



PAL AND FRANK REAL ESTATE LLC

128 MAIN STREET, NYACK, NEW YORK 10960

GEORGE HODOSH ASSOCIATES-ARCHITECTS, P.C.

120 NORTH MAIN STREET, SUITE 501, NEW CITY, NEW YORK 10956

PHONE: (845) 638-9336 FAX: (845) 638-9380

2022-11-04
LAST REVISED: 2025-09-15

DRAWING LIST

△	△△△	COVER SHEET
	D1	EXISTING FIRST FLOOR PLAN
	D2	EXISTING SECOND FLOOR PLAN
△△△	A1	FIRST FLOOR PLAN
△	A2	SECOND FLOOR PLAN
	A3	THIRD FLOOR PLAN
	A4	FOURTH FLOOR PLAN
△	A5	FRONT ELEVATION
△	A6	RIGHT ELEVATION
	A7	REAR ELEVATION
△	E1	FIRST FLOOR ELECTRICAL PLAN

22003, PAL & FRANK
REAL ESTATE LLC

VILLAGE OF NYACK
TABLE OF BULK REQUIREMENTS
ZONE: DMU-1 SECTION: 66.38 BLOCK: 1 LOT: 6
PLUS: USE-SPECIFIC STANDARDS

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (SQ. FT.)	N/A	5,364.81	5,364.81
MIN. LOT WIDTH (FEET)	N/A	N/A	N/A
MIN. STREET FRONTAGE (FEET)	N/A	N/A	N/A
MIN. LOT DEPTH (FEET)	N/A	N/A	N/A
MIN. FRONT SETBACK (FEET)	N/A	N/A	N/A
MIN. SIDE SETBACK (ONE) (FEET)	15 PLUS LANDSCAPE	0'	0''
MIN. SIDE SETBACK (BOTH) (FEET)	N/A	N/A	N/A
MIN. REAR SETBACK (FEET) (FIRST FLOOR/ 17 FEET)	0	0	0
MIN. REAR SETBACK (FEET) (UPPER FLOORS)	15 PLUS LANDSCAPE	0'	0''
PARKING - APARTMENTS (1.25 SPACES PER # OF 1-BEDROOM UNITS) 10 UNITS - 4 UNITS (PARKING REDUCTION) = 6 UNITS	7.5 SPACES (1.25 * 6 UNITS)	0'	0''
PARKING - RESTAURANT	N/A	N/A	N/A
BUILDING HEIGHT (STORIES)	3	2	4''
BUILDING HEIGHT (FEET)	40	22	40
MAX. BUILDING LENGTH (FEET)	N/A	N/A	N/A
MAX. FLOOR AREA RATIO	2.0	1.05	2.85''
MIN. USABLE OPEN SPACE (PER DU)	N/A	N/A	N/A
MAX. DENSITY (DU/ACRE)	50 (12 ACRE X 50 = 6 DU)	0	10 DU PROPOSED''
MIN. DWELLING UNIT SIZE (SQ.FT.)	600	N/A	684

* EXISTING NON-CONFORMING (ZBA VARIANCE GRANTED 2025-01-27)
* ZBA VARIANCE GRANTED 2025-01-27

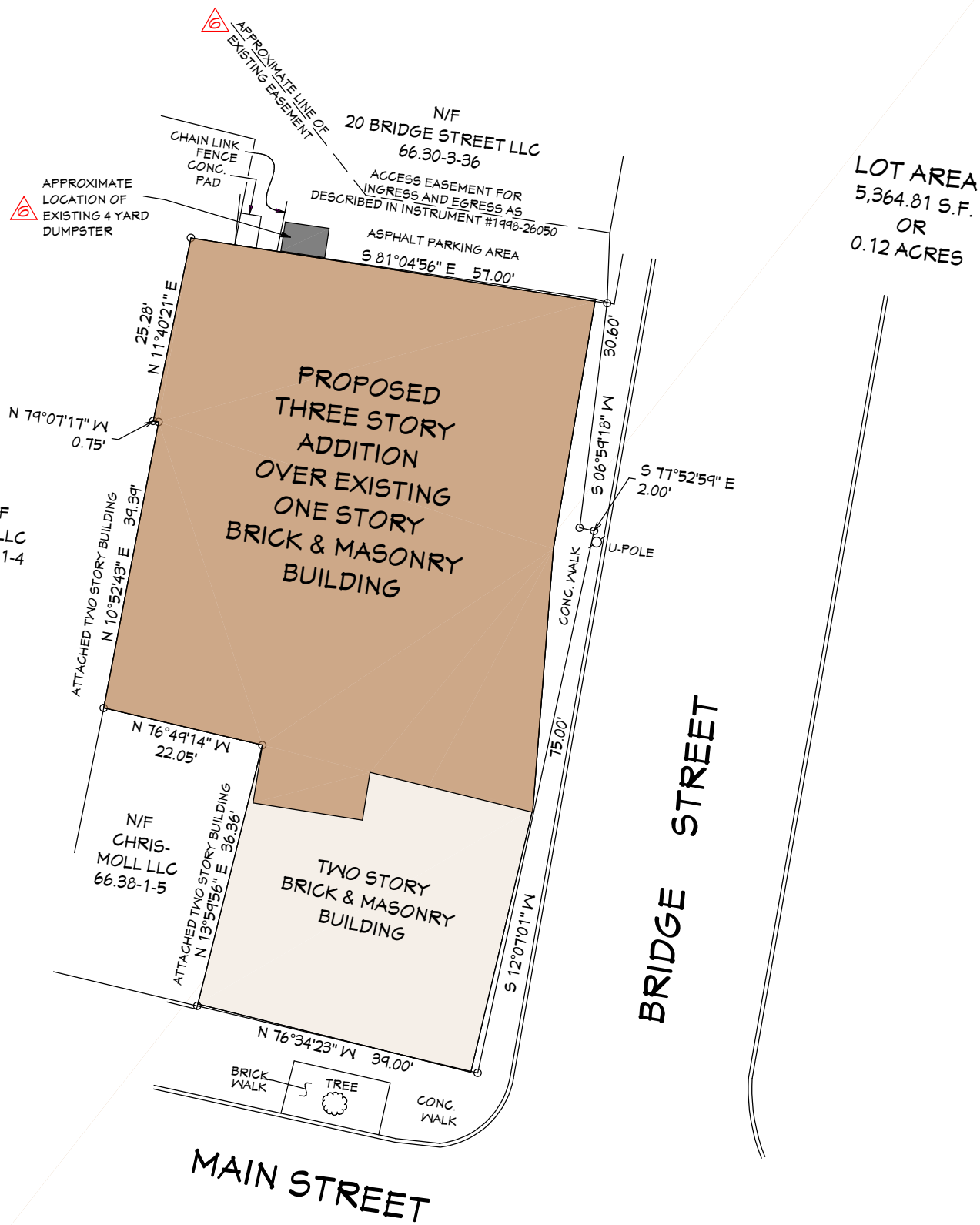
REVISIONS

2024-12-19	ZONING BOARD SET 1	A-M-L
2025-02-24	PB SET 2 COVER SHEET ONLY	A-M-L
2025-08-28	PB SET 2 REVISIONS PER BOARD COMMENTS	SAB
2025-09-03	PB SET 2 REVISIONS PER BUILDING INSPECTOR	SAB
2025-09-15	PB SET 2 REVISIONS PER BOARD COMMENTS	SAB

THESE PLANS ARE NOT TO BE CONSIDERED VALID AND COMPLETE CONSTRUCTION DOCUMENTS UNLESS AND UNTIL THEY BEAR THE ARCHITECTURAL SEAL & SIGNATURE OF JONATHAN B. HODOSH.

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SCALE: 1" = 20'



EXISTING STRUCTURE TO REMAIN
PROPOSED ADDITION

PLOT PLAN BASED ON SURVEY BY
W.E. JAMES, ENGINEERING AND LAND SURVEYING, PLLC
8 CHEANDA LANE, WALLKILL, NEW YORK 12589
DATED: AUGUST 15, 2021

PROJECT TIMELINE:

ARCHITECTURE REVIEW BOARD (ARB) REVIEWED AND APPROVED ON 2024-07-17.
CONDITION: ANY AND ALL CHANGES ARE BROUGHT BACK BEFORE ARB FOR FURTHER REVIEW.

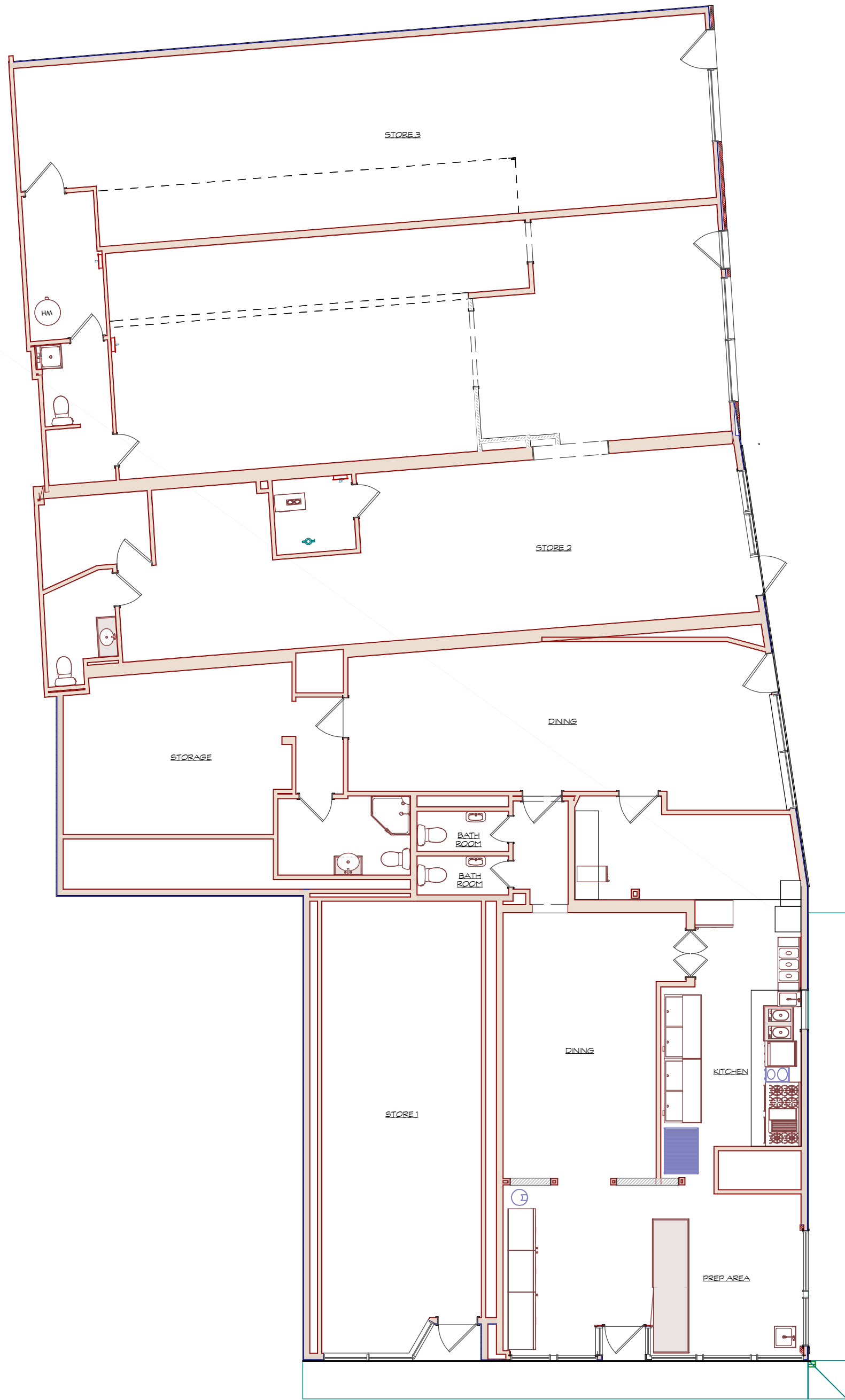
ZONING BOARD OF APPEALS (ZBA) REVIEWED AND APPROVED ON 2025-01-27.
EXISTING, NON-CONFORMING AND PROPOSED VARIANCES APPROVED:

- MIN. SIDE SETBACK (ONE)
- MIN. REAR SETBACK (UPPER FLOORS PLUS LANDSCAPING)
- PARKING - APARTMENTS
- BUILDING HEIGHT
- MAX. FLOOR AREA RATIO
- MAX. DENSITY

PLANNING BOARD MEETING 2025-04-07- (CONTINUANCE REQUESTED TO ALLOW APPLICANT TO ADDRESS PLANNING BOARD COMMENTS)

BUILDING ENTRANCE	STREET FRONT FACADE
GROUND FLOOR USES	COMMERCIAL
CURB CUT	NONE PROPOSED

EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1' - 0"



CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL
	PROPOSED NEW POURED CONCRETE WALL
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION
	PROPOSED FRAMED CONSTRUCTION

	EXISTING WINDOW TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	PROPOSED WINDOW

	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	PROPOSED DOOR

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REVISIONS

2023-02-08	PROPOSAL 2	SAB
2032-05-16	PROPOSAL 3	SAB
2023-06-23	PROPOSAL 4	SAB
2023-10-27	ARB	SAB/AML
2024-04-29	ARB COVERSHEET ONLY	AML

2024-08-20	PLANNING BOARD SET 1	SAB
2024-08-20	PB SET 1 COVERSHEET ONLY	AML
2024-12-19	ZONING BOARD SET 1	AML
2025-02-24	PB SET 2 COVERSHEET ONLY	AML
2025-08-28	PB SET 1 (REVISIONS PER BOARD COMMENTS)	SAB
2025-09-03	PB SET 1 (REVISIONS PER BUILDING INSPECTOR)	SAB
2025-09-15	PB SET 2 (REVISIONS PER BOARD COMMENTS)	SAB

D1

GEORGE HODOSH ASSOCIATES-
ARCHITECTS, P.C.

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SCALE	1/4" = 1'-0"
DATE:	2022-11-04
JOB #:	22003
DRAWN BY:	SAB
CHECKED BY:	JBH

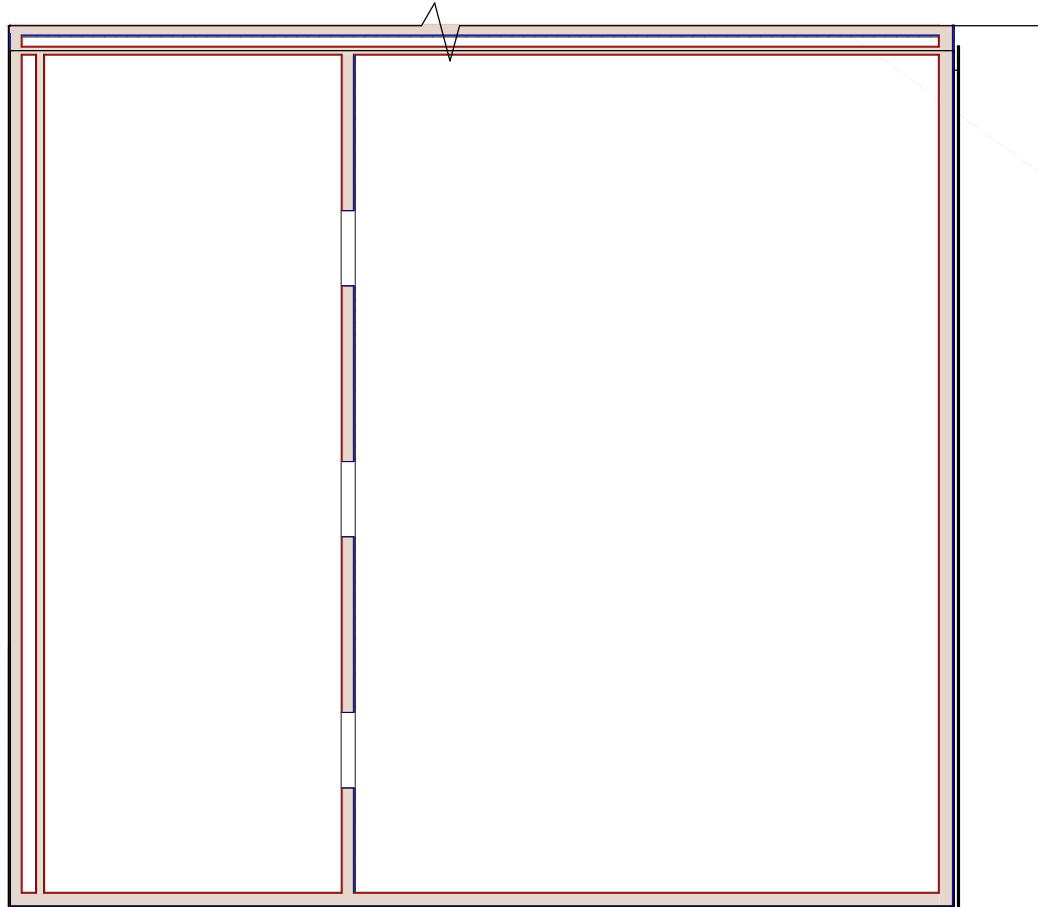
PROPOSED ADDITIONS/ ALTERATIONS:

PAL & FRANK REAL ESTATE LLC
128 MAIN STREET, NYACK, NEW YORK 10960

SHEET TITLE:
EXISTING FIRST FLOOR PLAN

EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1' - 0"



CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL
	PROPOSED NEW POURED CONCRETE WALL
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION
	PROPOSED FRAMED CONSTRUCTION

	EXISTING WINDOW TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	PROPOSED WINDOW

	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	PROPOSED DOOR

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2032-05-16	PROPOSAL 3	SAB
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2023-10-27	ARB	SAB/ AML
2024-04-29	ARB COVERSHEET ONLY	AML

2024-08-20	PLANNING BOARD SET 1	SAB
2024-08-20	PB SET 1 COVERSHEET ONLY	AML
2024-12-19	ZONING BOARD SET 1	AML
2025-02-24	PB SET 2 COVERSHEET ONLY	AML
2025-08-28	PB SET 1 (REVISIONS PER BOARD COMMENTS)	SAB
2025-09-03	PB SET 1 (REVISIONS PER BUILDING INSPECTOR)	SAB
2025-09-15	PB SET 2 (REVISIONS PER BOARD COMMENTS)	SAB

D2

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SHEET TITLE:
EXISTING SECOND FLOOR PLAN

Architectural floor plan of the first floor of a building, showing various rooms and dimensions. The plan includes a large central area labeled "STORE 1" and "STORE 2", a "VESTIBULE / MAIL ROOM", "ELEVATORS", "DINING" areas, "COMMERCIAL KITCHEN", and "STORAGE". Dimensions are provided for various sections, including a total width of 55'-2 13/16" and a total length of 119'-0 1/2". The plan also shows a "DEEP AWNING" and a "PANELED WINDOW".

Key features and dimensions:

- Overall dimensions: 55'-2 13/16" (width) x 119'-0 1/2" (length).
- Rooms and areas: STORE 1, STORE 2, VESTIBULE / MAIL ROOM, ELEVATORS, DINING, COMMERCIAL KITCHEN, STORAGE, and a DEEP AWNING.
- Dimensions for specific sections: 22'-3 1/8", 2'-3", 17'-2 7/16", 7'-1 1/8", 9'-1 1/16", 1'-7 1/16", 1'-16", 1'-16", 34'-2 1/2", 34'-4 1/16", 34'-5 5/8", 8'-0 1/2", 11'-2", 2'-10 1/2", 10'-6 1/2", 36'-10 13/16", 23'-5 1/2", 34'-4".
- Other labels: HM, TOILET, ELEVATOR, PANELED WINDOW, and DEEP AWNING.

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	PROPOSED FRAMED CONSTRUCTION



PROPOSED WINDOW

PROPOSED DOOR

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2024-04-29	1 ARB COVERSHEET ONLY	AML

2024-08-20	PLANNING BOARD SET 1	SAB
2024-08-20	 PB SET 1 COVERSHEET ONLY	AML
2024-12-19	ZONING BOARD SET 1	AML
2025-02-24	 PB SET 2 COVERSHEET ONLY	AML
2025-08-28	 PB SET 1 (REVISIONS PER BOARD COMMENTS)	SAB
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2025-09-15	 PB SET 2 (REVISIONS PER SET 1)	SAB

A1

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SHEET TITLE:
FIRST FLOOR PLAN

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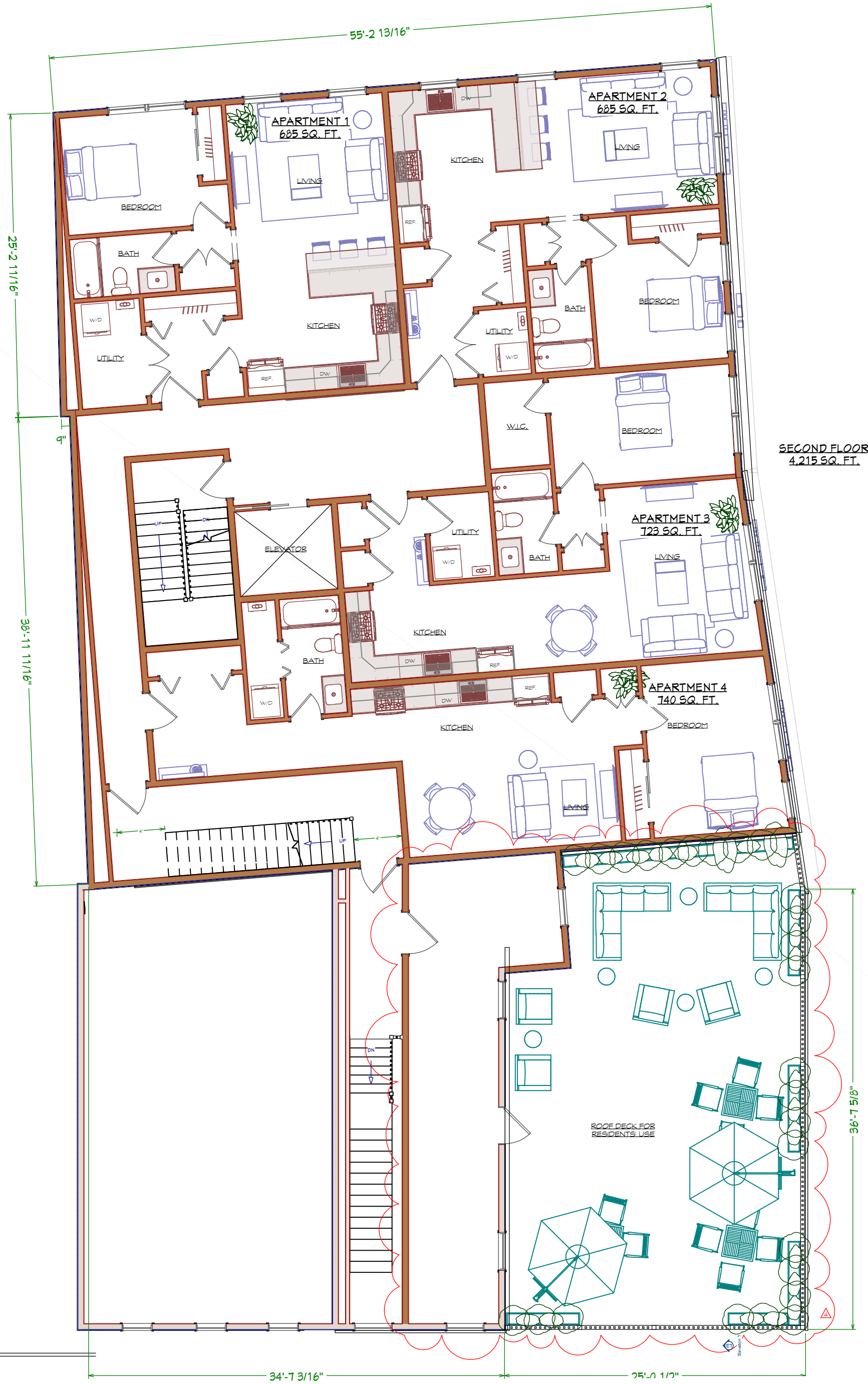
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SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"



CONSTRUCTION / DEMOLITION LEGEND

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A2

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SHEET TITLE:
SECOND FLOOR PLAN

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THIRD FLOOR PLAN
SCALE: 1/4" = 1' - 0"



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A3

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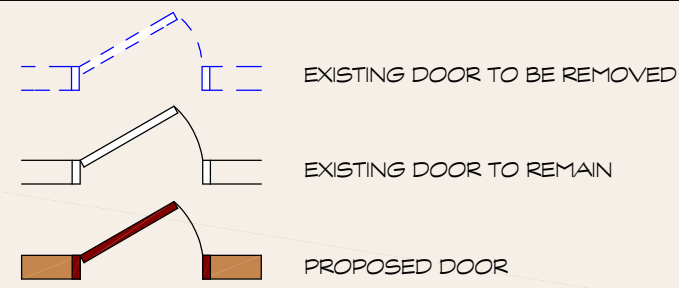
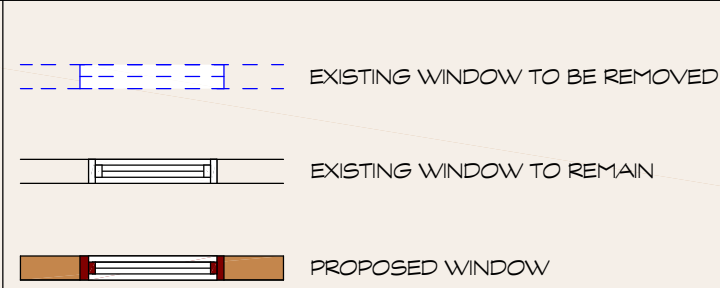
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SHEET TITLE:
THIRD FLOOR PLAN

SCALE: 1/4" = 1' - 0"



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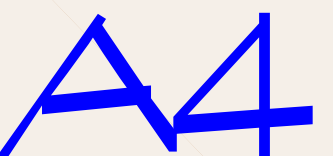
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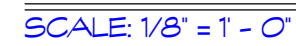


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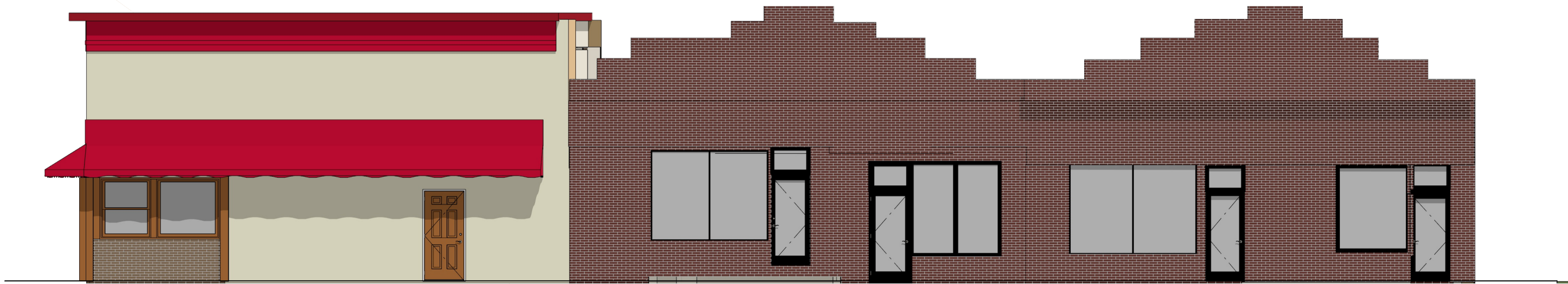
SHEET TITLE:
FOURTH FLOOR PLAN



SHEET TITLE:
FRONT ELEVATION

120 NORTH MAIN STREET, SUITE 501,
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PHONE: (845) 638-9336 FAX: (845) 638-9380

A5



EXISTING RIGHT ELEVATION

SCALE: 1/8" = 1' - 0"

SIGNAGE VILLAGE OF NYACK ZONING CODE SECTION: 360.4.11 (E)			
UNIT NUMBER	STORE FRONT WIDTH (FEET)	ALLOWABLE SQUARE FOOTAGE (STOREFRONT WIDTH X 2/3 X 2)	PROPOSED SQUARE FOOTAGE (LENGTH X HEIGHT)
TARANTELLA (MAIN STREET)	34.21	45.2 SQ.FT. (34.21 X 2/3 X 2)	44 SQ.FT. (20'-4" X 2'-2")
TARANTELLA (BRIDGE STREET)	42.88	56.6 SQ.FT. (42.88 X 2/3 X 2)	44 SQ.FT. (20'-4" X 2'-2")
RETAIL 1	15.33	20.2 SQ.FT. (15.33 X 2/3 X 2)	15.56 SQ.FT. (11'-8" X 1'-4")
RETAIL 2	24.5	32.3 SQ.FT. (24.5 X 2/3 X 2)	13.67 SQ.FT. (10'-3" X 1'-4")
BUILDING ENTRANCE	8	10.56 SQ.FT. (8 X 2/3 X 2)	7.33 SQ.FT. (5'-6" X 1'-4")
RETAIL 3	15.25	20.13 SQ.FT. (15.25 X 2/3 X 2)	15.56 SQ.FT. (11'-8" X 1'-4")



RIGHT ELEVATION

SCALE = NTS

PROPOSED ADDITIONS/ ALTERATIONS:

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128 MAIN STREET, NYACK, NEW YORK 10960

SHEET TITLE:
RIGHT ELEVATION

SCALE	1/4" = 1'-0"
DATE:	2022-11-04
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CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL
	PROPOSED NEW POURED CONCRETE WALL
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION
	PROPOSED FRAMED CONSTRUCTION

	EXISTING WINDOW TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	PROPOSED WINDOW

	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	PROPOSED DOOR

THESE PLANS ARE NOT TO BE CONSIDERED VALID AND COMPLETE CONSTRUCTION DOCUMENTS UNLESS AND UNTIL THEY BEAR THE ARCHITECTURAL SEAL & SIGNATURE OF JONATHAN B. HODOSH.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS

2023-02-08	PROPOSAL 2	SAB
2023-05-16	PROPOSAL 3	SAB
2023-06-23	PROPOSAL 4	SAB
2023-10-27	ARB	SAB/ AML
2024-04-29	ARB COVERSHEET ONLY	AML

2024-08-20	PLANNING BOARD SET 1	SAB
2024-08-20	PB SET 1 COVERSHEET ONLY	AML
2024-12-19	ZONING BOARD SET 1	AML
2025-02-24	PB SET 2 COVERSHEET ONLY	AML
2025-08-28	PB SET 1 (REVISIONS PER BOARD COMMENTS)	SAB
2025-09-03	PB SET 1 (REVISIONS PER BUILDING INSPECTOR)	SAB
2025-09-15	PB SET 2 (REVISIONS PER BOARD COMMENTS)	SAB

A6

REAR ELEVATION
SCALE: 1/4" = NTS



PROPOSED ADDITIONS/ ALTERATIONS:

PAL & FRANK REAL ESTATE LLC
128 MAIN STREET, NYACK, NEW YORK 10960

SHEET TITLE:
REAR ELEVATION

SCALE	1/4" = 1'-0"
DATE:	2022-11-04
JOB #:	22003
DRAWN BY:	SAB
CHECKED BY:	JBH



**GEORGE HODOSH ASSOCIATES-
ARCHITECTS, P.C.**

120 NORTH MAIN STREET, SUITE 501,
NEW CITY, NEW YORK 10956

PHONE: (845) 638-9336 FAX: (845) 638-9380

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CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL
	PROPOSED NEW POURED CONCRETE WALL
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION
	PROPOSED FRAMED CONSTRUCTION

	EXISTING WINDOW TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	PROPOSED WINDOW

	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	PROPOSED DOOR

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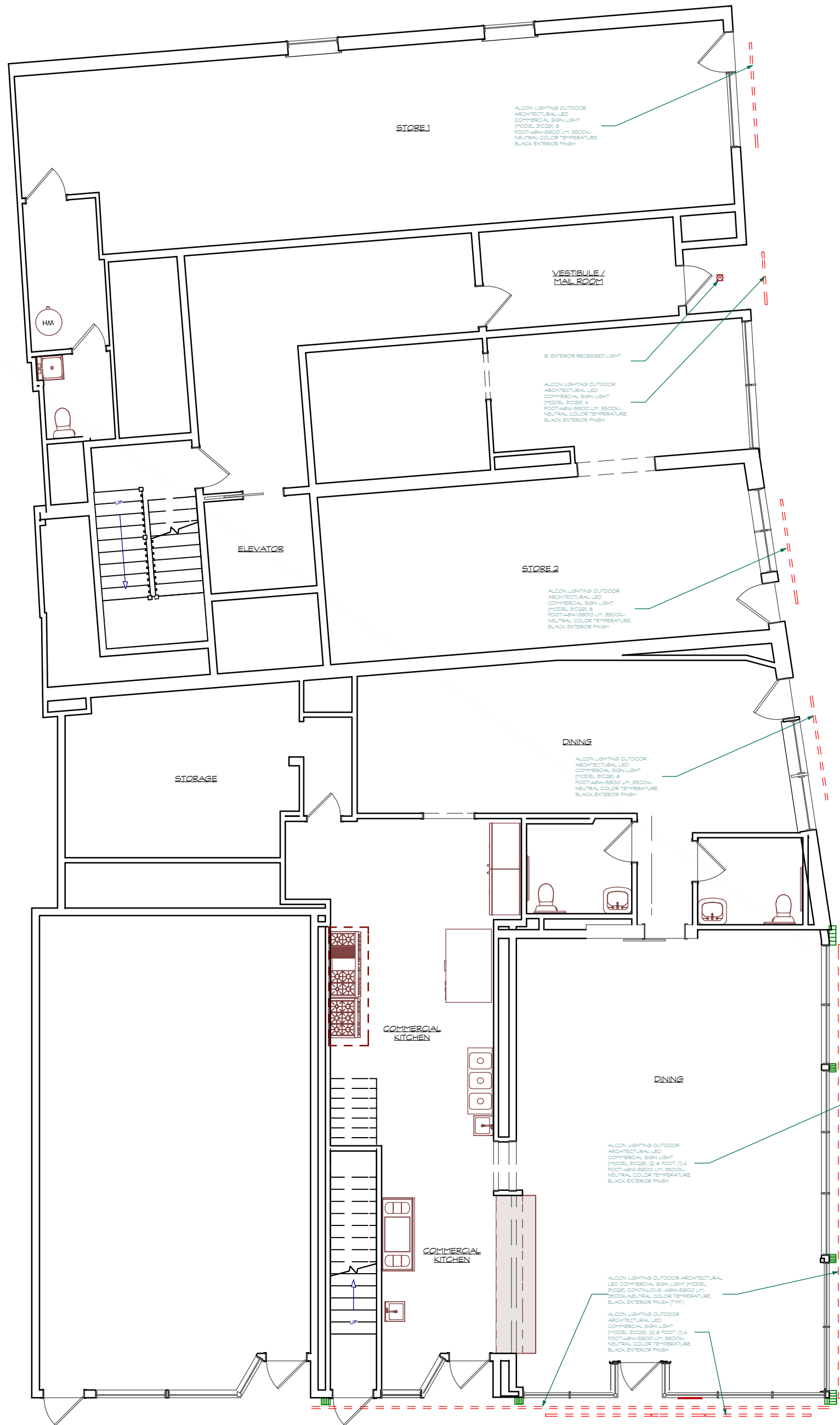
REVISIONS

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2023-06-23	PROPOSAL 4	SAB
2023-10-27	ARB	SAB/AML
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2025-02-24	PB SET 2 COVERSHEET ONLY	AML
2025-08-28	PB SET 1 REVISIONS PER BOARD COMMENTS	SAB
2025-09-03	PB SET 1 REVISIONS PER BUILDING INSPECTOR	SAB
2025-09-15	PB SET 2 REVISIONS PER BOARD COMMENTS	SAB

A7

FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1' - 0"



ELECTRICAL & LIGHTING LEGEND

- DUPLEX RECEPTACLE
- ₄₂ DUPLEX RECEPTACLE 42" ABOVE FINISHED FLOOR
- ₁₀ DUPLEX RECEPTACLE - EXTERIOR, GFCI
- _{GFI} DUPLEX RECEPTACLE - GROUND FAULT INTERRUPT
- _{USB} DUPLEX RECEPTACLE - USB CHARGER
- DUPLEX RECEPTACLE - CEILING MOUNTED
- DUPLEX RECEPTACLE - FLOOR MOUNTED
- ⊖ SEPARATE CIRCUIT FOR APPLIANCE
- ⊖ SMOKE DETECTOR WITH TEST BUTTON - SHALL BE HARD WIRED AND INTERCONNECTED
- ⊖ CARBON-MONOXIDE DETECTOR - SHALL BE HARD WIRED AND INTERCONNECTED
- ⊖ CABLE JACK - FINAL LOCATION BY OWNER
- ⊖ TELEPHONE JACK - FINAL LOCATION BY OWNER
- ⊖ WALL SWITCH
- ⊖₃ 3-WAY WALL SWITCH
- ⊖₄ 4-WAY WALL SWITCH
- ⊖_{DM} DIMMER WALL SWITCH
- ⊖_T TIMER WALL SWITCH
- ⊖_{WP} WEATHER PROOF WALL SWITCH
- ⊖₁₀₀ BATH FAN - 100 CFM - VENT TO EXTERIOR
- ⊖₁₀₀ BATH FAN W/ LIGHT - 100 CFM - VENT TO EXTERIOR
- ⊖ CEILING FAN
- ⊖ INCANDESCENT CEILING SURFACE MOUNTED LIGHT FIXTURE
- ⊖ RECESSED INCANDESCENT FIXTURE
- ⊖ WALL SCONCE
- ⊖₁ DOOR BELL CHIME BY OWNER
- ⊖ DOOR BELL BY OWNER
- ⊖₁ WIRELESS KEYPAD FOR GARAGE DOOR OPENER
- ⊖ WIRELESS SWITCH FOR GARAGE DOOR
- ⊖ OVERHEAD GARAGE DOOR OPENER
- ⊖ ELECTRICAL PANEL

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2024-04-29	⚠ ARB COVER SHEET ONLY	AML	2025-08-28	⚠ PB SET 1 (REVISIONS PER BOARD COMMENTS)	SAB
			2025-09-03	⚠ PB SET 1 (REVISIONS PER BUILDING INSPECTOR)	SAB
			2025-09-15	⚠ PB SET 2 (REVISIONS PER BOARD COMMENTS)	SAB

E1

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SHEET TITLE:
FIRST FLOOR ELECTRICAL PLAN

SCALE	1/4" = 1'-0"
DATE	2022-11-04
JOB #	22003
DRAWN BY	SAB
CHECKED BY	JBH