



PAL AND FRANK REAL ESTATE LLC

128 MAIN STREET, NYACK, NEW YORK 10960

GEORGE HODOSH ASSOCIATES-ARCHITECTS, P.C.

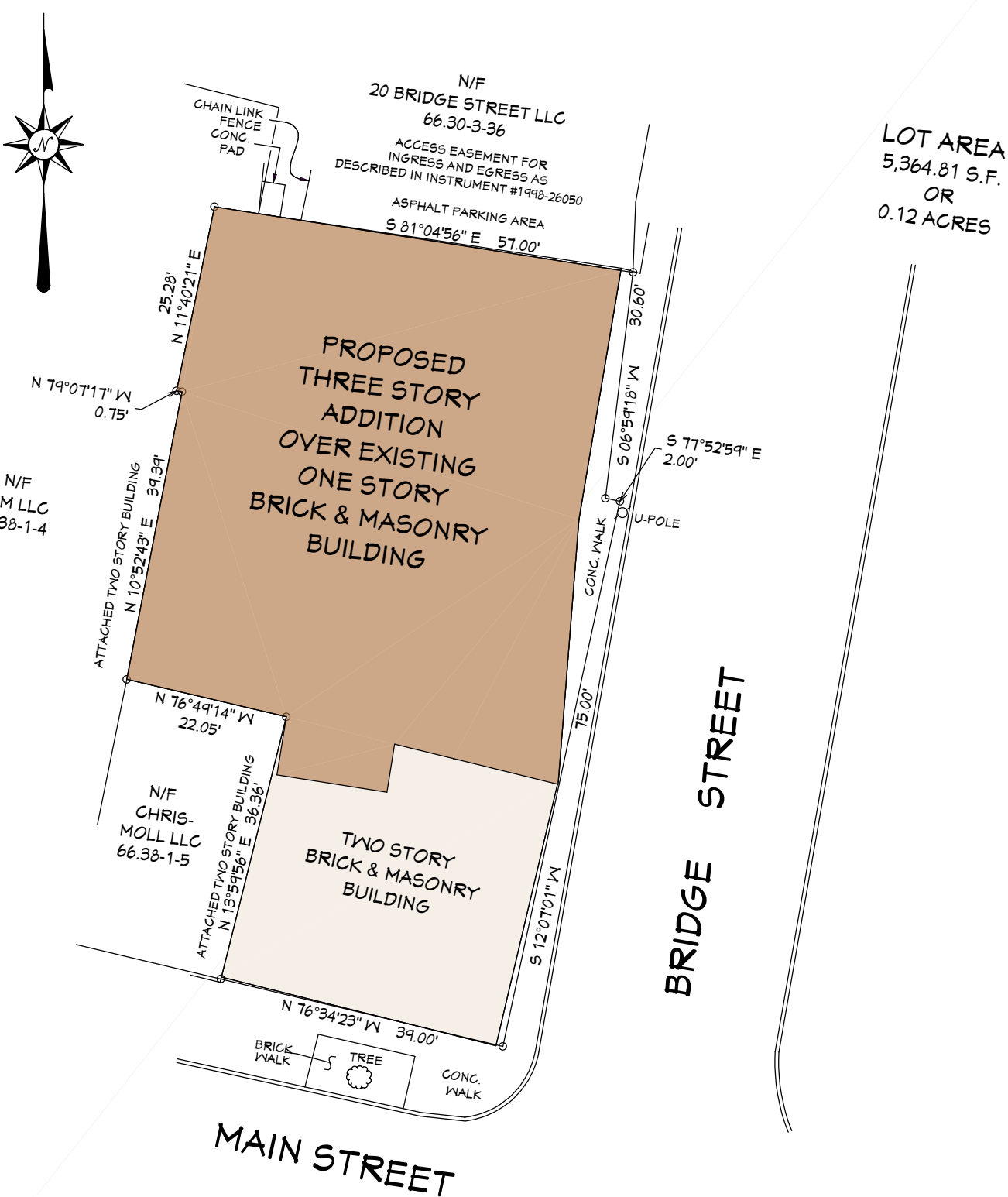
120 NORTH MAIN STREET, SUITE 501, NEW CITY, NEW YORK 10956

PHONE: (845) 638-9336 FAX: (845) 638-9380

2022-11-04

LAST REVISED: 2025-08-28

SCALE: 1" = 20'



EXISTING STRUCTURE TO REMAIN
PROPOSED ADDITION

PLOT PLAN BASED ON SURVEY BY
W.E. JAMES, ENGINEERING AND LAND SURVEYING, PLLC
8 CHEANDA LANE, WALLKILL, NEW YORK 12589
DATED: AUGUST 15, 2021

PROJECT TIMELINE:

ARCHITECTURE REVIEW BOARD (ARB) REVIEWED AND APPROVED ON 2024-07-17.
CONDITION: ANY AND ALL CHANGES ARE BROUGHT BACK BEFORE ARB FOR FURTHER REVIEW.

ZONING BOARD OF APPEALS (ZBA) REVIEWED AND APPROVED ON 2025-01-27.
EXISTING, NON-CONFORMING AND PROPOSED VARIANCES APPROVED:

- MIN. SIDE SETBACK (ONE)
- MIN. REAR SETBACK (UPPER FLOORS PLUS LANDSCAPING)
- PARKING - APARTMENTS
- BUILDING HEIGHT
- MAX. FLOOR AREA RATIO
- MAX. DENSITY

PLANNING BOARD MEETING 2025-04-07- (CONTINUANCE REQUESTED TO ALLOW APPLICANT TO ADDRESS PLANNING BOARD COMMENTS)

BUILDING ENTRANCE	STREET FRONT FACADE
GROUND FLOOR USES	COMMERCIAL
CURB CUT	NONE PROPOSED

DRAWING LIST

COVER SHEET	
D1	EXISTING FIRST FLOOR PLAN
D2	EXISTING SECOND FLOOR PLAN
A1	FIRST FLOOR PLAN
A2	SECOND FLOOR PLAN
A3	THIRD FLOOR PLAN
A4	FOURTH FLOOR PLAN
A5	FRONT ELEVATION
A6	RIGHT ELEVATION
A7	REAR ELEVATION

22003, PAL & FRANK
REAL ESTATE LLC

VILLAGE OF NYACK
TABLE OF BULK REQUIREMENTS
ZONE: DMU-1 SECTION: 66.38 BLOCK: 1 LOT: 6
PLUS: USE-SPECIFIC STANDARDS

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (SQ. FT.)	N/A	5,364.81	5,364.81
MIN. LOT WIDTH (FEET)	N/A	N/A	N/A
MIN. STREET FRONTAGE (FEET)	N/A	N/A	N/A
MIN. LOT DEPTH (FEET)	N/A	N/A	N/A
MIN. FRONT SETBACK (FEET)	N/A	N/A	N/A
MIN. SIDE SETBACK (ONE) (FEET)	15 PLUS LANDSCAPE	0 *	0 **
MIN. SIDE SETBACK (BOTH) (FEET)	N/A	N/A	N/A
MIN. REAR SETBACK (FEET) (FIRST FLOOR/ 17 FEET)	0	0	0
MIN. REAR SETBACK (FEET) (UPPER FLOORS)	15 PLUS LANDSCAPE	0 *	0 **
PARKING - APARTMENTS (1.25 SPACES PER # OF 1-BEDROOM UNITS) 10 UNITS - 4 UNITS (PARKING REDUCTION) = 6 UNITS	7.5 SPACES (1.25 * 6 UNITS)	0 *	0 **
PARKING - RESTAURANT	N/A	N/A	N/A
BUILDING HEIGHT (STORIES)	3	2	4 **
BUILDING HEIGHT (FEET)	40	22	40
MAX. BUILDING LENGTH (FEET)	N/A	N/A	N/A
MAX. FLOOR AREA RATIO	2.0	1.05	2.85 **
MIN. USABLE OPEN SPACE (PER DU)	N/A	N/A	N/A
MAX. DENSITY (DU/ACRE)	50 (12 ACRE X 50 = 6 DU)	0	10 DU PROPOSED **
MIN. DWELLING UNIT SIZE (SQ.FT.)	600	N/A	684

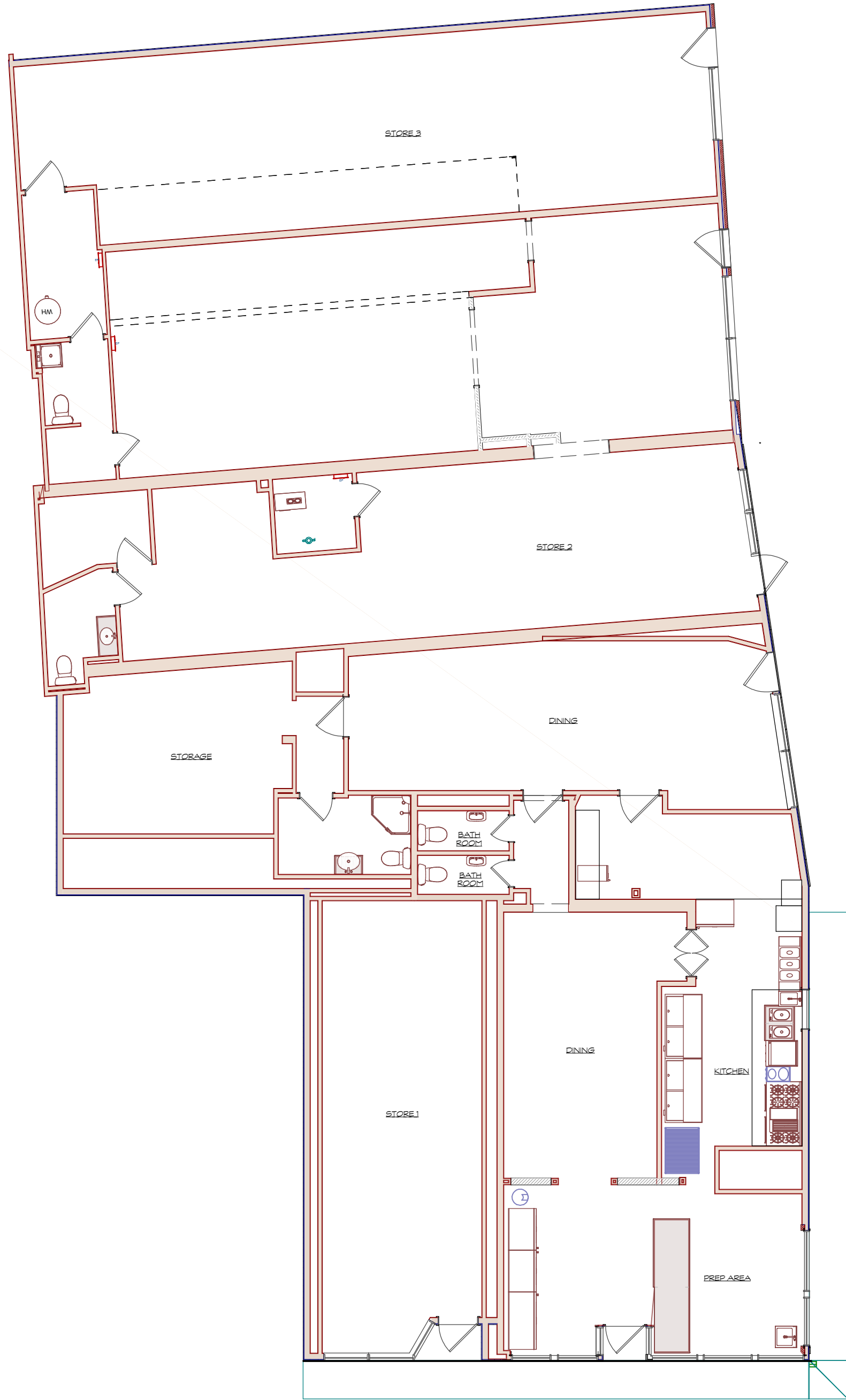
* EXISTING NON-CONFORMING (ZBA VARIANCE GRANTED 2025-01-27)
* ZBA VARIANCE GRANTED 2025-01-27

REVISIONS

2024-08-20	PLANNING BOARD SET 1	SAB
2024-08-20	PB SET 1 COVER SHEET ONLY	AML
2024-12-19	ZONING BOARD SET 1	AML
2025-02-24	PB SET 2 COVER SHEET ONLY	AML
2025-08-28	PB SET 2 REVISIONS PER BOARD COMMENTS	SAB

THESE PLANS ARE NOT TO BE
CONSIDERED VALID AND COMPLETE
CONSTRUCTION DOCUMENTS
UNLESS AND UNTIL THEY BEAR THE
ARCHITECTURAL SEAL & SIGNATURE
OF JONATHAN B. HODOSH.

EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1' - 0"



CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL
	PROPOSED NEW POURED CONCRETE WALL
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION
	PROPOSED FRAMED CONSTRUCTION

	EXISTING WINDOW TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	PROPOSED WINDOW

	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	PROPOSED DOOR

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D1

PROPOSED ADDITIONS / ALTERATIONS:

PAL & FRANK REAL ESTATE LLC
128 MAIN STREET, NYACK, NEW YORK 10960

SHEET TITLE:
EXISTING FIRST FLOOR PLAN

SCALE	1/4" = 1'-0"
DATE:	2022-11-04
JOB #:	22003
DRAWN BY:	SAB
CHECKED BY:	JBH



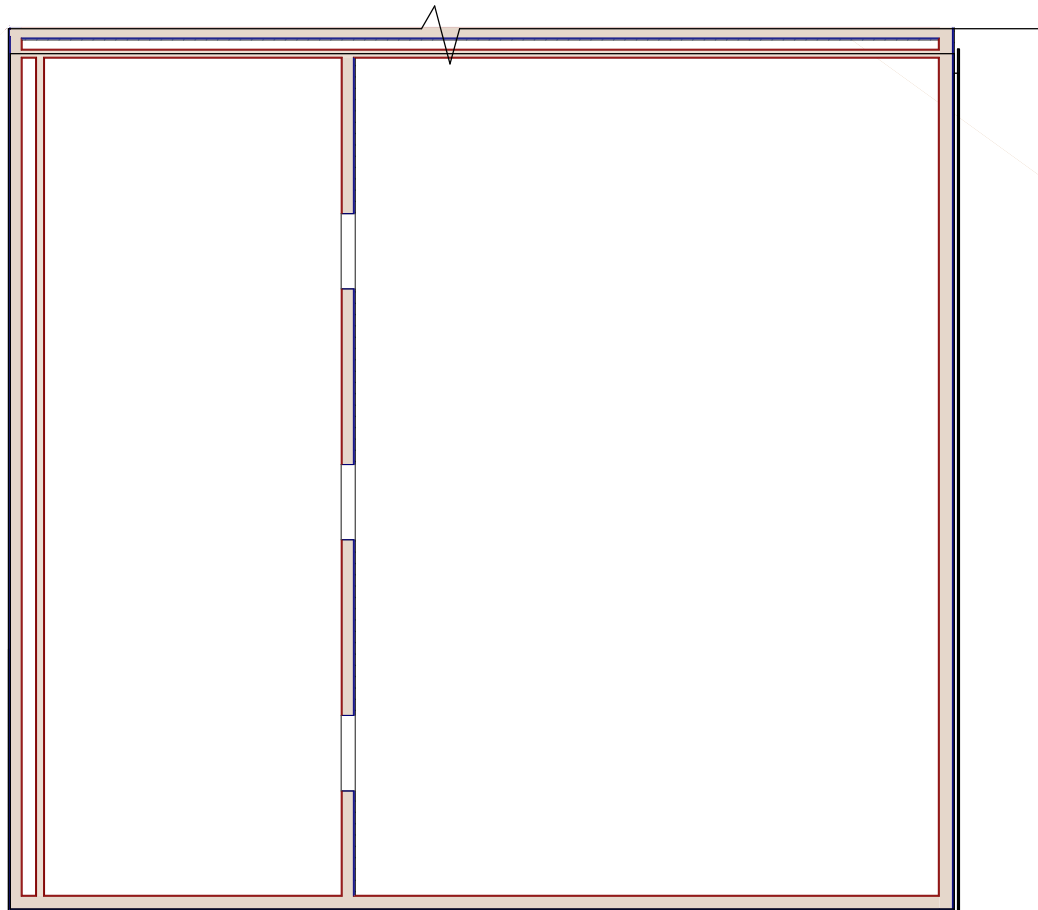
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EXISTING SECOND FLOOR PLAN
SCALE: 1/8" = 1' - 0"



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D2

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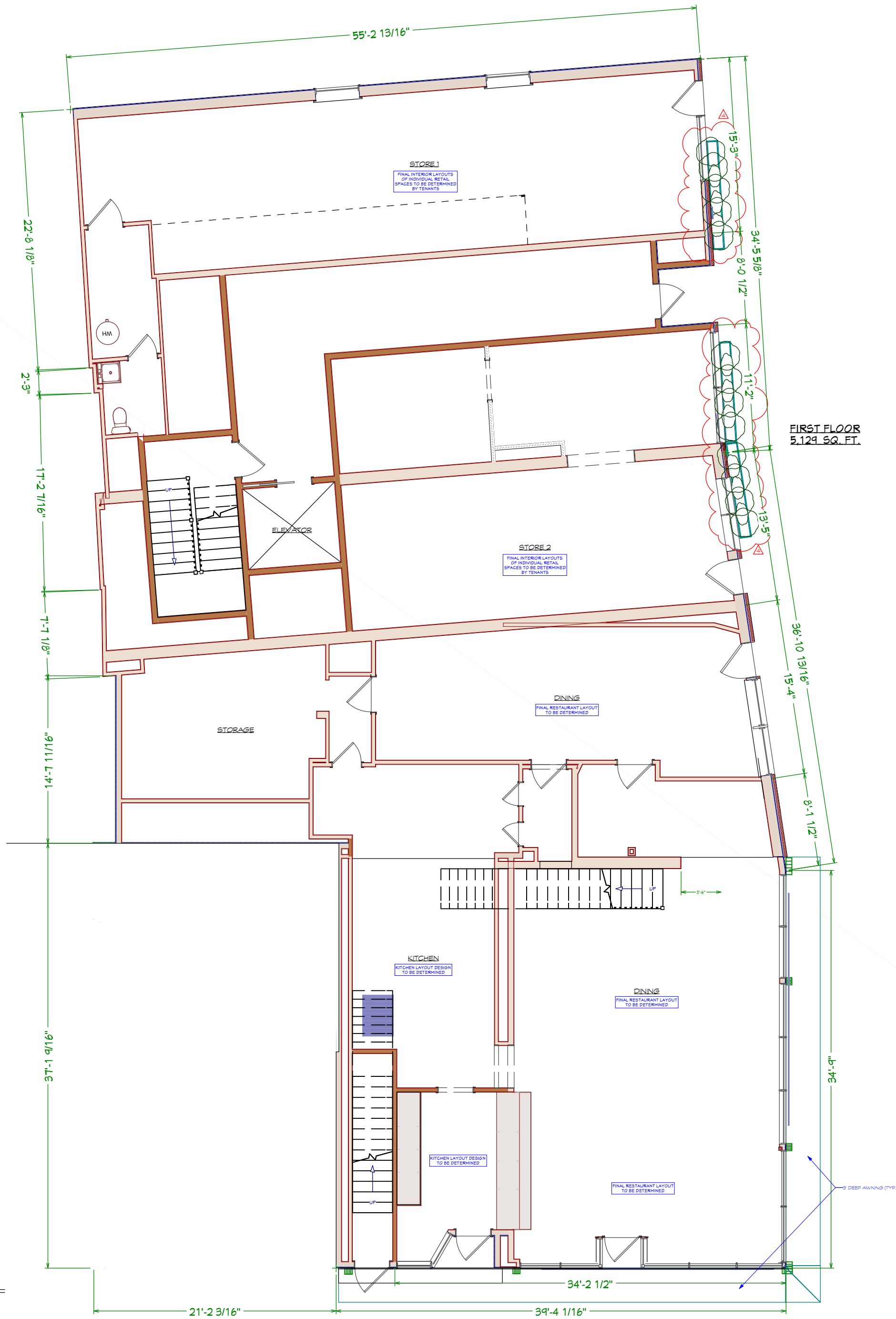


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SHEET TITLE:
EXISTING SECOND FLOOR PLAN

FIRST FLOOR PLAN
SCALE: 1/8" = 1' - 0"



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A1

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SHEET TITLE:
FIRST FLOOR PLAN

THIRD FLOOR PLAN
SCALE: 1/4" = 1' - 0"



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A3

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THIRD FLOOR PLAN

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FOURTH FLOOR
2,373 SQ. FT.

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FOURTH FLOOR PLAN

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	PROPOSED FRAMED CONSTRUCTION

The diagram illustrates the process of window replacement. It is divided into two horizontal sections. The top section shows a wall with a window opening. Above the opening, there are blue dashed lines and the text "EXISTING WINDOW TO BE REMOVED". The bottom section shows the same wall with a new window installed. The new window is shown in cross-section, with a brown frame and a white interior. Below the window, there is a brown base. To the right of the window, there is a white wall. The text "EXISTING WINDOW TO REMAIN" is written to the right of the window opening. Below the window, the text "PROPOSED WINDOW" is written.

EXISTING DOOR TO BE REMOVED

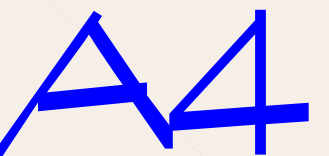
EXISTING DOOR TO REMAIN

PROPOSED DOOR

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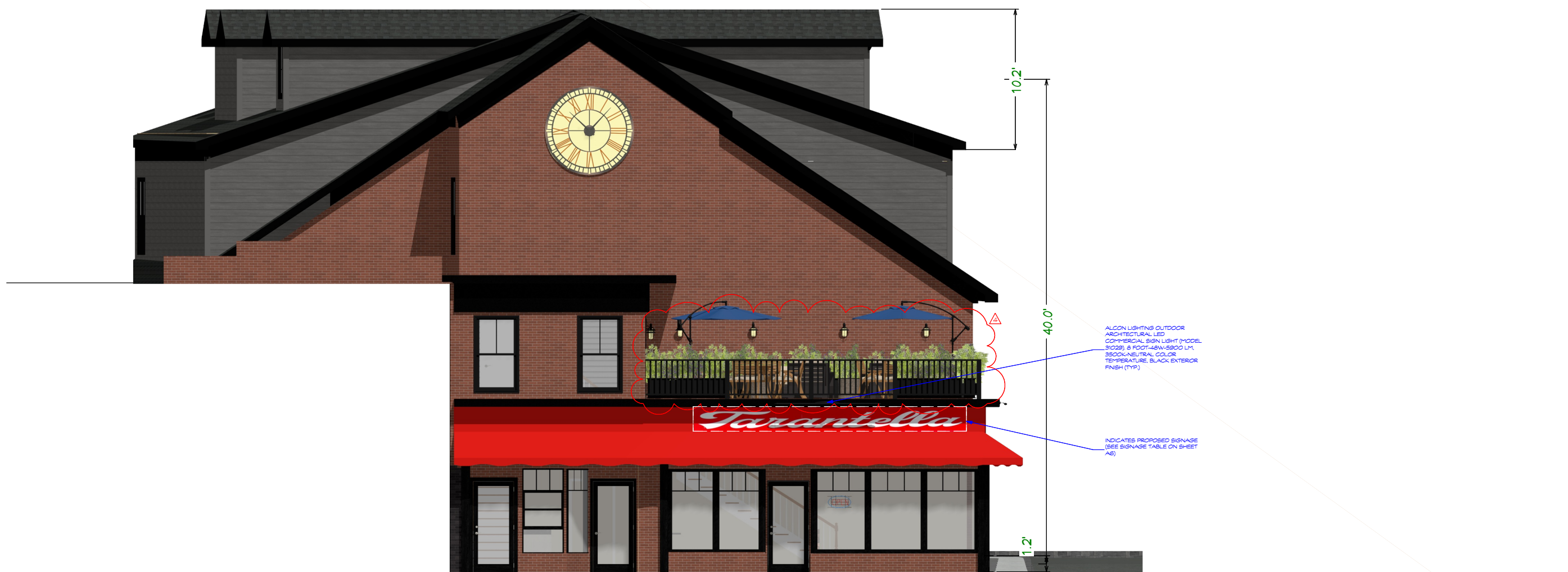
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EXISTING FRONT ELEVATION
SCALE: 1/8" = 1' - 0"



FRONT ELEVATION
SCALE: NTS

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FRONT ELEVATION

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	PROPOSED NEW CONCRETE BLOCK WALL
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	EXISTING WINDOW TO BE REMOVED
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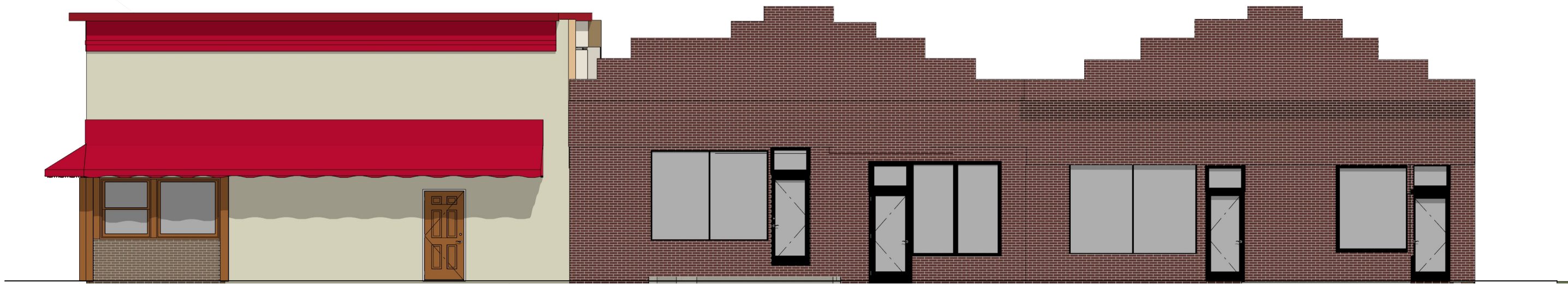
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A5



EXISTING RIGHT ELEVATION

SCALE: 1/8" = 1' - 0"

SIGNAGE VILLAGE OF NYACK ZONING CODE SECTION: 360.4.11 (E)			
UNIT NUMBER	STORE FRONT WIDTH (FEET)	ALLOWABLE SQUARE FOOTAGE (STOREFRONT WIDTH X 2/3 X 2)	PROPOSED (SQ.FT.) (LENGTH X HEIGHT)
TARANTELLA (MAIN STREET)	34.21	45.2 SQ.FT. (34.21 X 2/3 X 2)	44 SQ.FT. (20'-4" X 2'-2")
TARANTELLA (BRIDGE STREET)	42.88	56.6 SQ.FT. (42.88 X 2/3 X 2)	44 SQ.FT. (20'-4" X 2'-2")
RETAIL 1	15.33	20.2 SQ.FT. (15.33 X 2/3 X 2)	15.56 SQ.FT. (11'-8" X 1'-4")
RETAIL 2	24.5	32.3 SQ.FT. (24.5 X 2/3 X 2)	13.67 SQ.FT. (10'-3" X 1'-4")
BUILDING ENTRANCE	8	10.56 SQ.FT. (8 X 2/3 X 2)	7.33 SQ.FT. (5'-6" X 1'-4")
RETAIL 3	15.25	20.13 SQ.FT. (15.25 X 2/3 X 2)	15.56 SQ.FT. (11'-8" X 1'-4")



RIGHT ELEVATION

SCALE = NTS

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RIGHT ELEVATION

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AG

REAR ELEVATION
SCALE: 1/4" = NTS



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REAR ELEVATION

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2025-02-24	PB SET 2 COVERSHEET ONLY	AML
2025-08-28	PB SET 1 COVERSHEET ONLY	AML
2025-08-28	REVISIONS PER BOARD COMMENTS	SAB

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