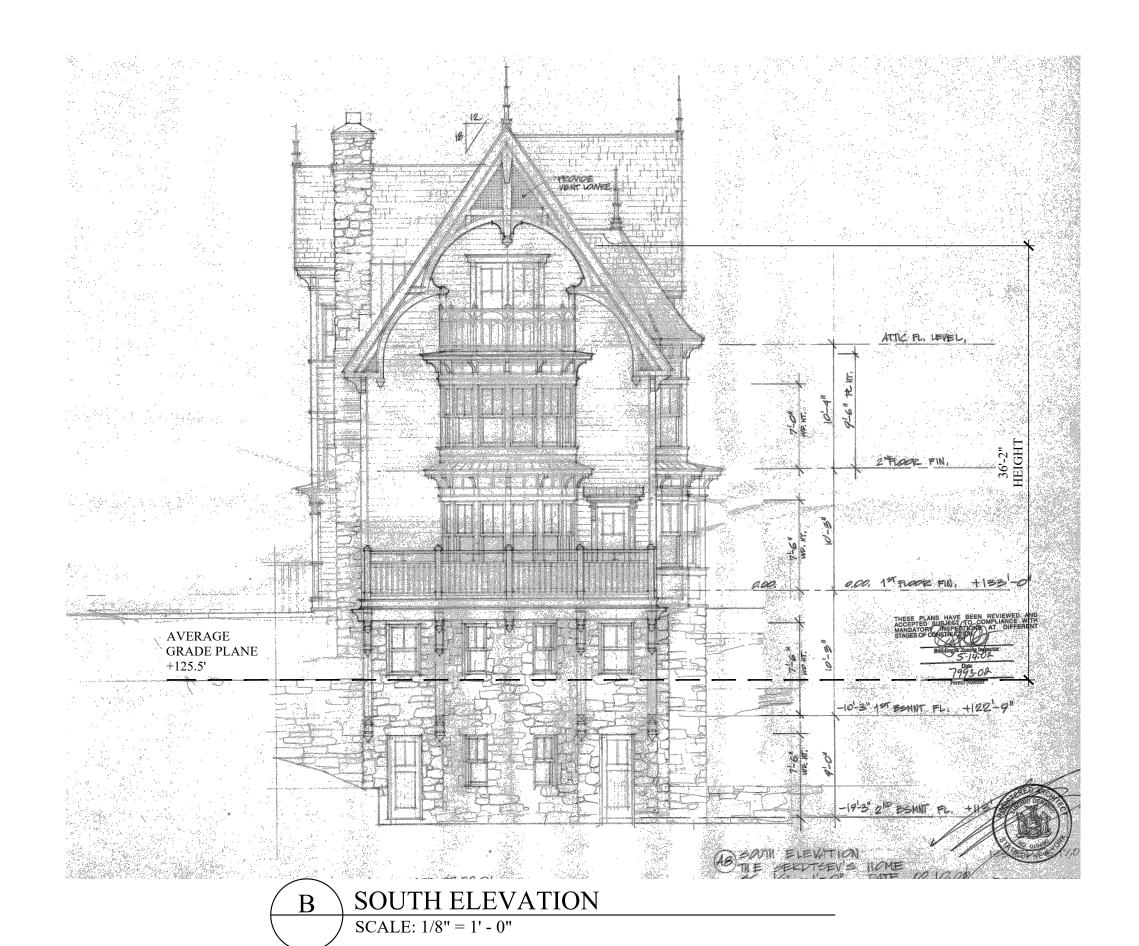
SCALE: 1/8" = 1' - 0"

NOTE: EXISTING ELEVATIONS ARE FROM ORIGINAL PLANS PREPARED BY ARCHITECT LIBORIO DERARIO WITH ARCHITECTURAL DRAWINGS DATED 06.17.01

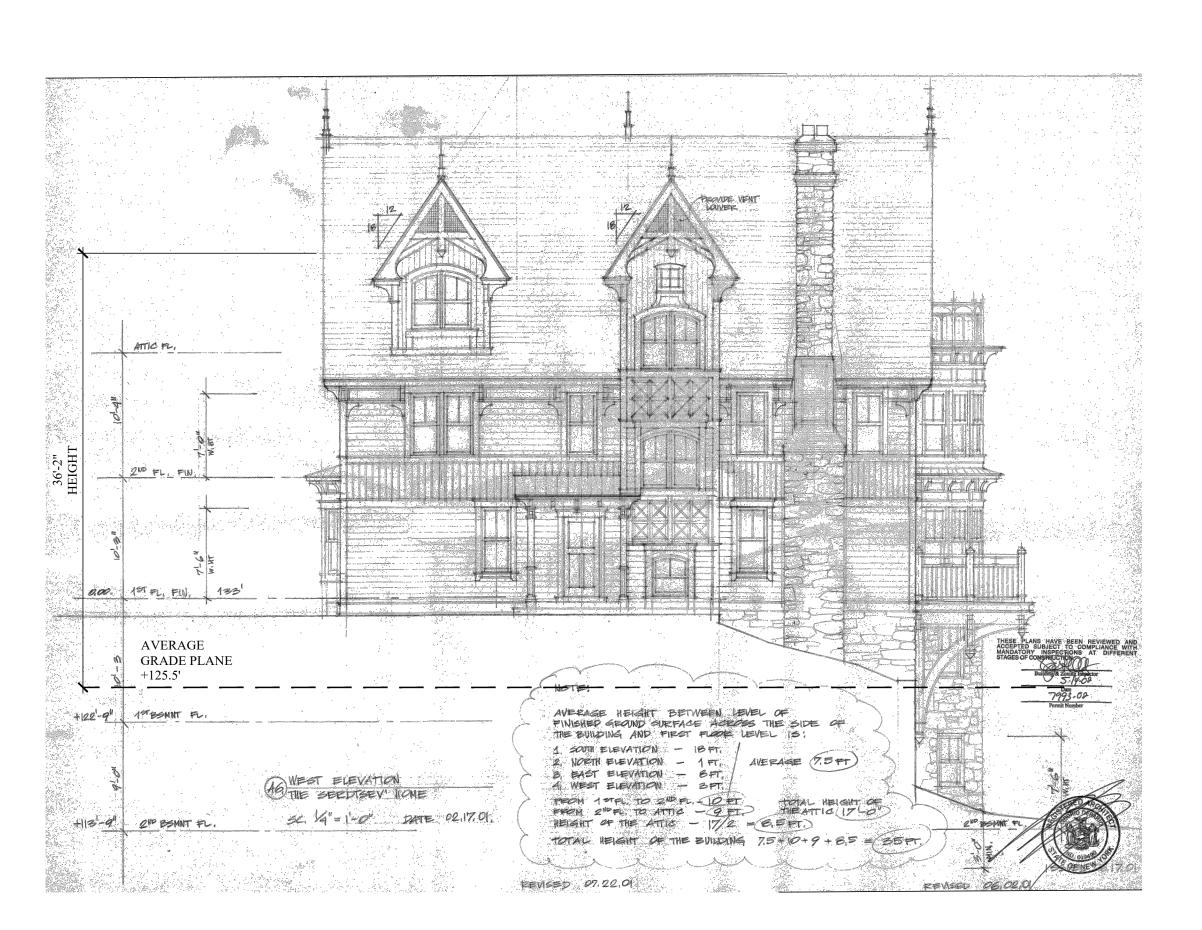


C EAST ELEVATION
SCALE: 1/8" = 1' - 0"

NOTE: EXISTING ELEVATIONS ARE FROM ORIGINAL PLANS PREPARED BY ARCHITECT LIBORIO DERARIO WITH ARCHITECTURAL DRAWINGS DATED 06.17.01



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A-200 EXISTING ELEVATIONS 6 OF