

PLAN REVIEW COMMENTS AND RESPONSES

TO: Village of Nyack
Building Department
9 North Broadway
Nyack, NY 10960

PROJECT: 80 S. Broadway
Nyack, NY 10960

DATE: 01/12/2026

DRP REF NO: 22-143

In response to comments received from the Village Engineer, Weston & Sampson, dated December 1, 2025 our responses are as follows.

All the comments according to our knowledge were satisfactorily resolved.

1. *The plans indicate a concrete and mortar retaining wall that follows the full length of the south side property line, and west rear property line. The majority of this retaining wall appears to be proposed to be removed. Additional detail, and off-site topographical information is needed to demonstrate how this will be addressed without detrimental impact upon the adjoining property.*

DRPILLA response:

The existing retaining wall along the south property line will be replaced with a new retaining wall. Details for this will be provided in the retaining wall set. The west property line retaining wall will remain.

2. *The existing grade as shown on the Survey indicates a spot elevation of 57.7 at the northeast corner of the property. The Grading Plan, C-101.00, indicates a spot of elevation of BW (bottom wall) of 58.5. How will this change in grade be designed as not to adversely affect the adjoining property owner, or the public sidewalk along the property frontage? Grades along the adjoining property to the north shall be provided. The applicant's response was not sufficient to address the grading concerns. Additional spot grades all along the property frontage remain to be addressed. The sidewalk cross slope on the northern sidewalk appears to be excessive, while the sidewalk cross slope on the southern sidewalk is back pitched. Site specific design and grading remains to be provided.*

DRPILLA response:

The new design has the front of the proposed building aligning with the front of the neighboring building. No retaining wall is proposed on the north side of the property anymore, and SOE drawings will be provided upon completion of the structural portion of the project. C-101 now shows updated grading information along the property frontage.

3. *The garage layout now provides clear access to 16 parking spaces within the garage, and 6 exterior*

parking spaces in the front of the structure. Is it intended to reserve the 6 exterior parking spaces solely for residents' use? The total parking count includes 2 ADA parking spaces. Is it intended for residents to be permanently assigned to ADA parking spaces?

DRPILLA response:

As required by zoning, 22 parking spaces are provided for the residential units. There are no parking requirements for the commercial uses in the DMU-1 district.

The project provides 6 surface parking spaces at grade in front of the commercial spaces and 16 parking spaces in the cellar, all of which are intended for residential use.

In accordance with NYS Building Code Sections 1106.2 and 1106.3, two ADA-accessible parking spaces are required for this R-2 occupancy with Type B dwelling units. Where multiple parking facilities are provided, the number of accessible spaces is calculated separately for each facility.

Accordingly, one ADA parking space is provided at grade and one in the cellar, and these ADA spaces will be permanently assigned to residents.

4. *The current plan indicates some of the parking stalls measure 9 feet wide, while others are impeded by the structural columns. The clear parking stall width to the face of the columns shall be noted for all spaces affected by columns.*

DRPILLA response:

Dimensions have been added to the parking spots to show clear width from the face of the columns to the edge of the parking spot for all affected spaces.

5. *A red light/green light system is proposed to regulate the garage entry and egress over the one way, 12 feet wide aisle. This was added to prevent head on collisions, and the need for extensive backing up of vehicles as they attempt to gain access or egress to and from the garage. If a vehicle is approaching the garage from South Broadway and finds a red signal, where will that vehicle stage as to not block the sidewalk or to impede the traffic flow on South Broadway? The logistics of how this garage will function shall be fully evaluated.*

DRPILLA response:

The red/green signal system will be programmed to prioritize vehicles entering the parking garage from South Broadway. Vehicles exiting the garage will be held within the cellar level until all inbound vehicles have cleared the garage entrance. This operational strategy is intended to prevent blockage of the sidewalk and minimizing any impediment to traffic flow along South Broadway.

6. *Where will delivery trucks be staged?*

DRPILLA response:

Delivery trucks will be staged temporarily along South Broadway, consistent with existing delivery practices for other commercial properties along this corridor. At present, there are no designated on-site loading zones or dedicated truck staging areas along South Broadway serving commercial uses. Deliveries will therefore be limited to short-duration curbside stops, coordinated to minimize impacts on pedestrian circulation and vehicular traffic. The project team is open to coordinating with the Village as needed to comply with applicable regulations and to incorporate any recommended operational controls, including designated curbside loading areas, if required.

7. *How will trash pick-up be accommodated?*

DRPILLA response:

On scheduled collection days, garbage containers will be moved from the compactor room to the sidewalk/street by on-site maintenance staff to facilitate trash pickup.

8. *The only access to this site is from South Broadway. A fire truck with outriggers generally needs 20 feet minimum aisle width along a minimum of one side of the structure. The only side of the structure potentially available is the front of the structure. Generally, a fire truck needs to be between staged within a 15 to 30 feet setback area to extend a ladder to access upper floors. We defer to the Fire Department to review and opine on the code compliance and suitability of access for firefighting and emergency service, and to establish any necessary “no parking, fire zone” areas.*

DRPILLA response:

The new design has the front of the proposed building aligning with the front of the neighboring building to the north. The front of the building is now only 17'-0½" from the roadway. This allows for fire truck access within the 15 to 30 foot setback so the ladder can access upper floors. The project team welcomes Fire Department review and comments, including recommendations for any areas to be designated as “No Parking / Fire Zone.”

9. *Have flow tests been performed to verify pressure for firefighting purposes?*

DRPILLA response:

Flow tests will be scheduled to confirm existing flow rates.

10. *The project is classified as a redevelopment site. The applicant is proposing both a green roof and at grade planting boxes and beds. A Landscaping Plan shall be provided with full details of the green roof and planting beds. Due to the nature of the existing developed site, soil amendment will most likely be necessary. Generic details have been previously provided for a Planter Box. Site specific design remains to be provided. Planting Bed and the Green Roof System details remain to be provided. A planting Legend shall be submitted.*

DRPILLA response:

A landscaping plan and legend has been provided on sheet C-105 for the planter and street trees. A planter drain flashing detail, a planter waterproofing detail, and a street tree planter detail have been added to sheet C-105. Green roof details and a planter detail are shown on C-200. A note on green roof plantings has been added to detail 2 on C-200.

11. *The applicant has responded that screening of the front yard parking of vehicles is not being proposed though a planting bed is proposed with limited plantings. It is our recommendation that if front yard parking is allowed along South Broadway, screening should be considered. The proposed planting legend shall indicate the mature planting material heights.*

DRPILLA response:

Proposed planting height to be not less than 2.5 feet in height and not more than four feet in height. Planting heights are shown in the table on C-105.

12. *Proposed tree pits along S Broadway have been provided. It is not in accordance with the Village standard Streetscape design. We recommend the Streetscape design for the full property frontage be implemented to be consistent along the corridor.*

DRPILLA response:

Tree pit detail in accordance with the Village standard Streetscape design was added to sheet C-105.

13. *The limits of the subsurface parking garage approach all property lines. A detailed SOE, support of excavation plan, will be needed to protect both the adjacent structures, roadway and all existing utilities within South Broadway.*

DRPILLA response:

A full Support of Excavation set will be prepared and submitted when that portion of the project is reached.

14. *An Erosion Control Plan has been previously submitted. The vehicle access should be reevaluated to accommodate construction vehicles. One access point does not appear realistic.*

DRPILLA response:

An additional stabilized construction entrance has been added to sheet C-103 to allow both entrance and egress from the property.

15. *The installation of erosion control measures on the downstream catch basins on South Broadway is needed.*

DRPILLA response:

Drop inlet protection around the existing downstream double catch basin on S Broadway has been added to sheet C-103. A drop inlet protection detail has been added to C-202.

16. *It appears temporary easements from the adjoining neighbors may be necessary to accommodate construction of the structure to the property lines. How will adjoining properties be protected during construction?*

DRPILLA response:

The support of adjoining properties will be included in the Support of Excavation set. An access agreement will need to be negotiated between both parties as it relates to the proposed construction.

17. *The connection of the proposed stormwater management system to the existing double catch basin above the Nyack Creek culvert should be clarified. The proposed catch basin should not be constructed over the existing culvert of the Nyack Creek. It should be offset to avoid damage to what I believe is an existing brick arch culvert in this location.*

DRPILLA response:

The proposed manhole and connection to the existing double catch basin have been offset so that they will not be constructed over the existing culvert of the Nyack Creek.

18. *Remove the label "sanitary" from all storm sewer system details. This remains to be addressed.*

DRPILLA response:

The “sanitary” label has been removed from all storm sewer system details.

19. *Proposed utilities have been shown to the building face of the subsurface garage. (see 13 above regarding the need for an SOE plan). Required separation distances between utilities shall be noted and maintained. This remains to be addressed.*

DRPILLA response:

Required separation distances between utilities have been added to sheet C-102.

20. *The limit of disturbance has been noted as 12,000 SF. In accordance with the Zoning Code, any land disturbance over 10,000 SF will require the preparation and submission of a SWPPP. This remains to be submitted.*

DRPILLA response:

A SWPPP will be prepared and submitted for review.

21. *A plan shall be developed to clearly indicate the scope of work and limits of work for the curb, apron, and sidewalk removal and replacement along South Broadway. This remains to be submitted.*

DRPILLA response:

The requested information has been added to sheet C-101.

22. *Proposed signage, both directional, and identifying, shall be shown. Directional Signage details have been provided but the location of the same is not shown on the engineering plan set. This remains to be submitted.*

DRPILLA response:

The locations of the signs have been added to sheet C-101.

23. *A Lighting Plan has been previously submitted. The font of the spot intensities in the Photometric Plan is too small and are not legible. Re-print at a legible scale and resubmit. The plan requires to be updated to reflect the new layout.*

DRPILLA response:

Lighting plan was revised to reflect new layout. The font size of the spot intensities in the Photometric Plan was changed.

24. *There appears to be a proposed floodlight over the garage entry. The use of floodlights becomes problematic as they introduce glare. A more suitable fixture, with the ability to be downwards focused and shielded, shall be substituted for the floodlight. This remains to be addressed.*

DRPILLA response:

The previously proposed floodlight over the garage entry has been removed. In its place, two wall-mounted light fixtures are proposed on either side of the garage entrance door. These fixtures are downward-directed.



- DOMINICK R. PILLA ASSOCIATES -

25. *All ADA details shall conform with the most recent design standards 7.5% maximum slope for the ramp, and a 1.5% maximum slope of the landing area. This remains to be addressed.*

DRPILLA response:

Allowable slopes have been added to the ADA ramp at the front of the building.

26. *The trench drain shall be specified to reflect an ADA compliant grate. This remains to be addressed.*

DRPILLA response:

A note had been added to detail 4 on C-200 stating that the grate shall be ADA compliant.

Sincerely,

A handwritten signature in black ink that reads "Dominick R. Pilla". The signature is fluid and cursive, with "Dominick" and "R." being more stylized and "Pilla" being more like a standard name.

Dominick R. Pilla, P.E., C.E., S.E., R.A., LEED AP