

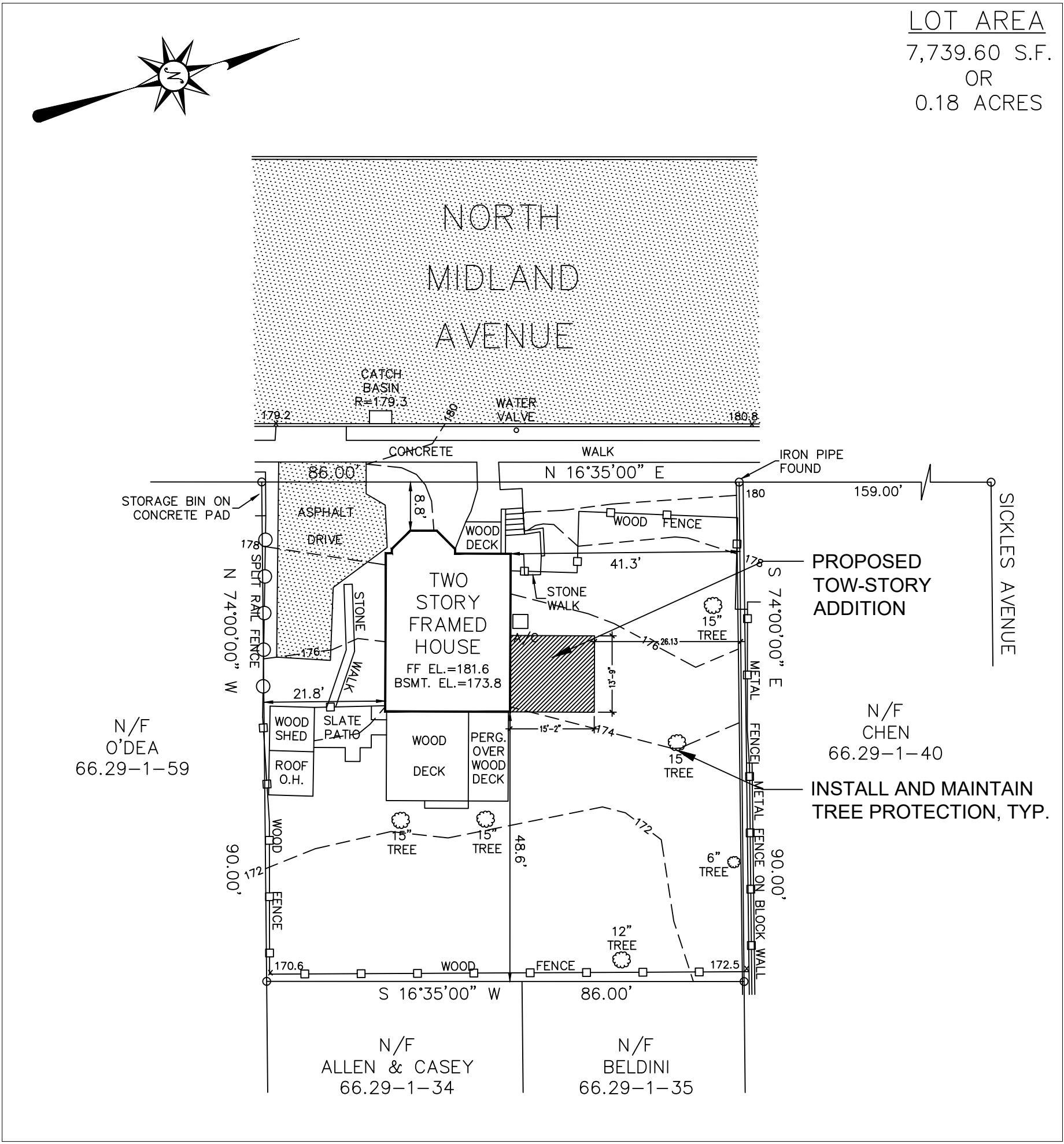
1
A-0
VICINITY MAP
N.T.S.

BULK REQUIREMENTS

OWNER OF RECORD DAVID A. HILL & MARY K. GERKEN
PROPERTY ADDRESS 77 NORTH MIDLAND AVENUE
TAX LOT NUMBER SECTION 66.29 BLOCK 1 LOT 41
ZONE: TFR ONE-FAMILY

	REQUIRED	EXISTING	PROPOSED	CHANGE
MINIMUM LOT AREA	5,000	7,739.6	7,739.6	NO CHANGE
MINIMUM LOT WIDTH	50	86	86	NO CHANGE
MINIMUM STREET FRONTAGE				
MINIMUM LOT DEPTH				
MINIMUM FRONT SETBACK	18	8.8*	8.8*	NO CHANGE
MINIMUM SIDE SETBACK	8.6	21.8	21.8	NO CHANGE
MINIMUM TOTAL SIDE SETBACK (BOTH)	25.8	63.1	47.9	-15.2
MINIMUM REAR SETBACK	27	48.6	48.6	NO CHANGE
BUILDING HEIGHT (STORIES)	2	2	2	NO CHANGE
BUILDING HEIGHT (FEET)	32	31	31	NO CHANGE
MINIMUM USABLE OPEN SPACE	1,000	6,315	6,106	-209
MIN. DWELLING SIZE	900	1,885**	2,303**	+418
ACCESSORY BUILDING				
MAXIMUM BUILDING HEIGHT	12	12	12	NO CHANGE
MAXIMUM BUILDING COVERAGE	7%	0.8%	0.8%	NO CHANGE
MINIMUM PARKING REQUIREMENTS	2	2	2	NO CHANGE

* EXISTING NON-CONFORMING
** GROSS AREA



2
A-0
SITE PLAN
SCALE: 1" = 20'

TAX MAP SECTION 66.29-1-41
VILAGE OF NYACK, TOWN OF ORANGETOWN,
COUNTY OF ROCKLAND

THE INFORMATION ON THIS DRAWING WAS TAKEN FROM
A SURVEY FOR
DAVID HILL & MARY GERKEN
DATED NOVEMBER 22, 2024

PREPARED BY
WILLIAM E. JAMES, P.E., P.L.S.
8 CHEANDA LANE
WALLKILL, NY 12589
PHONE: 845-566-8522

PROJECT SCOPE OF WORK

- TWO-STORY ADDITION AT SIDE YARD OF EXISTING HOUSE. TWO FLOORS WITH 209 SF EACH. NEW MASTER BEDROOM ON 1ST FLOOR. NEW POWDER ROOM, LAUNDRY AREA AND STORAGE ON BASEMENT/ LOWER LEVEL.
- NEW TUB ROOM ADJACENT TO EXISTING POWDER ROOM ON FIRST FLOOR

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA ROCKLAND COUNTY														
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND- BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE						
30	115/ SPECIAL	TBD BY AHJ	YES	TBD BY AHJ	B	SEVERE	36"	MODERATE/ HEAVY	HDD4910 15° F	YES	NO	1500	49.6° F	

BUILDING CODE INFORMATION

- ALL CONSTRUCTION SHALL COMPLY WITH
- 2020 RESIDENTIAL CODE OF NEW YORK STATE
 - 2017 NATIONAL ELECTRICAL CODE
 - 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE AND THE NYSTRETCH 2020 CODE
 - 2020 FUEL GAS CODE OF NEW YORK STATE
 - 2020 MECHANICAL CODE OF NEW YORK STATE
 - 2020 PLUMBING CODE OF NEW YORK STATE

USE GROUP: R-3 SINGLE-FAMILY DETACHED DWELLING
CONSTRUCTION TYPE: V-B

SMOKE AND CARBON MONOXIDE PROTECTION

COMPLY WITH NYS RESIDENTIAL CODE R314, R315 AND NFPA 72

ENERGY CODE COMPLIANCE

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED ARCHITECT THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AS CURRENTLY IN EFFECT.

16 NYCRR PART 753 - PROTECTION OF UNDERGROUND FACILITIES
REQUIRE 2 TO 10 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK



- DRAWING INDEX
- SP-1 SITE PLAN, BULK TABLE
 - A-0 CODE NOTES, LEGENDS, SILT FENCE
 - A-1 FLOOR PLANS
 - A-2 EXISTING ELEVATIONS
 - A-3 PROPOSED ELEVATIONS
 - A-4 SECTION A
 - A-5 DETAILS, DOORS & WINDOWS, PLUMBING DIAGRAM
 - A-6 INTERIOR ELEVATIONS
 - G GENERAL NOTES & SPECIFICATIONS

TWO-STORY ADDITION

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ARCHITECTURE

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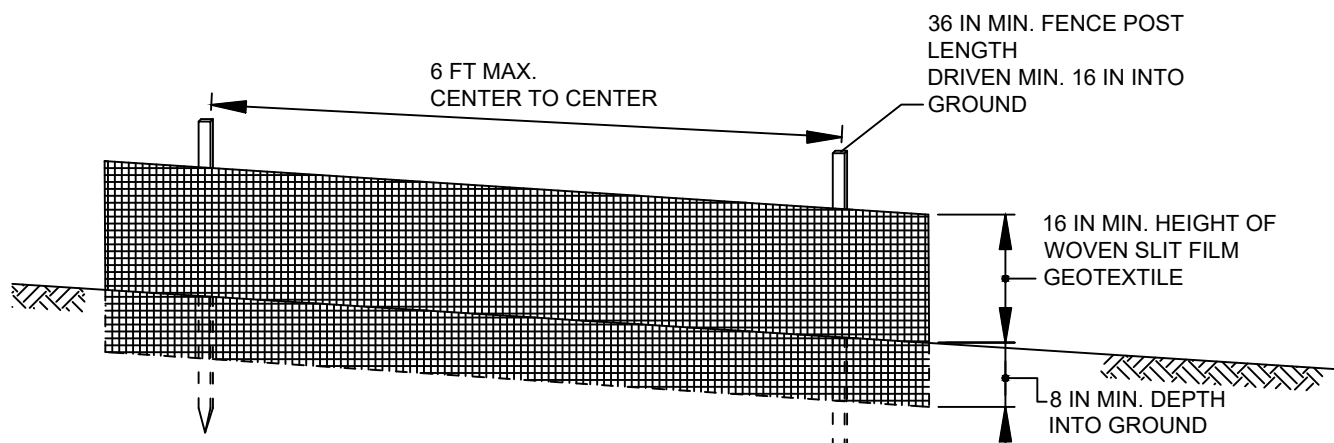
REVIEW SET 5/28/25

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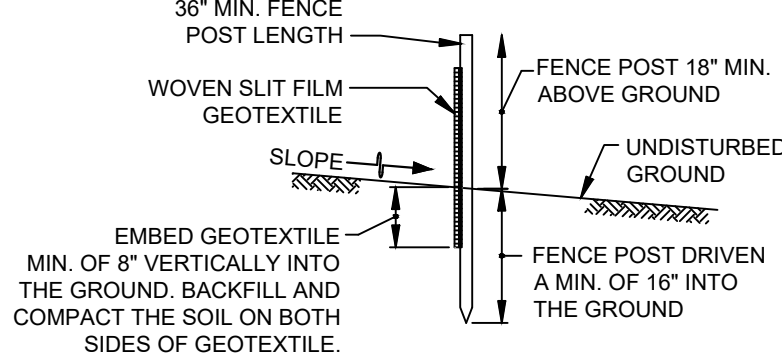
SITE PLAN,
BULK TABLE,
NOTES

PROJECT NO.
DRAWN BY
SCALE
DATE

SP-1



ELEVATION

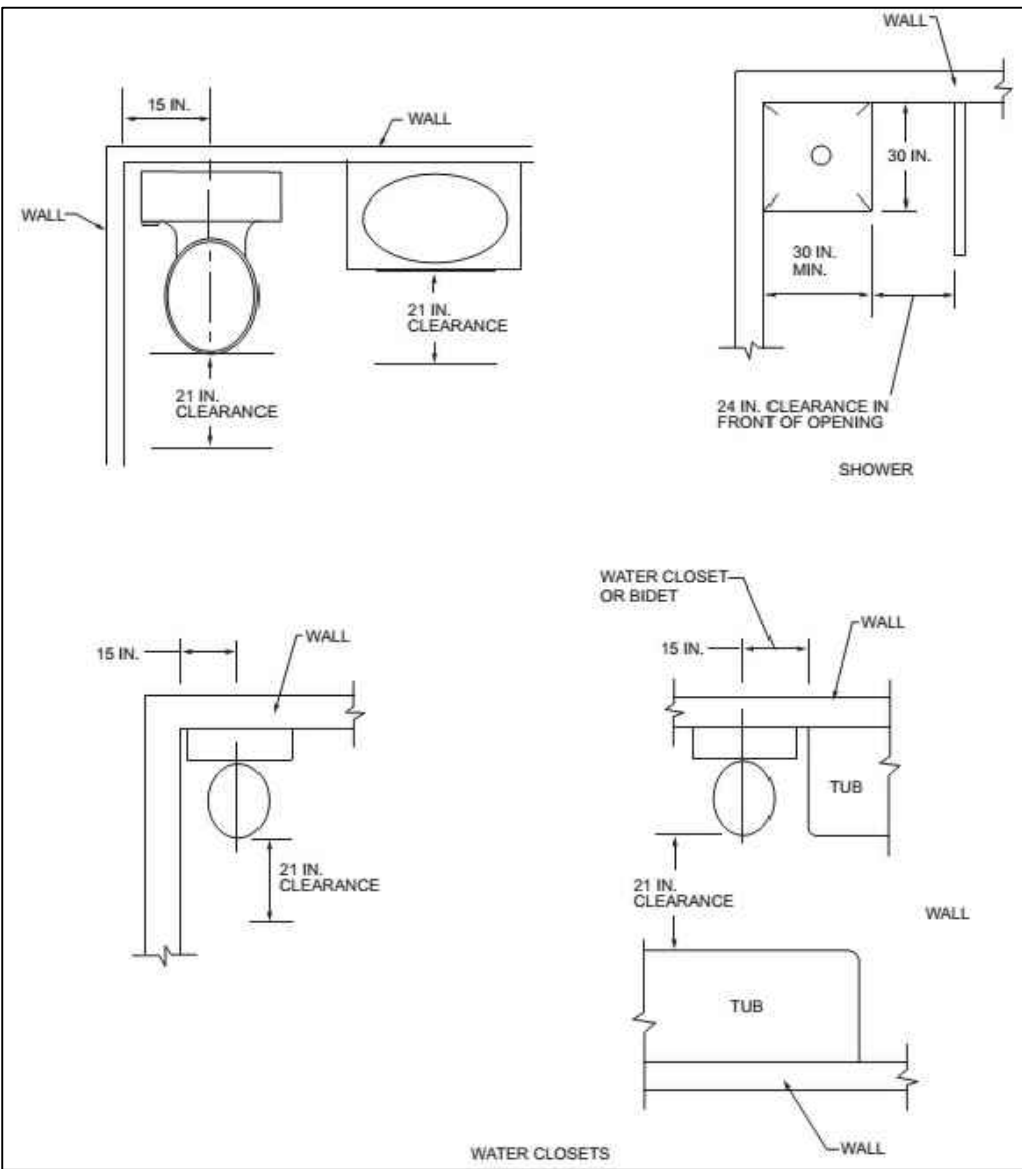


SECTION

1
A-0
1/2" = 1'-0"

SILT FENCE DETAIL

CODE REQUIRED MINIMUM
PLUMBING FIXTURE CLEARANCE



ENERGY COMPLIANCE NOTES

- LIGHTING SYSTEM TO COMPLY WITH ENERGY CODE REQUIREMENTS.
- HEATING SYSTEM SIZED PER ACCA MANUAL S BASED ON LOADS CALCULATED PER ACCA MANUAL J OR OTHER METHODS APPROVED BY THE CODE OFFICIAL.
- HOT WATER PIPES TO BE INSULATED TO MIN R-3
- ENERGY CONSERVATION MEASURES FOR SWH SYSTEMS TO FOLLOW GUIDELINES IN SECTION R403.1-5, 2020 ENERGY CONSERVATION CODE OF NYS
- PROGRAMMABLE THERMOSTATS TO BE INSTALLED FOR CONTROL OF PRIMARY HEATING SYSTEM AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS.
- HOT WATER BOILERS SUPPLYING HEAT THROUGH ONE- OR TWO-PIPE HEATING SYSTEMS HAVE OUTDOOR SETBACK CONTROL TO LOWER BOILER WATER TEMPERATURE BASED ON OUTDOOR TEMPERATURE.
- MANUFACTURER MANUALS FOR MECHANICAL AND WATER HEATING SYSTEMS HAVE BEEN PROVIDED.
- 90% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY >= 64 LUMENS/WATT OR HAVE A TOTAL LUMINAIRE EFFICACY >= 45 LUMENS/WATT.
- BLOWER DOOR TESTS @ 50 PA <=5 ACH
- INSTALL AUTOMATIC OR GRAVITY DAMPERS AT ALL OUTDOOR AIR INTAKES AND EXHAUSTS.
- IC-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/INTERIOR FINISH AND LABLED TO INDICATE <=2.0 CFM LEAKAGE AT 75 PA.
- AIR BARRIER AND THERMAL BARRIER INSTALLED PER MANUFACTURER'S INSTRUCTIONS. AN APPROVED THIRD-PARTY WILL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.
- POST COMPLIANCE CERTIFICATE.

ABBREVIATIONS

CL	CLOSET
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CLG.	DETECTOR
DIM	DIMENSION
DN	DOWN
DWG	DRAWING
EA	EACH
ELEC	ELECTRICAL
EQ	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
FND	FOUNDATION
GWB	GYPSUM WALL BOARD
HT.	HEIGHT
HW	HOT WATER HEATER
INSUL	INSULATION
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
OC	ON CENTER
PREP.	PREPARE
PT	PRESSURE TREATED
REQ	REQUIRED
SEL.	SELECTED
T&G	TONGUE AND GROOVE
TYP.	TYPICAL
WD.	WOOD

BRACING

CONTINUOUS STRUCTURAL SHEATHING ON ALL EXTERIOR WALL SURFACES, INCLUDING GABLE ENDS TO BE INSTALLED PER THE REQUIREMENTS OF THE NYS RC FOR WALL BRACING R602.10 THRU R602.12

FIREBLOCKING

INSTALL BOTTOM AND TOP PLATES IN ACCORDANCE WITH THE NYS RC R302.11 REQUIREMENTS FOR FIREBLOCKING. SEAL ALL OPENINGS AROUND VENTS, PIPES, CABLES AND WIRES AT CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION. INSTALL FIREBLOCKING MATERIAL AT SHOWER DRAIN.

DRAFTSTOPPING

PROVIDE DRAFTSTOPPING SO THAT CONCEALED SPACE OF FLOOR-CEILING ASSEMBLY DOES NOT EXCEED 1,000 SF IN ACCORDANCE WITH NYS RC R302.12 NO DRAFTSTOPPING REQUIRED FOR AREAS <1,000SF.

GENERAL NOTES

- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE INDICATED. DOOR SIZES ARE IN FEET AND INCHES. DOOR HEIGHT IS 6'-8" UNLESS OTHERWISE INDICATED.
- ALL NEW EXTERIOR WALLS ARE 2x6 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 2x4 STUDS UNLESS OTHERWISE NOTED.
- DOUBLE UP JOISTS UNDER PARALLEL PARTITIONS.
- ALL WOOD IN CONTACT WITH CONCRETE, MASONRY AND/OR SOIL SHALL BE PRESSURE-PRESERVATIVE-TREATED.
- ALL WALL BASE PATES SHALL BE SET IN A MINIMUM 3/8" BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH CEILINGS AND EXTERIOR WALLS SHALL BE AIR SEALED WITH EXPANDING FOAM AND/OR SILICONE CAULK.
- WINDOWS ARE 400 SERIES BY ANDERSEN. PROVIDE ALL OPERATING UNITS WITH SCREENS. UNIT NUMBERS ARE INDICATED ON THE PLANS.
- FLASH ALL WINDOW OPENINGS WITH A PEEL AND STICK TYPE MEMBRANE FLASHING. FLASH SILL TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE.
- SEAL AROUND ALL DOOR AND WINDOW ROUGH OPENINGS WITH MINIMALLY EXPANDING FOAM. FOLLOW MANUFACTURER'S PRECAUTIONS.
- ALL FASTENERS, NAILS AND HANGERS WHICH COME INTO CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SST. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENERS COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER. HDG TO HDG AND STAINLESS TO STAINLESS.
- ANY EXISTING EXTERIOR WALL CAVITY THAT IS OPENEND SHALL BE FILLED TO THE FULL DEPTH OF THE CAVITY WITH HIGH DENSITY FIBERGLASS INSULATION. MINIMUM R-15. TYPICAL.
- REFER TO THE SPECIFICATIONS FOR MORE INFORMATION.

DEMOLITION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING AND PROTECTION OF ANY PART OF THE JOB SITE TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS, METHODS, PROCEDURES, SAFETY DIRECTIVES, AND REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT BUILDING AREAS AND PROPERTIES. ANY DAMAGE TO ADJACENT AREAS SHALL BE REPAIRED OR REPLACED WITHOUT CHARGE TO THE OWNER.
- ALL MATERIALS WHICH ARE REMOVED OR DEMOLISHED SHALL BE DISPOSED OF OFF-SITE AS REQUIRED BY LOCAL REGULATIONS.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATED DEBRIS AT ALL TIMES. EACH AREA SHALL BE LEFT IN A BROOM CLEAN CONDITION DAILY.

LINTEL & HEADER NOTES:

- PROVIDE ONE STEEL LINTEL FOR EVERY 4" OF MASONRY THICKNESS.
- STEEL LINTELS SHALL HAVE A MINIMUM OF 4" OF BEARING AT EACH END. WOOD HEADERS SHALL HAVE A MINIMUM OF 2" OF BEARING AT EACH END.

MATERIAL LEGEND

	EARTH
	GRAVEL
	CONCRETE
	CONCRETE MASONRY
	BRICK
	STONE
	STEEL
	ROUGH WOOD, CONT.
	BLOCKING
	FINISHED WOOD
	PLYWOOD
	PLYWOOD
	BATT INSULATION
	BOARD INSULATION
	SPRAY FOAM INSULATION
	GYPSUM BOARD
	STUCCO W/ LATH
	CEMENT BOARD

CONSTRUCTION & DEMOLITION LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED

	EXISTING ITEMS TO BE REMOVED
--	------------------------------

	NEW PARTITION
--	---------------

	EXISTING DOOR
--	---------------

	NEW DOOR
--	----------

	SECTION MARK
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ELECTRICAL LEGEND

	CEILING MOUNTED LIGHT FIXTURE AS SEL. BY OWNER
	WALL SCONCE AS SEL. BY OWNER
	RECESSED CEILING LIGHTS
	WATER PROOF RECESSED CEILING LIGHT
	BATHROOM EXHAUST FAN
	SINGLE POLE SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	DUPLEX RECEPTACLE
	GROUND FAULT INTERRUPTED QUAD RECEPTACLE
	DEDICATED RECEPTACLE
	CABLE TELEVISION JACK LOCATION
	3-SPEED REVERSIBLE CEILING FAN AS CHOSEN BY OWNER
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

TWO-STORY ADDITION

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6/10/25

REVIEW SET

5/28/25

DRAWING TITLE

CODE NOTES,
SILT FENCE,
LEGENDS

PROJECT NO.

DRAWN BY

SCALE

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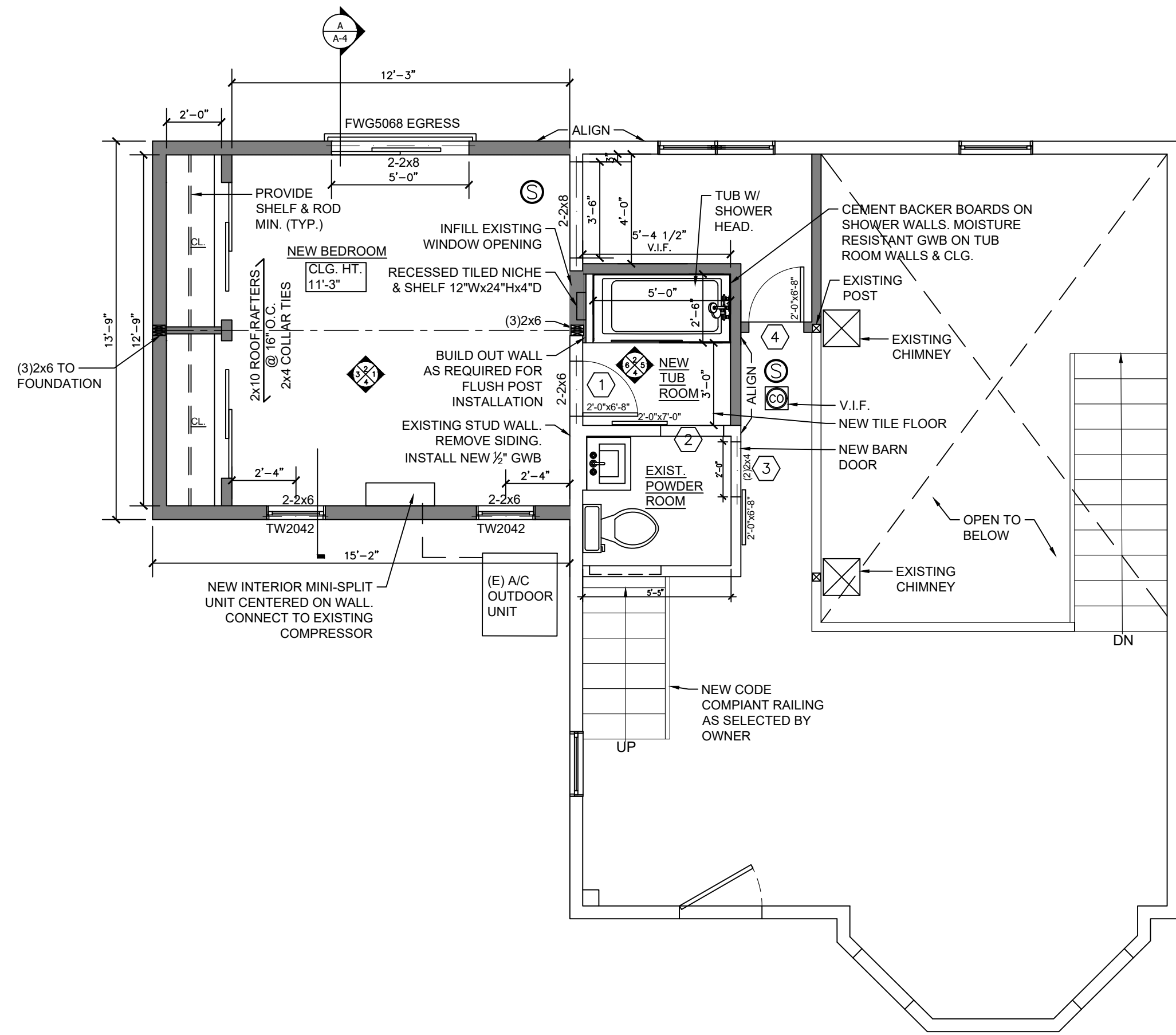
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NYS RESIDENTIAL CODE NOTES:

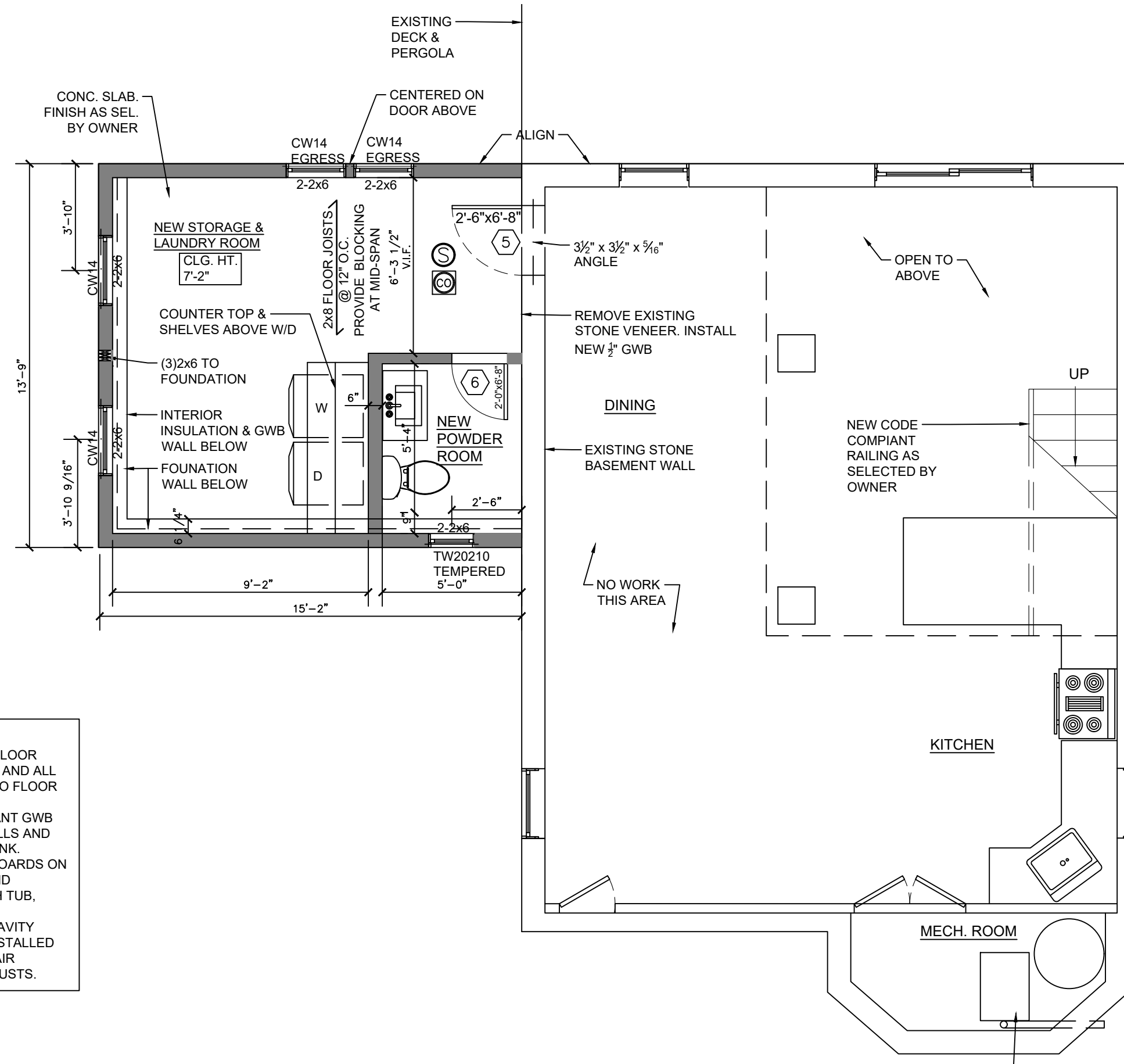
- R302.9: Wall & ceiling finishes shall have a flame spread index of not greater than 200 and a smoke-developed index of not greater than 450, tested in accordance w/ ASTM E84 or UL723, or as an alternative as per R302.9.4
- R302.10: Insulating materials installed within floor-ceiling assemblies, roof-ceiling assemblies, wall assemblies, crawl spaces and attics shall exhibit a flame spread index not to exceed 25 and a smoke-developed index not to exceed 450 where tested in accordance with ASTM E84 OR UL 723.
- R602.3: Exterior walls of wood-frame construction shall be designed and constructed in accordance with the provisions of chapter R602.3 and figures R602.3(1) and R602.3(2), or in accordance with AWC NDS. Components of exterior walls shall be fastened in accordance with tables R602.3(1) through R602.3(4). Wall sheathing shall be fastened directly to framing members and, where placed on the exterior side of an exterior wall, shall be capable of resisting the wind pressures listed in table R301.2(2) adjusted for height and exposure using table R301.2(3) and shall conform to the requirements of table R602.3(3). Wall sheathing used only for exterior wall covering purposes shall comply with section R703. Studs shall be continuous from support at the sole plate to a support at the top plate to resist loads perpendicular to the wall. The support shall be a foundation or floor, ceiling or roof diaphragm or shall be designed in accordance with accepted engineering practice. Exception: jack studs, trimmer studs and cripple studs at openings in walls that comply with tables R602.7(1) and R602.7(2).

- R602.3.2: Wood stud walls shall be capped with a double top plate installed to provide overlapping at corners and intersections with bearing partitions. end joints in top plates shall be offset not less than 24 inches. Joints in plates need not occur over studs. Plates shall be not less than 2-inches nominal thickness and have a width not less than the width of the studs.
- R602.3.4 Bottom (sole) plate shall be not less than 2-inches nominal thickness and have a width not less than the width of the studs.
- R602.4: Interior load-bearing walls shall be constructed, framed and fireblocked as specified for exterior walls.
- R602.6.1: Where piping or ductwork is placed in or partly in an exterior wall or interior load-bearing wall, necessitating cutting, drilling or notching of the top plate by more than 50% of its width, a galvanized metal tie not less than 0.054 inches thick (16 ga.) and 1 ½ inches wide shall be fastened across and to the plate at each side of the opening with not less than 8 10d nails 1 ½ inches in length at each side. The metal tie shall extend not less than 6 inches past the opening. See figure R602.6.1.
- R602.7: For headers spans, see tables R602.7(1) through R602.7(3).

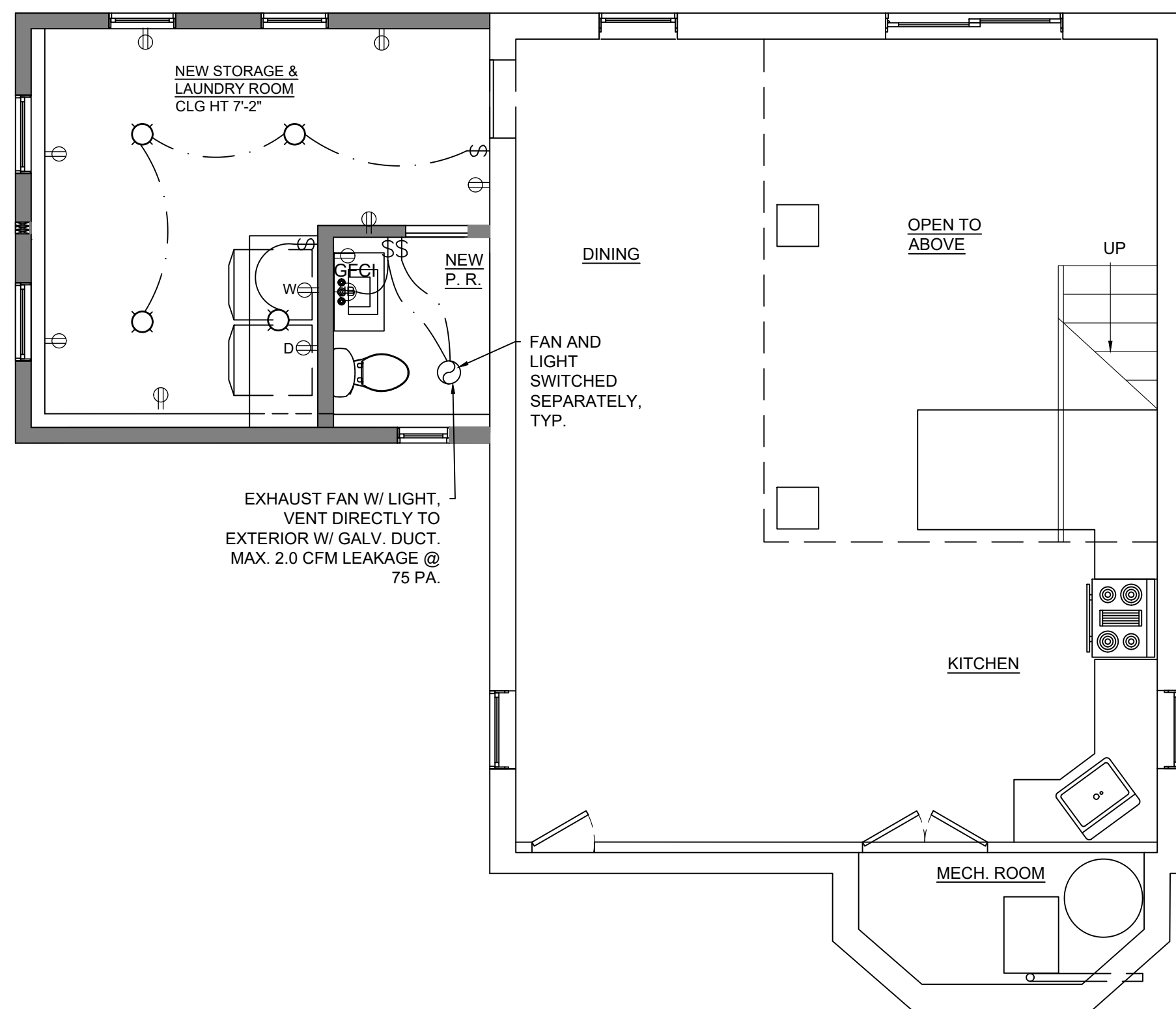
Inspection of wall bracing shall be performed by a design professional and a certification letter provided to the building department prior to the issuance of the C of O.



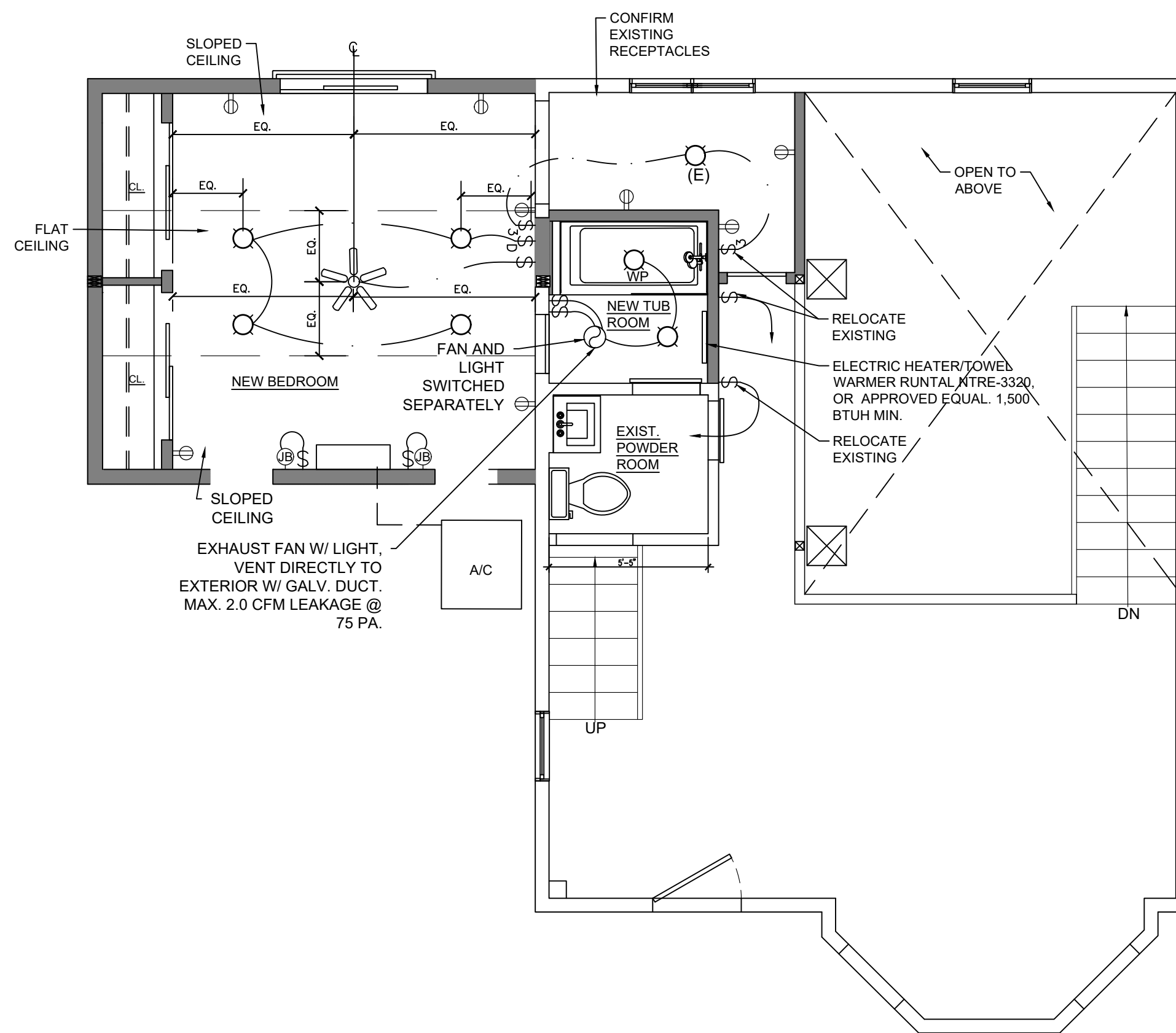
1 PROPOSED LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



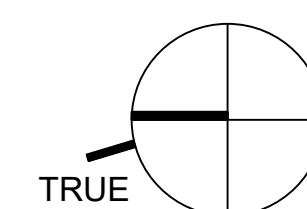
2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED LOWER FLOOR ELECTRICAL LAYOUT
SCALE: 1/4" = 1'-0"



3 PROPOSED FIRST FLOOR ELECTRICAL LAYOUT
SCALE: 1/4" = 1'-0"



TWO-STORY ADDITION

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DRAWING TITLE FLOOR PLANS

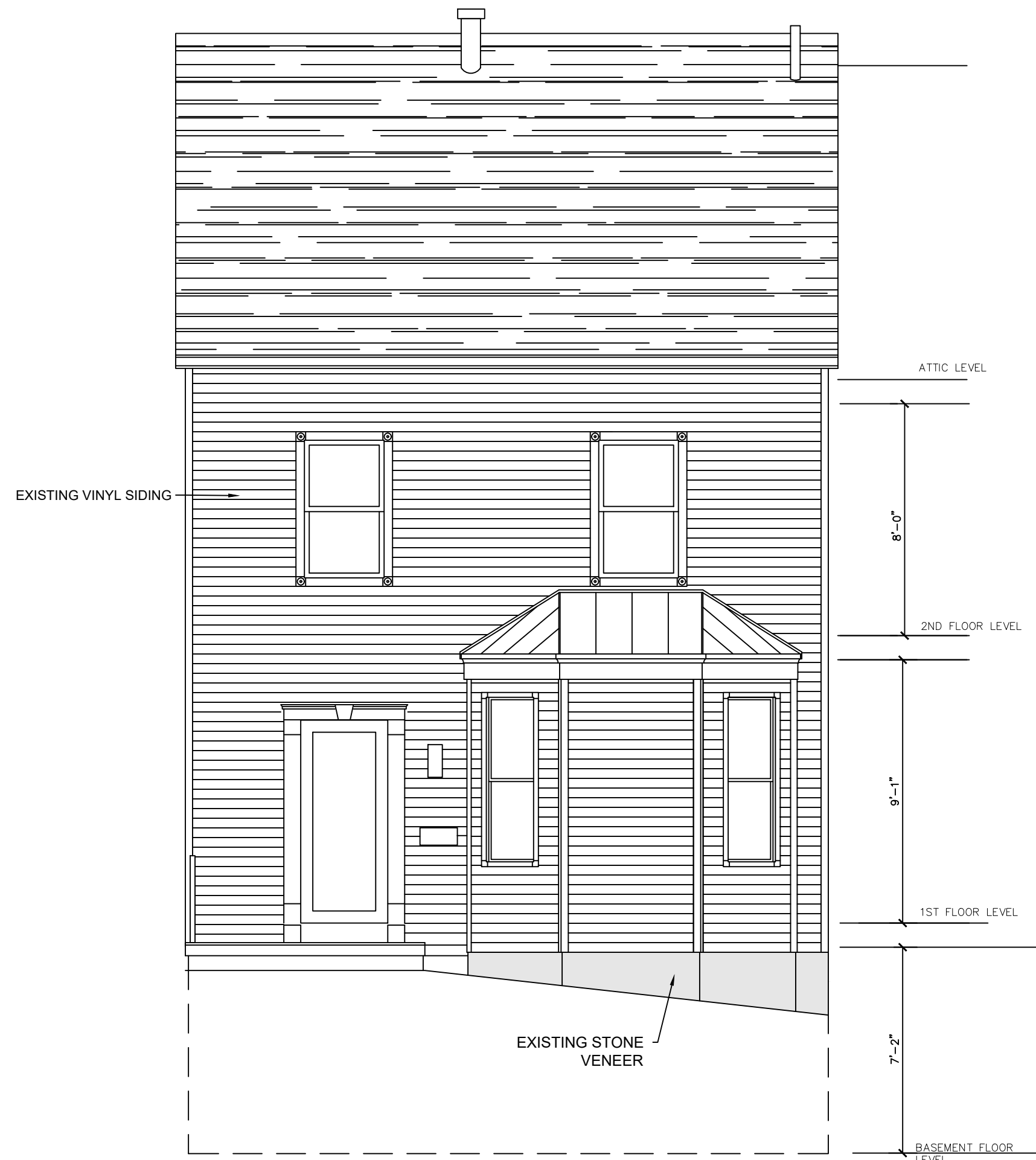
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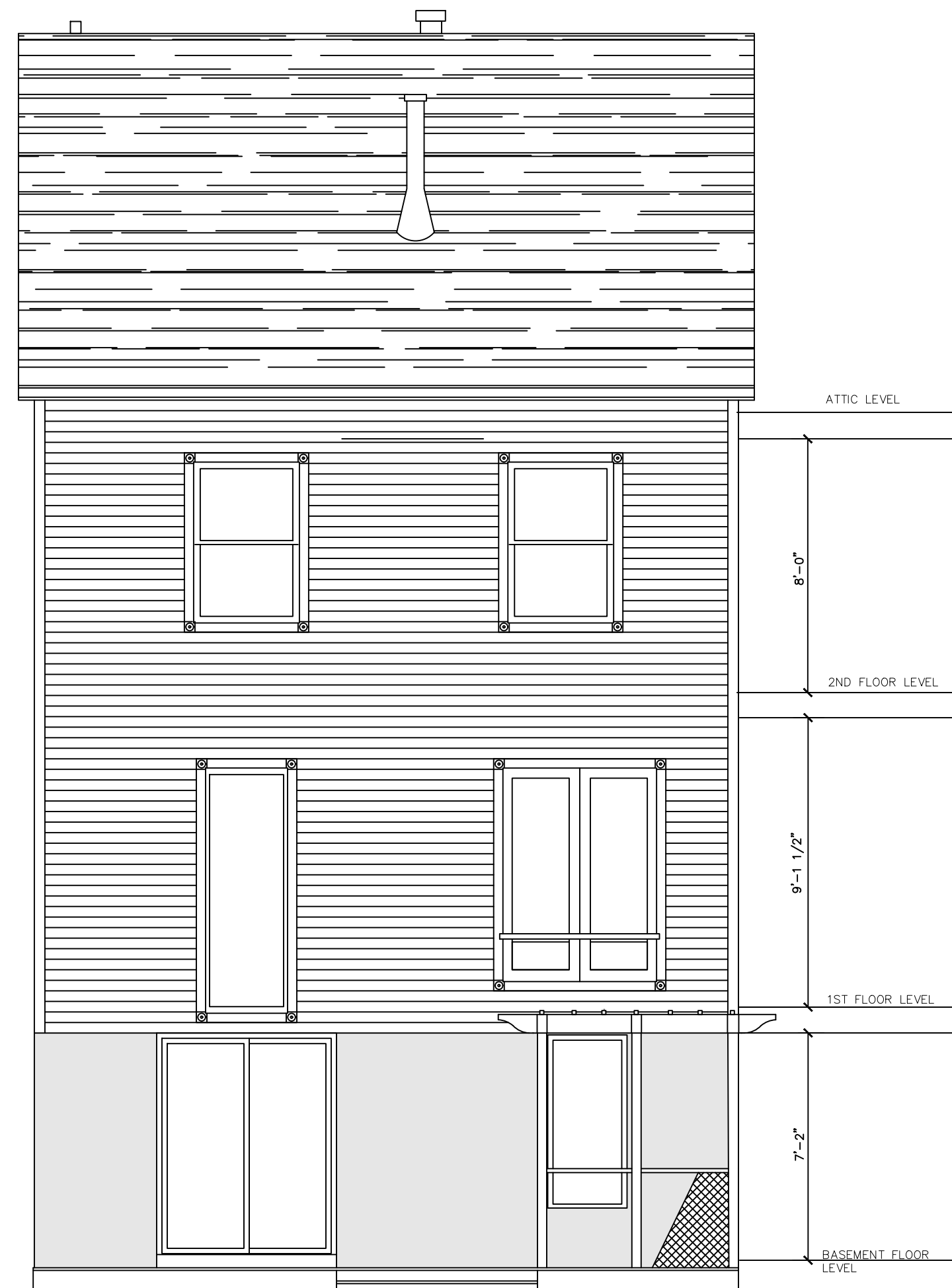
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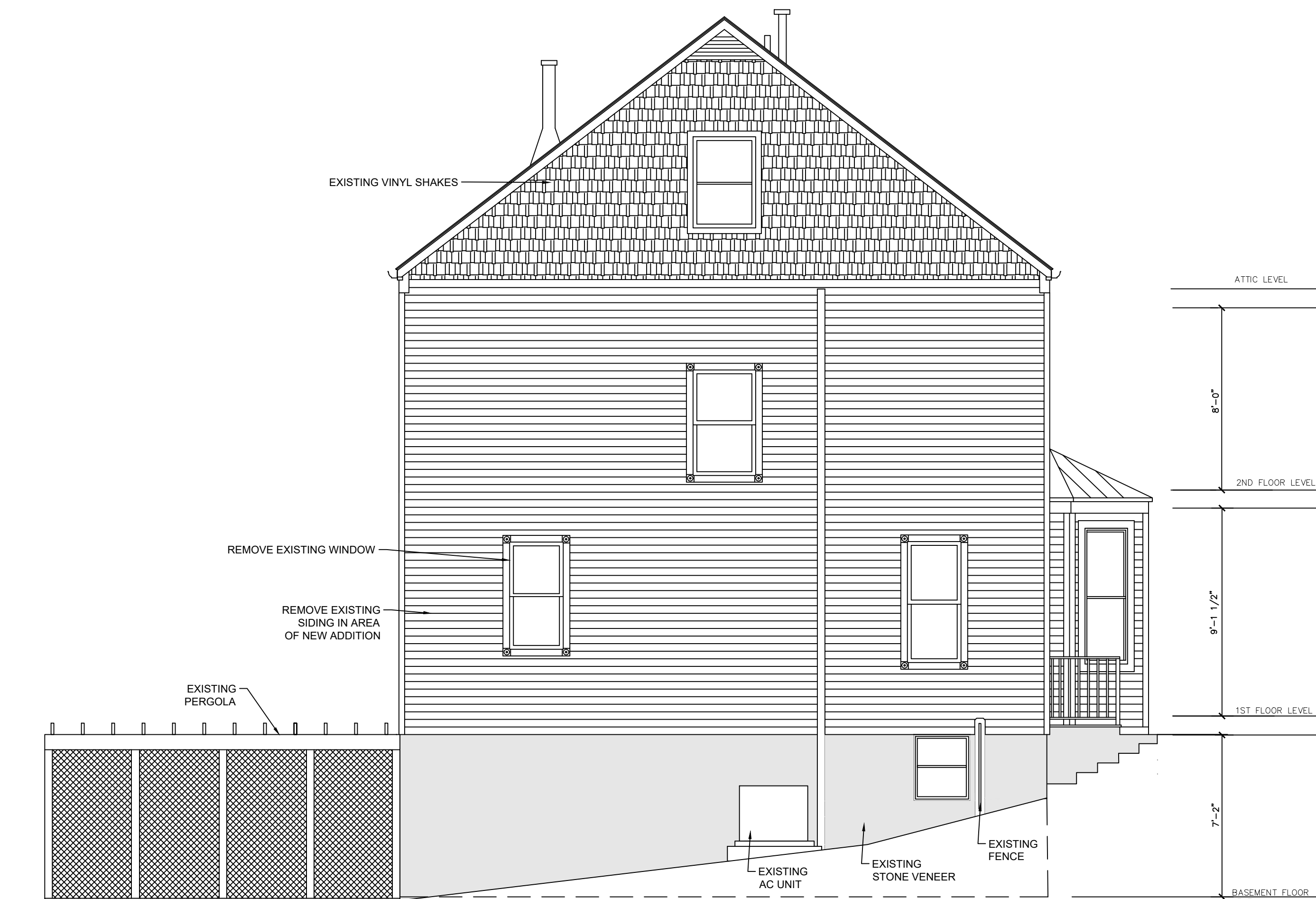
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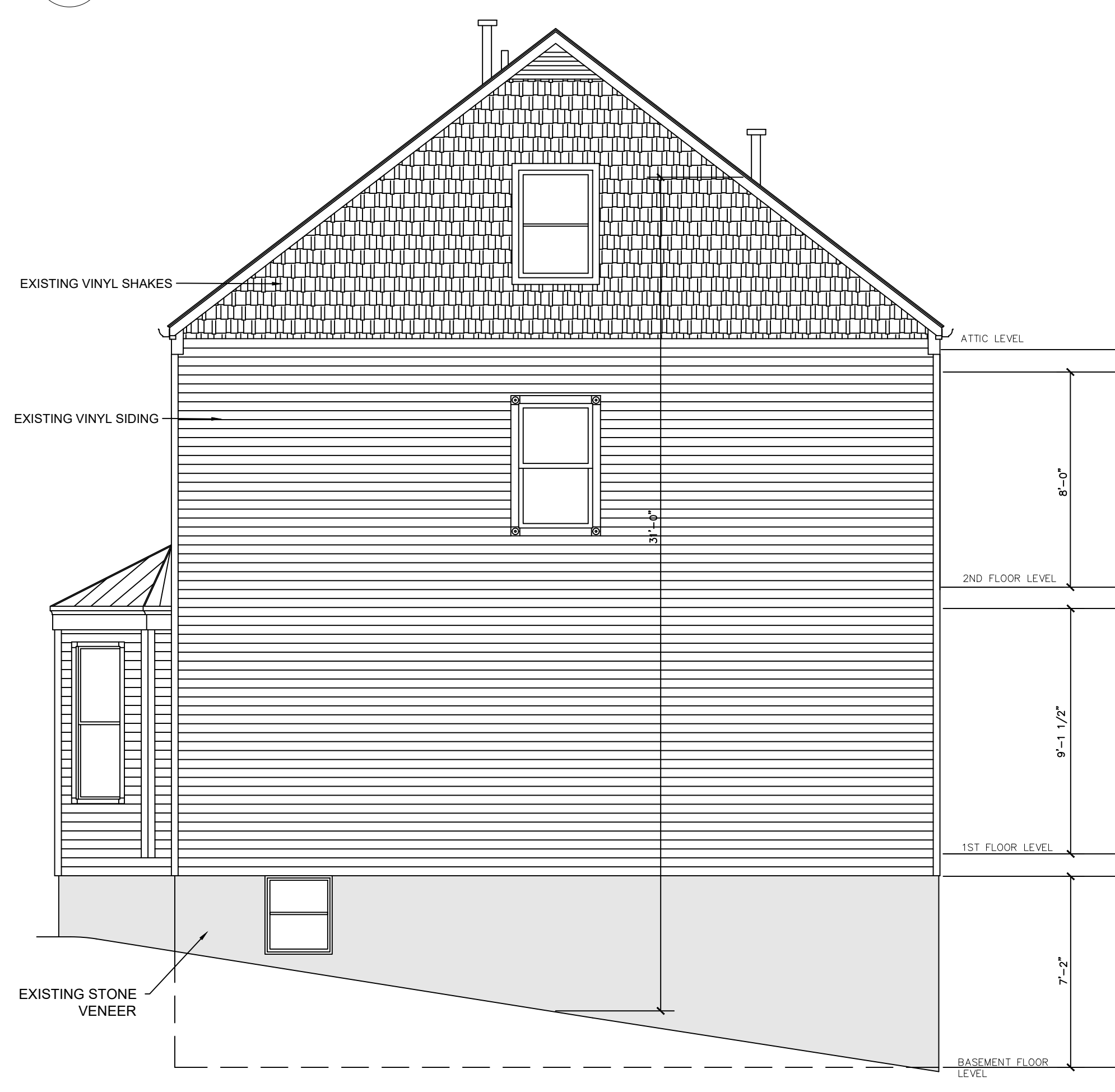
1
A-2
EXISTING FRONT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



3
A-2
EXISTING REAR ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



2
A-2
EXISTING SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



4
A-2
EXISTING SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

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**EXISTING
ELEVATIONS**

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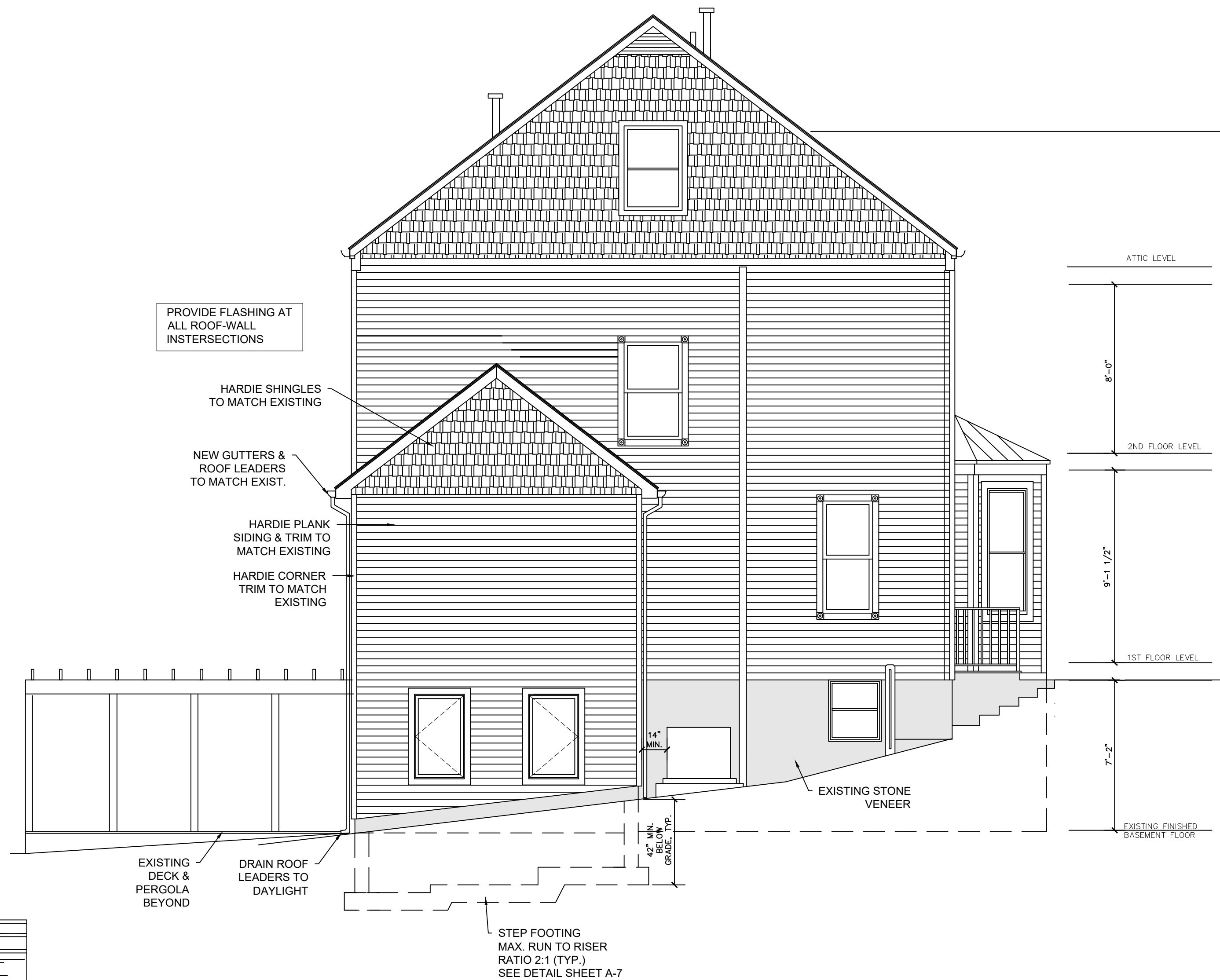
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A-2



1
A-3
PROPOSED FRONT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



2
A-3
PROPOSED SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



3
A-3
PROPOSED REAR ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

NO CHANGES TO SIDE
ELEVATION (SOUTH)

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**PROPOSED
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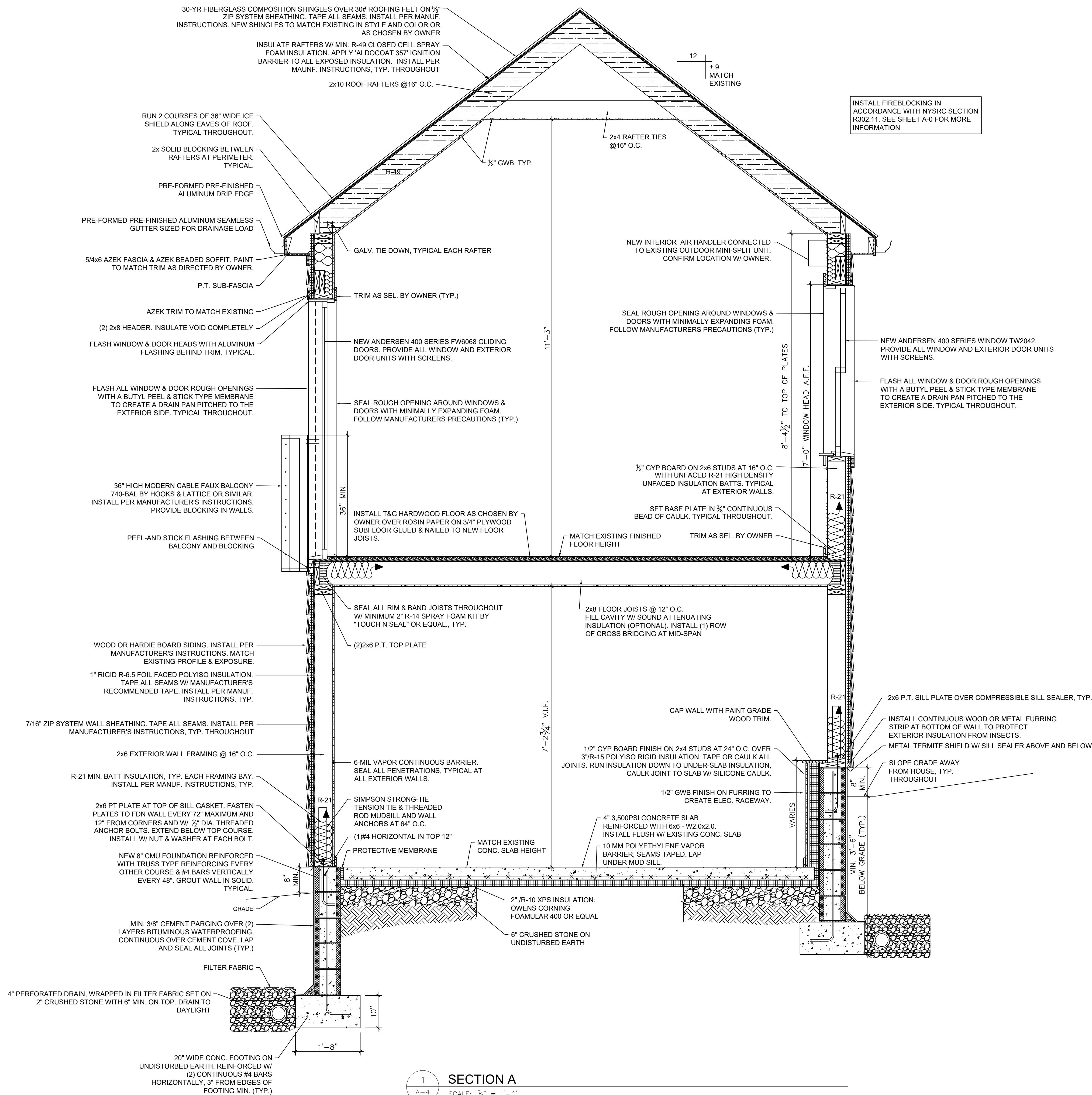
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A-3



1 SECTION A
A-4 SCALE: 3/4" = 1'-0"

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SECTION A

PROJECT NO.	A-4
DRAWN BY	
SCALE	
DATE	

DOORS & WINDOWS

DOOR SCHEDULE								
	DOOR NUMBER	ROOM	SIZE	THICKNESS	STYLE	FINISH	FRAME	NOTE
FIRST FLOOR	1	MASTER BEDROOM TO TUB ROOM	2'-0"x6'-8"	1 3/4"	AS SEL. BY OWNER	PAINTED	WOOD	
	2	TUB ROOM TO POWDER ROOM	2'-0"x7'-0"	0'-1 3/4"	AS SEL. BY OWNER	PAINTED	WOOD	BARN DOOR PRIVACY LOCKSET
	3	HALL TO POWDER ROOM	2'-0"x6'-8"	0'-1 3/4"	AS SEL. BY OWNER	PAINTED	WOOD	BARN DOOR PRIVACY LOCKSET
	4	HALL TO ANTE ROOM	2'-0"x6'-8"	0'-1 3/4"	AS SEL. BY OWNER	PAINTED	WOOD	
LOWER LEVEL	5	DINING TO STORAGE/LAUNDRY	2'-6"x6'-8"	0'-1 3/4"	AS SEL. BY OWNER	PAINTED	WOOD	
	6	STORAGE/LAUNDRY TO POWDER ROOM	2'-0"x6'-8"	0'-1 3/4"	AS SEL. BY OWNER	PAINTED	WOOD	PRIVACY LOCKSET

WINDOW ENERGY NOTES

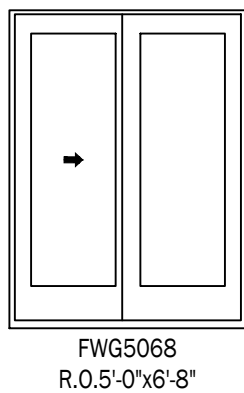
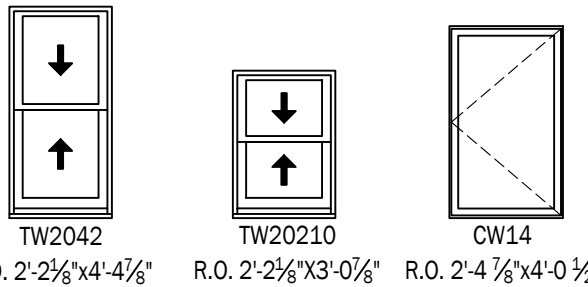
ALL NEW WINDOWS AND DOORS MEET OR EXCEED REQUIREMENTS OF THE 2020 ECCC AND STRETCH CODE OF NYS. U-FACTORS ARE DETERMINED IN ACCORDANCE WITH THE NFRC TEST PROCEDURES. MAX U=0.27 FOR WINDOWS

ENERGY PERFORMANCE DATA

ANDERSEN 400 SERIES, NO GRILLES
TW2042:
LOW-E4 W/ HEATLOCK, U-FACTOR 0.26
TW20210:
TEMPERED, LOW-E4 W/ HEATLOCK, U-FACTOR 0.27
CW14:
LOW-E4 SMARTSUN, U-FACTOR 0.27

FWG5068
TEMPERED, LOW-E4 W/ HEATLOCK, U-FACTOR 0.27

SILL HEIGHT MINIMUM 24" A.F.F.



NATURAL LIGHT AND VENTILATION REQUIREMENTS

Requirements for Habitable Rooms 2020 Residential Code of New York State, Section R303.1:
Aggregate Glazing Area no less than 8% of the Floor Area
Openable Area no less than 4% of the Floor Area.

BEDROOM 157 SF

REQUIRED:
LIGHT 8% = 12.56 SF VENT 4% = 6.28

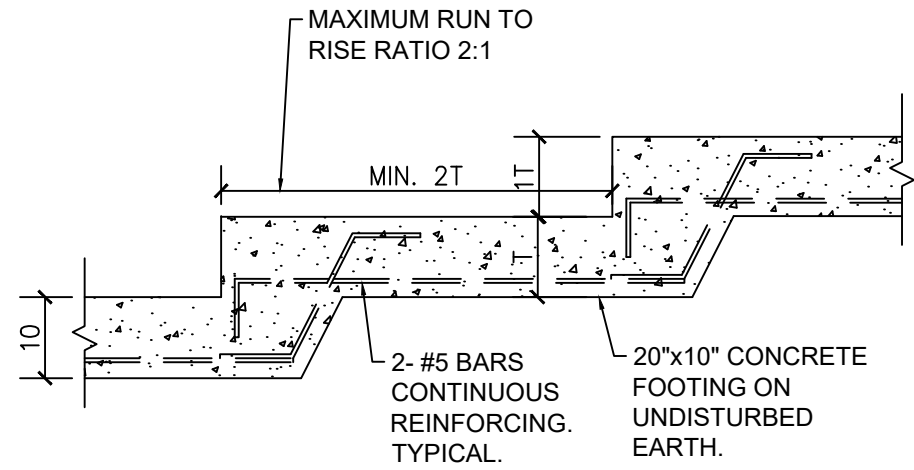
PROVIDED:
(2)TW2042 11.58 SF 6.8 SF
FWG5068 18.52 SF 11.43 SF
TOTAL 30.10 SF 18.23 SF

STORAGE/LAUNDRY ROOM 153 SF

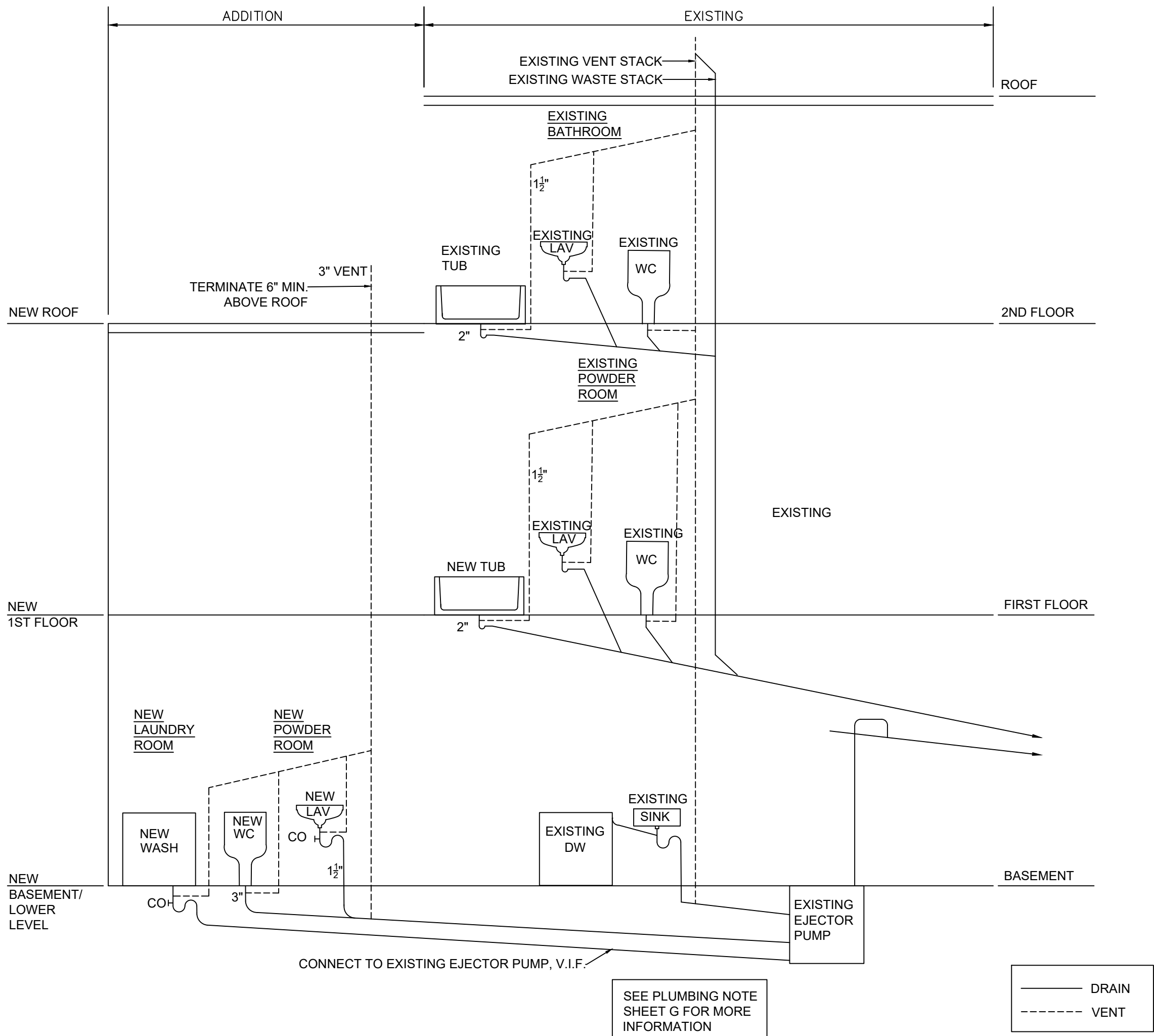
REQUIRED:
LIGHT 8% = 12.24 SF VENT = 6.12 SF

PROVIDED:
(4)CW14 28.8 SF 27.2 SF

Light and ventilation requirements will be met with new fenestration. in addition artificial lighting will be installed to meet an illumination level of 6 foot-candles over the area of the rooms at a height of 30" above the floor level. electrician to verify foot-candle requirements.



1 STEPPED FOOTING DETAIL
A-5 SCALE: 1/2" = 1'-0"



2 PLUMBING RISER DIAGRAM
A-5 SCALE: N.T.S.

TWO-STORY ADDITION

DAVID HILL
MARY GERKEN

77 N MIDLAND AVE
NYACK NY

MAREN ROBERTSON
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
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ISSUED FOR BUILDING
PERMIT APPLICATION

6/10/25

REVIEW SET

5/28/25

DRAWING TITLE

DETAILS, DOOR &
WINDOW SCHEDULES
PLUMBING DIAGRAM

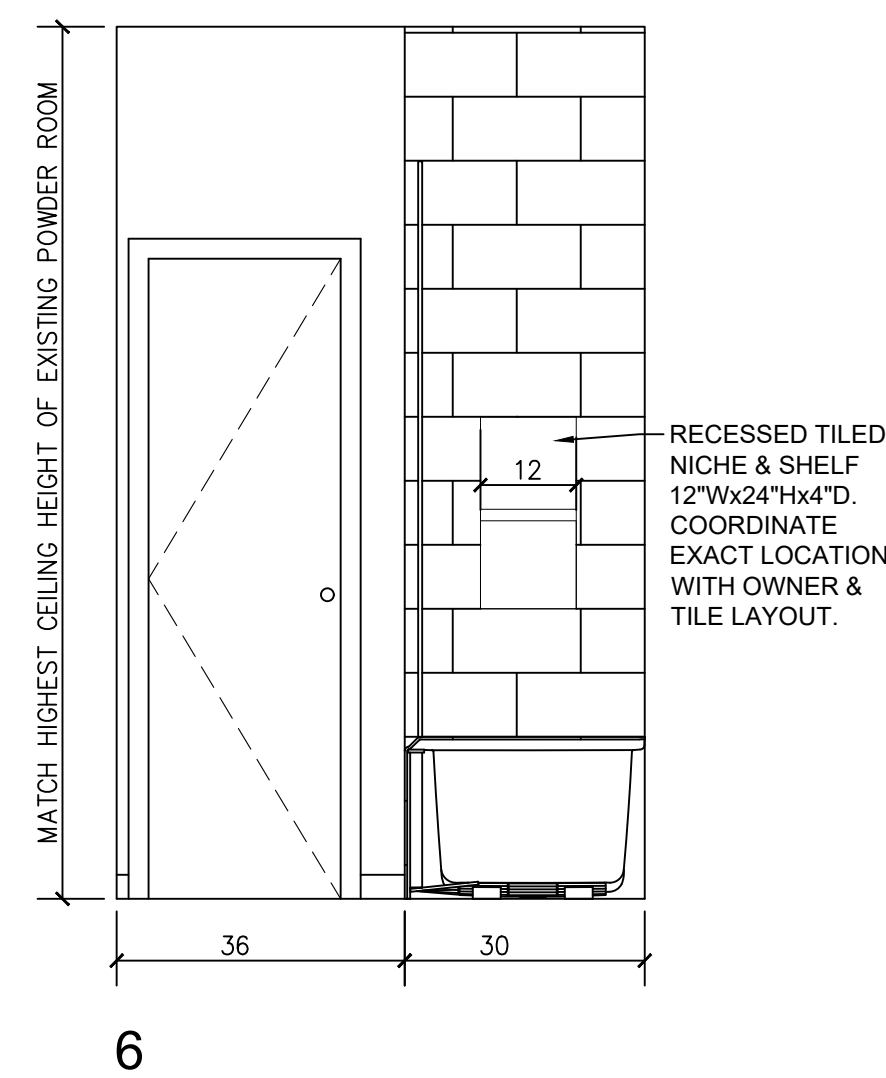
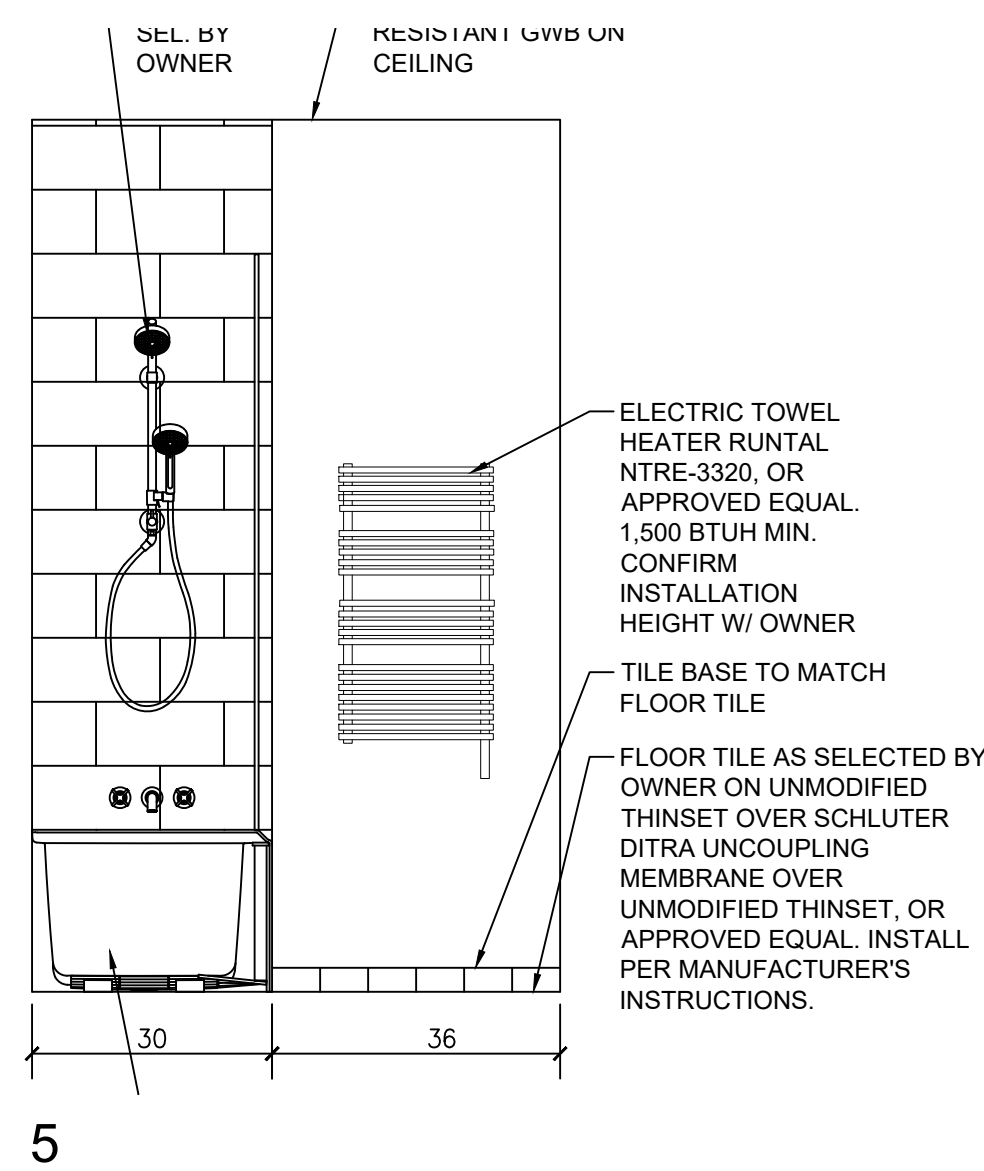
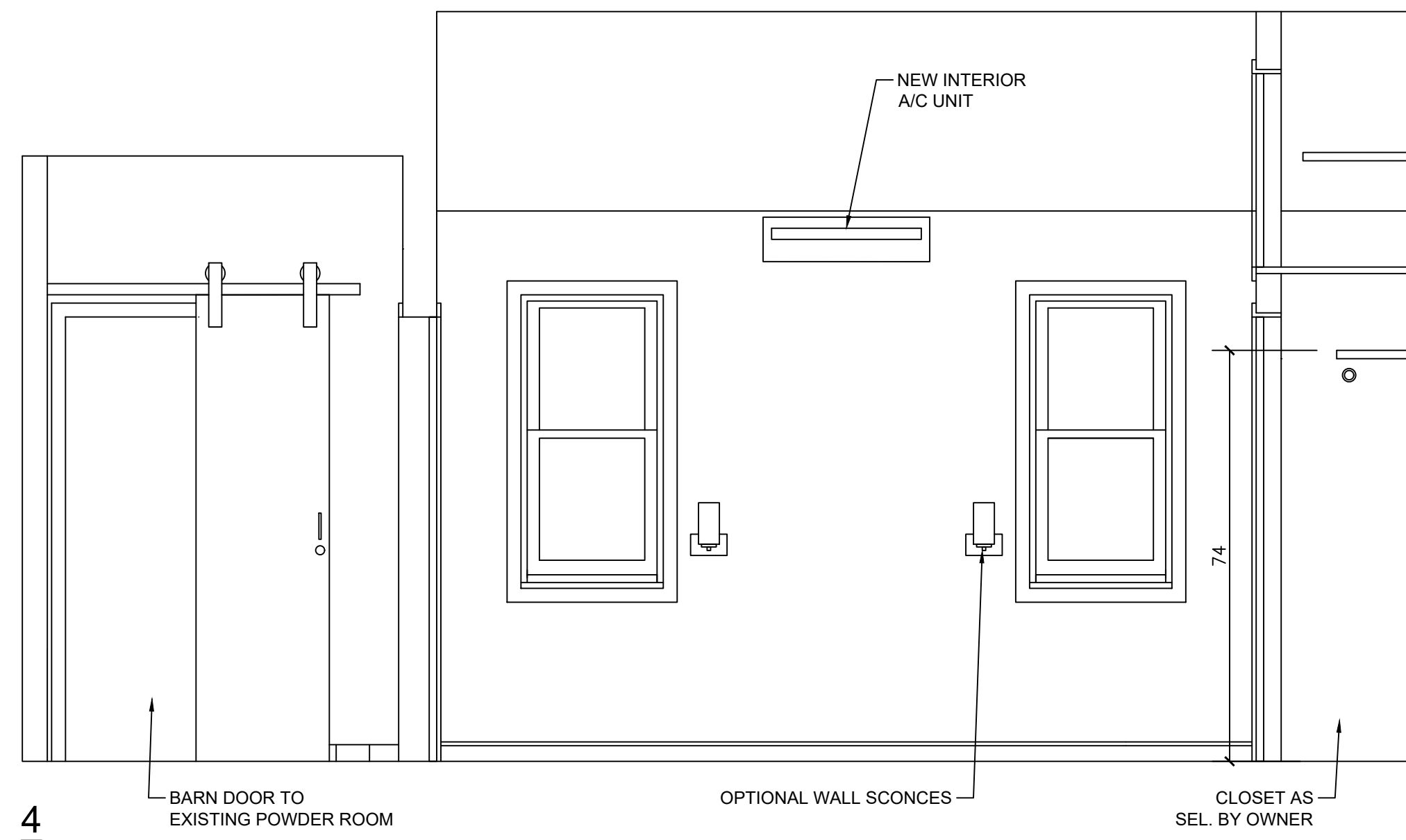
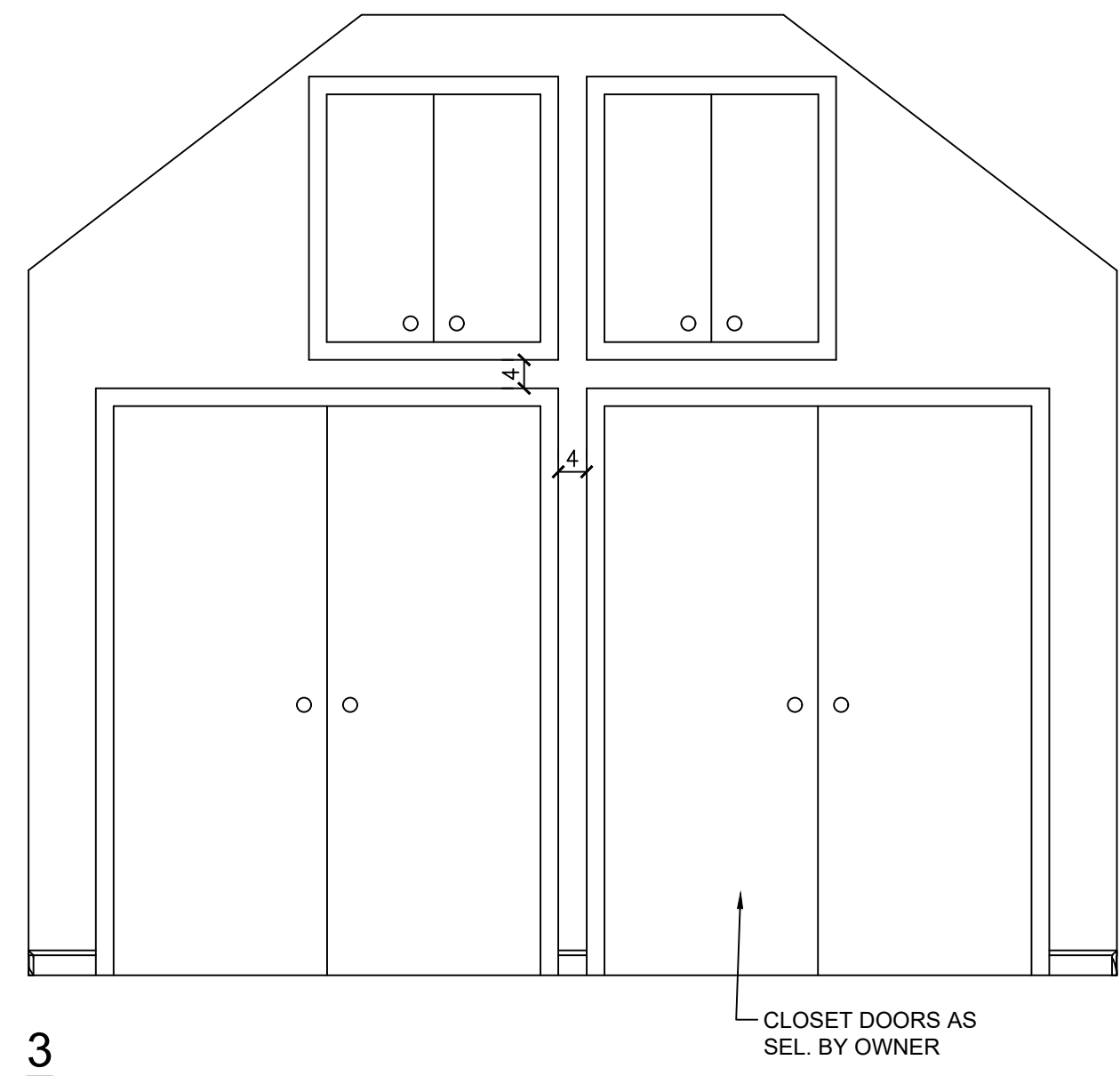
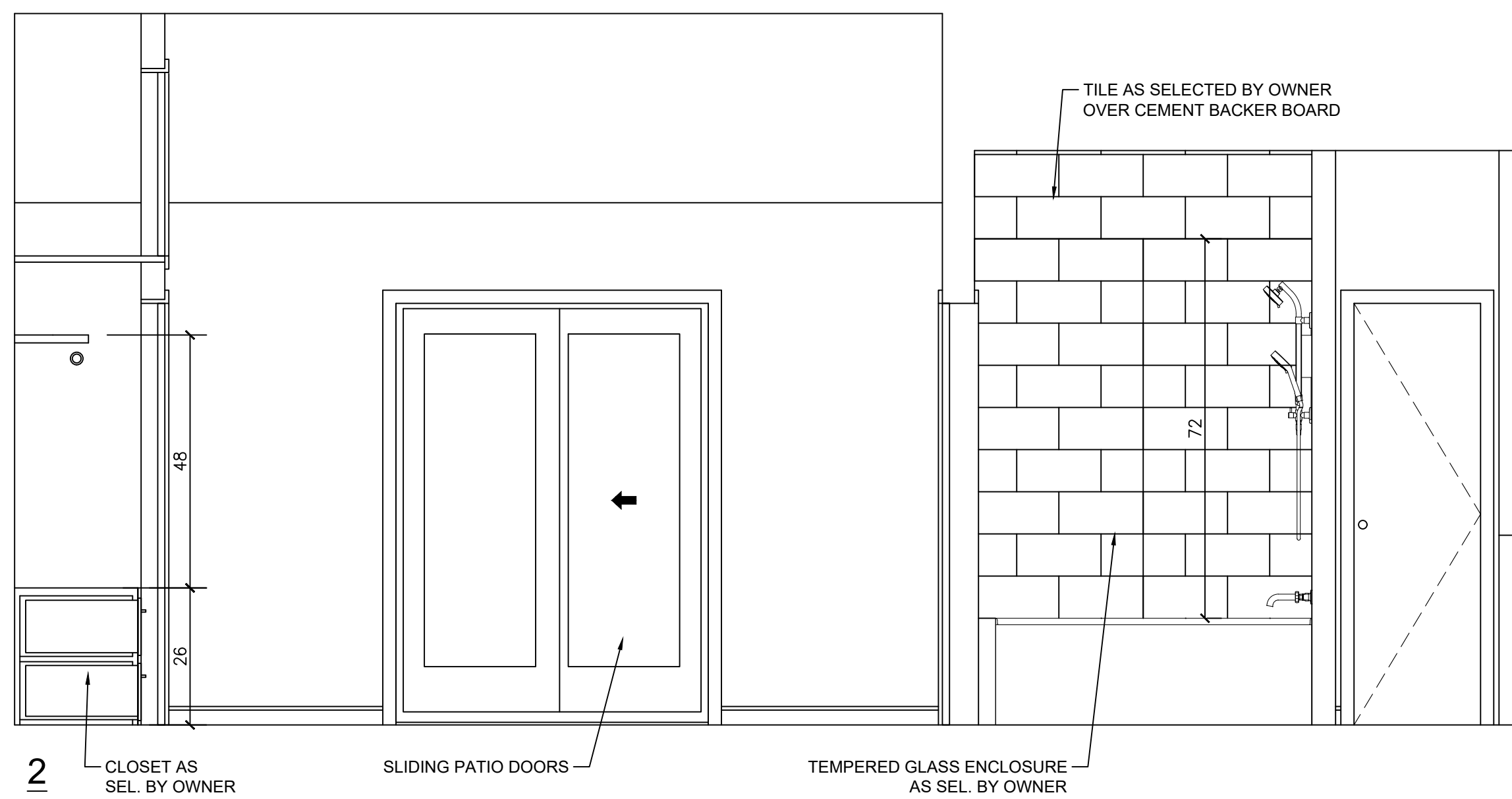
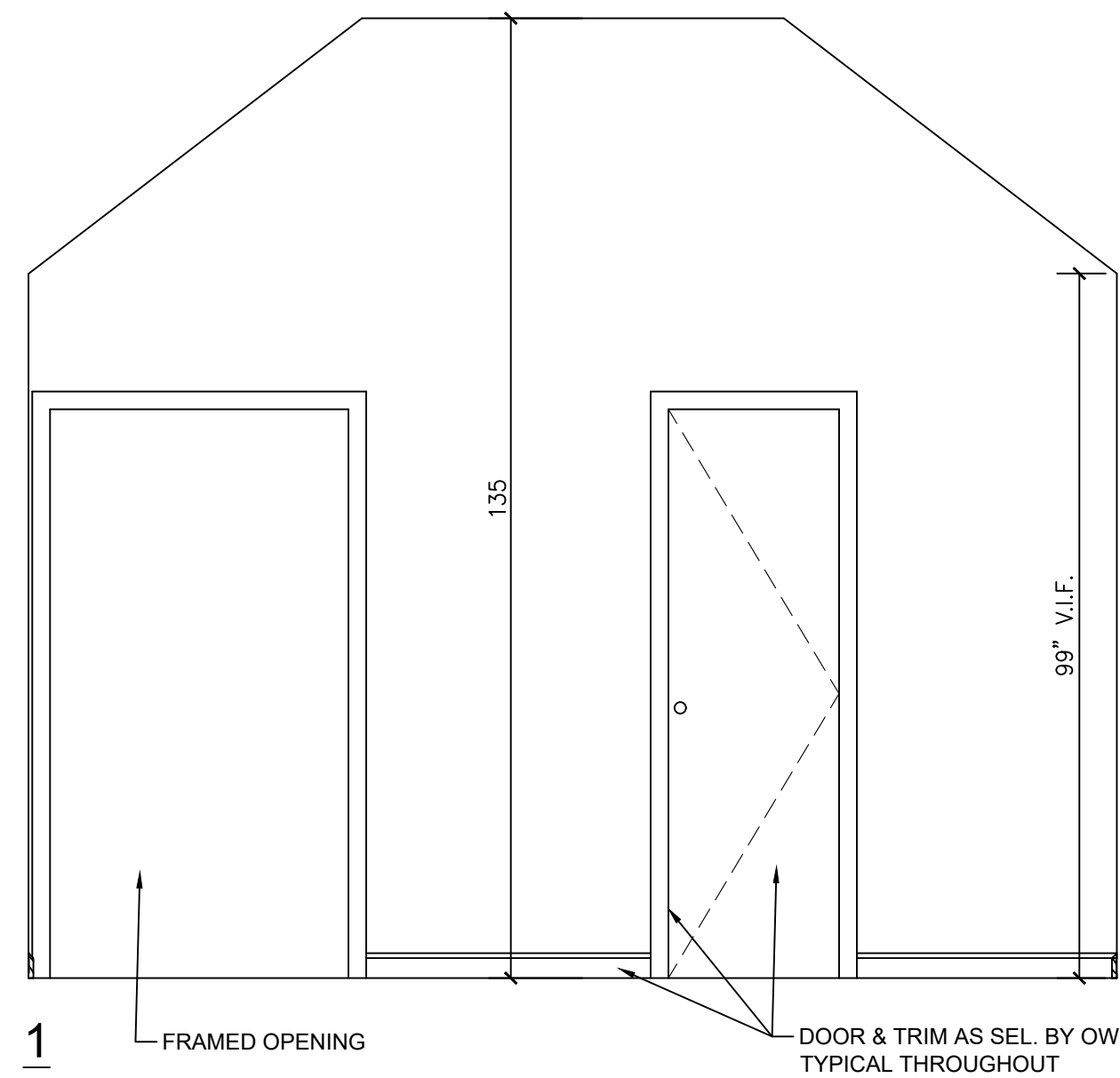
PROJECT NO.

DRAWN BY

SCALE

DATE

A-5



TWO-STORY ADDITION

**DAVID HILL
MARY GERKEN**

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MAREN ROBERTSON
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INTERIOR ELEVATIONS

PROJECT NO.

DRAWN BY

SCALE

DATE

A-6

GENERAL NOTES

1.

ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH ALL APPLICABLE CODES IN THE VILLAGE OF NYACK, THE NEW YORK STATE UNIFORM FIRE PREVENTION AND RESIDENTIAL BUILDING CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, THE NEW YORK STATE STRETCH CODE, AND ALL OTHER FEDERAL, STATE, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK AS CURRENTLY IN EFFECT.

2.

MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY THE MANUFACTURERS' PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.

3.

ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.

4.

PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.

5.

CONTRACTOR SHALL PROTECT EXISTING PREMISES FROM DAMAGE DURING CONSTRUCTION.

6.

IT IS INTENDED THAT THE GENERAL CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE GENERAL CONTRACTOR.

7.

NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS SUBMITTED IN WRITING TO ARCHITECT/OWNER & APPROVED BY ARCHITECT/OWNER

8.

ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE PROJECT.

9.

ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL UNDERWRITERS. A CERTIFICATE IS TO BE PRESENTED TO THE OWNER AT THE COMPLETION OF THE JOB.

10.

CONTRACTOR SHALL PROVIDE PROPER PROTECTION FOR ALL EXISTING WORK, FURNISHINGS AND FIXTURES LIKELY TO BE DAMAGED. WHEN THE EXTERIOR OPENINGS ARE MADE IN EXISTING WORK, THEY SHALL BE COVERED WITH WATERTIGHT PROTECTION AT THE END OF THE DAY'S WORK.

11.

PATCH, REPAIR AND REPLACE ALL EXISTING WALLS, CEILINGS AND FLOORS DAMAGED DUE TO NEW CONSTRUCTION.

12.

DAILY STARTING TIME AND COMPLETION FOR CONSTRUCTION IS TO BE COORDINATED WITH OWNER AND AGREED UPON BY BOTH PARTIES.

13.

CONTRACTOR IS EXPECTED TO WORK ON JOB WITHOUT ANY UNREASONABLE DELAY. IF A DELAY IS TO OCCUR, NOTIFICATION TO THE OWNER SHALL BE REQUIRED.

14.

WORK PERFORMED OVER ANY SURFACE CONSTITUTES ACCEPTANCE OF THAT SURFACE FOR THE SPECIFIED QUALITY OF THE WORK BEING PERFORMED THEREON.

15.

THE CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF ANY ADAPTATIONS TO THESE DRAWINGS OR SPECIFICATIONS REQUIRED BY LOCAL LIFE AND SAFETY CODES OR ANY OTHER GOVERNING AGENCY.

16.

THE CONTRACTOR SHALL REPORT TO ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.

17.

ALL CONSTRUCTION AND SUBCONTRACTED WORK IS TO BE PERFORMED BY CONTRACTORS LICENSED IN THE STATE/COUNTY WHERE THE WORK IS BEING EXECUTED.

18.

ALL CONTRACTORS ARE RESPONSIBLE TO CONFORM TO THE OWNER'S AND TOWN'S INSURANCE REQUIREMENTS AND TO PROVIDE A CERT. OF INSURANCE TO ALL PARTIES UPON AWARD OF CONTRACT.

19.

ALL CONTRACTORS ARE TO CONFORM WITH THE BUILDING OWNER'S REQUIREMENTS FOR DELIVERY TO THE SITE AND LOCATION FOR STORAGE OF ALL CONSTRUCTION MATERIALS.

20.

REMOVE DEBRIS AND ABANDONED ITEMS FROM AREA AND FROM CONCEALED SPACES. CONTRACTOR TO COORDINATE REMOVAL OF DEBRIS FROM SITE SO THAT IT DOES NOT INTERFERE WITH OWNER'S ACTIVITIES.

21.

ANY CHANGES, WHETHER INTENTIONAL OR DUE TO UNEXPECTED EXISTING CONDITIONS THAT AFFECT THE CONTRACT SUM OR CONTRACT TIME SHOULD BE MADE IN WRITING AS A CHANGE ORDER. CHANGE ORDERS MUST BE APPROVED PRIOR COMMENCING THE WORK FOR THAT CHANGE ORDER.

22.

EXECUTE PRIOR TO FINAL INSPECTION: CLEAN INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW, REMOVE TEMPORARY LABELS, STAINS AND FOREIGN SUBSTANCES.

PERMITS

A.

GENERAL CONTRACTOR / SUBCONTRACTOR IS RESPONSIBLE FOR ALL INFORMATION AND DESIGN (INCLUDING ELECTRICAL, SPRINKLER, AND MECHANICAL) REQUIRED BY LOCAL BUILDING OFFICIAL TO OBTAIN ALL NECESSARY BUILDING PERMITS FOR CONSTRUCTION.

B.

GENERAL CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED, UNLESS OTHERWISE SPECIFIED BY OWNER.

C.

GENERAL CONTRACTOR SHALL OBTAIN FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK AND SHALL FORWARD SAME TO OWNER.

CLEANING

A.

MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATIONS OF WASTE, DEBRIS AND RUBBISH, CAUSED BY OPERATIONS.

B.

AT COMPLETION OF WORK, REMOVE WASTE MATERIALS, RUBBISH, TOOLS, EQUIPMENT, MACHINERY AND SURPLUS MATERIALS AND CLEAN ALL SIGHT-EXPOSED SURFACES. LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY.

WARRANTIES

A.

CONTRACTOR SHALL WARRANTY THE WORK WILL BE FREE FROM DEFECTIVE MATERIALS AND WORKMANSHIP WITHIN A PERIOD OF ONE YEAR AFTER THE DATE OF OWNER'S ACCEPTANCE OR WITHIN SUCH PERIOD OF TIME AS MAY BE PRESCRIBED BY THE TERMS OF ANY APPLICABLE SPECIAL WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS.

B.

BY SUBMITTING A PROPOSAL OR AGREEMENT TO PERFORM WORK, THE CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES AND SUFFICIENT FOR BID PURPOSES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS, THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE JOB.

SITE WORK

1.

PROTECT EXISTING TREES AND SHRUBS.

2.

PROTECT EXISTING ASPHALT AREAS AND CONCRETE WALKS AND WALLS TO REMAIN.

3.

PROVIDE ADEQUATE NUMBER OF CARTING CONTAINERS TO SUFFICIENTLY REMOVE ALL DEBRIS ASSOCIATED WITH THE WORK. COORDINATE LOCATION OF CARTING CONTAINER ON PREMISES WITH OWNER.

SITE IMPROVEMENTS

1.

PROVIDE ALL CONCRETE SIDEWALKS, CURBS, STEPS, RETAINING WALLS, ASPHALT PAVING, SITE DRAINING SYSTEM, ETC. AS MAY BE REQUIRED BY THE SCOPE OF THIS PROJECT.

2.

CONCRETE WALKS SHALL BE CONSTRUCTED 4 IN. THICK, WIDTHS SHOWN ON DRAWINGS. PROVIDE 1/2 IN. TRANSVERSE EXPANSION JOINTS WITH PREMOLEDDED FILLER, WHERE SHOWN ON THE DRAWINGS, WHERE NOT SHOWN ON THE DRAWINGS, LOCATE EXPANSION JOINTS NOT MORE THAN 5 FT. APART. ALSO AT WALK JUNCTIONS AND INTERSECTIONS, AT TOP AND BOTTOM OF STEPS, AND WHERE WALKS ABUT CURB RETURNS, BUILDINGS, PLATFORMS OR OTHER FIXED STRUCTURES, OR TERMINATE AT CURBS.

MASONRY AND CONCRETE

1.

PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE ALL CONCRETE AND MASONRY WORK AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN.

2.

PREMOLEDDED JOINT FILLERS USED WHEREVER EDGES OF CONCRETE SLABS ABUTS A VERTICAL SURFACE SHALL BE RIGID NON-EXPANDING APPROVED TYPE PRE-MOLEDDED ASPHALT IMPREGNATED FIBERBOARD, 1/2 IN. THICK.

3.

SOIL UNDER SLABS ON GROUND SHALL BE COMPACTED TO A FIRM, UNYIELDING SURFACE. NO CONCRETE SHALL BE LAID ON FROZEN SOIL, AND ADEQUATE PROTECTION AGAINST FROST ACTION SHALL BE PLACED ON EARTH WHICH HAS BEEN BACKFILLED OR OTHERWISE DISTURBED.

4.

SAWCUT EXISTING BRICK FOR NEW OR ENLARGED OPENINGS AS SHOWN ON THE DRAWINGS. NOTIFY ARCHITECT IF CONDITION OF EXISTING MASONRY IS NOT SUITABLE FOR PROPOSED WORK IN THAT AREA.

5.

ALL WORKMEN SHALL BE EXPERIENCED TRADESMEN, TRAINED AND QUALIFIED TO DO THE WORK AT HAND.

WOOD

1.

PROVIDE AND INSTALL ROUGH CARPENTRY ITEMS AS NEEDED FOR BLOCKING, NAILERS, SLEEPERS, PLYWOOD BACKING PANELS, AND OTHER MISCELLANEOUS USES.

2.

PROVIDE PLYWOOD UNDERLAYMENT OF APPROPRIATE THICKNESS FOR LEVEL AND EVEN FINISH FLOORS AT AREAS WHERE EXISTING FLOORS ARE NOT PLANE OR SOLID.

3.

PROVIDE AND INSTALL MISCELLANEOUS WOOD TRIM TO MATCH EXISTING WHERE EXISTING FINISHES ARE TO BE MAINTAINED AND NEW TRIM WHERE SHOWN ON DRAWINGS.

4.

ALL CLOSET SHELVING WHERE SHOWN TO BE 3/4" PARTICLEBOARD OR MEDIUM-DENSITY FIBERBOARD WITH SOLID 1 X 2 WOOD FRONT EDGE. INSTALL FIXED SHELVES ON 1 X 1 WOOD CLEATS ALL THREE SIDES. INSTALL ADJUSTABLE SHELVES ON SLOTTED STANDARDS AND BRACKETS MOUNTED TO LIMIT SHELF SPAN TO 36 INCHES OR LESS.

THERMAL AND MOISTURE PROTECTION

1.

ROOF INSULATION AT ADDITION SHALL BE EXTRUDED POLYSTYRENE BOARD, ASTM C 578 TYPE IV OR DENSER BY A RECOGNIZED MANUFACTURER. SUBMIT PRODUCT LITERATURE.

2.

GLASS-FIBER BLANKET INSULATION SHALL BE KRAFT-FACED, OF THICKNESS SHOWN, BY RECOGNIZED MANUFACTURER. SUBMIT PRODUCT LITERATURE.

3.

INSTALL ALL INSULATION ACCORDING TO MANUFACTURER'S DIRECTIONS.

4.

MEMBRANE ROOFING SHALL BE MECHANICALLY FASTENED EPDM, SYNTHETIC RUBBER, OR THERMOPLASTIC ROOFING OF A RECOGNIZED MANUFACTURER SUCH AS CARLISLE, JOHNS MANVILLE, TREMCO, OR SARNAFIL, AT CONTRACTOR'S OPTION. PROVIDE A COMPLETE INSTALLATION WITH MANUFACTURER'S STANDARD FLASHING, DRIP EDGE, FASTENERS, AND OTHER ACCESSORIES FOR A COMPLETE AND WARRANTABLE INSTALLATION. WARRANTY SHALL BE MANUFACTURER'S STANDARD WARRANTY FOR 15 YEARS FROM DATE OF SUBSTANTIAL COMPLETION. SUBMIT MANUFACTURER'S PRODUCT LITERATURE, SAMPLES OF ROOFING MEMBRANE AND ACCESSORIES, AND SAMPLE WARRANTY.

5.

PROVIDE FIRESTOP SYSTEMS APPROPRIATE FOR EACH USE FROM A RECOGNIZED MANUFACTURER, SUCH AS W.R. GRACE, HILTI, JOHNS MANVILLE, 3M, OR USG. SUBMIT MANUFACTURER'S PRODUCT LITERATURE INCLUDING UL FIRE RESISTANCE DIRECTORY LISTING.

ROOFING, WATERPROOFING AND VAPOR BARRIER NOTES

1.

PROVIDE AND INSTALL ALUMINUM DRIP EDGE CONTINUOUS AT THE ENTIRE ROOF EDGE, COLOR TO MATCH ROOF.

2.

INSTALL ALUMINUM GUTTERS AND DOWN SPOUTS AS REQUIRED AT NEW ROOF EAVES. GUTTER COLOR TO MATCH TRIM. DOWN SPOUTS TO BE WHITE.

3.

FLASH ALL WINDOW ROUGH OPENINGS WITH A PEEL & STICK TYPE BUTYL MEMBRANE FLASHING. FLASH SILLS TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE. RUN PAN CONTINUOUS OVER CORNERS AND UP JAMBS MINIMUM 8". FLASH SILL PAN OUT OVER "HYDROGAP" HOUSE WRAP AT EXTERIOR FACE OF CONTINUOUS INSULATION.

4.

APPLY BENJAMIN MOORE LATEX VAPOR BARRIER PRIMER SEALER #260 PAINT ON THE INTERIOR FACE OF ALL EXTERIOR WALLS AND CEILINGS.

5.

SEAL ALL PENETRATIONS THROUGH CEILINGS, EXTERIOR WALLS OR FOUNDATION WALLS WITH LOW-EXPANSION POLYURETHANE FOAM SEALER AND CAULK THE EXTERIOR JOINT FOR A TIGHT AIR SEAL.

6.

SEAL ALL RIMS & BAND JOISTS THROUGHOUT WITH MINIMUM 2"/R14 SPRAY FOAM KIT BY "TOUCH N SEAL" OR EQUAL. INSTALL FIBERGLASS BATTS AS NOTED OVER SPRAYED FOAM SEAL AT PERIMETER.

7.

FLASH ALL ROOF EAVES WITH 2 COURSES OF 36" WIDE ICE & WATER SHIELD.

DOORS AND WINDOWS

1.

U-FACTORS ARE DETERMINED IN ACCORDANCE WITH THE NFRC TEST PROCEDURE

2.

EXTERIOR DOOR TO BE LISTED AND LABELED AS MEETING AAMA /WDMA/CSA 101/I.5.2/A440 OR HAS INFILTRATION RATES PER NFRC 400

3.

ALL WINDOWS TO BE ANDERSEN 400 SERIES.

4.

INSTALL ALL WINDOWS PLUMB AND SQUARE. APPLY SEALANT PER SEALANT MANUFACTURER'S DIRECTIONS. ADJUST AS NECESSARY FOR SMOOTH AND WATERTIGHT OPERATION.

FINISH NOTES

1.

INSTALL NEW INTERIOR DOORS AS CHOSEN BY OWNER.

2.

INSTALL NEW INTERIOR WINDOW AND DOOR TRIM TO MATCH EXISTING AND APPROVED BY OWNER.

3.

INSTALL NEW INTERIOR BASE TRIM TO MATCH EXISTING AND APPROVED BY OWNER.

4.

INSTALL NEW HARD WOOD FLOORING AS CHOSEN BY OWNER AND AS NOTED ON THE DRAWINGS. INSTALL ALL WOOD FLOORS OVER ROSIN PAPER OR BUILDING PAPER, SAND AND SEAL NEW FLOOR AND APPLY 3 COATS OF A WATER-BASED POLYURETHANE FINISH. FINISH TEXTURE AND COLOR TO BE CHOSEN BY OWNER.

5.

CERAMIC AND STONE TILE FLOORS SHALL BE THIN-SET ON SOUND SUB-FLOORING. BATHROOM TILE FLOORS SHALL BE THIN-SET ON CONCRETE BACKER BOARD OVER PLYWOOD SUB-FLOOR. TILE STYLES AND COLORS TO BE CHOSEN BY OWNER.

6.

BATHROOM WALL BASE SHALL BE TILE TO MATCH THE FLOOR OR AS CHOSEN BY OWNER. INSTALL WALL TILE FULL HEIGHT AT SHOWERS. INSTALL SHOWER WALL TILE OVER CONCRETE BACKER BOARD.

7.

ALL DOOR HARDWARE SHALL BE CHOSEN BY THE OWNER. THE CONTRACTOR SHALL PURCHASE AND INSTALL ALL REQUIRED HARDWARE FOR A COMPLETE AND PROPER INSTALLATION.

8.

FINISH HARDWARE, LIGHTING FIXTURES, AND SWITCH PLATES SHALL BE PROTECTED OR REMOVED BEFORE PAINTING IS STARTED, AND SHALL BE REPLACED AFTER PAINTING AND FINISHING ARE COMPLETED.

9.

ALL NEW SURFACES TO RECEIVE FINISHES SHALL BE PREPARED IN STRICT ACCORDANCE TO THE PAINT OR FINISH MANUFACTURERS SPECIFICATIONS.

10.

ALL PAINTING SHALL CONSIST OF ONE PRIME COAT OVER NEW MATERIAL AND TWO FINISH COATS. WALLS AND CEILINGS ARE TO RECEIVE A FLAT ANY DOORS, TRIM OR WOODWORK TO BE PAINTED SHALL RECEIVE A SEMI-GLOSS ENAMEL. ALL PAINTING SHALL BE SANDED BETWEEN COATS. COLORS TO BE CHOSEN BY OWNER.

11.

COORDINATE AND INSTALL ALL OWNERS FIXTURES AND CABINETS AS CHOSEN BY OWNER.

GYPSUM BOARD ASSEMBLIES

1.

PROVIDE STEEL STUDS, FURRING, CHANNELS, ANCHORS, FASTENERS, HANGERS, AND OTHER ACCESSORIES FOR COMPLETE INTERIOR PARTITION AND FINISH WORK. COMPLY WITH UL DESIGNATIONS FOR RATED WALLS. PROVIDE SUPPLEMENTARY BLOCKING FOR ATTACHMENT OF RAILINGS, GRAB BARS, AND OTHER WALL-MOUNTED ACCESSORIES. MAXIMUM STUD SPACING TO BE 16" O.C. AT ALL AREAS TO BE TILED.

2.

PROVIDE SUSPENSION SYSTEM FOR CEILINGS COMPLYING WITH ASTM C 645.

3.

PROVIDE INTERIOR GYPSUM WALLBOARD COMPLYING WITH ASTM C 36 AS DESCRIBED IN THE DRAWINGS FOR THE PARTICULAR APPLICATION REQUIRED, IN MAXIMUM LENGTHS AND WIDTHS AVAILABLE THAT WILL MINIMIZE JOINTS IN EACH AREA AND CORRESPOND WITH THE SUPPORT SYSTEM.

4.

GYPSUM WALLBOARD: 5/8" THICKNESS WITH LONG EDGES TAPERED UNLESS OTHERWISE INDICATED ON PARTITION TYPE DRAWINGS AND SCHEDULES.

5.

TILE BACKING PANELS: CEMENTITIOUS BACKER UNITS, DUROCK (USG) OR WONDERBOARD, 1/2" THICK. INSTALL AT ALL CERAMIC FLOOR AND WALL TILE AREAS.

6.

WATER-RESISTANT GYPSUM BACKING BOARD TO COMPLY WITH ASTM C 630/C 630M.

7.

TRIM AND ACCESSORIES TO COMPLY WITH ASTM C 1047 AND MAY INCLUDE GALVANIZED OR ALUMINUM-COATED STEEL SHEET, ROLLED ZINC, PLASTIC, OR PAPER-FACED GALVANIZED STEEL SHEET.

8.

SHAPES TO INCLUDE CORNERBEAD AND L-BEAD. USE AT ALL CORNERS.

9.

JOINT TREATMENT MATERIALS TO COMPLY WITH ASTM C 475.

10.

JOINT TAPE AT INTERIOR GYPSUM WALLBOARD TO BE PAPER. AT TILE BACKING PANELS FOLLOW MANUFACTURER'S RECOMMENDATIONS.

11.

FOR JOINT COMPOUND AT INTERIOR GYPSUM WALLBOARD, FOR EACH COAT USE FORMULATION THAT IS COMPATIBLE WITH OTHER COMPOUNDS APPLIED ON PREVIOUS OR FOR SUCCESSIVE COATS.

12.

FOR JOINT COMPOUND AT TILE BACKING PANELS, USE SETTING-TYPE SANDABLE TOPPING COMPOUNDS COMPATIBLE WITH TILE ADHESIVE.

13.

INSTALL FIBERGLASS INSULATION SOUND ATTENUATING BLANKETS AT NEW INTERIOR PARTITIONS UNLESS OTHERWISE INDICATED.

14.

INSTALL CEILING BOARD PANELS ACROSS FRAMING TO MINIMIZE ABUTTING END JOINTS AND TO AVOID ABUTTING END JOINTS IN THE CENTRAL AREA OF EACH CEILING. STAGGER END JOINTS OF ADJACENT PANELS NOT LESS THAN ONE FRAMING MEMBER.

15.

TREAT GYPSUM BOARD JOINTS, INTERIOR ANGLES, EDGE TRIM, CONTROL JOINTS, PENETRATIONS, FASTENER HEADS, SURFACE DEFECTS, AND ELSEWHERE AS REQUIRED TO PREPARE GYPSUM BOARD SURFACES FOR PAINTING. PREFILL OPEN JOINTS, ROUNDED OR BEVELED EDGES, AND DAMAGED SURFACE AREAS.

16.

FINISH PANELS TO LEVELS INDICATED BELOW, ACCORDING TO ASTM C 840, FOR LOCATIONS INDICATED:
LEVEL 1: EMBED TAPE AT JOINTS IN CEILING PLENUM AREAS AND CONCEALED AREAS, UNLESS A HIGHER LEVEL OF FINISH IS REQUIRED FOR FIRE-RESISTANCE-RATED ASSEMBLIES AND SOUND-RATED ASSEMBLIES.
LEVEL 2: EMBED TAPE AND APPLY SEPARATE FIRST COAT OF JOINT COMPOUND TO TAPE, FASTENERS, AND TRIM FLANGES WHERE PANELS ARE SUBSTRATE FOR TILE.
LEVEL 3: EMBED TAPE AND APPLY SEPARATE FIRST, FILL, AND FINISH COATS OF JOINT COMPOUND TO TAPE, FASTENERS, AND TRIM FLANGES AT PANEL SURFACES THAT WILL BE EXPOSED TO VIEW.

ELECTRICAL NOTES

1.

THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS ON ALL OF HIS WORK, FROM ALL LOCAL AUTHORITIES, AND COMPLY WITH ALL NEW YORK STATE AND LOCAL CODE REQUIREMENTS.

2.

THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR TO INSTALL SERVICE REQUIREMENTS FROM THE UTILITY COMPANY'S TRANSFORMER AS REQUIRED BY CODE.

3.

ALL FEEDERS AND LINES SHALL BE OF A SIZE AS REQUIRED BY THE LOCAL AND STATE CODE, AND THE POWER COMPANIES DIRECTIVES.

4.

ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, AND THE STATE OF NEW YORK.

5.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL OUTLETS, SWITCHES AND COVER PLATES TO COMPLETE THE JOB. SUBMIT SAMPLES OF PROPOSED MATERIALS.

6.

SMOKE DETECTORS SHALL BE INSTALLED IN LOCATIONS REQUIRED BY CODE AND AS INDICATED ON THE DRAWINGS.

7.

AT THE COMPLETION OF THE JOB, THE ELECTRICAL CONTRACTOR SHALL SECURE ALL REQUIRED CERTIFICATIONS AS REQUIRED BY THE LOCAL AUTHORITIES.

8.

REVIEW ALL LIGHTING AND SWITCH LOCATIONS WITH THE OWNER.

9.

SUBMIT CUTS OF ALL PROPOSED LIGHT FIXTURES, PRIOR TO PURCHASE, TO THE OWNER FOR APPROVAL.

10.

THE CONTRACTOR SHALL VERIFY THAT THE REQUIRED SPACE IS AVAILABLE FOR ALL RECESSED LIGHT FIXTURES, AND SHALL INFORM THE ARCHITECT OF ANY OBSTRUCTION WHICH WOULD INTERFERE WITH THE PROPER INSTALLATION OF THE FIXTURES AS SHOWN.

11.

RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE PROVIDED WITH AN AIR-SEALED, INSULATION CONTACT HOUSING FROM THE MANUFACTURER.

12.

COORDINATE DIMMER SWITCHES WITH LED MANUFACTURER'S APPROVED DIMMER SWITCH LIST. DO NOT INSTALL NON-COMPATIBLE DIMMER SWITCHES.

13.

FIELD VERIFY SCONCE HEIGHTS ON WALL WITH OWNER AND FIXTURE CHOSEN.

PLUMBING NOTES

1.

THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND APPROVALS ON ALL OF HIS WORK, FROM ALL LOCAL AUTHORITIES AND COMPLY WITH ALL STATE AND LOCAL REQUIREMENTS.

2.

PROVIDE AND INSTALL ALL PIPING, WATER SERVICE FROM STREET, TANKS, PUMPS, DRAINS, SUB-SURFACE DRAINAGE PIPE, VALVING, INSULATION, FITTINGS AND TESTING AS REQUIRED AND AS SHOWN ON THE DRAWINGS.

3.

ALL PIPING SHALL BE PRESSURE TREATED FOR LEAKS BEFORE BACKFILLING OR ENCLOSING WALLS.

4.

DO ALL TRENCHING AND BACKFILLING OF ALL SOIL LINES.

5.

ALL INTERIOR WATER PIPE SHALL BE TYPE L COPPER PIPE, WITH HARD DRAWN PLAIN ENDS, IN ACCORDANCE WITH ASTM SPECIFICATIONS, OR PEX INSTALLED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS. FITTINGS FOR COPPER PIPE SHALL BE THOROUGHLY CLEANED AND FITTED, SOLDERED AND PRESSURE TESTED BEFORE BLOCKING OVER OR BURYING. ALL COPPER WATER SERVICE PIPING PLACED BELOW CONCRETE SLABS OR IN CRAWL SPACES SHALL BE INSULATED AND PROTECTED FROM ADJACENT MATERIALS.

6.

ALL SOIL AND WASTE PIPING SHALL BE CAST IRON OR PVC, SIZED AND INSTALLED ACCORDING TO CODE, AND ALL VENT PIPING SHALL BE COPPER OR PVC, INSTALLED ACCORDING TO CODE.

7.

PROVIDE SOUND INSULATION AROUND ALL WASTE LINES, AND OTHER PIPING OR AS INDICATED ON THE DRAWINGS.

8.

FURNISH ALL VALVES REQUIRED FOR THE PROPER CONTROL OF THE VARIOUS FIXTURES AND MECHANICAL EQUIPMENT, SO THAT ALL FIXTURES MAY BE ISOLATED FOR REPAIR AND SERVICING WITHOUT INTERFERENCE OF SERVICE TO THE REST OF THE SYSTEM.

9.

CONNECTIONS BETWEEN DISSIMILAR METALS SHALL BE ISOLATED BY DIELECTRIC FITTINGS.

10.

ALL PLUMBING FIXTURES SHALL BE AS CHOSEN BY THE OWNER, AND INSTALLED BY THE PLUMBING CONTRACTOR. REFER TO THE DRAWINGS FOR ADDITIONAL INFORMATION.

11.

ALL GAS LINES SHALL BE BLACK PIPE AND PRESSURE TESTED.

ISSUED FOR BUILDING PERMIT APPLICATION

6/10/25

REVIEW SET

5/28/25

DRAWING TITLE

GENERAL NOTES AND SPECIFICATIONS

PROJECT NO.

DRAWN BY

SCALE

DATE

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