

PROJECT NAME: 19 CATHERINE STREET

PROJECT ARCHITECT: DOMINICK R. PILLA ASSOCIATES PC

PROJECT ADDRESS: 19 CATHERINE ST. NYACK NY 10960

ISSUED: FOR REVIEW

DATE: 3/20/2025

INDEX OF ABBREVIATIONS

ABV	ABOVE	GD	GARAGE DRAIN	PVC	POLY VINYL CHLORIDE
ACOUS	ACOUSTICAL	GDS	GARAGE DISPOSAL	QTY	QUANTITY
ACT	ACOUSTICAL CEILING TILE	GFRC	GLASS FIBER REINFORCED CONC.	R	RISER
AD	AREA DRAIN	GL	GLASS / GLAZING / GLAZE	R.	RADIUS
ADA	AMERICANS WITH DISABILITIES ACT (ACCESSIBILITY GUIDELINES)	GR	GRADE	RB	RESILIENT BASE
ADJ	ADJUSTABLE	GUT	GUTTER	RD	ROOF DRAIN
AJC	ADJACENT	GYP	GYPSUM	RECT	RECTANGULAR
AFF	ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD	REF	REFERENCE
ALS	ALUMINUM	H	HIGH	REFRIG	REFRIGERATOR
ALUM	ALUMINUM	H/C	HANDICAPPED	REINF	REINFORCING
ANOD	ANODIZED	HB	HOSE BIBB	REQ'D	REQUIRED
ARCH	ARCHITECT	HC	HOLLOW CORE	REV	REVISION
ASSEM	ASSEMBLY	HD	HEAD	RF	ROOF
AST	ASPHALT COMPOSITION TILES	HDF	HIGH DENSITY FIBER BOARD	RELOCATED	
AVG	AVERAGE	HDWR	HARDWARE	RLD	ROOM
A.W.I.	ARCHITECTURAL WOOD-WORKING INSTITUTE	HM	HOLLOW METAL	RM	ROUGH OPENING
B	BRICK COURSE	HNCG	HOLLOW NEOPRENE COMP. GASKET	RO	RADIUS ROOF DRAIN
BC	BALCONY DRAIN	HOLD.	HOLD DIMENSION	RT	RESILIENT TILE
BD	BITUMINOUS	HORZ	HORIZONTAL	SAN	SANITARY
BKT	BRACKET	HP	HOLD POINT	SC	SOLID CORE
BLT-IN	BUILT-IN	HR	HOUR	SCH	SCHEDULE
BM	BEAM	HT	HEIGHT	SEC	SECTION
BR	BUILT-UP ROOF	HTH	HARD TROWEL, MOIST CURE AND HARDENER	SECY	SECRETARY
BZ	BRONZE	HTS	HOT WATER HEATER	SF	SQUARE FOOT
CAB	CONSTRUCTION ADMINISTRATOR	HVAC	HEATING, VENTILATING, AND A.C.	SFO	SOLICITATION FOR OFFER
CB	CATCH BASIN	HW	HOT WATER HEATER	SHT	SHEET
CC	CEMENTITIOUS COATING	ICE	ICE MAKER	SIM	SIMILAR
CCCT	COVE CERAMIC TILE	ID	INSIDE DIAMETER	SP	STAIR PRESSURIZATION
CEM	CEMENT	IN	INCH	ST	STONE
CEJ	CONTROL JOINT	INCAD	INCANDESCENT	SP	STAIR PRESSURIZATION
CJF	CORK JOINT FILLER	INT	INTERIOR	SPE	SPECIFICATION
CL	CENTERLINE	J-BOX	JUNCTION BOX	SQ	SQUARE
CLG	CEILING	JAN	JANITOR	SQ. YD.	SQUARE YARD
CLO	CLOSET	JATOB	JATOBIA HARDWOOD	ST	STAINLESS STEEL
CLR	CLEAR	JTBW	JANITOR'S CLOSET	SSS	SILICONE SANITARY SEALANT
CMU	CONCRETE MASONRY UNIT	JT	JOINT	STD	STANDARD
CONC	CONCRETE	KD	KNOCKED DOWN	STL	STEEL
CONF	CONFERENCE	KE	KITCHEN EXHAUST	STP	STAND PIPE
CONN	CONNECTION	KIT	KITCHEN	STR	STAIR
CONST	CONSTRUCTION	KIL	KITCHEN	STRUC	STRUCTURE / STRUCTURAL
CONT	CONTINUOUS	KL	KNORLED LEVER (PUBLIC SIDE)	SUP	SUPPLY
CORR	CORRIDOR	L	LENGTH	SUSP	SUSPENDED
CPT	CARPET	LAM	LAMINATE	SYM	SYMMETRICAL
CS	CONCEALED SPLINE	LAV	LAVATORY	SYS	SYSTEM
CT	CERAMIC TILE	LBS	POUNDS	T	TREAD
CTR	CENTER	LIN	LINEAR	T.O.	TOP OF
CW	COLD WATER	LT	LIGHT / LIGHTING	T&G	TONGUE & GROOVE
DEMO	DEMOLITION	MACH	MACHINE	TBD	TO BE DETERMINED
DIA	DIAMETER	MAR	MARBLE	TBS	TO BE SPECIFIED
DIM	DIMENSION	MAS	MASONRY	TEL	TELEPHONE
DISP	DISPENSER	MAX	MAXIMUM	TEMP	TEMPERATURE
DISPL	DISPOSAL	MC	MECHANICAL CONTRACTOR	TCIL	TEMPERED GLASS
DN	DOWN	MDF	MEDIUM DENSITY FIBER BOARD	THD	THRESHOLD
DP	DAMP PROOFING	MDO	MEDIUM DENSITY OVERLAY	THK	THICK
DR	DOOR	MDC	MEDIUM DENSITY OVERLAY	TLT	TOILET
DS	DOWNSPOUT	MEMB	MEMBRANE	T.O.P.	TOP OF PARAPET
DTL	DETAIL	MFD	MANUFACTURED	TYP	TYPICAL
DW	DRYWALL	MFR	MANUFACTURER	UL	UNDERWRITER'S LABORATORY
DWG	DRAWING	MH	MANHOLE	UON	UNLESS OTHERWISE NOTED
DWSR	DISHWASHER	MIN	MINIMUM	USG	U.S. GYPSUM COMPANY
EA	EACH	MIR	MIRROR	VNL	VINYL FABRIC
EC	ELECTRICAL CONTRACTOR	MISC	MISCELLANEOUS	VCT	VINYL COMPOSITION TILE
EFS	EXT. INSULATION + FIN. SYS.	MIW	MICROWAVE	VCT	VERTICAL
EJ	EXPANSION JOINT	MO	MASONRY OPENING	VEST	VESTIBULE
EL	ELEVATION	MRNG	MOLD RESILIENT	VIF	VERIFY IN FIELD
ELEC	ELECTRICAL	MTL	METAL	VVC	VINYL WALL COVERING
ELEV	ELEVATOR	MULL	MULLION	W	WIDE / WIDTH
EM	ENTRANCE MAT	MW	METALLIC WATERPROOFING	W/	WITH
ENCL	ENCLOSURE	NAP	NAPKIN	W/O	WITHOUT
ENG	ENGINEER	NIC	NOT IN CONTRACT	WC	WATER CLOSET
EPJF	EXPANDED POLYETH.	NO	NUMBER	WD	WOOD
EQ	EQUIPMENT	NO	NUMBER	WP	WATERPROOFING
EQIP	EQUIPMENT	NOM	NOMINAL	WPT	WORKING POINT
EST	ESTIMATE	NTS	NOT TO SCALE	WR	WATERPROOF MEMBRANE
EW	ELECTRIC WATER CLOSET	OA	OUTSIDE AIR	WR	WATER RESISTANT
EXH	EXHAUST	OC	ON CENTER	WS	WET STACK
EXST	EXISTING	OD	OUTSIDE DIAMETER	WT	WEIGHT
EXP	EXPANSION	OFF	OFFICE	YH	YARD HYDRANT
EXSB	EXTERIOR GRADE SOFFIT BOARD	OPG	OPENING	1SR	ONE-PART SILICONE RUBBER SEALANT
EXT	EXTERIOR	OPP	OPPOSITE	2PUMS	TWO-PART POLYURETHANE MODIFIED SEALANT
F&B	FURNISH AND INSTALL	OZ	OUNCE	2PUS	TWO-PART POLYURETHANE SEALANT
FAB	FABRICATE	PNT	PAINT	&	AND
FD	FLOOR DRAIN	PD	PLANTER DRAIN	@	AT
FE	FIRE EXTINGUISHER	PDR	POWDER	•	DIAMETER
FIN	FINISHED	PH	PENTHOUSE	+/-	PLUS AND MINUS
FLG	FLOORING	PLAM	PLASTIC LAMINATE		
FLR	FLOOR	PL	PROPERTY LINE		
FLUOR	FLUORESCENT	PLAS	PLASTIC		
FND	FOUNDATION	PLBG	PLUMBING		
FR	FIRE RATED	PLT	PLATE		
FO	FACE OF	PLYWD	PLYWOOD		
FT	FOOT / FEET	POL	POLISHED		
FTG	FOOTING	PP	PRECAST PAVERS		
G	GRANITE	PPMC	POLYISOBUTYLENE/POLYBUTENE MASTIC COMPOUND		
GALV	GALVANIZED	PSF	POUNDS PER SQUARE FOOT		
GC	GENERAL CONTRACTOR	PT	PRESSURE TREATED		
		PTD	PAINTED		
		PTN	PARTITION		

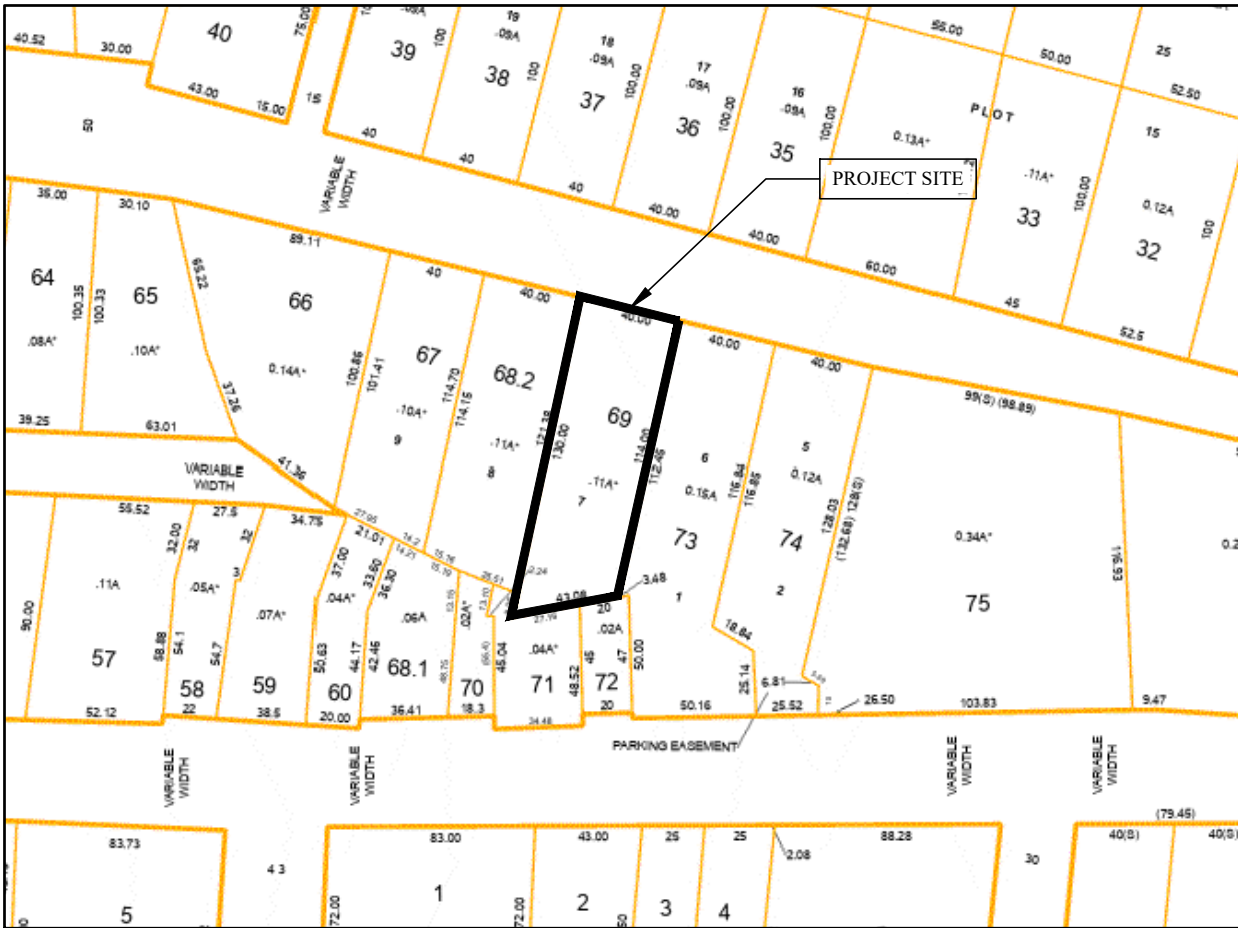
INDEX OF SYMBOLS

INTERIOR ELEVATION MARK	GRID LINE	WINDOW TAG
DETAIL MARK	HEIGHT	DOOR TAG
ELEVATION MARK	ROOM TAG	SMOKE DETECTOR
SECTION MARK	ROOM NAME ROOM # - TEXT COMMENT	KEYED NOTE
	FIN. CLG. 8'-0" AFF	PARTITION TYPE
		REVISION MARK
		EXIT LIGHT WITH DIRECTIONAL ARROWS

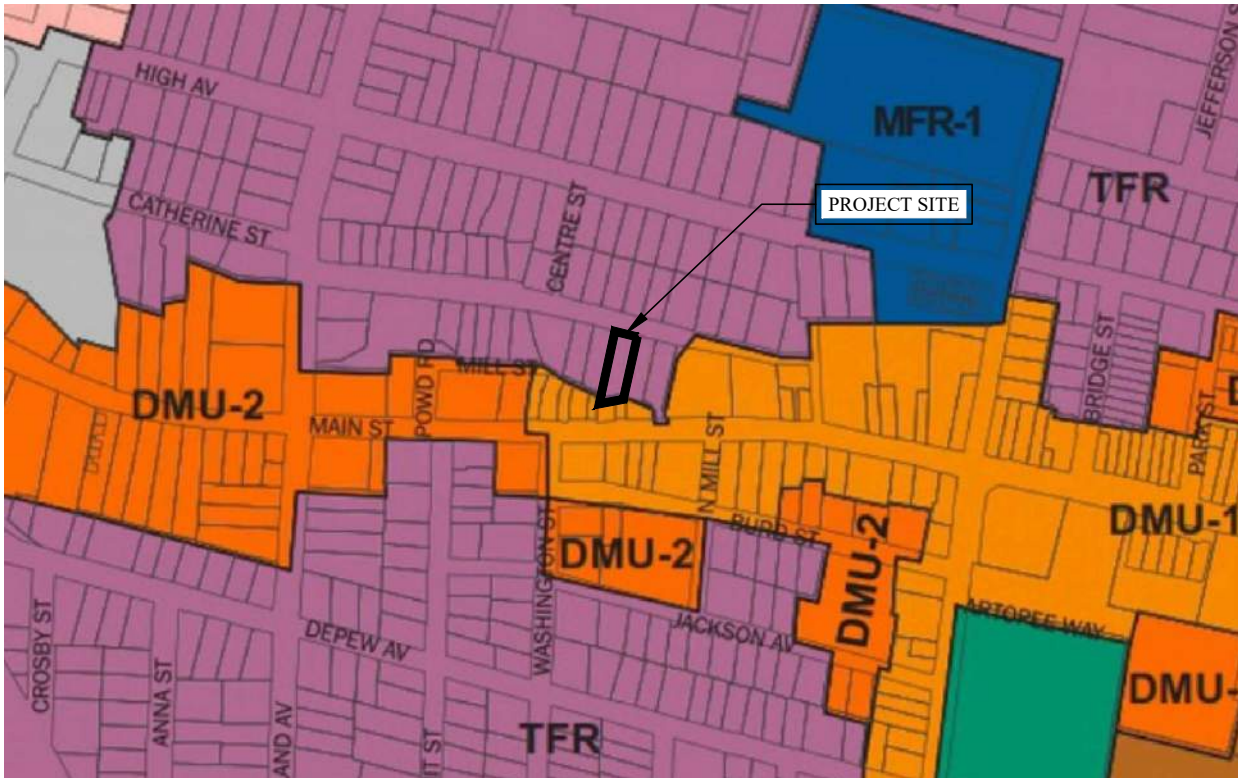
ARCHITECTURAL PLANS



1 VICINITY MAP
NOT TO SCALE



2 TAX MAP
NOT TO SCALE



3 ZONING MAP
NOT TO SCALE

INDEX OF DRAWINGS			
PAGE #	DWG #	DRAWING TITLE	REVISION #
1	T-001	TITLE SHEET	00
2	G-001	BUILDING CODE NOTES	00
3	SP-001	SITE PLAN	00
4	A-100	EXISTING GROUND FLOOR PLAN	00
5	A-101	EXISTING FLOOR PLANS	00
6	A-200	EXISTING ELEVATIONS	00

PROJECT INFORMATION:

PROJECT ADDRESS: 19 CATHERINE ST.
NYACK, NY 10960

OWNER: MARK COYNE
19 CATHERINE STREET
NYACK, NY 10960

ZONING INFORMATION:

TAX LOT: SECTION: 66.29
BLOCK 2 LOT 69

ZONING DISTRICT: TFR

REQUIRED PARKING: 1.0 PER EU; 2.0 PER 1 OR
GREATER BR

SCOPE OF WORK:

PROPOSED CONVERSION OF THE EXISTING SINGLE
FAMILY RESIDENCE TO A TWO FAMILY RESIDENCE

BUILDING CODES:

- NEW YORK STATE RESIDENTIAL CODE 2020
- 2020 NYS STRETCH ENERGY CODE

WORK AREA:

- +/- 1,014 SQ FT

OCCUPANCY GROUP:

- DETACHED TWO-FAMILY DWELLING

LIST OF VARIANCES:

- EXISTING NON-CONFORMING BULK ZONING. SEE
ZONING ANALYSIS TABLE ON SHEET SP-001 FOR
DETAILS.

PROFESSIONAL STATEMENT:

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PERSONAL
JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN
COMPLIANCE WITH THE NYS ENERGY CODE 2020.

AUTOMATIC FIRE SPRINKLER SYSTEMS:

PENDING VARIANCE APPROVAL FROM NEW YORK
DEPARTMENT OF STATE FOR AUTOMATIC SPRINKLER
SYSTEMS REQUIRED FOR ONE- AND TWO-FAMILY
DWELLINGS

R313.2
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL
BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS WHERE
SUCH DWELLINGS HAVE A HEIGHT OF THREE STORIES ABOVE
GRADE PLANE.

REVISIONS		
NO.	DATE	DESCRIPTION

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE,
THE PLANS AND SPECIFICATIONS COMPLY WITH THE
APPLICABLE MINIMUM BUILDING CODES.

THE ENTIRE CONTENTS OF THIS DOCUMENT, INCLUDING ALL
SPEECHES, PLANS, STUDIES, DRAWINGS, SCHEDULES AND
SPECIFICATIONS, AND ALL COPYRIGHTS THEREIN, ARE AND
SHALL REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF
DOMINICK R. PILLA ASSOCIATES, P.C. THE DOCUMENTS AND
THEIR CONTENTS MAY NOT BE USED, PHOTOCOPIED OR
REPRODUCED DIGITALLY, ELECTRONICALLY OR IN ANY OTHER
MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF
DOMINICK R. PILLA ASSOCIATES, P.C.

PROJECT:
19 CATHERINE STREET
NYACK, NY 10960

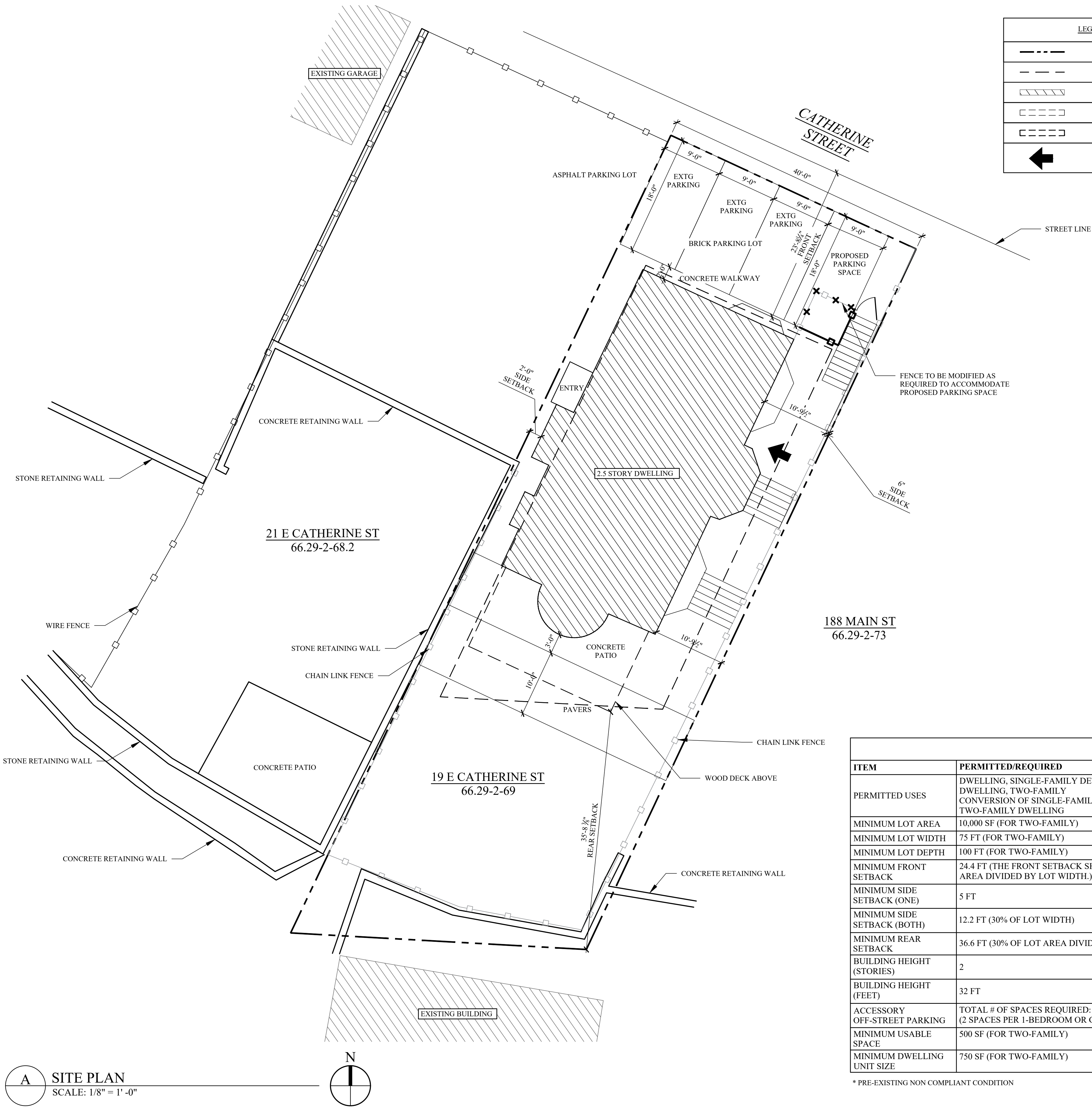
TITLE SHEET

SEAL AND SIGNATURE:

DOMINICK R. PILLA, P.E., R.A.
NY P.E. 074213-1 NY R.A. 027028-1

ISSUE: FOR REVIEW
DATE: 3/20/2025
PROJECT NO.: 25-043
DRAWN/CHK BY: MA/SM
SCALE: AS NOTED
DWG NO.:

T-001.00
T-001 TITLE SHEET 1 OF 6



ZONING ANALYSIS TABLE ZONING DISTRICT: TFR			
ITEM	PERMITTED/REQUIRED	EXISTING	PROPOSED
PERMITTED USES	DWELLING, SINGLE-FAMILY DETACHED DWELLING, TWO-FAMILY CONVERSION OF SINGLE-FAMILY DWELLING TO TWO-FAMILY DWELLING	DWELLING, SINGLE-FAMILY DETACHED	CONVERSION OF SINGLE-FAMILY DWELLING TO TWO-FAMILY DWELLING
MINIMUM LOT AREA	10,000 SF (FOR TWO-FAMILY)	4880 SF *	NO CHANGE
MINIMUM LOT WIDTH	75 FT (FOR TWO-FAMILY)	40.8 FT *	NO CHANGE
MINIMUM LOT DEPTH	100 FT (FOR TWO-FAMILY)	114 FT	NO CHANGE
MINIMUM FRONT SETBACK	24.4 FT (THE FRONT SETBACK SHOULD BE 20% OF LOT AREA DIVIDED BY LOT WIDTH.)	23.9 FT*	NO CHANGE
MINIMUM SIDE SETBACK (ONE)	5 FT	0.5 FT *	NO CHANGE
MINIMUM SIDE SETBACK (BOTH)	12.2 FT (30% OF LOT WIDTH)	2.5 FT *	NO CHANGE
MINIMUM REAR SETBACK	36.6 FT (30% OF LOT AREA DIVIDED BY LOT WIDTH.)	35.9 FT *	NO CHANGE
BUILDING HEIGHT (STORIES)	2	3.5 *	NO CHANGE
BUILDING HEIGHT (FEET)	32 FT	36.2 FT *	NO CHANGE
ACCESSORY OFF-STREET PARKING	TOTAL # OF SPACES REQUIRED: 4 (2 SPACES PER 1-BEDROOM OR GREATER)	3	4
MINIMUM USABLE SPACE	500 SF (FOR TWO-FAMILY)	963 SF	NO CHANGE
MINIMUM DWELLING UNIT SIZE	750 SF (FOR TWO-FAMILY)	1,040 SF	NO CHANGE

* PRE-EXISTING NON COMPLIANT CONDITION

REVISIONS		
NO.	DATE	DESCRIPTION

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

THE ENTIRE CONTENTS OF THIS DOCUMENT, INCLUDING ALL SKETCHES, PLANS, STUDIES, DRAWINGS, SCHEDULES, AND SPECIFICATIONS, AND ALL COPYRIGHTS THEREIN, ARE AND SHALL REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF DOMINICK R. PILLA ASSOCIATES, P.C. THE DOCUMENTS AND THEIR CONTENTS MAY NOT BE USED, PHOTOCOPIED OR REPRODUCED DIGITALLY, ELECTRONICALLY OR IN ANY OTHER MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF DOMINICK R. PILLA ASSOCIATES, P.C.

PROJECT:
19 CATHERINE STREET
NYACK, NY 10960

SITE PLAN

SEAL AND SIGNATURE:

DOMINICK R. PILLA, P.E., R.A.
NY P.E. 074213-1 NY R.A. 027028-1

ISSUE: FOR REVIEW
DATE: 3/20/2025
PROJECT NO.: 25-043
DRAWN/CHK BY: MA/SM
SCALE: AS NOTED
DWG NO.:

SP-001.00

REVISIONS		
NO.	DATE	DESCRIPTION

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

THE ENTIRE CONTENTS OF THIS DOCUMENT, INCLUDING ALL SKETCHES, PLANS, STUDIES, DRAWINGS, SCHEDULES, AND SPECIFICATIONS, AND ALL COPYRIGHTS THEREIN, ARE AND SHALL REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF DOMINICK R. PILLA ASSOCIATES, P.C. THE DOCUMENTS AND THEIR CONTENTS MAY NOT BE USED, PHOTOCOPIED OR REPRODUCED DIGITALLY, ELECTRONICALLY OR IN ANY OTHER MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF DOMINICK R. PILLA ASSOCIATES, P.C.

PROJECT:
19 CATHERINE STREET
NYACK, NY 10960

EXISTING GROUND FLOOR PLAN

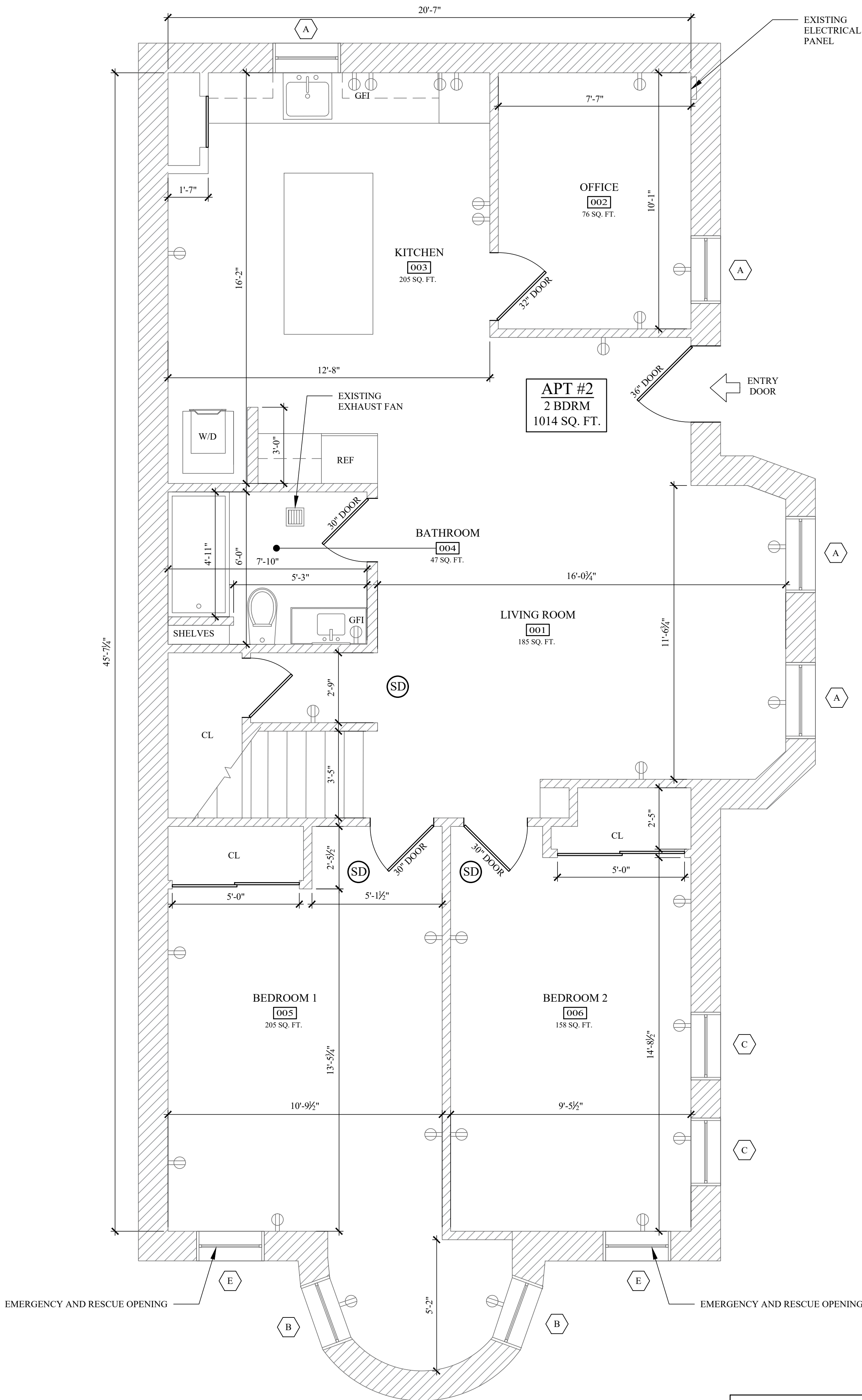
SEAL AND SIGNATURE:

DOMINICK R. PILLA, P.E., R.A.
NY P.E. 074213-1 NY R.A. 027028-1

ISSUE: FOR REVIEW
DATE: 3/20/2025
PROJECT NO.: 25-043
DRAWN/CHK BY: MA/SM
SCALE: AS NOTED
DWG NO.:

A-100.00

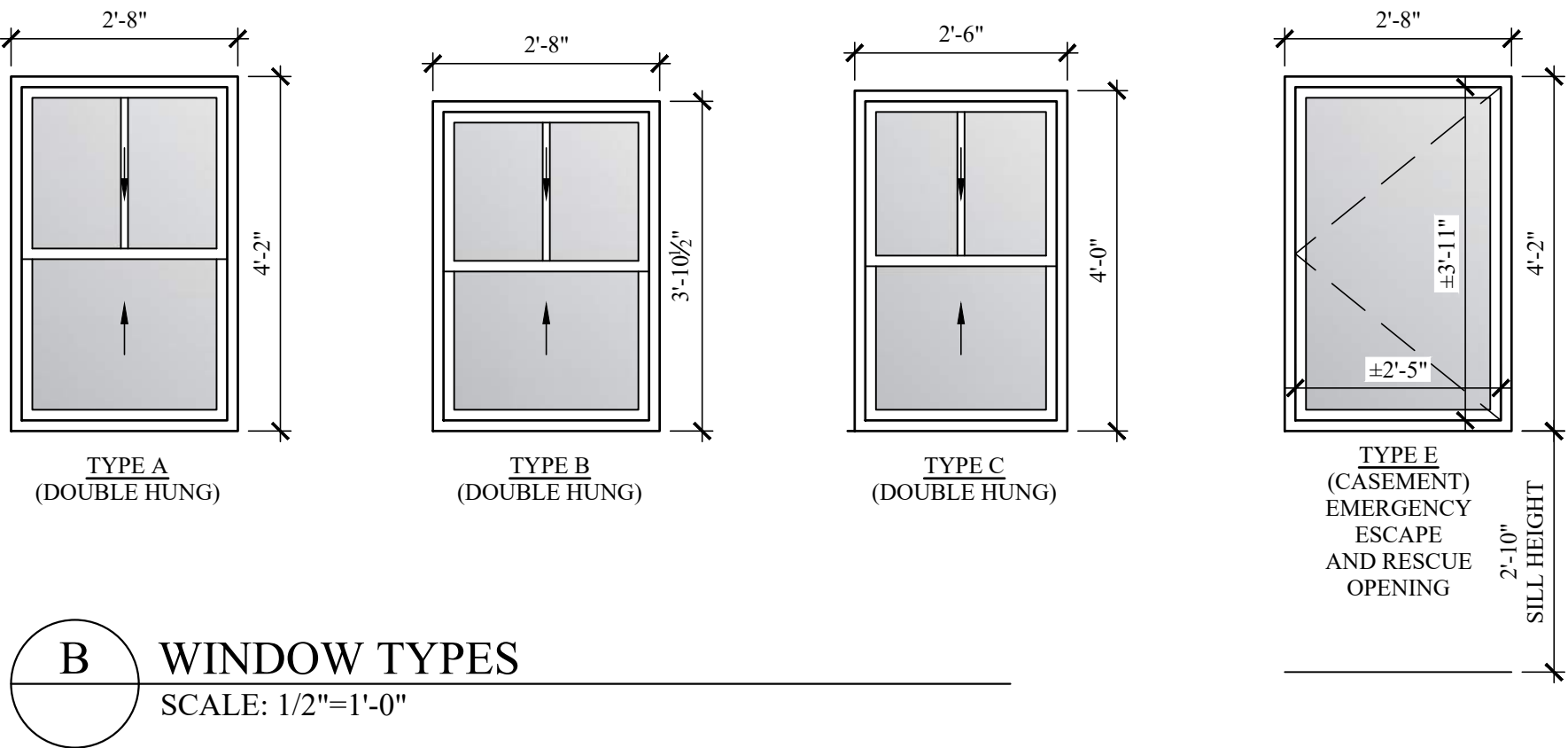
A-101 EXISTING FLOOR PLANS 4 OF 6



LEGEND:	
	EXISTING WALL TO REMAIN
	WINDOW TYPE
	SMOKE / CARBON MONOXIDE ALARM INTERCONNECTED
	EXISTING DUPLEX OUTLET
	EXISTING GFCI OUTLET

NOTES:
1. SMOKE ALARMS SHALL NOT BE REQUIRED TO BE INTERCONNECTED WHERE BATTERY OPERATED ALARMS ARE PERMITTED.

FIRE SEPARATION
R302.3 TWO-FAMILY DWELLINGS
DWELLING UNITS IN TWO-FAMILY DWELLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING WHERE TESTED IN ACCORDANCE WITH ASTM E119, UL 263 OR SECTION 703.3 OF THE BUILDING CODE OF NEW YORK STATE. FIRE-RESISTANCE-RATED FLOOR/CEILING AND WALL ASSEMBLIES SHALL EXTEND TO AND BE TIGHT AGAINST THE EXTERIOR WALL, AND WALL ASSEMBLIES SHALL EXTEND FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING.



R310.2.1 MINIMUM OPENING AREA
EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN **5.7 SQUARE FEET** (0.530 M2). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN **24 INCHES** (610 MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN **20 INCHES** (508 MM).

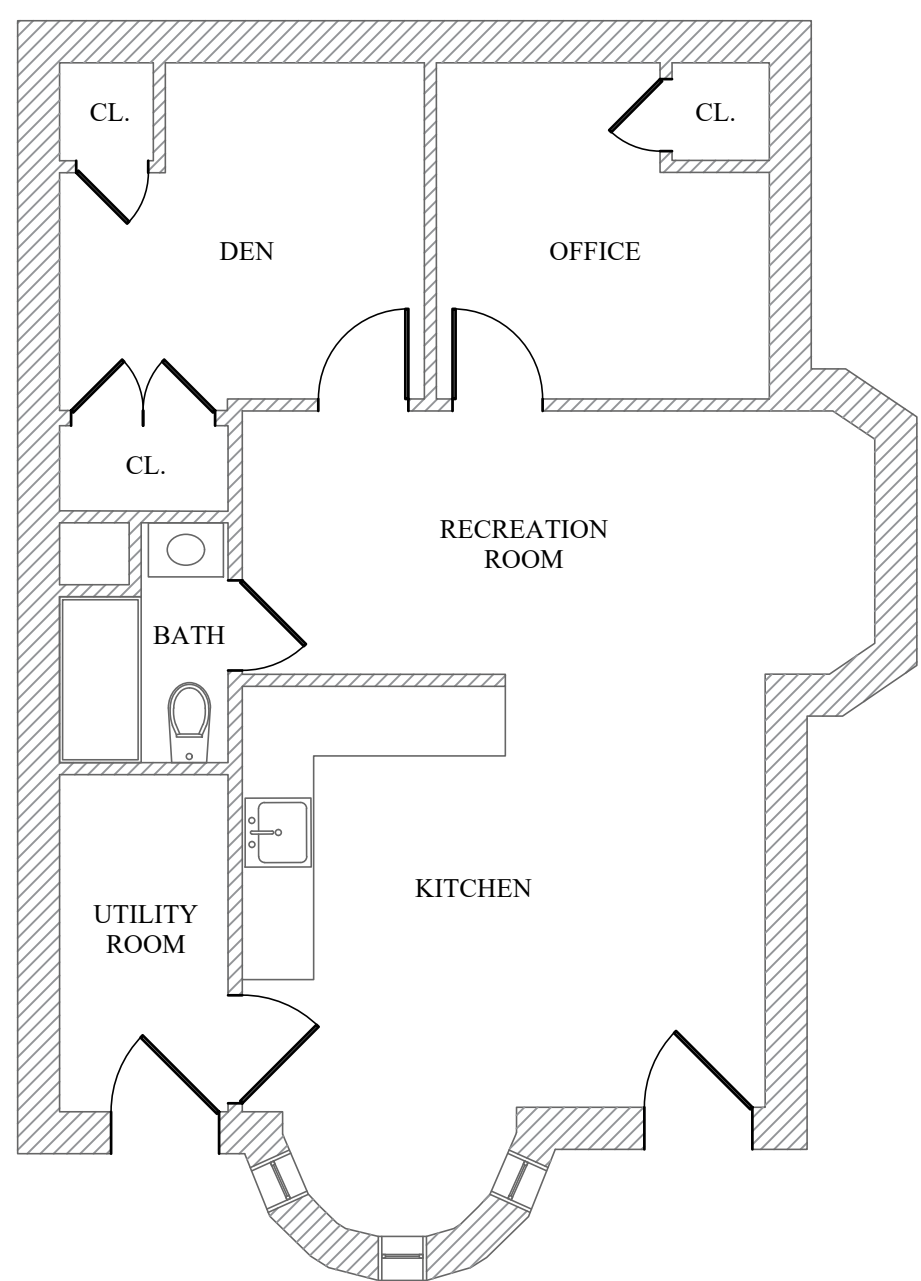
NYS STRETCH ENERGY CODE 2020
FENESTRATION U-FACTOR = 0.27 MAX (TABLE R402.1.4)

LIGHT AND AIR CALCULATIONS						
ROOM #	ROOM NAME	ROOM AREA (SF)	LIGHT AREA REQ'D (SF)	LIGHT AREA SUPPLIED (SF)	VENT. AREA REQ'D (SF)	VENT. AREA SUPPLIED (SF)
#001	LIVING ROOM	185 SF	14.8 SF	15 SF	7.4 SF	7.5 SF
#005	BEDROOM 1	205 SF	16.4 SF	22.5 SF	8.2 SF	11.3 SF
#006	BEDROOM 2	158 SF	12.6 SF	22.5 SF	6.3 SF	11.3 SF

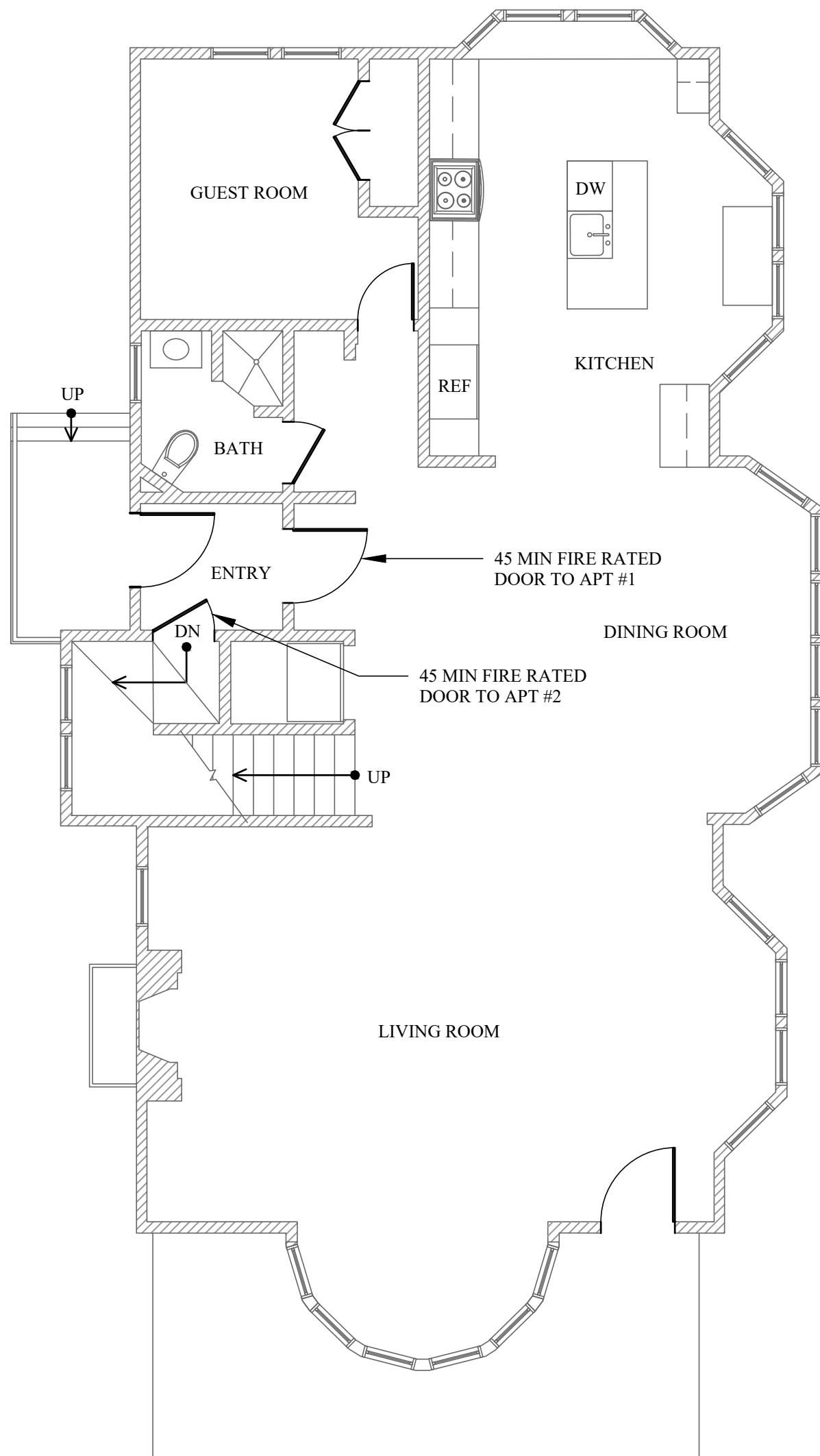
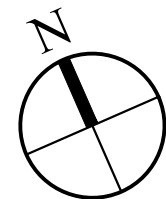
R303.1 HABITABLE ROOMS

HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN **8 PERCENT** OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE OPENABLE AREA TO THE OUTDOORS SHALL BE NOT LESS THAN **4 PERCENT** OF THE FLOOR AREA BEING VENTILATED.

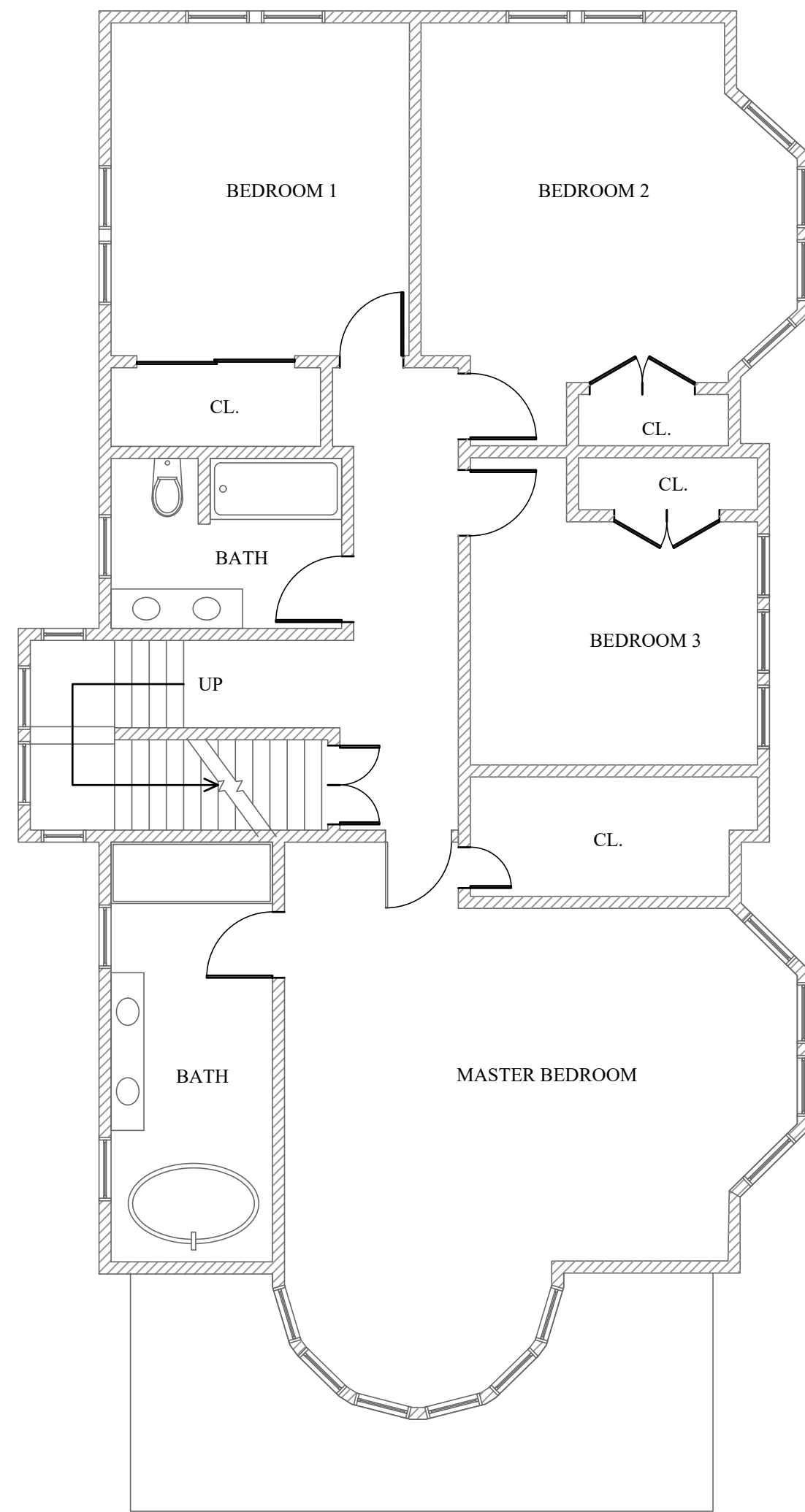
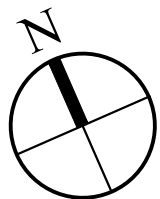
APT #1 IS LOCATED ON FLOORS:
• LOWER BASEMENT LEVEL
• 1ST FLOOR
• 2ND FLOOR
• ATTIC
APT #2 IS LOCATED ON FLOOR:
• GROUND FLOOR LEVEL



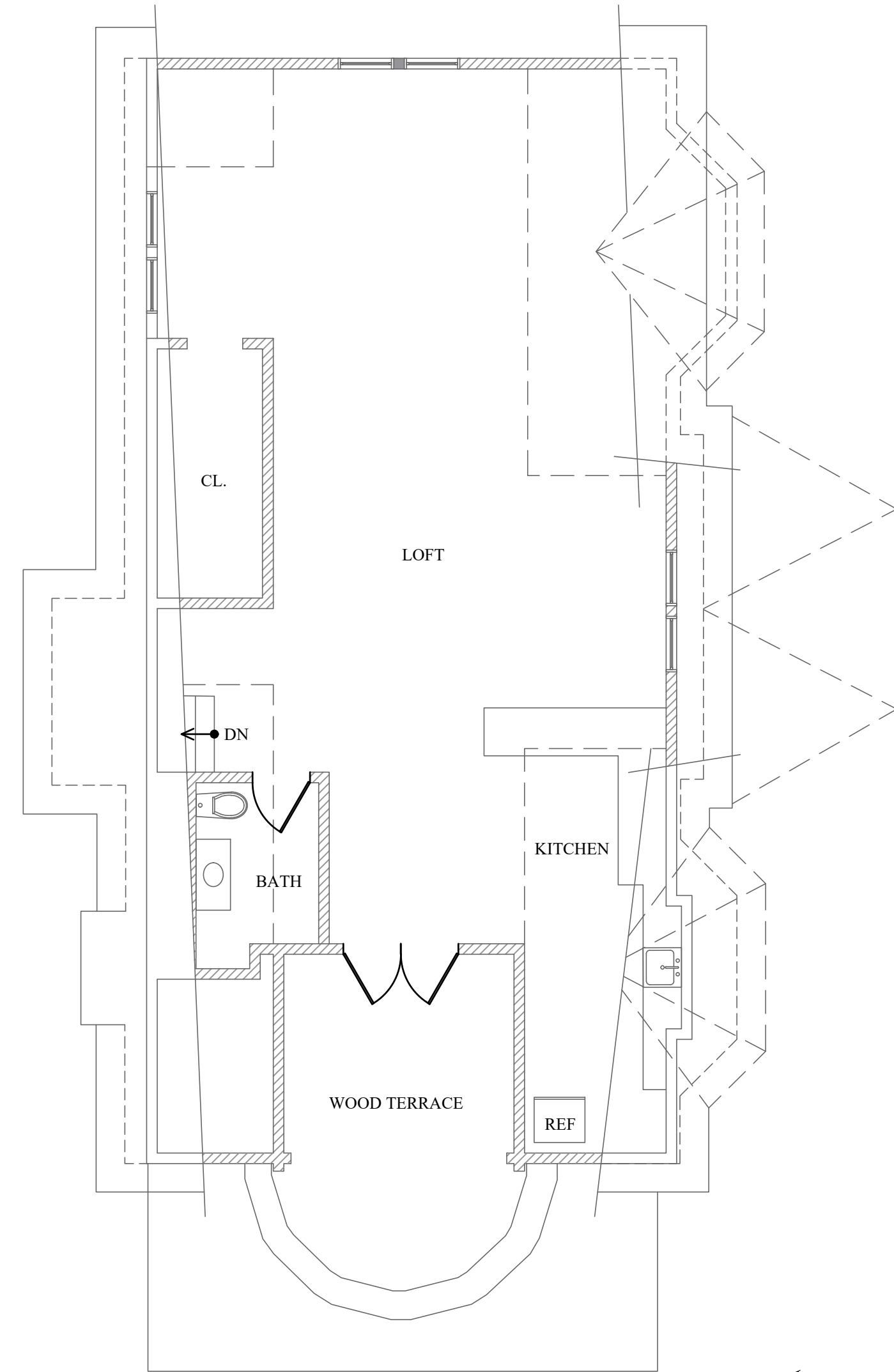
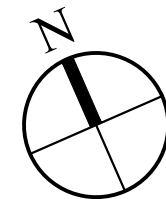
A EXISTING LOWER BASEMENT FLOOR PLAN
SCALE: 3/16" = 1' - 0"



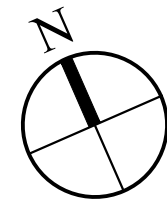
B EXISTING FIRST FLOOR PLAN
SCALE: 3/16" = 1' - 0"



C EXISTING SECOND FLOOR PLAN
SCALE: 3/16" = 1' - 0"



D EXISTING ATTIC FLOOR PLAN
SCALE: 3/16" = 1' - 0"



- APT #1 IS LOCATED ON FLOORS:**
- LOWER BASEMENT LEVEL
 - 1ST FLOOR
 - 2ND FLOOR
 - ATTIC
- APT #2 IS LOCATED ON FLOOR:**
- GROUND FLOOR LEVEL

REVISIONS		
NO.	DATE	DESCRIPTION

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE,
THE PLANS AND SPECIFICATIONS COMPLY WITH THE
APPLICABLE MINIMUM BUILDING CODES.

THE ENTIRE CONTENTS OF THIS DOCUMENT, INCLUDING ALL
SKETCHES, PLANS, STUDIES, DRAWINGS, SCHEDULES, AND
SPECIFICATIONS, AND ALL COPYRIGHTS THEREIN, ARE AND
SHALL REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF
DOMINICK R. PILLA ASSOCIATES, P.C. THE DOCUMENTS AND
THEIR CONTENTS MAY NOT BE USED, PHOTOCOPIED OR
REPRODUCED DIGITALLY, ELECTRONICALLY OR IN ANY OTHER
MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF
DOMINICK R. PILLA ASSOCIATES, P.C.

PROJECT:
19 CATHERINE STREET
NYACK, NY 10960

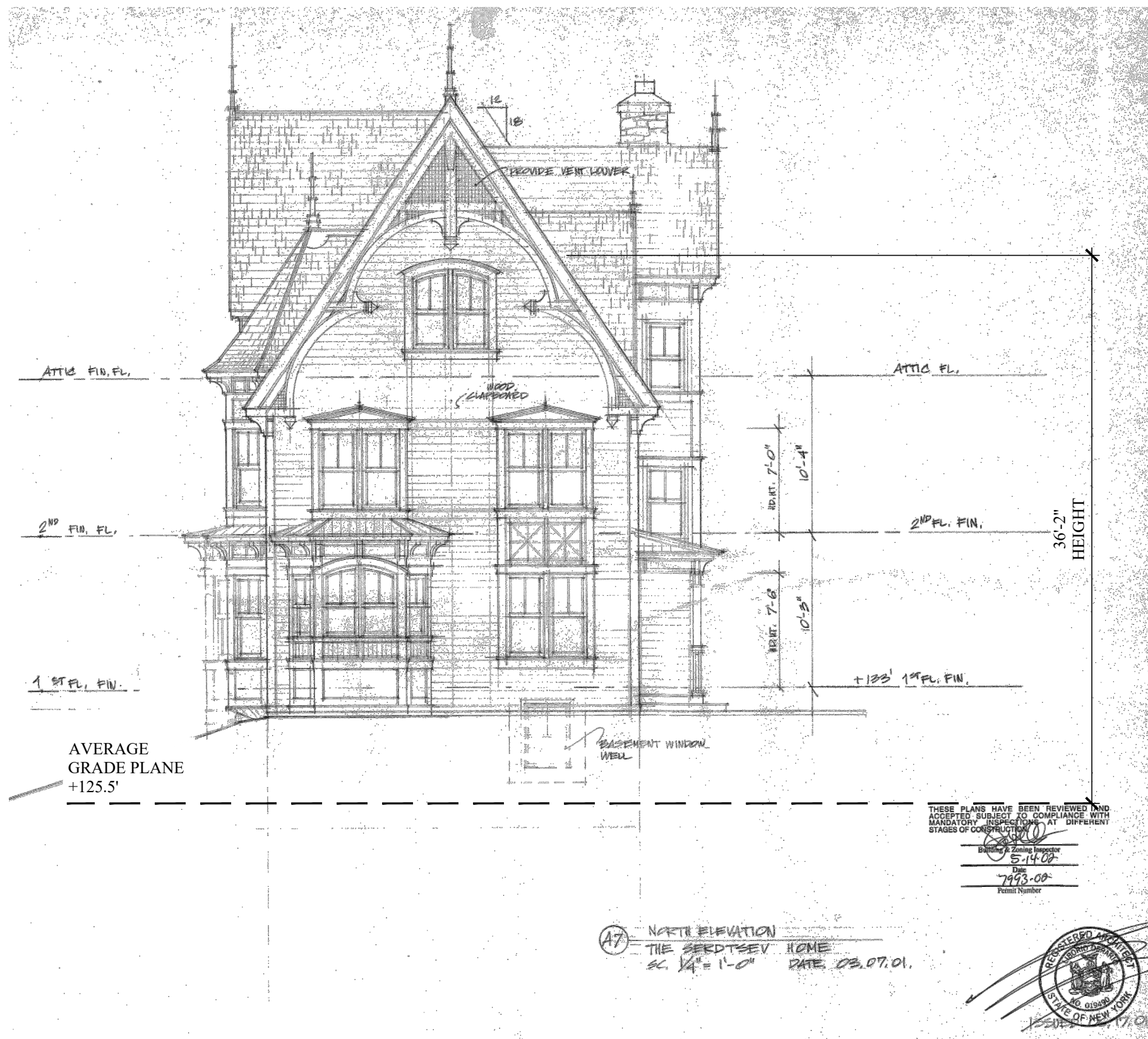
EXISTING FLOOR PLANS

SEAL AND SIGNATURE:

DOMINICK R. PILLA, P.E., R.A.
NY P.E. 074213-1 NY R.A. 027028-1

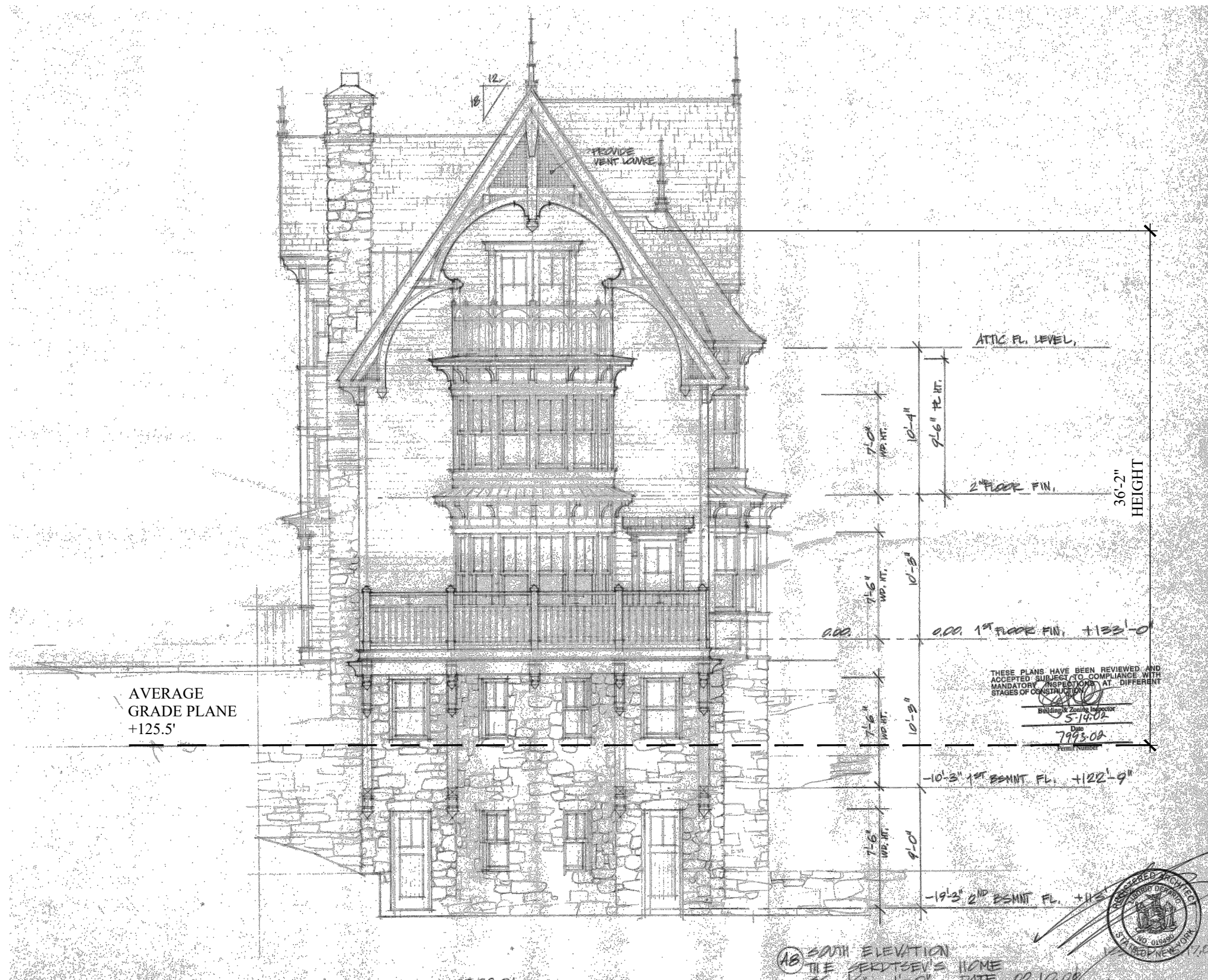
ISSUE: **FOR REVIEW**
DATE: **3/20/2025**
PROJECT NO.: **25-043**
DRAWN/CHK BY: **MA/SM**
SCALE: **AS NOTED**
DWG NO.:

A-101.00



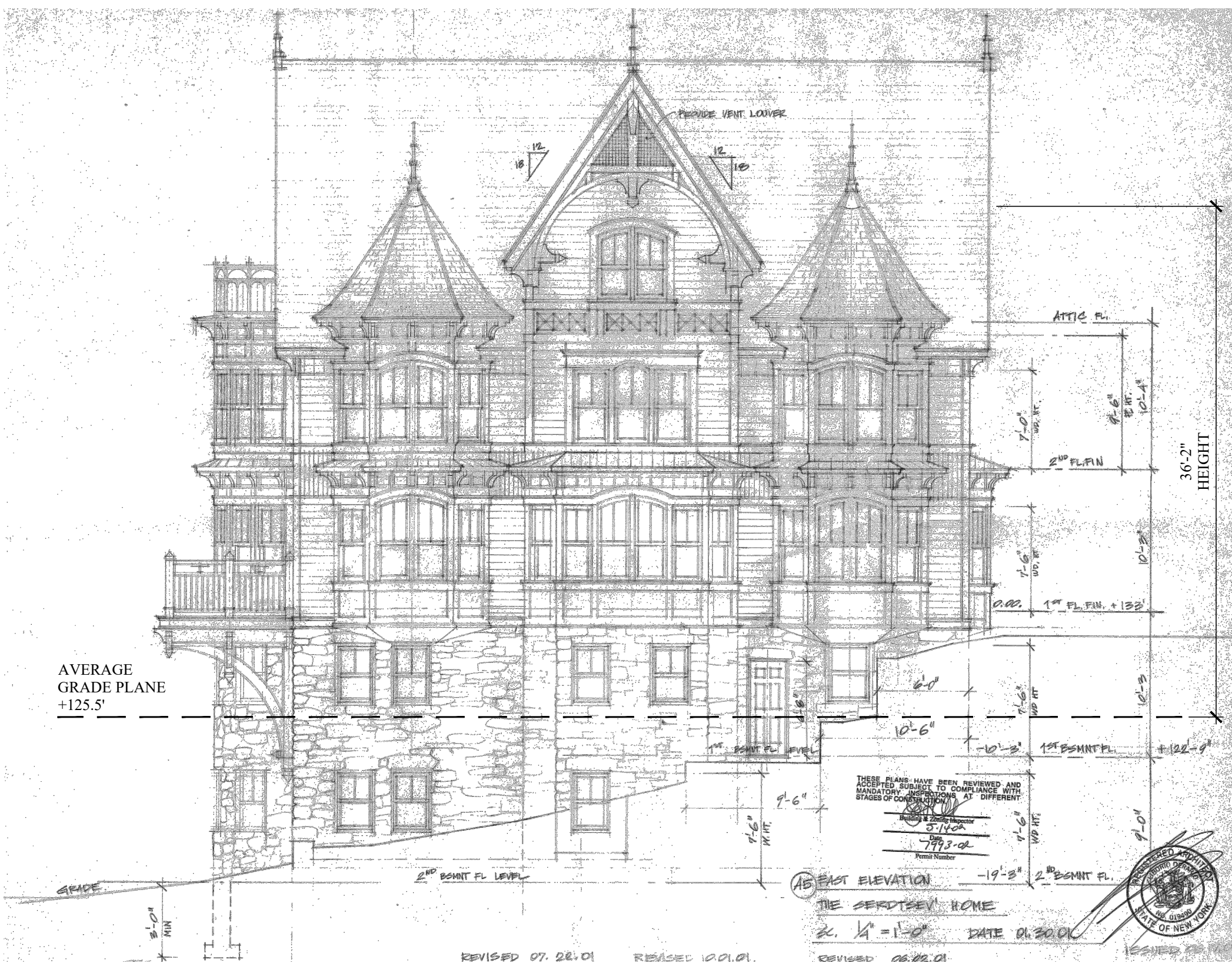
A NORTH ELEVATION
SCALE: 1/8" = 1' - 0"

NOTE: EXISTING ELEVATIONS ARE FROM ORIGINAL PLANS PREPARED BY ARCHITECT LIBORIO DERARIO WITH ARCHITECTURAL DRAWINGS DATED 06.17.01



B SOUTH ELEVATION
SCALE: 1/8" = 1' - 0"

NOTE: EXISTING ELEVATIONS ARE FROM ORIGINAL PLANS PREPARED BY ARCHITECT LIBORIO DERARIO WITH ARCHITECTURAL DRAWINGS DATED 06.17.01



C EAST ELEVATION
SCALE: 1/8" = 1' - 0"

NOTE: EXISTING ELEVATIONS ARE FROM ORIGINAL PLANS PREPARED BY ARCHITECT LIBORIO DERARIO WITH ARCHITECTURAL DRAWINGS DATED 06.17.01



D WEST ELEVATION
SCALE: 1/8" = 1' - 0"

NOTE: EXISTING ELEVATIONS ARE FROM ORIGINAL PLANS PREPARED BY ARCHITECT LIBORIO DERARIO WITH ARCHITECTURAL DRAWINGS DATED 06.17.01

REVISIONS		
NO.	DATE	DESCRIPTION

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

THE ENTIRE CONTENTS OF THIS DOCUMENT, INCLUDING ALL SKETCHES, PLANS, STUDIES, DRAWINGS, SCHEDULES AND SPECIFICATIONS, AND ALL COPYRIGHTS THEREIN, ARE AND SHALL REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF DOMINICK R. PILLA ASSOCIATES, P.C. THE DOCUMENTS AND THEIR CONTENTS MAY NOT BE USED, PHOTOCOPIED OR REPRODUCED DIGITALLY, ELECTRONICALLY OR IN ANY OTHER MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF DOMINICK R. PILLA ASSOCIATES, P.C.

PROJECT:
19 CATHERINE STREET
NYACK, NY 10960

EXISTING ELEVATIONS

SEAL AND SIGNATURE:

DOMINICK R. PILLA, P.E., R.A.
NY P.E. 074213-1 NY R.A. 027028-1

ISSUE: FOR REVIEW
DATE: 3/20/2025
PROJECT NO.: 25-043
DRAWN/CHK BY: MASM
SCALE: AS NOTED
DWG NO.:

A-200.00