

LEGEND

BM - BENCH MARK
 CB - CATCH BASIN
 I - INVERT
 MH - MANHOLE
 TC - TOP CURB
 BC - BOTTOM CURB
 EP - EDGE PAVEMENT
 BW - BOTTOM WALL
 TW - TOP WALL
 TS - TOP SLOPE
 BS - BOTTOM SLOPE
 F - FENCE
 FC - FENCE CORNER
 G - GROUND
 FF - FINISHED FLOOR
 IP - IRON PIN or PIPE
 WC - WALL CORNER
 MON - MONUMENT
 TBR - TO BE REMOVED

000.00 - EXISTING ELEVATION
 — 000 — EXISTING
 CONTOUR

000.00 - PROPOSED ELEVATION
 — 000 — PROPOSED
 CONTOUR

WV
 - WATER VALVE

GV
 - GAS VALVE

 - CATCH BASIN

 - UTILITY POLE

OH - OVER HEAD WIRES

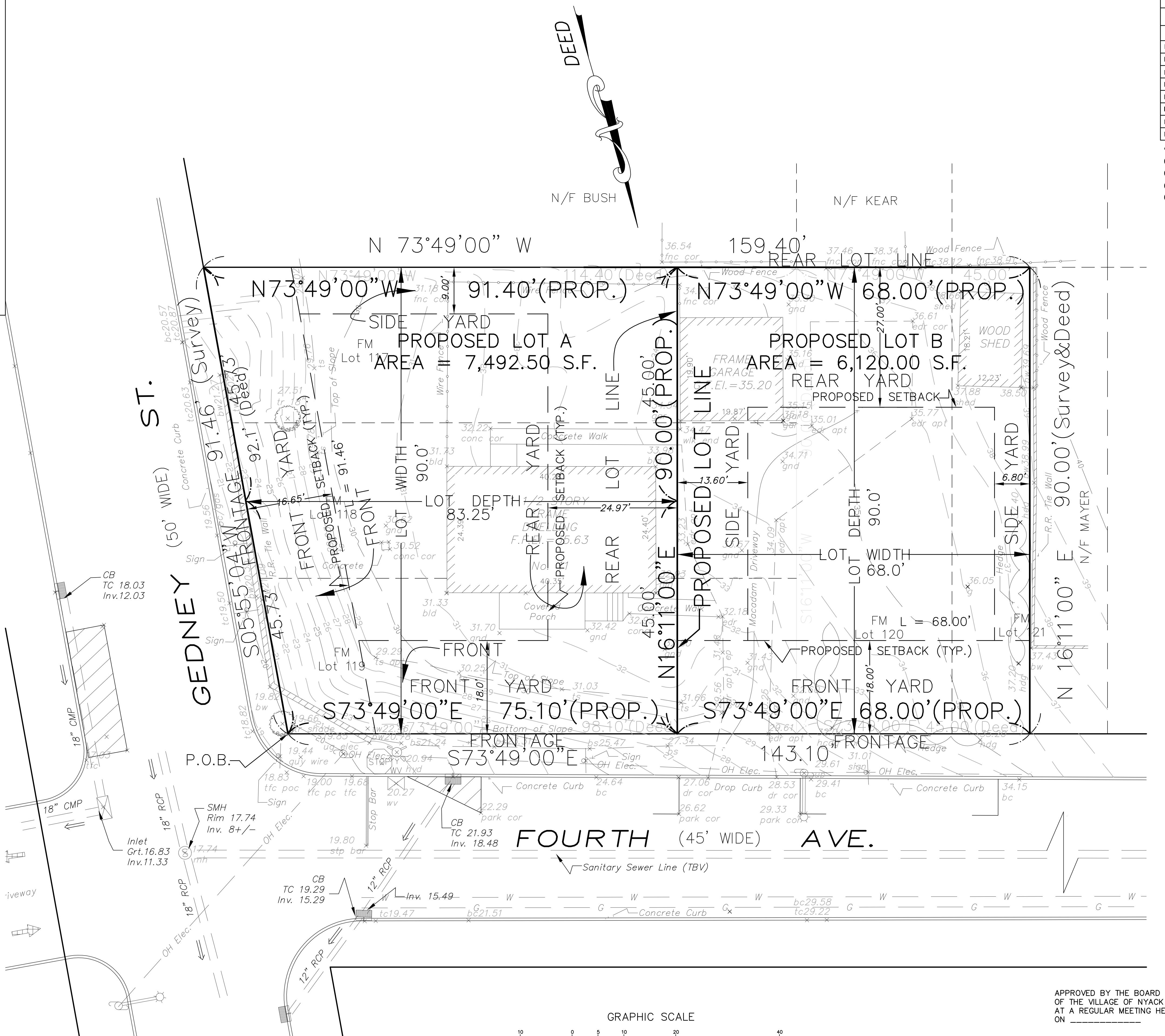
 - WALL

 (SP) - PROPOSED SEEPAGE PIT

 - TREE

 - TREE TO BE REMOVED

DATUM - NGVD 1929



ZONING SCHEDULE

ZONE - TFR	TWO-FAMILY RESIDENTIAL			
	REQUIRED LOT A	PROP. LOT A	REQUIRED LOT B	PROP. LOT B
LOT AREA (S.F.)	10,000	7,492.50*	10,000	6,120.00*
LOT WIDTH (FT.)	75	90	75	68*
LOT DEPTH (FT.)	100	83.25*	100	90*
FRONT YARD (FT.) (c)	16.65	16.65	18.0	18.0
REAR YARD (FT.) (d)	24.97	24.97	27	27
ONE SIDE YARD (FT.) (i)	9	9	6.8	6.8
BOTH SIDE YARDS (FT.) (e)	N/A	N/A	20.4	20.4
STREET SIDE YARD (FT.)	18	18	N/A	N/A

* INDICATES VARIANCE REQUIRED

THE FRONT SETBACK SHOULD BE 20% OF LOT AREA DIVIDED BY LOT WIDTH

10% OF THE LOT AREA DIVIDED BY THE LOT WIDTH

THE MINIMUM SIDE YARD SHALL BE FIVE FEET OR 10% OF THE LOT WIDTH, WHICH EVER IS GREATER

10% OF THE LOT WIDTH

$$\text{FRONT YARD FOR LOT A} = \frac{20\% \times 7,492.50}{90} = 16.65$$

$$\text{FRONT YARD FOR LOT B} = \frac{20\% \times 6,120.00}{68} = 18.00$$

$$\text{REAR YARD FOR LOT A} = \frac{30\% \times 7,492.50}{90} = 24.97$$

$$\text{REAR YARD FOR LOT B} = \frac{30\% \times 6,120.00}{68} = 27.00$$

$$\text{SIDE YARD FOR LOT A} = 10\% \times 90 = 9.0$$

$$\text{SIDE YARD FOR LOT B} = 10\% \times 68 = 6.8$$

$$(e) \text{ BOTH SIDE YARDS FOR LOT B} = 30\% \times 68.0 = 20.4$$

GENERAL NOTES

RECORD OWNER : SCHENLEY VITAL
48 S. FRANKLIN STREET, SUIT 100
NYACK, NY 10960

APPLICANT : SAME AS OWNER

HIS IS A SUBDIVISION OF LOT 26 BLOCK 2 SECTION 66.30 AS SHOWN ON THE TAX MAP OF THE TOWN OF ORANGETOWN,
KLAND COUNTY, NEW YORK.

REA OF TRACT IN SQUARE FEET: 13,612.50 SQ.FT.

O BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED.

LL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.

LL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.

LL BUILDING SEWER CONNECTIONS SHALL BE GRAVITY SEWERS WITH A MINIMUM SLOPE OF 2%.

OUSE SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM SEPERATION OF 10 FEET.

WATER SUPPLY BY VILLAGE OF NYACK WATER DEPARTMENT OR VEOLIA NORTH AMERICA OR THEIR SUCCESSORS.

UE TO THE ASSUMPTION OF A PERCOLATION RATE FOR THE DESIGNED DRAINAGE SYSTEM, THE APPLICANT'S ENGINEER
LL ADMINISTER A FIELD PERCOLATION TEST PRIOR TO THE INSTALLATION OF THE PROPOSED SEEPAGE PITS, TO ENSURE
QUACY OF THE DESIGNED DRAINAGE SYSTEM.

PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE
PLETION OF CONSTRUCTION.

THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS.

A SOIL EROSION CONTROL PLAN SHALL BE APPROVED BY THE PLANNING BOARD BEFORE ANY WORK IS BEGUN. SOIL EROSION
TROL PRACTICES SHALL BE REVIEWED BY THE VILLAGE ENGINEER AND/ OR BUILDING INSPECTOR DURING THE SITE WORK AND
STRUCTION PROCESS.

MAINTENANCE OF STORMWATER SYSTEM & SCHEDULE:

MAINTENANCE OF THE SUBJECT PROPERTY SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.

MAINTENANCE SHALL INCLUDE THE FOLLOWING:

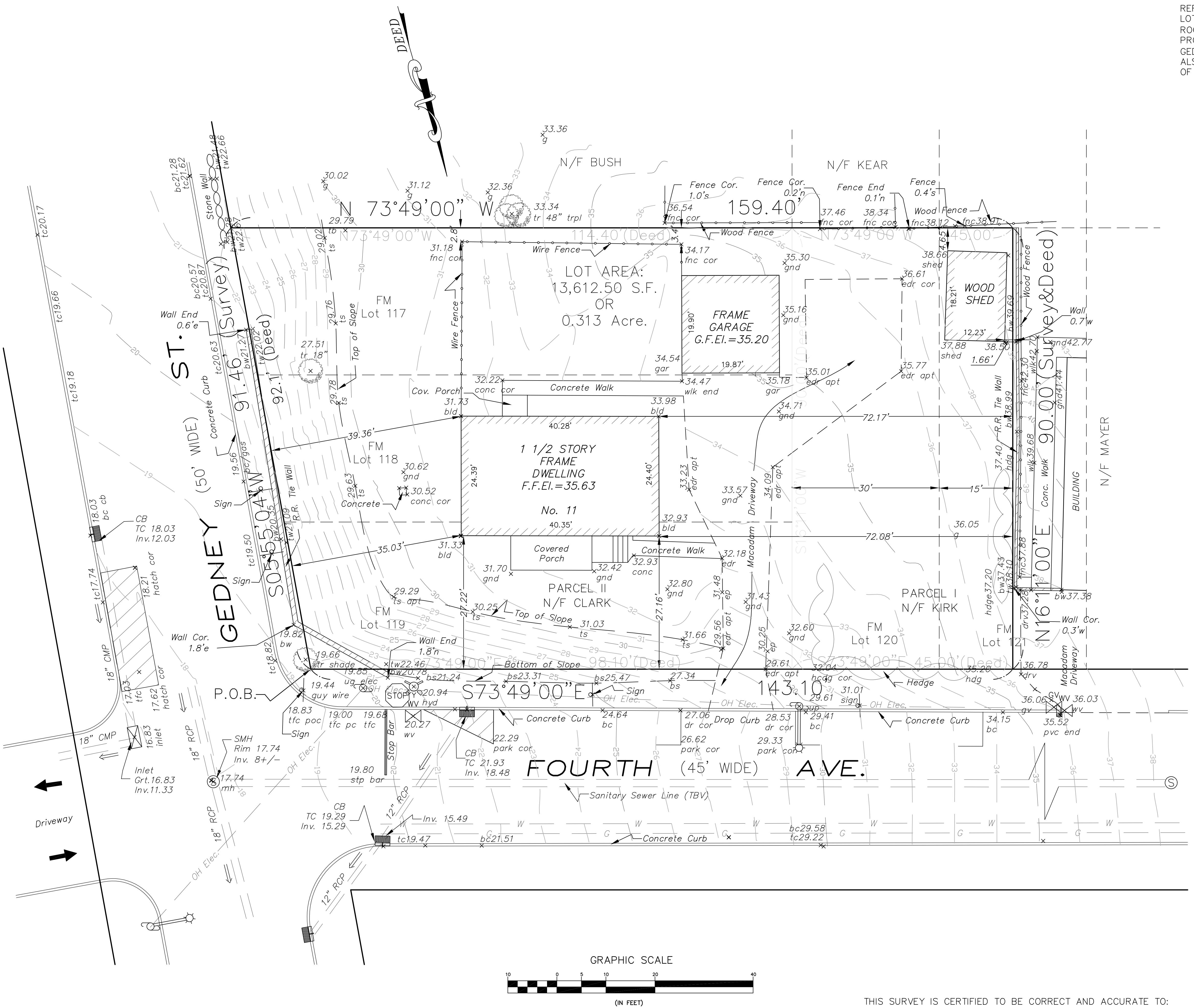
- PERIODIC CLEANING OF ROOF LEADERS TO PREVENT DEBRIS FROM ENTERING THE SEEPAGE PITS (SIX MONTH INTERVALS).
- MOWING AND FERTILIZING OF GRASS AREAS. ALSO, PRUNING AND FERTILIZING OF TREES AND SHRUBS
(DURING SEASONAL INTERVALS)
- SEEPAGE PITS SHALL BE INSPECTED AND MAINTAINED YEARLY

PRELIMINARY PLAT

PROPOSED VITAL MINOR SUBDIVISION

PROPOSED VITAL MINOR SUBDIVISION		
ADDITIONS	LOT 26 BLOCK 2 SECTION 66.30 11 FOURTH AVENUE	DRAWN BY: I.G.
	VILLAGE OF NYACK – TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK	CALC. BY: I.G.
	COLLAZUOL ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS	SCALE: 1' = 10'
	120 1/2 N. BROADWAY NYACK, NEW YORK 845 358-1510	DATE: 12-16-2024
	1610 CENTER AVENUE FORT LEE, NEW JERSEY 201 944-7774	FILE No. 10,372
SHEET No. 1 OF 5		

REFERENCE:
LOTS 117, 118, 119, 120 AND PART OF LOT 121 MAP No. 375 FILED IN THE
ROCKLAND COUNTY CLERK'S OFFICE ON APRIL 9, 1839 ENTITLED "MAP OF
PROPERTY IN NYACK, ROCKLAND COUNTY, STATE OF NEW YORK, BELONGING TO
GEDNEY, SEPTEMBER, 1838, MADE BY SAMUEL S. DOUGHTY".
ALSO KNOWN AS LOT 26 BLOCK 2 SECTION 66.30 AS SHOWN ON THE TAX MAP
OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.



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TR	TREE
TR	TREE TO BE REMOVED
DATUM	NGVD 1929

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY.

ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED OR INKED SEAL ARE THE PRODUCT OF THE LAND SURVEYOR.

THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PURPOSE AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT.

SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE REPORT.

BOUNDARY & TOPOGRAPHIC SURVEY		
ADDITIONS	LOT 26 BLOCK 2 SECTION 66.30 11 FOURTH AVENUE VILLAGE OF NYACK - TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK	DRAWN BY: I.G.
12-05-24-Util. Info 01-13-25-Contours 07-22-25-add. topo	COLLAZUOL ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS 120 1/2 N. BROADWAY NYACK, NEW YORK 845 358-1510	CALC. BY: I.G.
		SCALE: 1' = 10'
		DATE: 06-28-22
		FILE No. 10,372
		Sheet No. 2 of 5

THIS SURVEY IS CERTIFIED TO BE CORRECT AND ACCURATE TO:
SCHENLEY VITAL
FIRST AMERICAN TITLE INSURANCE COMPANY
THE JUDICIAL TITLE INSURANCE COMPANY

GENERAL NOTES

1. SOIL INVESTIGATION INCLUDING DEPTH TO GROUNDWATER, AND DEPTH TO ROCK SHALL BE PERFORMED. PERCOLATION TESTS SHALL BE PERFORMED AND THE RESULTS SUBMITTED.

GRADING & DRAINAGE PLAN

ADDITIONS	LOT 26 BLOCK 2 SECTION 66.30 11 FOURTH AVENUE	DRAWN BY: I.G.
	VILLAGE OF NYACK – TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK	CALC. BY: I.G.
04-17-2025 05-29-2025 06-17-2025 08-13-2025 11-18-2025	COLLAZUOL ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS	SCALE: 1' = 10'
	120 1/2 N. BROADWAY NYACK, NEW YORK 845 358-1510	1610 CENTER AVENUE FORT LEE, NEW JERSEY 201 944-7774
		
		
	FILE No. 10,372	
	SHEET No. 4 OF 5	

APPROVED BY THE BOARD OF ADJUSTMENT
OF THE VILLAGE OF NYACK - TOWN OF ORANGETOWN
AT A REGULAR MEETING HELD
ON

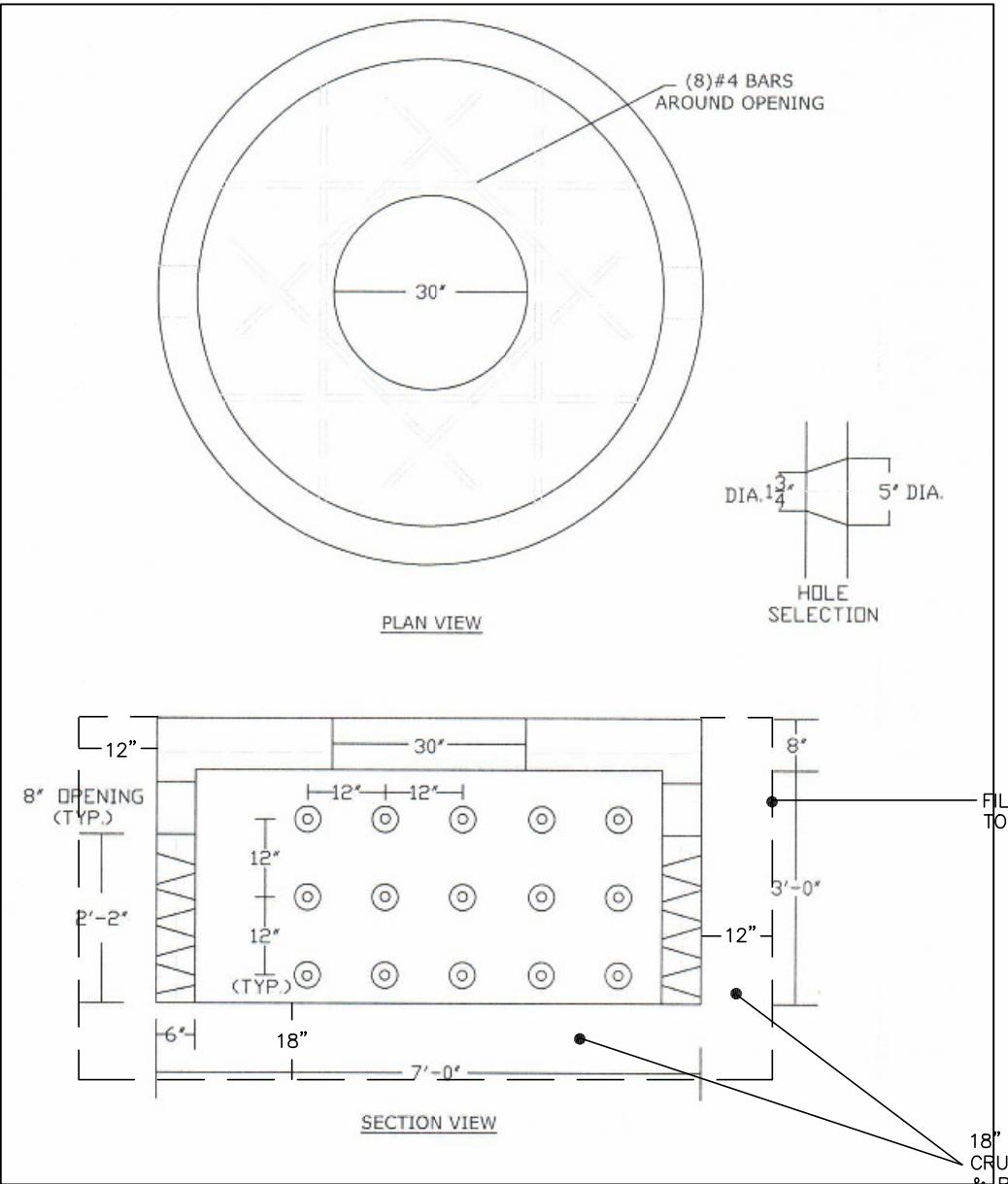
CHAIRMAN

SECRETARY

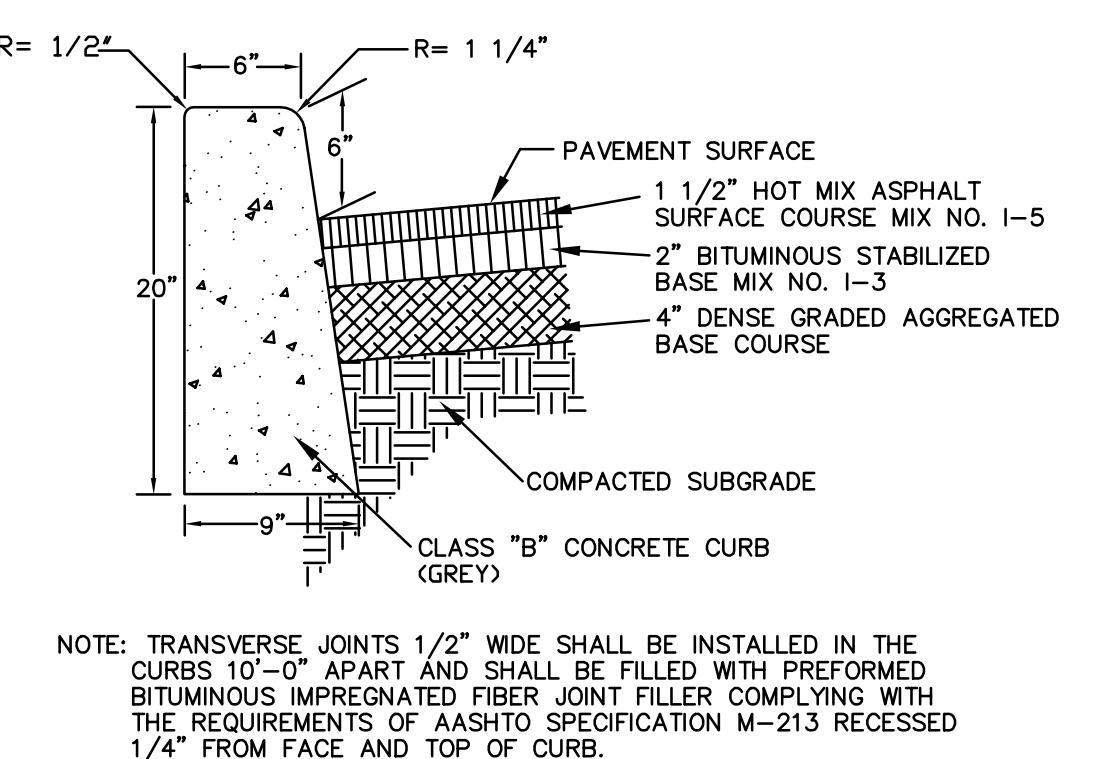
GRAPHIC SCALE

(IN FEET)
1 INCH = 10 FT.

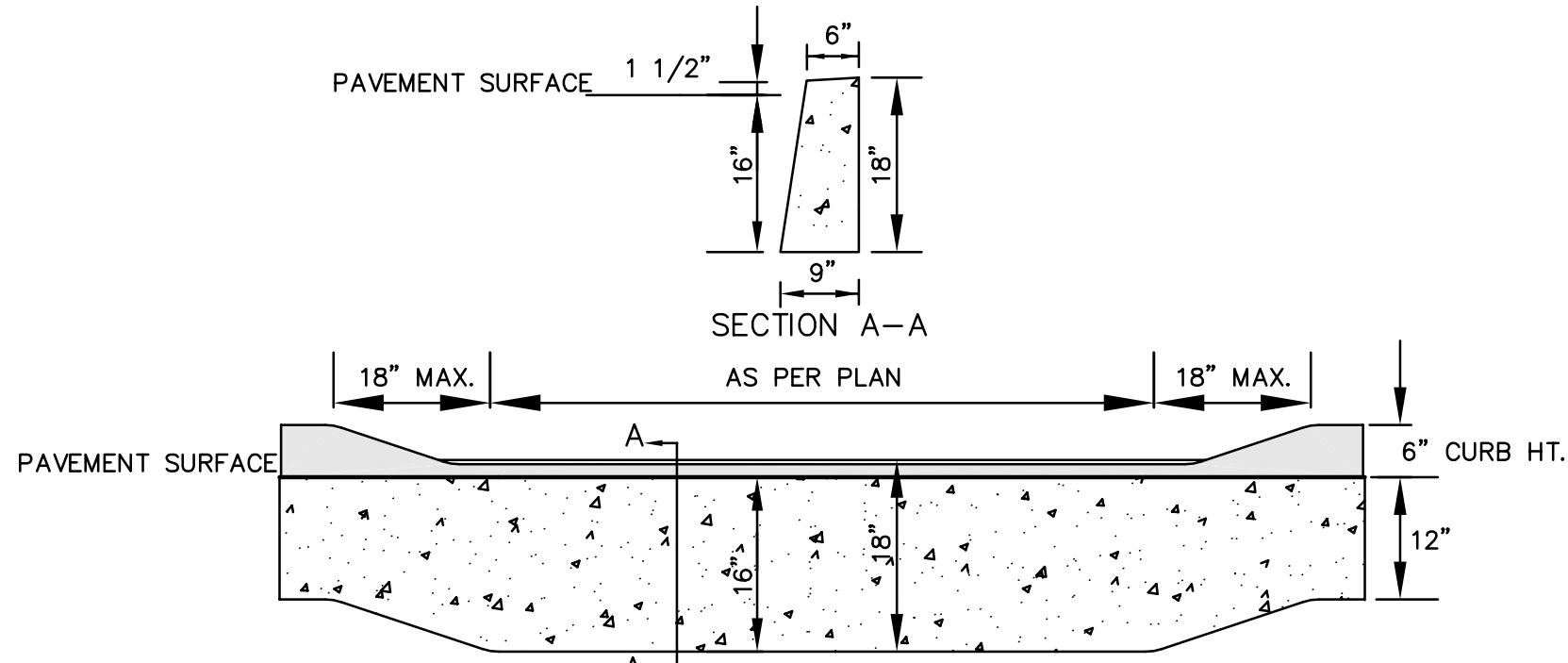




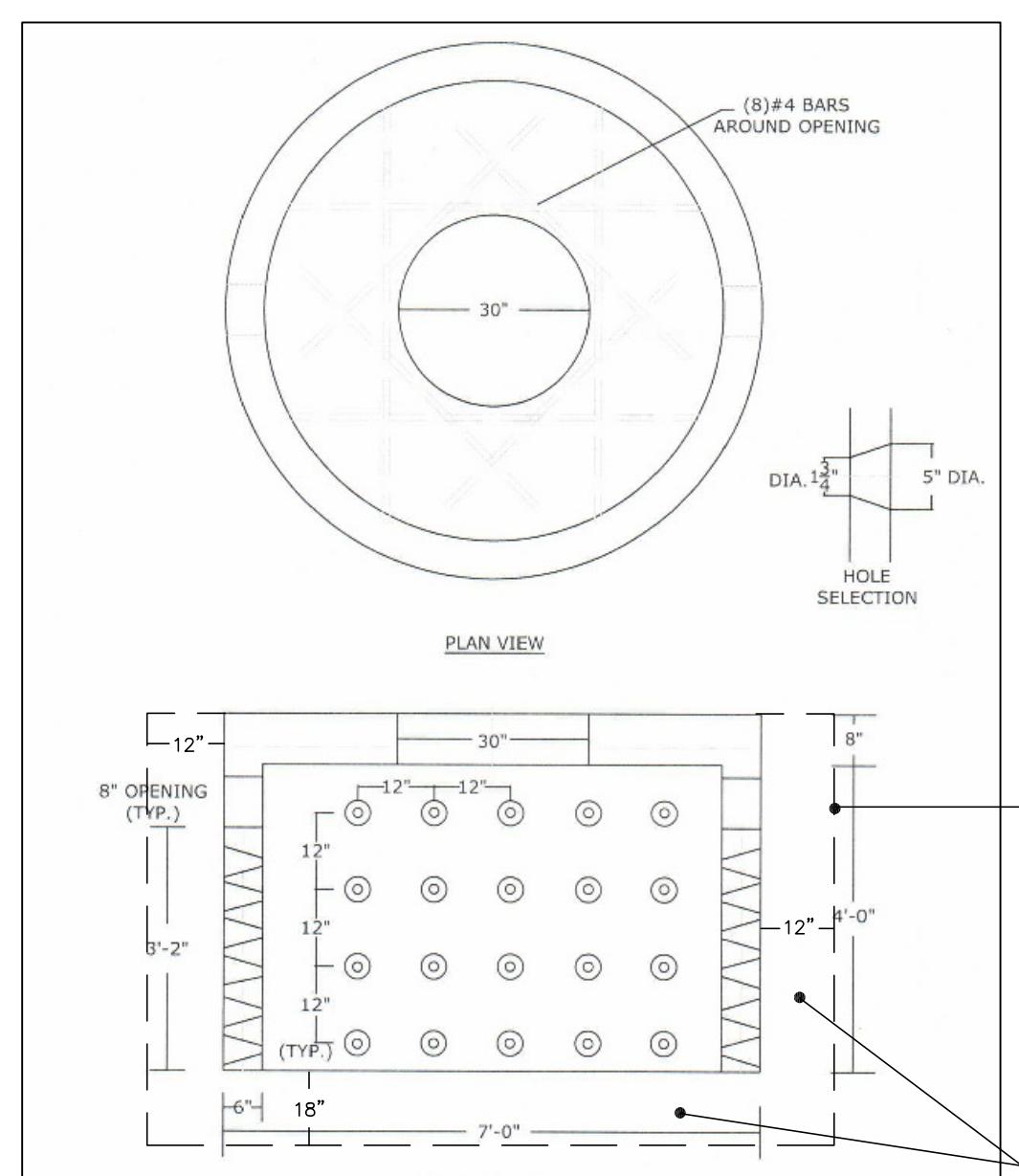
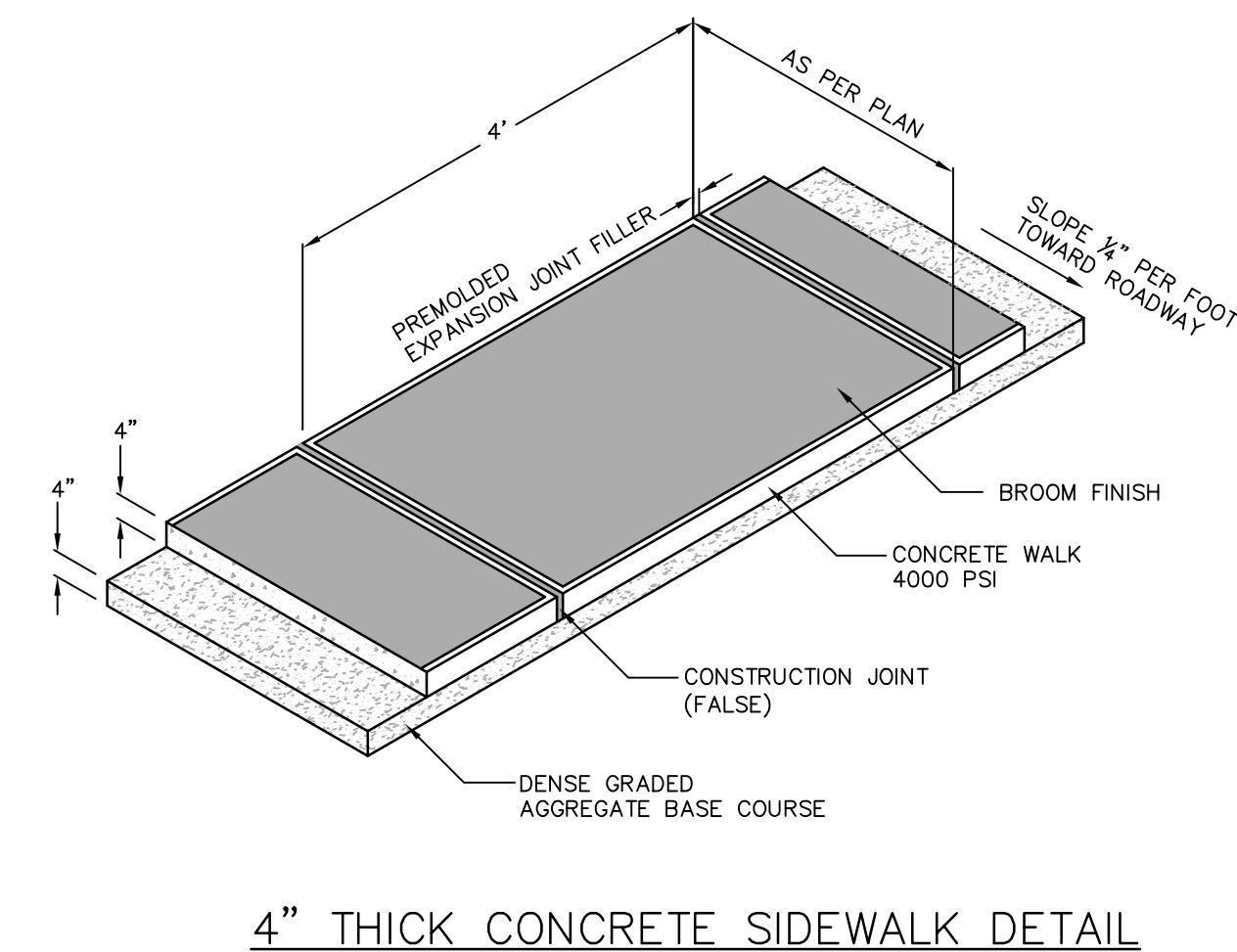
3'8" HIGH X 7' DIAM. SEEPAGE PIT
N.T.S.



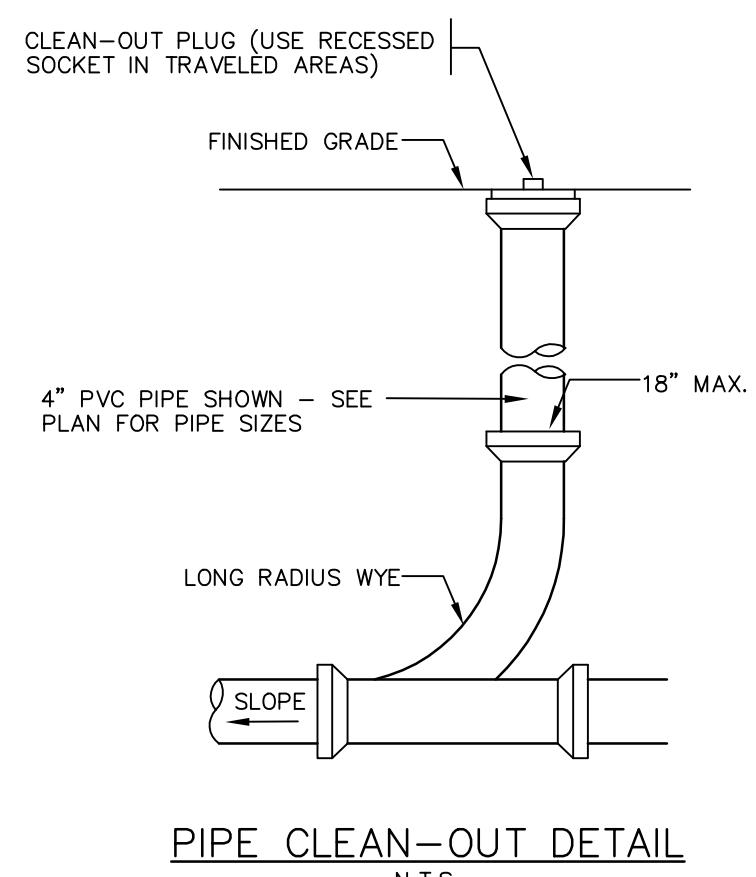
CONCRETE CURB & PAVEMENT



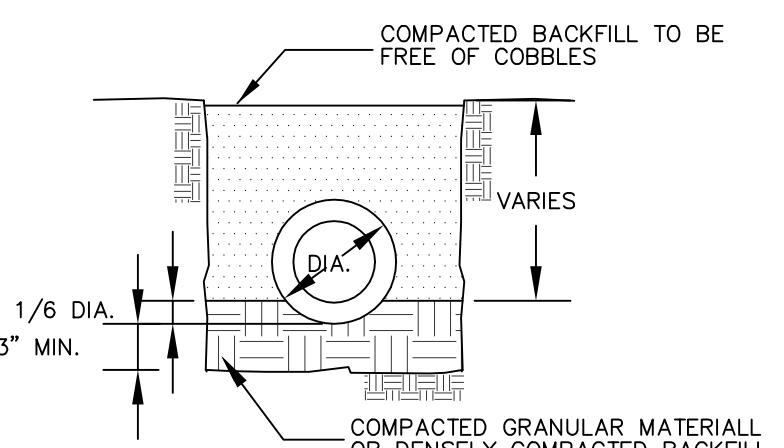
DROP CURB DETAIL



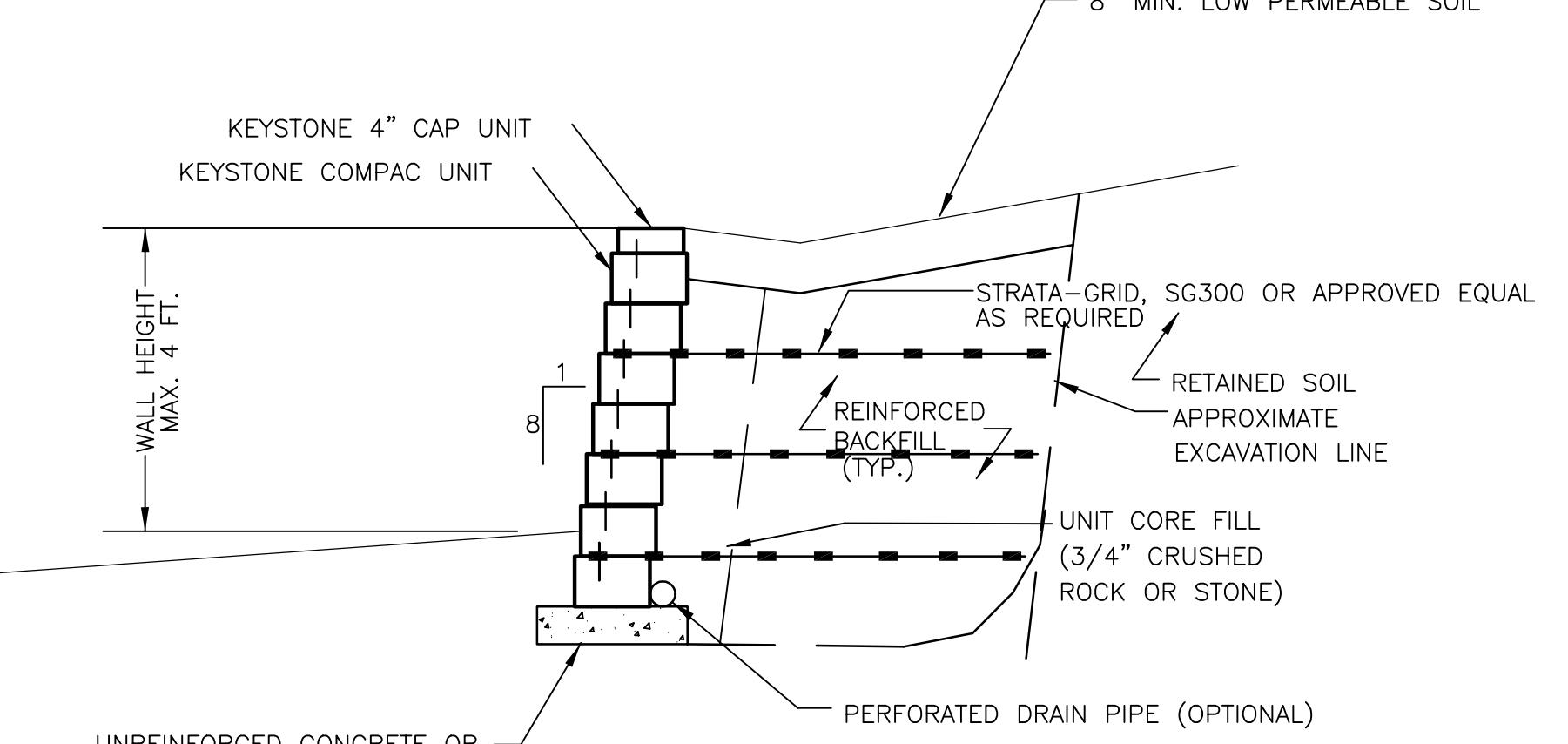
4'8" HIGH X 7' DIAM. SEEPAGE PIT
N.T.S.



PIPE CLEAN-OUT DETAIL
N.T.S.



CONCRETE PAVER DETAIL
NO SCALE



TYPICAL REINFORCED WALL SECTION
COMPAC UNIT - 1" MINIMUM SETBACK

DETAILS	
ADDITIONS	LOT 26 BLOCK 2 SECTION 66.30 11 FOURTH AVENUE VILLAGE OF NYACK - TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK
	DRAWN BY: I.G. CALC. BY: I.G. COLLAZUOL ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS 120 1/2 N. BROADWAY NYACK, NEW YORK 845 358-1510 1610 CENTER AVENUE FORT LEE, NEW JERSEY 201 944-7774
	SCALE: 1' = 10' DATE: 08-13-25 FILE No. 10,372 SHEET No. 5 OF 5
	STEVEN M. COLLAZUOL NEW YORK PROFESSIONAL ENGINEER LIC. No. 70,688 NEW YORK PROFESSIONAL LAND SURVEYOR LIC. No. 49,882 P.E. • S.L.S. • C.P.L.S. COLLAZUOL ENGINEERING & SURVEYING ASSOC., LLC 1610 CENTER AVENUE FORT LEE, NEW JERSEY 201 944-7774 P.E. • S.L.S. • C.P.L.S.