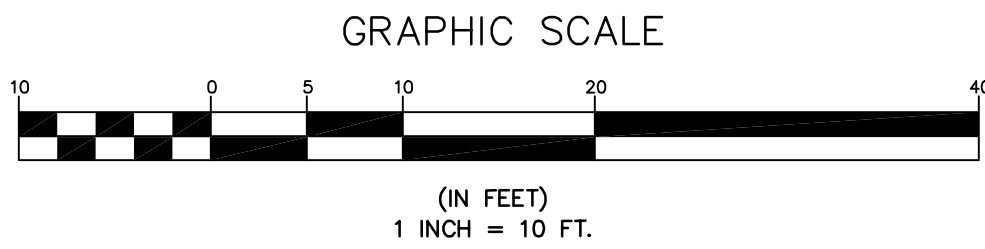
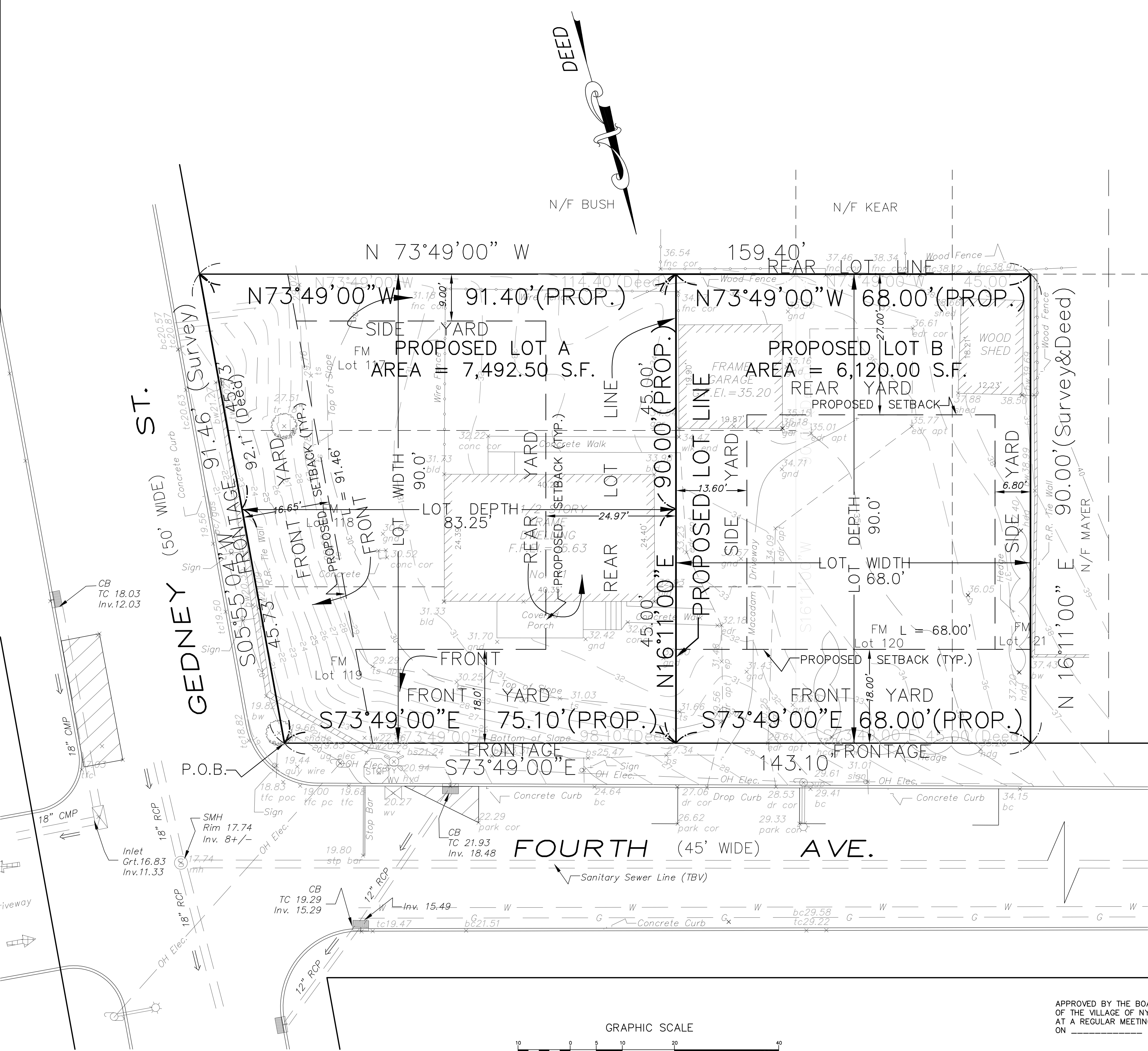


FILE: 10.372

- LEGEND
- BM - BENCH MARK
CB - CATCH BASIN
I - INVERT
MH - MANHOLE
TC - TOP CURB
BC - BOTTOM CURB
EP - EDGE PAVEMENT
BW - BOTTOM WALL
TW - TOP WALL
TS - TOP SLOPE
BS - BOTTOM SLOPE
F - FENCE
FC - FENCE CORNER
G - GROUND
FF - FINISHED FLOOR
IP - IRON PIN or PIPE
WC - WALL CORNER
MON - MONUMENT
TBR - TO BE REMOVED
- 000.00 - EXISTING ELEVATION
000 - EXISTING CONTOUR
[000.00] - PROP. ELEVATION
000 - PROPOSED CONTOUR
- W - WATER VALVE
G - GAS VALVE
C - CATCH BASIN
U - UTILITY POLE
OH - OVER HEAD WIRES
W - WALL
- SP - PROP. SEEPAGE PIT
- T - TREE
X - TREE TO BE REMOVED
- DATUM - NGVD 1929



APPROVED BY THE BOARD OF ADJUSTMENT
OF THE VILLAGE OF NYACK - TOWN OF ORANGETOWN
AT A REGULAR MEETING HELD
ON _____

CHAIRMAN

SECRETARY

ZONING SCHEDULE

ZONE - TFR	TWO-FAMILY RESIDENTIAL			
	REQUIRED LOT A	PROP. LOT A	REQUIRED LOT B	PROP. LOT B
MIN. LOT AREA (S.F.)	10,000	7,492.50*	10,000	6,120.00*
MIN. LOT WIDTH (FT.)	75	90	75	68*
MIN. LOT DEPTH (FT.)	100	83.25*	100	90*
MIN. FRONT YARD (FT.) (c)	16.65	16.65	18.0	18.0
MIN. REAR YARD (FT.) (d)	24.97	24.97	27	27
MIN. ONE SIDE YARD (FT.) (l)	9	9	6.8	6.8
MIN. BOTH SIDE YARDS (FT.) (e)	N/A	N/A	20.4	20.4
MIN. STREET SIDE YARD (FT.)	18	18	N/A	N/A

* INDICATES VARIANCE REQUIRED

(c) THE FRONT SETBACK SHOULD BE 20% OF LOT AREA DIVIDED BY LOT WIDTH

(d) 30% OF THE LOT AREA DIVIDED BY THE LOT WIDTH

(l) THE MINIMUM SIDE YARD SHALL BE FIVE FEET OR 10% OF THE LOT WIDTH, WHICH EVER IS GREATER

(e) 30% OF THE LOT WIDTH

(c) FRONT YARD FOR LOT A = $\frac{20\% \times 7,492.50}{90} = 16.65$ FRONT YARD FOR LOT B = $\frac{20\% \times 6,120.00}{68} = 18.00$

(d) REAR YARD FOR LOT A = $\frac{30\% \times 7,492.50}{90} = 24.97$ REAR YARD FOR LOT B = $\frac{30\% \times 6,120.00}{68} = 27.00$

(l) SIDE YARD FOR LOT A = $10\% \times 90 = 9.0$ SIDE YARD FOR LOT B = $10\% \times 68 = 6.8$

(e) BOTH SIDE YARDS FOR LOT B = $30\% \times 68.0 = 20.4$

GENERAL NOTES

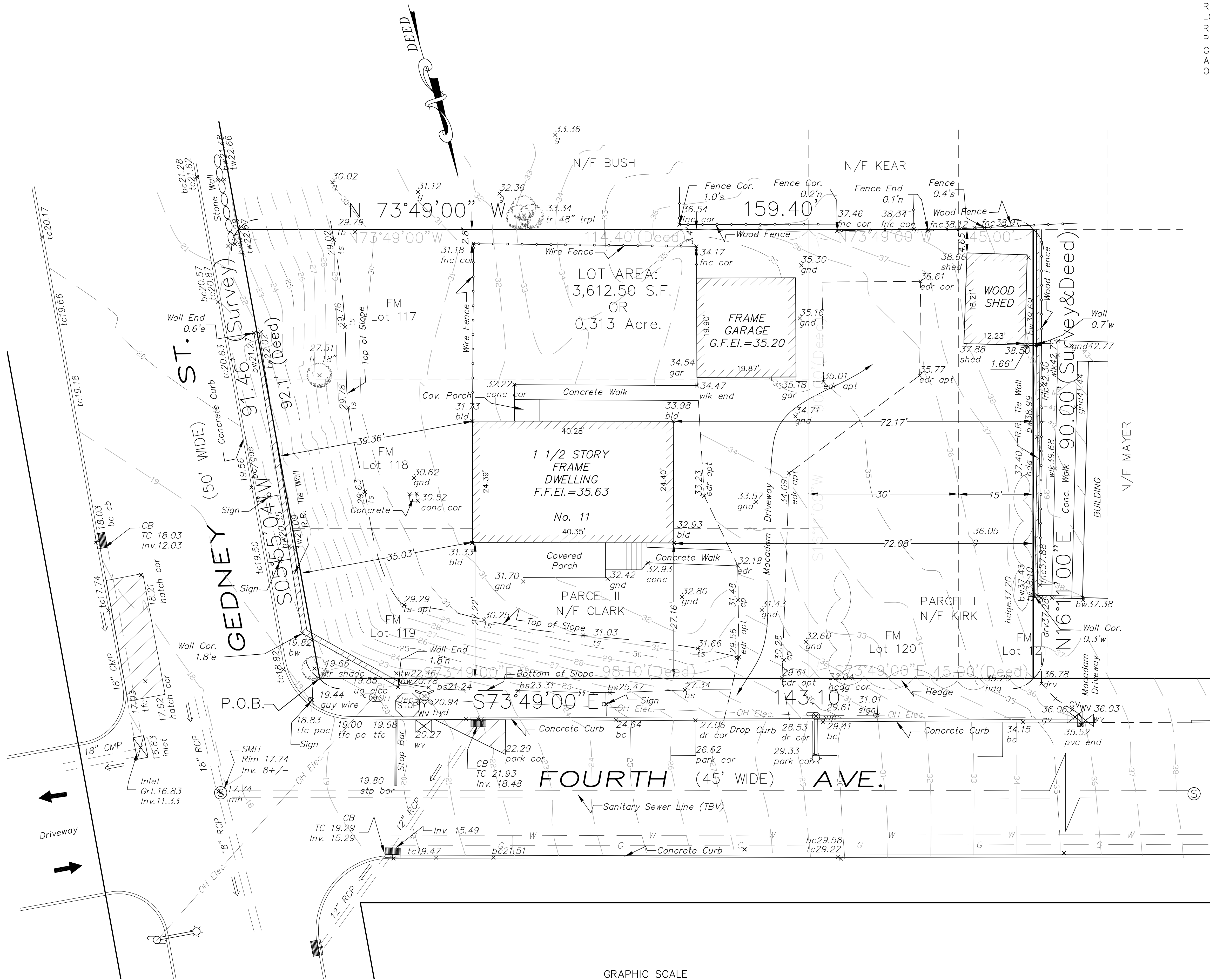
- RECORD OWNER : SCHENLEY VITAL
48 S. FRANKLIN STREET, SUIT 100
NYACK, NY 10960
- APPLICANT : SAME AS OWNER
- THIS IS A SUBDIVISION OF LOT 26 BLOCK 2 SECTION 66.30 AS SHOWN ON THE TAX MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.
- AREA OF TRACT IN SQUARE FEET: 13,612.50 SQ.FT.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED.
- ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
- ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
- ALL BUILDING SEWER CONNECTIONS SHALL BE GRAVITY SEWERS WITH A MINIMUM SLOPE OF 2%.
- HOUSE SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM SEPERATION OF 10 FEET.
- WATER SUPPLY BY VILLAGE OF NYACK WATER DEPARTMENT OR VEOLIA NORTH AMERICA OR THEIR SUCCESSORS.
- DUE TO THE ASSUMPTION OF A PERCOLATION RATE FOR THE DESIGNED DRAINAGE SYSTEM, THE APPLICANT'S ENGINEER SHALL ADMINISTER A FIELD PERCOLATION TEST PRIOR TO THE INSTALLATION OF THE PROPOSED SEEPAGE PITS, TO ENSURE ADEQUACY OF THE DESIGNED DRAINAGE SYSTEM.
- PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
- THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS.
- A SOIL EROSION CONTROL PLAN SHALL BE APPROVED BY THE PLANNING BOARD BEFORE ANY WORK IS BEGUN. SOIL EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE VILLAGE ENGINEER AND/ OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS.
- MAINTENANCE OF STORMWATER SYSTEM & SCHEDULE:
 - MAINTENANCE OF THE SUBJECT PROPERTY SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.
 - MAINTENANCE SHALL INCLUDE THE FOLLOWING:
 - PERIODIC CLEANING OF ROOF LEADERS TO PREVENT DEBRIS FROM ENTERING THE SEEPAGE PITS (SIX MONTH INTERVALS).
 - MOWING AND FERTILIZING OF GRASS AREAS. ALSO, PRUNING AND FERTILIZING OF TREES AND SHRUBS (DURING SEASONAL INTERVALS)
 - SEEPAGE PITS SHALL BE INSPECTED AND MAINTAINED YEARLY.

PRELIMINARY PLAT

PROPOSED VITAL MINOR SUBDIVISION

ADDITIONS	LOT 26 BLOCK 2 SECTION 66.30 11 FOURTH AVENUE	DRAWN BY: I.G.
	VILLAGE OF NYACK - TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK COLLAZUOL ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS	CALC. BY: I.G.
04-17-2025 06-10-2025 06-17-2025 11-18-2025	120 1/2 N. BROADWAY NYACK, NEW YORK 845 358-1510	SCALE: 1" = 10'
	1610 CENTER AVENUE FORT LEE, NEW JERSEY 201 944-7774	DATE: 12-16-2024
	STEVEN J. COLLAZUOL NEW YORK PROFESSIONAL ENGINEER (LIC. NO. 70,888) NEW YORK PROFESSIONAL LAND SURVEYOR (LIC. NO. 49,882)	FILE No. 10,372
		SHEET No. 1 OF 5

REFERENCE:
LOTS 117, 118, 119, 120 AND PART OF LOT 121 MAP No. 375 FILED IN THE
ROCKLAND COUNTY CLERK'S OFFICE ON APRIL 9, 1839 ENTITLED "MAP OF
PROPERTY IN NYACK, ROCKLAND COUNTY, SATE OF NEW YORK, BELONGING TO
GEDNEY, SEPTEMBER, 1838, MADE BY SAMUEL S. DOUGHTY".
ALSO KNOWN AS LOT 26 BLOCK 2 SECTION 66.30 AS SHOWN ON THE TAX MAP
OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.



UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY BEARING A LISCENSED
LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF
THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF
THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE
COPIES.

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN
ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED
BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.
SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS
PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY
AND LENDING INSTITUTION LISTED HEREON. CERTICAIONS ARE NOT
TRANSFERRABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS
ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN
ITEM IN ANY WAY.

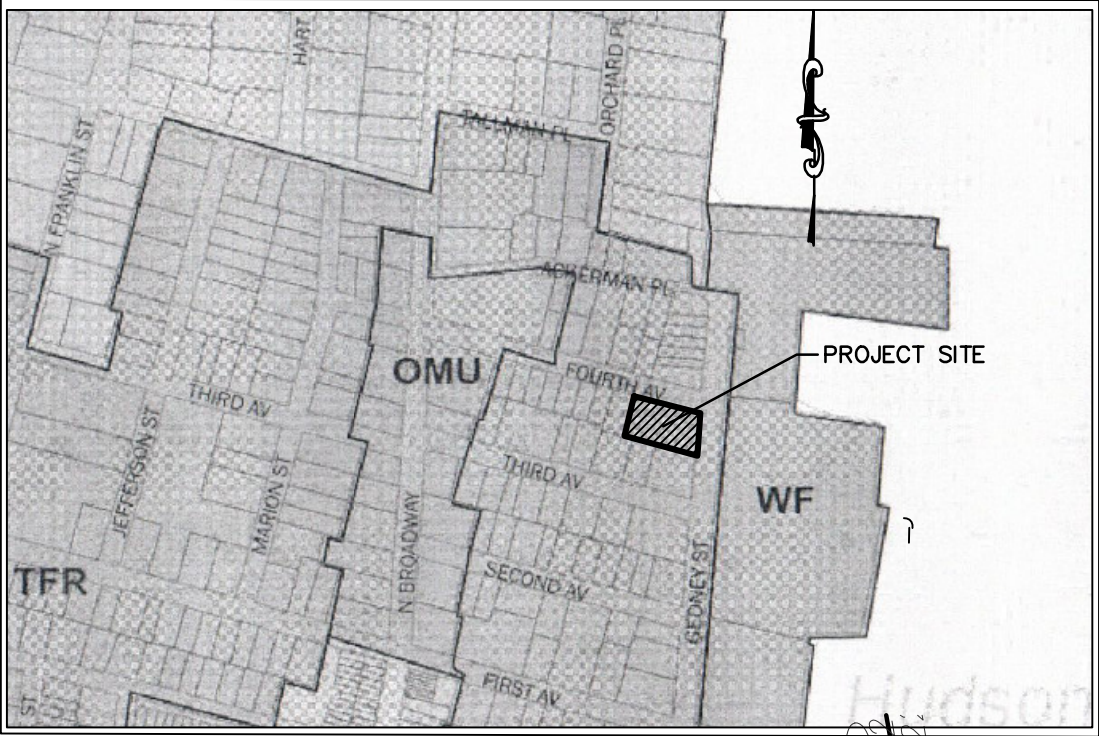
ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE
AND AN ORIGINAL EMBOSSED OR INKED SEAL ARE THE PRODUCT OF THE LAND
SURVEYOR.

THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON.
ANY EXTENSION OF THE USE BEYOND THE PURPOSE AGREED TO BETWEEN THE
CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT.

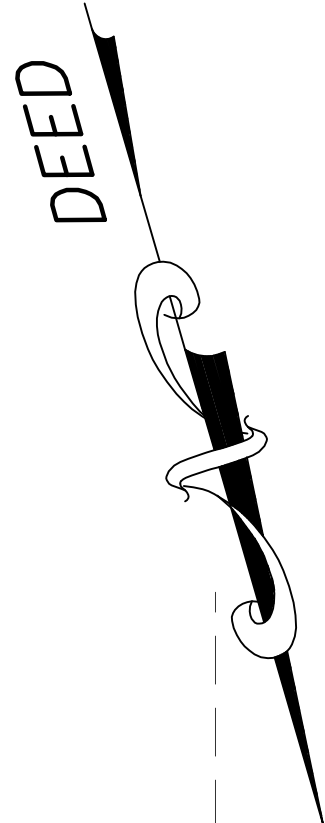
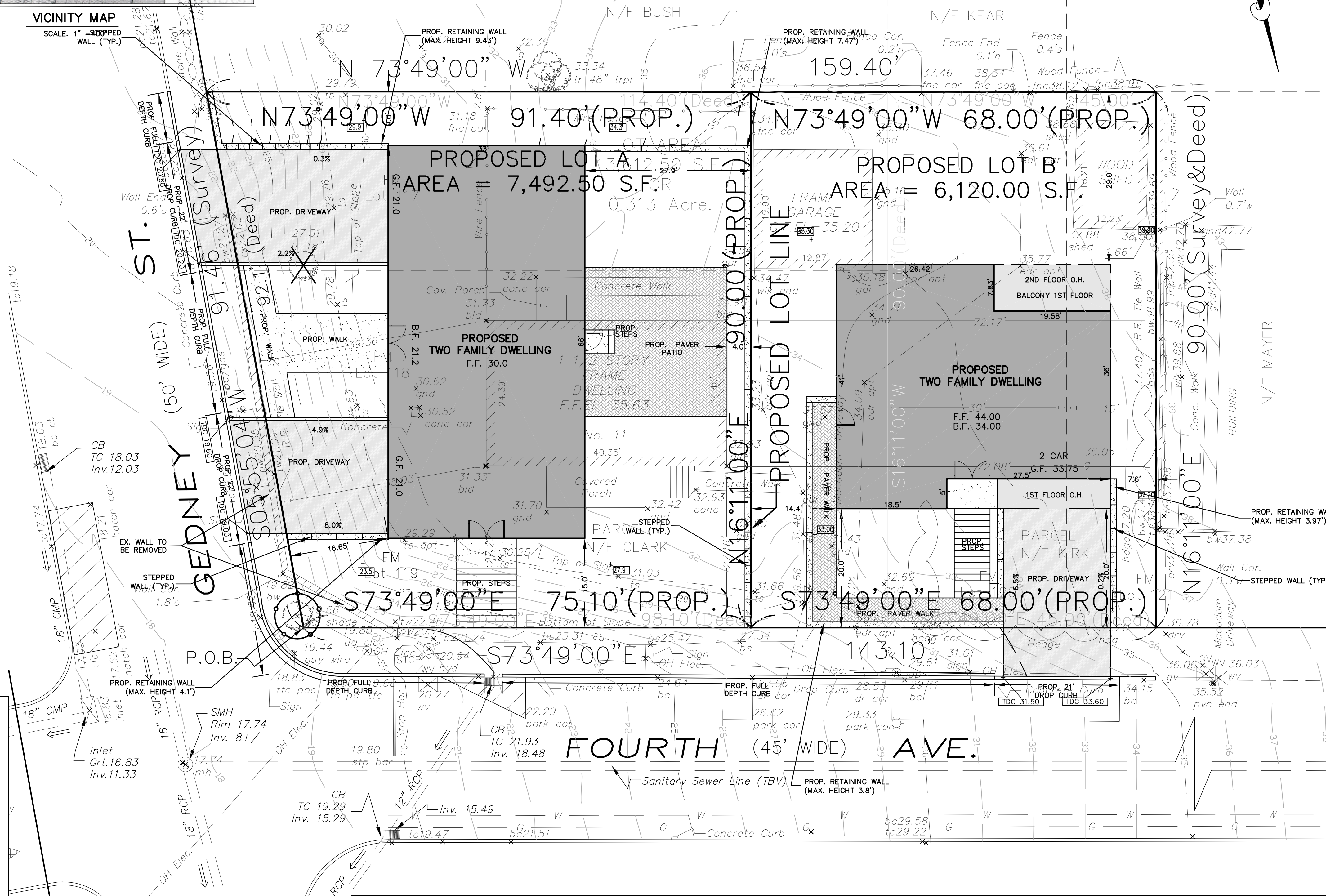
SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE REPORT.

BOUNDARY & TOPOGRAPHIC SURVEY		
ADDITIONS	LOT 26 BLOCK 2 SECTION 66.30 11 FOURTH AVENUE VILLAGE OF NYACK - TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK COLLAZUOL ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS	DRAWN BY: I.G.
12-05-24-Util. Info 01-13-25-Contours 07-22-25-add. topo	120 1/2 N. BROADWAY NYACK, NEW YORK 845 358-1510	CALC. BY: I.G.
	1610 CENTER AVENUE FORT LEE, NEW JERSEY 201 944-7774	SCALE: 1" = 10'
	STEVEN J. COLLAZUOL PROFESSIONAL ENGINEER AND LAND SURVEYOR NEW JERSEY LICENSE No. 31,265	DATE: 06-28-22
		FILE No. 10,372
		SHEET No. 2 OF 5

THIS SURVEY IS CERTIFIED TO BE CORRECT AND ACCURATE TO:
SCHENLEY VITAL
FIRST AMERICAN TITLE INSURANCE COMPANY
THE JUDICIAL TITLE INSURANCE COMPANY



VICINITY MAP
SCALE: 1" = 300'



ZONING SCHEDULE				
ZONE - TFR	TWO-FAMILY RESIDENTIAL		TWO-FAMILY RESIDENTIAL	
	REQUIRED LOT A	PROP. LOT A	REQUIRED LOT B	PROP. LOT B
MIN. LOT AREA (S.F.)	10,000	7,492.50*	10,000	6,120.00*
MIN. LOT WIDTH (FT.)	75	90	75	68*
MIN. LOT DEPTH (FT.)	100	83.25*	100	90*
MIN. FRONT YARD (FT.)(c)	16.65	16.65	18.0	20.0
MIN. REAR YARD (FT.) (d)	24.97	27.9	27	29
MIN. ONE SIDE YARD (FT.)(i)	9	9.0	6.8	7.6
MIN. BOTH SIDE YARDS (FT.)(e)	N/A	N/A	20.4	22.0
MIN. STREET SIDE YARD (FT.)	18	15*	N/A	N/A
BUILDING HEIGHT (STORIES)	2	3*	2	3*
BUILDING HEIGHT (FT.)	32	32.25*	32	32.00
MIN. USABLE OPEN (PER DWELLING UNIT (S.F.))	500	2,500	500	2,000
MIN. DWELLING UNIT SIZE (S.F.)	750	1,780	750	1,100

- * INDICATES VARIANCE REQUIRED
(c) THE FRONT SETBACK SHOULD BE 20% OF LOT AREA DIVIDED BY LOT WIDTH
(d) 30% OF THE LOT AREA DIVIDED BY THE LOT WIDTH
(i) THE MINIMUM SIDE YARD SHALL BE FIVE FEET OR 10% OF THE LOT WIDTH, WHICH EVER IS GREATER
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(e) BOTH SIDE YARDS FOR LOT B = $30\% \times 68.0 = 20.4$

BUILDING HEIGHT CALCULATIONS

PROP. LOT A	PROP. LOT B
GRADE PLANE 23.5 29.9 34.3 + 22.9 115.9 / 4 = 28.98 AVG. GRADE PLANE	GRADE PLANE 33.00 35.30 39.30 + 37.20 144.80 / 4 = 36.20 AVG. GRADE PLANE
BUILDING HEIGHT = AVERAGE HEIGHT OF GABLE - GRADE PLANE 61.15 - 28.90 = 32.25' BUILDING HEIGHT	BUILDING HEIGHT = AVERAGE HEIGHT OF GABLE - GRADE PLANE 68.20 - 36.20 = 32.0' BUILDING HEIGHT

MINIMUM PARKING REQUIREMENTS

PROP. LOT A	PROP. LOT B
DWELLING, TWO FAMILY 2 PARKING SPACES PER 1 OR GREATER BEDROOMS 2 UNITS X 2 PARKING SPACES= 4 PARKING SPACES NEEDED PROPOSED 4 PARKING SPACES IN GARAGE AND 2 IN DRIVEWAY TOTAL PARKING SPACES = 6 OK	DWELLING, TWO FAMILY 2 PARKING SPACES PER 1 OR GREATER BEDROOMS 2 UNITS X 2 PARKING SPACES= 4 PARKING SPACES NEEDED PROPOSED 2 PARKING SPACES IN GARAGE AND 2 IN DRIVEWAY TOTAL PARKING SPACES= 4 OK

GENERAL NOTES

- RECORD OWNER : SCHENLEY VITAL
48 S. FRANKLIN STREET, SUIT 100
NYACK, NY 10960
- APPLICANT : SAME AS OWNER
- THIS IS A SUBDIVISION OF LOT 26 BLOCK 2 SECTION 66.30 AS SHOWN ON THE TAX MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.
- AREA OF TRACT IN SQUARE FEET: 13,612.50 SQ.FT.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED.
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- DUE TO THE ASSUMPTION OF A PERCOLATION RATE FOR THE DESIGNED DRAINAGE SYSTEM, THE APPLICANT'S ENGINEER SHALL ADMINISTER A FIELD PERCOLATION TEST PRIOR TO THE INSTALLATION OF THE PROPOSED SEEPAGE PITS, TO ENSURE ADEQUACY OF THE DESIGNED DRAINAGE SYSTEM.
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 - MOWING AND FERTILIZING OF GRASS AREAS. ALSO, PRUNING AND FERTILIZING OF TREES AND SHRUBS (DURING SEASONAL INTERVALS)
 - SEEPAGE PITS SHALL BE INSPECTED AND MAINTAINED YEARLY.

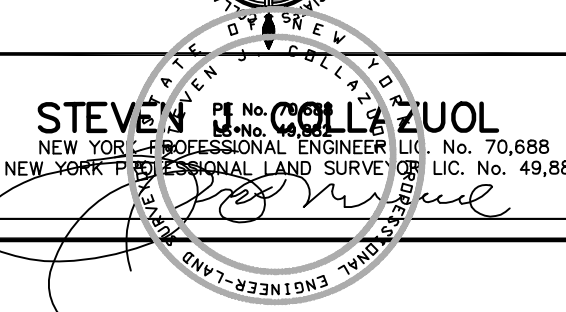
APPROVED BY THE BOARD OF ADJUSTMENT
OF THE VILLAGE OF NYACK - TOWN OF ORANGETOWN
AT A REGULAR MEETING HELD
ON _____

CHAIRMAN

SECRETARY

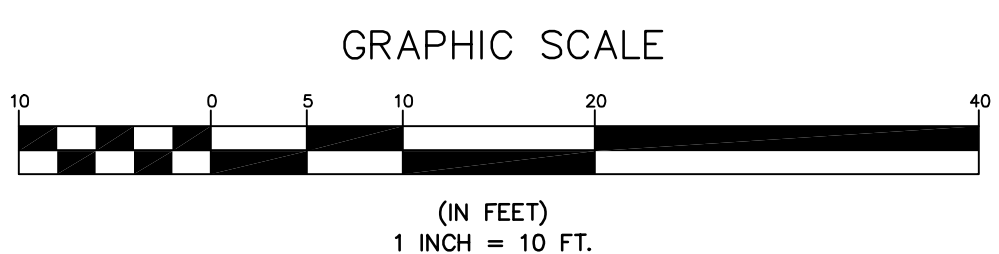
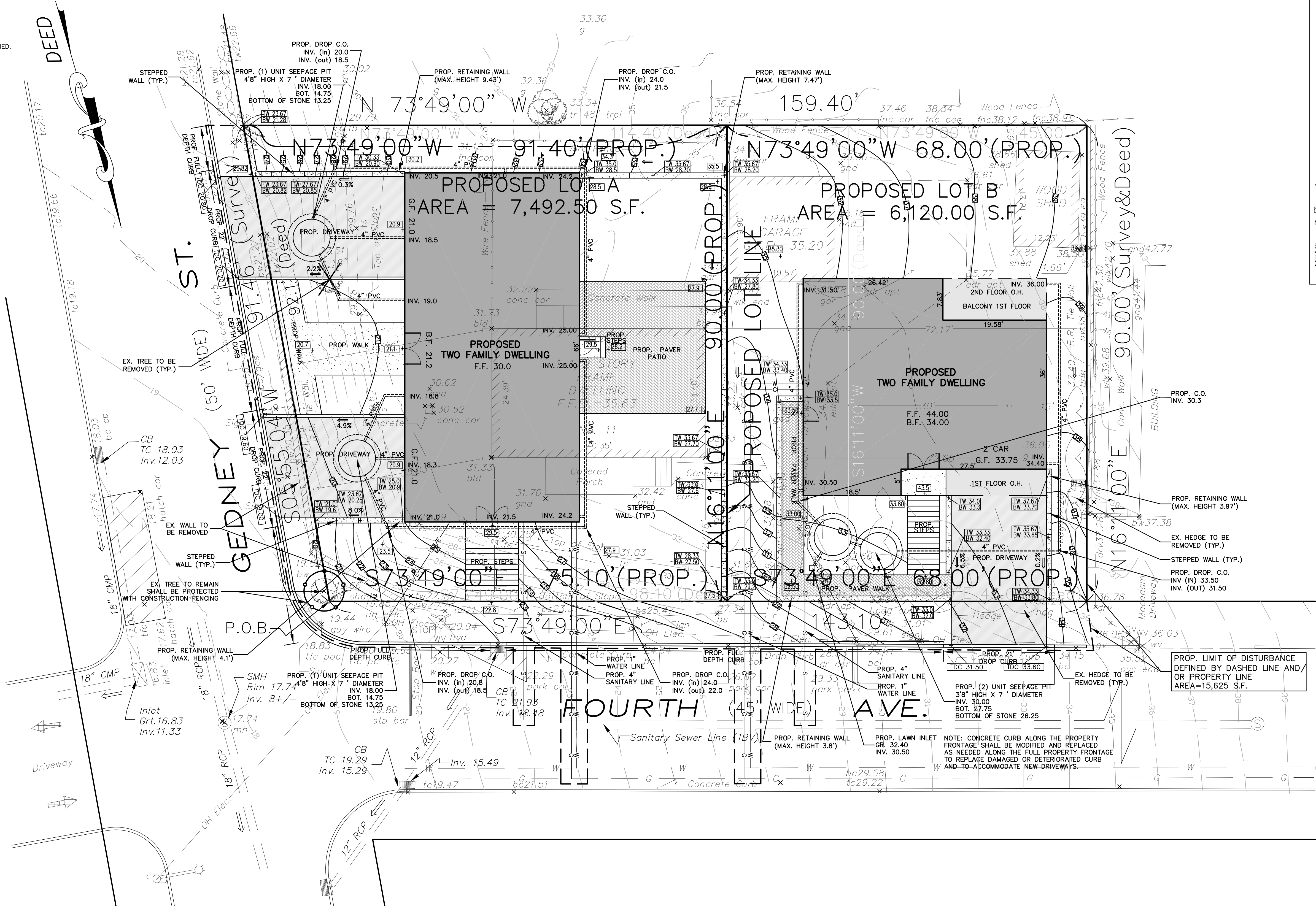
SITE PLAN

ADDITIONS	LOT 26 BLOCK 2 SECTION 66.30 11 FOURTH AVENUE	
	VILLAGE OF NYACK - TOWN OF ORANGETOWN ROCKLAND COUNTY , NEW YORK COLLAZUOL ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS 120 1/2 N. BROADWAY NYACK, NEW YORK 845 358-1510	DRAWN BY: I.G. CALC. BY: I.G. SCALE: 1" = 10' DATE: 12-16-2024 FILE No. 10,372 SHEET No. 3 OF 5



GENERAL NOTES

1. SOIL INVESTIGATION INCLUDING DEPTH TO GROUNDWATER, AND DEPTH TO ROCK SHALL BE PERFORMED PERCOLATION TESTS SHALL BE PERFORMED AND THE RESULTS SUBMITTED.



APPROVED BY THE BOARD OF ADJUSTMENT
OF THE VILLAGE OF NYACK - TOWN OF ORANGETOWN
AT A REGULAR MEETING HELD
ON _____

CHAIRMAN

SECRETARY

<p>ADDITIONS</p> <p>04-17-2025 05-29-2025 06-17-2025 08-13-2025 11-18-2025</p>		<p>LOT 26 BLOCK 2 SECTION 66.30</p> <p>11 FOURTH AVENUE</p> <p>VILLAGE OF NYACK – TOWN OF ORANGETOWN ROCKLAND COUNTY , NEW YORK</p>		<p>DRAWN BY: I.G.</p>
		<p>COLLAZUOL ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS</p> <p>120 1/2 N. BROADWAY NYACK, NEW YORK 845 358-1510</p> <p>1610 CENTER AVENUE FORT LEE, NEW JERSEY 201 944-7774</p>		<p>CALC. BY: I.G.</p> <p>SCALE: 1" = 10'</p> <p>DATE: 12-16-2024</p>
		<p>120 1/2 N. BROADWAY NYACK, NEW YORK 845 358-1510</p>		<p>FILE No. 10,372</p>
		<p>STEVEN J. COLLAZUOL NEW YORK PROFESSIONAL ENGINEER LIC. No. 70,688 NEW YORK PROFESSIONAL LAND SURVEYOR LIC. No. 49,882</p>		<p>SHEET No. 4 OF 5</p>

The diagram illustrates a cross-section of a curb and gutter assembly. On the left, a concrete curb is shown with a height of 20 inches and a base width of 9 inches. The curb is labeled "CLASS 'B' CONCRETE CURB (GREY)". To the right of the curb is a sloped area representing the gutter and pavement. The top surface is labeled "PAVEMENT SURFACE". Below this, the layers are specified as: "1 1/2\" HOT MIX ASPHALT SURFACE COURSE MIX NO. 1-5", "2\" BITUMINOUS STABILIZED BASE MIX NO. 1-5", and "4\" DENSE GRADED AGGREGATED BASE COURSE". The subgrade below these layers is labeled "COMPACTED SUBGRADE". Dimensions include a 6-inch width at the top of the gutter, a 6-inch vertical height for the gutter slope, and a radius of $R = 1 \frac{1}{4}"$ at the top corner. A note at the bottom states: "NOTE: TRANSVERSE JOINTS 1/2\" WIDE SHALL BE INSTALLED IN THE CURBS 10'-0\" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS IMPREGNATED FIBER JOINT FILLER COMPLYING WITH THE REQUIREMENTS OF ASTM SPECIFICATION M-215 RECESSED 1/4\" FROM FACE AND TOP OF CURB."

PAVEMENT SURFACE 1 1/2"

6"

10"

9"

SECTION A-A

18" MAX.

AS PER PLAN

18" MAX.

PAVEMENT SURFACE

6" CURB HT.

12"

4"

4"

4"

AS PER PLAN

PREFORMED EXPANSION JOINT FILLER

SLOPE 1/4" PER FOOT TOWARD ROADWAY

BROOM FINISH

CONCRETE WALK 4000 PSI

CONSTRUCTION JOINT (FALSE)

DENSE GRADED AGGREGATE BASE COURSE

[illegible]

CLEAN-OUT PLUG (USE RECESSED SOCKET IN TRAVELED AREAS)

FINISHED GRADE

4" PVC PIPE SHOWN - SEE PLAN FOR PIPE SIZES

18" MAX.

LONG RADIUS WYE

SLOPE

PAVER UNITS

1/8" JOINTS
HAND TIGHT

1' TO 1 1/2" BEDDING
(25-40 MM) BEDDING SAND



COMPACTED AGGREGATE BASE
8" MIN. DEPTH
(THICKNESS OF BASE WILL VARY WITH SUBGRADE
CONDITIONS AND CLIMATE. COLDER CLIMATES MAY
REQUIRE THICKER BASES.)

GEOTEXTILES ON BOTTOM
AND SIDES

COMPACTED SOIL SUBGRADE

Diagram illustrating the cross-section of a retaining wall system, showing the following components and layers:

- 8" MIN. LOW PERMEABLE SOIL**: The top layer of soil above the wall.
- KEYSTONE 4" CAP UNIT** and **KEYSTONE COMPAC UNIT**: The main structural units of the wall.
- WALL HEIGHT - MAX. 4 FT.**: The maximum height of the wall.
- STRATA-GRID, AS REQUIRED**: A grid layer used for reinforcement.
- SG300 OR APPROVED EQUAL**: A specific type of strata-grid reinforcement.
- REINFORCED BACKFILL (TYP.)**: The material behind the wall, reinforced with strata-grid.
- RETAINED SOIL**: The soil being held back by the wall.
- APPROXIMATE EXCAVATION LINE**: The boundary of the excavation area.
- UNIT CORE FILL (3/4" CRUSHED ROCK OR STONE)**: The material filling the core of the keystone units.
- PERFORATED DRAIN PIPE (OPTIONAL)**: A pipe for drainage at the base of the wall.
- UNREINFORCED CONCRETE OR CRUSHED STONE LEVELING PAD**: The base layer supporting the wall.

		DETAILS	
ADDITIONS	LOT 26 BLOCK 2 SECTION 66.30 11 FOURTH AVENUE VILLAGE OF NYACK – TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK	DRAWN BY: I.G.	
	COLLAZUOL ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS	CALC. BY: I.G.	
	<div style="display: flex; justify-content: space-between;"> <div> 120 1/2 N. BROADWAY NYACK, NEW YORK 845 358-1510 </div> <div style="text-align: center;">  </div> <div> 1610 CENTER AVENUE FORT LEE, NEW JERSEY 201 944-7774 </div> </div>	SCALE: 1" = 10'	
	<div style="text-align: center;">  </div>	DATE: 08-13-25	
	STEVEN J. COLLAZUOL NEW YORK PROFESSIONAL ENGINEER LIC. No. 70,688 NEW YORK PROFESSIONAL LAND SURVEYOR LIC. No. 49,882	FILE No. 10,372	
		SHEET No. 5 Of 5	