



STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

PREPARED IN ACCORDANCE WITH THE NYS DEC GENERAL PERMIT GO-0-20-001 FOR:

80 SOUTH BROADWAY
NYACK, NY

ISSUED:
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DRP PROJECT No.
22-143

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1.0 PERMIT OVERVIEW AND REQUIREMENTS

1.1 PERMIT OVERVIEW

This Stormwater Pollution Prevention Plan (SWPPP) is prepared to inform the landowner and construction personnel of the measures to be implemented for controlling runoff and pollutants from the site during and after construction activities. The objective of this plan is to comply with the New York State Department of Environmental Conservation (NYSDEC) State Pollutant Discharge Elimination System (SPDES) General Permit for Stormwater Discharges from Construction Activities, Permit No. GP-0-20-001 requirements. Any material conflicts between this plan and the site plans, specifications, or instructions must be brought to the attention of the design professional. The project may have other permits, and it is the responsibility of the owner and contractor to know and understand all permits.

The operator is responsible for maintaining the following information onsite in a secure location that is accessible during normal working hours to an individual performing a compliance inspection:

- Notice of Intent (NOI)
- NYS Department of Environmental Conservation NOI Acknowledgement Letter
- SWPPP
- General Permit (included in the SWPPP)
- MS4 SWPPP Acceptance Form (where applicable)
- All Inspection Reports

Technical standards are detailed in the “New York State Standards and Specifications for Sediment and Erosion and Sediment Control (January 2020)”, as well as illustrated on the Erosion and Sediment Control plan included in **Appendix C**. The design of post-construction stormwater control practices follows the guidance provided by “New York State Stormwater Management Design Manual.”

2.0 SWPPP REVIEW AND UPDATE

2.1 SWPPP REVIEW

Applicable Federal, State, and local regulatory agencies that have jurisdiction may elect to review this SWPPP and notify the permittee in writing that the SWPPP does not meet the requirements of their regulations. If the SWPPP needs to be revised, the permittee and the site contractor will make the required modifications within seven days of such notification and submit written certification to the notifying agency that the changes have been implemented. A copy of the SWPPP will be kept available on site for review by regulatory agencies, engineers, and subcontractors.

2.2 SWPPP UPDATE

The permittee identified in this SWPPP shall amend the SWPPP when there is a change in one or more of the following project components which has an effect on the potential for discharge of pollutants from stormwater runoff associated with construction activities:

- Design
- Construction
- Operation
- Maintenance

The SWPPP shall also be updated or amended under the following conditions:

- If measures identified in the SWPPP become ineffective in eliminating or minimizing pollutants from sources identified, or in achieving the general objectives of controlling stormwater pollution from permitted construction activity.
- To identify a new subcontractor that will implement any part of the SWPPP.

3.0 SITE ASSESSMENT, EVALUATION AND PLANNING

3.1 PROJECT LOCATION

| | |
|--------------------------|------------------------------|
| <i>Project Name:</i> | 80 South Broadway |
| <i>Project Location:</i> | 80 South Broadway, Nyack, NY |
| <i>Project Tax ID #:</i> | 66.46-1-39 |
| <i>Property Acreage:</i> | 0.28 acres |
| <i>Municipality:</i> | Village of Nyack |

The site is located in the Downtown Mixed Use-1 Zoning District which is located in Rockland County, NY in the Village of Nyack. There is one area of work located directly on the west side of South Broadway. See **Appendix C** for a general site survey plan.

3.2 PRE-DEVELOPMENT CONDITIONS

The existing site is located in Nyack, NY on the west side of South Broadway. The property is currently used as a gas station with six pumps and has a one-story masonry building with a footprint of approximately 1,984 sqft. The property extends 108.89' back from South Broadway along the south property line and 103.83' back from South Broadway along the north property line. The west property line sits diagonally with a length of 112.79' and the east property line runs along South Broadway a length of 113.0'. The existing building site is relatively flat sloping slightly from the west property line to the east property line at South Broadway. The high point of the site at the southwest corner of the property is 60.9'(NAVD88). The low point of the site is at the northeast corner of the property at 57.7' (NAVD88).

The existing site is 100% impervious. No storm drains currently exist at the property. All stormwater runoff currently sheet flows to the street on Broadway and down to the storm inlet located in front of 72 Broadway.

3.3 PROJECT TYPE

The existing site will be redeveloped to include a new 3-story mixed use building with a green roof, a parking area, and a new planting bed. The existing building will be removed and all gas pumps and underground fuel tanks will be removed as well. After development, the site will be primarily the same elevation as the existing conditions. There is an overall decrease in impervious area on the site of 5,514 sqft.

3.4 PROJECT SCOPE

The project scope comprises the construction of a 11,090 square-foot, 3-story mixed-use commercial and residential building, new sidewalks, and new landscaping. The total area of disturbance at the site is approximately 12,001 sqft or 0.28 acres.

3.5 SOILS

The United States Department of Agriculture (USDA) Natural Resources Conservation Service

(NRCS) soil survey for this site show shows that soil type for this site categorized as Hydrologic Soil Group C.

3.6 RECEIVING WATER BODIES

The nearest classified waterbody into which runoff from the project site will ultimately discharge is the Hudson River.

The Hudson River is a Class I watercourse and is not included in Section 303(d) list of impaired waters found in Appendix E of GP-020-001.

4.0 EROSION AND SEDIMENT CONTROL

4.1 EROSION AND SEDIMENT CONTROL PRACTICES

Temporary Structural Practices include:

- Dust control
- Silt Fence
- Straw/Hay Bale Dike
- Stabilized Construction Entrance
- Storm Drain Inlet Protection

Vegetative Practices include:

- Provide tree protection for all trees to remain within the area of work.

Permanent Structural Controls include:

- There are no permanent structural controls on site as the site will be fully developed.

Refer to Construction Drawings attached in **Appendix C** for detailed information on each practice.

4.2 EROSION AND SEDIMENT CONTROL DRAWINGS

Erosion and Sediment Control drawings are included in **Appendix C**.

4.3 CONSTRUCTION PHASING PLAN AND SEQUENCE OF OPERATIONS

A preliminary Construction Phasing Plan is included in the table below. Upon selection of a contractor, a final phasing plan is to be prepared and submitted. In addition, the following guidelines apply:

- Temporary structural erosion controls will be installed prior to earthwork as per the attached plans.
- Temporary erosion control devices will not be removed until the area served is stabilized by the growth of vegetation and the area is certified as being stabilized by the Erosion Control Superintendent.

| CONSTRUCTION ACTIVITIES | DURATION |
|---|-----------|
| Install erosion and sediment controls, stabilized construction entrance, staging area and construction fencing. | 1 Week |
| Remove existing building, gas pumps, underground tanks, concrete pads, asphalt, curbs, and signs as needed | 6 Weeks |
| Excavate for building and perform site earthwork | 3-4 Weeks |
| Building Construction | 18 Months |
| Complete green roof installation | 2 Weeks |
| Install pavement and curbing | 2 Weeks |
| Stabilize site, complete final punch list | 2 Weeks |

Table 1

4.4 EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION SCHEDULE

- **Silt Fence** – maintenance shall be performed as needed and material removed when “bulges” develop in silt fence.
- **Storm Drain Inlet Protection (not including silt stacks)** – inspect after each storm event. Remove sediment when 50 percent of the storage volume is achieved.
- **Stabilized Construction Entrance** – entrance shall be maintained in a condition which shall prevent tracking. This may require periodic top dressing with additional aggregate. All sediment tracked onto or spilled on public rights of way shall be removed immediately. When necessary, wheels must be cleaned to remove sediment prior to entrance on public rights of way. When washing is required, it shall be done in an area stabilized with aggregate.

4.5 CONTRACTOR SEQUENCE FORM

The operator shall prepare a summary of construction status using the Construction Sequence Form (included in **Appendix E**) once every month. Significant deviations to the sequence and reasons for those deviations (i.e. weather, subcontractor availability, etc.), shall be noted by the contractor. The schedule shall be used to record the dates for initiation of construction, implementation of erosion control measures, stabilization, etc. A copy of this table will be maintained at the construction site and updated.

5.0 POST CONSTRUCTION STORMWATER MANAGEMENT PRACTICES

5.1 CONTRACTOR SEQUENCE FORM

The post-construction design of the project was created to minimize or eliminate potential long-term adverse impacts which might be caused by surface runoff from the site. The goal is to maintain, as much as possible, the pre-development hydrological conditions such as pre-construction infiltration, peak runoff flow and discharge volume. The management plan begins with conceptual design of the collection and conveyance system and the proposed treatment practices. Some of the limitations which may be encountered include soil types and properties, depth to bedrock or groundwater, distance to structures, and maintenance.

Green infrastructure planning measures reviewed are as follows:

- Preservation of Undisturbed Areas
Delineate and place into permanent conservation easement undisturbed forests, native vegetated areas, riparian corridors, wetlands and natural terrain
 - Given that the existing site is previously developed, there are currently no undisturbed areas on site to be preserved.
- Preservation of Buffers
Define, delineate, and place into permanent conservation easement naturally vegetated buffers along perennial streams, rivers, shorelines and wetlands
 - The property is located in downtown Nyack approximately 725' from the Hudson River.
- Reduction of Clearing and Grading
Limit clearing and grading to the minimum amount needed for roads, driveways, foundations, utilities and stormwater management facilities.
 - Minor regrading in this project is only occurring at the sidewalk along the property frontage to align the proposed sidewalk with that of the neighboring properties.
- Locating Development in Less Sensitive Areas
Avoid sensitive resource areas such as floodplains, steep slopes, erodible soils, wetlands, mature forests and critical habitats by locating development to fit the terrain in areas that will create the least impact.
 - The proposed work is in an area of previous development.
- Open Space Design
Use clustering, conservation design, or open space design to reduce impervious cover, preserve more open space and protect water resources
 - The proposed building is being constructed at the same location as the existing gas station, masonry structure, and parking spaces, thus reducing as much new impervious coverage as possible. A green roof is being installed so the new site will have 5,514 sqft less impervious area than the existing development.
- Soil Restoration
Restore the original properties and porosity of the soil by deep till and amendment with compost to reduce the generation of runoff and enhance the runoff reduction performance of practices such as grass channels, filter strips and tree clusters
 - The proposed work is in an area of previous development. No area of the site will be returned to the natural soil condition. A green roof is being installed so the new site will have 5,514 sqft less impervious area than the existing development.
- Roadway Reduction
Minimize roadway widths and lengths to reduce site impervious area
 - No roadways are being proposed as part of the scope of work.
- Sidewalk Reduction
Minimize sidewalk lengths and widths to reduce site impervious area
 - Sidewalk layouts have been designed for ease of the tenants' and public use including ADA accessibility which inherently requires longer pathways. Modified sidewalks will be kept in the location of the existing sidewalk.
- Driveway Reduction
Minimize driveway lengths and widths to reduce site impervious area
 - No driveways are proposed as part of the scope of work.

- Cul-de-sac Reduction
Minimize the number of cul-de-sacs and incorporate landscaped areas to reduce their impervious cover
 - No cul-de-sacs are proposed as part of the scope of work.
- Building footprint reduction
Reduce the impervious footprint of residences and commercial buildings by using alternate or taller buildings while maintaining the same floor to area ratio
 - A three-story building with combined commercial and residential occupancies is proposed. The nature of this building type requires a relatively large footprint. A green roof is being installed so the new site will have 5,514 sqft less impervious area than the existing development.
- Parking Reduction
Reduce imperviousness on parking lots by eliminating unneeded spaces, providing compact car spaces and efficient parking lanes, minimizing stall dimensions, using porous pavement surfaces in overflow parking areas, and using multistoried parking decks where appropriate.
 - The proposed parking layout includes 16 parking spots below grade in a basement parking lot, and 6 spots at grade beneath an overhang. A proposed planting bed will be located along the sidewalk between the driveways beneath the overhang. Two proposed tree pits will be located along the curb at the property frontage.

Runoff Reduction Techniques reviewed are as follows:

- Conservation of natural areas
Retain the predevelopment hydrologic and water quality characteristics of undisturbed natural areas, stream and wetland buffers by restoration and/or permanently conserving these areas on a site.
 - The existing site is fully developed.
- Sheet flow to Riparian buffers or filter strips
Undisturbed natural areas such as forested conservation areas and stream buffers or vegetated filter strips and riparian buffers shall be used to treat and control stormwater runoff from some areas of a development project.
 - The existing site is fully developed.
- Vegetated open swale
The natural drainage paths, or properly designed vegetated channels can be used instead of constructing underground storm sewers or concrete open channels to increase time of concentration, reduce the peak discharge, and provide infiltration.
 - Vegetated swales were not used in this project because the drain line systems provide the full RRv for the project.
- Tree Planting
Plant or conserve trees to reduce stormwater runoff, increase nutrient uptake, and provide bank stabilization. Trees can be used for applications such as landscaping, stormwater management practice areas, conservation areas and erosion and sediment control.
 - See architectural landscaping plans for proposed tree planting quantities and locations.
- Stream daylighting for redevelopment projects
Stream Daylight previously culverted/piped streams to restore natural habitats, better attenuate runoff by increasing the storage size, promoting infiltration and help reduce

pollutant loads.

- There are no existing streams in the vicinity of the development.
- Rain Garden
Manage and treat small volumes of stormwater runoff using a conditioned planting soil bed and planting materials to filter runoff stored within a shallow depression
 - Given the size of the proposed development, a rain garden was not considered a suitable practice for this project.
- Green Roof
Capture runoff by a layer of vegetation and soil installed on top of a conventional flat or sloped roof. The rooftop vegetation allows evaporation and evapotranspiration processes to reduce volume and discharge the rate of runoff entering conveyance system.
 - Green roofs totaling 47.60% of the roof area are being implemented as part of this project.
- Stormwater Planter
Small landscaped stormwater treatment devices that can be designed as infiltration or filtering practices. Stormwater planters use soil infiltration and biogeochemical processes to decrease stormwater quantity and improve water quality
 - Given the size of the proposed development, a stormwater planter was not considered a suitable practice for this project.
- Rain tank/cistern
Capture and store stormwater runoff to be used for irrigation systems or filtered and reused for non-contact activities
 - Rain tanks/cisterns were not needed since the required RRV was provided via drain lines.
- Porous Pavement
Pervious types of pavements that provide an alternative to conventional paved surfaces, designed to infiltrate rainfall through the surface, thereby reducing stormwater runoff from a site and providing some pollutant uptake in the underlying soils.
 - Porous pavement is not proposed for this project as the site is to be fully developed.

5.2 POST CONSTRUCTION STORMWATER MANAGEMENT DRAWINGS

Post construction stormwater management drawings are included in **Appendix C**.

5.3 HYDRAULIC AND HYDROLOGIS ANALYSIS

The program utilized for quantifying stormwater runoff rates and volumes was **HydroCAD** software, produced by Applied Microcomputer Systems of Chocorua, NH. The SCS 24-hour Type III design storms for 1, 10, 25, and 100-year frequency rainfall were analyzed.

- Hydrologic / hydraulic analysis for all structural components of the stormwater control system for the applicable design storms (see **Appendix B**).
- Post-development stormwater runoff calculation. (see **Appendix B**).
- Dimensions, material specifications and installation details for each post- construction stormwater control practice (see **Appendix C**).

The values used for modeling are provided in the table below:

| DESIGN STORM | 24-HOUR RAINFALL |
|--------------|------------------|
| 1-YEAR | 2.79" |
| 10-YEAR | 5.08" |
| 25-YEAR | 6.40" |
| 100-YEAR | 9.07" |

Table 3

5.4 COMPARISON OF PRE AND POST CONSTRUCTION WATER RUNOFF

Pre and post development drainage areas are determined and divided into subareas based on topography and conveyance facilities. Peak runoff rates are calculated based on times of concentration, soil conditions, surface cover types and routing calculations for the existing and developed conditions. There is a minor decrease in runoff between pre and post development areas due to the implementation of green roof areas.

Below is a summary of the pre and post condition stormwater hydrology:

| SUMMARY OF STORMWATER HYDROLOGY (DESIGN AREA 1) | | | | | |
|---|-------------|-----------------------|-------------|-------------|-------------|
| SUBCATCHMENT AREAS | | STORM PEAK FLOW (CFS) | | | |
| DESCRIPTION | AREA (SQFT) | 1-YR | 10-YR | 25-YR | 100-YR |
| RAINFALL (INCHES) | N/A | 2.79 | 5.08 | 6.40 | 9.07 |
| TOTAL PRE-DEVELOPED | 12,001 | 1.00 | 1.64 | 1.98 | 2.62 |
| TOTAL POST-DEVELOPED | 12,001 | 0.56 | 0.95 | 1.17 | 1.59 |
| IS POST PEAK RUNOFF <= PRE PEAK RUNOFF? | N/A | YES | YES | YES | YES |

Table 4

5.5 WATER QUALITY VOLUME (WQv)

This site is being redeveloped in accordance with Chapter 9 of the NYS SMDM. Accordingly, 25% of the WQv shall be provided for all existing impervious surfaces to remain. As the redevelopment activity results in a decrease in the discharge rate from the site, the ten and hundred year criteria do not apply. Channel protection requirements also do not apply.

The plan proposes a reduction in impervious cover by 5,514 sqft (45% of overall site area) through the introduction of a planting bed and green roof areas. Runoff reduction is provided through the implementation of green roof areas.

The proposed site plan involves an increase in roof area by 3,831 sqft and a decrease in paved area by 9,345 sqft. The net decrease in impervious area due to the redevelopment activities is 5,514 sqft. In order to meet the New York State requirements for water quality outlined in the redevelopment chapter of the stormwater manual, a green roof is being implemented to capture and treat at least 25% of the water quality volume while maintaining site stormwater runoff below existing conditions. There is a proposed overflow from the green roof which will connect to a proposed new manhole and storm sewer line on Broadway. New storm line to discharge to Nyack Brook and eventually to Hudson River.

Water Quality Volume Calculations:

| | | |
|------|-------------------|--------------------|
| WQv= | $[(P)(Rv)(A)]/12$ | |
| | 0.0019 | acre-feet |
| | 82.30 | ft ³ |
| P = | 1.5 | inch |
| Rv = | $0.05+0.009(I)$ | |
| | 0.055 | |
| I = | 0.541 | % Impervious Cover |
| A= | 0.28 | acres |
| | 12,001 | sq ft |
| | 176.32 | sq mi |

Green Roof Calculations:

| | | |
|------|------------|------------------------------|
| Agr= | 5,275 sqft | (green roof surface area) |
| Dsm= | 4 in | (depth of soil media) |
| Ddl= | 0.8 in | (depth of drainage layer) |
| Psm= | 0.2 | (porosity of soil media) |
| Pdl= | 0.25 | (porosity of drainage layer) |
| Vsm= | 351.67 | ft ³ |
| Vdl= | 87.92 | ft ³ |
| Dp= | 0.5 | in (ponding depth) |

$$\text{Storage Volume} = V_{sm} + V_{dl} + (D_p \times \text{Agr})$$

$$= 659.375 \quad \text{ft}^3$$

$$82.30 \text{ ft}^3 < 659.375 \text{ ft}^3$$

WQv OK Actual Storage

Design ok if 25% WQv < Actual Storage

$$20.58 \text{ ft}^4 < 659.375 \text{ ft}^3$$

25% WQv OK Actual Storage

DESIGN OKAY**5.6 RUNOFF REDUCTION VOLUME (RRv)**

For new construction projects, runoff reduction volume must be achieved through implementation of available green infrastructure techniques which promote infiltration, groundwater recharge, reuse, recycling, evaporation/evapotranspiration of 100 percent of the post development water quality volume. This is required to replicate pre-development hydrology by maintaining preconstruction infiltration, peak runoff flow, discharge volume as well as minimizing concentrated flow before runoff reaches the collection system.

100% of the required RRv will be provided for the newly developed areas through the use of a green roof. The proposed green roof provides a total of 659 cf of storage capacity. The required RRv is 82.30 cf.

6.0 CONSTRUCTION WASTE

Waste Materials: All waste materials generated during construction will be disposed at a suitable landfill, or transfer station.

Hazardous Waste: The project will not be a generator of hazardous waste and it is not anticipated that any hazardous waste will be generated during construction. If there are any materials generated, a licensed hazardous waste carrier will be contracted to dispose the hazardous material at a suitable disposal site. If hazardous materials are discovered during construction, the work will be stopped until the issue is resolved.

Waste: Portable sanitary facilities will be made available to construction personnel and will be serviced regularly.

7.0 EROSION AND SEDIMENT CONTROL

Excavation equipment involved with the construction will remain on the project site and will not regularly egress or ingress the site. Any trucks used to bring in materials or remove materials via municipal paved roads will do so over a stabilized construction entrance. If any off-site vehicle tracking occurs, the contractor will be directed to initiate a street sweeping program in the immediate vicinity of the site.

8.0 EROSION AND SEDIMENT CONTROL INSPECTION

These are the inspection items that will be used to maintain erosion and sediment controls. The practices listed herein shall be implemented in accordance with the attached maintenance schedule. A maintenance inspection report will be made after each inspection. The report form to be completed by the inspector is attached in **Appendix D**. Reports should be compiled and maintained on-site. All inspection materials are included in **Appendix D** of the onsite three-ring binder.

- It is recommended that a rain gage be installed at the site.
- A qualified professional shall conduct an assessment of the site prior to the commencement of construction and certify in an inspection report that the appropriate erosion and sediment controls described in the SWPPP and required by GP-0-20-001 have been adequately installed to ensure overall preparedness of the site for commencement of construction. **Structural erosion controls and non-stabilized areas shall be inspected at least once every seven (7) days.** The Inspection Form is located at the end of this report and shall be completed in full for every inspection performed.
- The day-to-day erosion control activities on the site will be monitored by the construction manager. The qualified inspector (as defined by the NYS DEC SPDES regulations) and his crews will make **at least one inspection every seven (7) days** of erosion control devices.
- All measures will be maintained in good working order; if repair is necessary, it will be initiated within 24 hours of report.

- Silt fence will be inspected for depth of sediment, ripped fabric, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in ground.
- All temporary sediment basins should be inspected for stability and integrity **at least once every seven (7) days**. Any structural failure in sediment basins or trenches that serve them will be repaired within 24 hours after detection. All temporary sediment basins or trenches shall be cleaned out when one foot of sediment or half the design depth of the trap has accumulated. All spoils shall be removed to a stabilized upland area.
- Seeded and planted areas will be inspected for bare spots, washouts, and healthy growth. If necessary, spot reseeded or sodding will be implemented.
- Trained Contractor will be responsible for the implementation of the SWPPP. This person will be onsite when any soil disturbing activities are being conducted. This trained contractor cannot conduct the regular SWPPP compliance inspections. This trained contractor must have received 4 hours of Department endorsed training in proper erosion and sediment control principles from a Soil and Water Conservation District, or other Department endorsed entity. After receiving the initial training, the trained contractor shall receive 4 hours of training every 3 years. It can also mean an employee from the contracting (construction) company, that meets the qualified inspector qualifications (e.g. licensed Professional Engineer, Certified Professional in Erosion and Sediment Control (CPESC), Registered Landscape Architect, or someone working under the direct supervision of, and at the same company as, the licensed Professional Engineer or Registered Landscape Architect, provided they have received 4 hours of Department endorsed training in proper erosion and sediment control principles from a Soil and Water Conservation District, or other Department endorsed entity).

9.0 TEMPORARY STABILIZATION FOR FROZEN CONDITIONS

The following temporary stabilization measures **MUST** be performed when construction is occurring during winter/frozen ground conditions. The following requirements do not supersede any other requirements of this SWPPP as they apply to non-frozen ground conditions.

- Perimeter erosion control **MUST** still be installed prior to earthwork disturbance as per this SWPPP.
- Any areas that cannot be seeded to turf by October 1 or earlier will receive a temporary seeding. The temporary seeding will consist of winter rye seeded at the rate of 120 pounds per acre (2.5 pounds per 1,000 square feet) or stabilized as per the temporary stabilization for winter construction/frozen conditions.
- Any area of disturbance that will remain inactive for a period of 14 consecutive days **MUST** be mulched. This includes any previously disturbed areas that are covered with snow.
- Mulch **MUST** consist of loose straw applied at the rate of 2 to 3 bales (90 to 100 pounds) per thousand square feet.
- Mulch **MUST** be applied uniformly over the area of bare soil or bare soil that is covered with snow. For the latter condition, mulch **MUST** be applied on top of snow.
- Using a tracked vehicle, mulch **MUST** be crimped into the bare soil/snow. The tracked vehicle **MUST** be driven across the mulched areas in at least two directions to maximize crimping of mulch into the soil / snow.
- If mulch gets blown off an area to a significant degree, the site inspector **WILL** require that an area be re-mulched in accordance with Items 2 through 5 above, and this area **WILL** be included on the inspection checklist for the next inspection.
- If a particular area repeatedly experiences loss of mulch due to wind, then the inspector

WILL require that an alternative method be used to secure the mulch in place. Such alternatives may include the use of netting, tackifier or other methods deemed appropriate by the inspector.

- During periods when snow is melting and/or surface soils are thawing during daytime hours, mulched areas **MUST** be re-tracked (crimped) as per Item 5 above at least once every seven days, more frequently if directed by the inspector. Additional mulch may be required to obtain complete coverage of an area. Biodegradable erosion control matting may be required on steeper slopes.
- Additional stabilization measures for non-frozen ground conditions described in this SWPPP **WILL** be implemented at the time deemed appropriate by the inspector.
- During the winter season, if a site has been stabilized and soil disturbing activities have been suspended for the winter, weekly inspections can be suspended. However, monthly inspections must still be conducted. All normal weekly inspections must resume when soil disturbing activities resume

10.0 IMPLEMENTATION RESPONSIBILITIES

10.1 OWNER'S/OPERATOR'S RESPONSIBILITIES

1. Ensure that control measures are selected, designed, installed, implemented and maintained to minimize the discharge of pollutants and prevent a violation of the water quality standards, meeting the non-numeric effluent limitations of the SPDES General Permit and in accordance with the New York State Standards and Specifications for Erosion and Sediment Control, latest edition.
2. The Owner/Operator must keep the SWPPP current at all times. At a minimum, the Owner/Operator shall amend the SWPPP:
 - a. Whenever the current provisions prove to be ineffective in minimizing pollutants in stormwater discharges from the project site.
 - b. Whenever there is a change in design, construction, or operation at the construction site that has or could have an effect on the discharge of pollutants; and
 - c. To address issues or deficiencies identified during an inspection by the Qualified Inspector, the Department, or other Regulatory Authority.
3. Retain the services of a Qualified Inspector to provide the services outlined in Section 10.4 "Qualified Inspector's Responsibilities."
4. Retain the services of a Design Engineer to provide the services outlined in Section 10.2 "Design Engineer's Responsibilities."
5. Prior to the commencement of construction activity, identify the contractor(s) and subcontractor(s) that will be responsible for implementing the erosion and sediment control measures and stormwater management practices described in this SWPPP. Have each of these contractors and subcontractors identify at least one trained contractor that will be responsible for the implementation of the SWPPP. Ensure that the Contractor has at least one trained contractor on site on a daily basis when soil disturbance activities are being performed.
6. Schedule a pre-construction meeting which shall include a local municipality representative, Design Engineer, Contractor, and their sub-contractors to discuss responsibilities as they relate to the implementation of this SWPPP.
7. Maintain a copy of the SWPPP, inspection reports, Spill Prevention, Countermeasures, Cleanup ("SPCC") Plan, and all documentation necessary to demonstrate eligibility with the permit at the construction site, until all disturbed areas have achieved final stabilization

and the NOT has been submitted to the NYSDEC. Place documents in a secure location that must be accessible during normal business hours to an individual performing a compliance inspection.

8. Require the Contractor to fully implement the SWPPP prepared for the site by the Design Engineer to ensure that the provisions of the SWPPP are implemented from the commencement of construction activity until all areas of disturbance have achieved final stabilization.
9. Request and receive all SWPPP records from the Design Engineer and archive those records for a minimum of five Stormwater Maintenance procedures outlined in this report.
10. The SWPPP, and inspection reports required by GP-0-20-001 are public documents that the Owner/Operator must make available for review and copying by any person within five (5) business days of the Owner/Operator receiving a written request by any such person to review the SWPPP, or inspection reports. Copying of documents will be done at the requester's expense.

10.2 DESIGN ENGINEER'S RESPONSIBILITIES

1. Prepare the SWPPP using good engineering practices, best management practices, and in compliance with all federal, state, and local regulatory requirements.
2. Provide copies of the SWPPP to the governing municipality once all signatures and attachments are complete.
3. Update the SWPPP each time there is a significant modification to the pollution prevention measures or a change of the principal Contractor working on the project who may disturb site soil.

10.3 CONTRACTOR'S RESPONSIBILITIES

1. Sign the SWPPP Contractor's Certification Form contained within **Appendix C** and forward to the Owner's/Operator's Engineer for inclusion in the Site Log Book.
2. Identify at least one Trained Contractor that will be responsible for implementation of this SWPPP. Ensure that at least one Trained Contractor is on site on a daily basis when soil disturbance activities are being performed. The Trained Contractor shall inspect the erosion and sediment control practices and pollution prevention measures being implemented within the active work area daily to ensure that they are being maintained in effective operation conditions at all times. If deficiencies are identified, the contractor shall begin implementing corrective actions within one business day and shall complete the corrective actions in a reasonable time frame.
3. Provide the names and addresses of all subcontractors working on the project site. Require all subcontractors who will be involved with construction activities that will result in soil disturbance to identify at least one Trained Contractor that will be on site on a daily basis when soil disturbance activities are being performed; and to sign a copy of the Subcontractor's Certification Form contained within Appendix, then forward to the Design Engineer for inclusion into the Site Log Book. This information must be retained as part of the Site Log Book.
4. Maintain a Spill Prevention and Response Plan in accordance with requirements outlined in this SWPPP. This plan shall be provided to the Design Engineer for inclusion in the Site Log Book, prior to mobilization on-site.
5. Participate in a pre-construction meeting which shall include a local municipality representative, Owner/Operator, Design Engineer, and all subcontractors to discuss

- responsibilities as they relate to the implementation of this SWPPP.
6. If Contractor plans on utilizing adjacent properties for material, waste, borrow, or equipment storage areas, or if Contractor plans to engage in industrial activity other than construction (such as operating asphalt and/or concrete plants) at the site, Contractor shall submit appropriate documentation to the Design Engineer so that the SWPPP can be modified accordingly.
 7. Implement site stabilization, erosion and sediment control measures, and other requirements of the SWPPP.
 8. In accordance with the requirements in the most current version of the NYS Standards and Specifications for Erosion and Sediment Control, conduct inspections of erosion and sediment control measures installed at the site to ensure that they remain in effective operating condition at all times. Prepare and retain written documentation of inspections as well as of all repairs/maintenance activities performed. This information must be retained as part of the Site Log Book.
 9. Begin implementing corrective actions within one (1) business day of receipt of notification by the Qualified Inspector that deficiencies exist with the erosion and sediment control measures employed at the site. Corrective actions shall be completed within a reasonable time frame.
 10. Upon completion of all construction at the site, the contractor responsible for overall SWPPP Compliance shall sign the certification on their Contractor Certification Form indicating that: a.) all temporary erosion and sediment control measures have been removed from the site, b.) the onsite soils disturbed by construction activity have been restored in accordance with the SWPPP and the NYSDEC regulations.

10.4 QUALIFIED INSPECTOR'S RESPONSIBILITIES

1. Conduct an initial assessment of the site prior to the commencement of construction and certify in an inspection report that the appropriate erosion and sediment control measures described within this SWPPP have been adequately installed and implemented to ensure overall preparedness of the site.
2. Participate in a pre-construction meeting with the local municipality representative, Owner/Operator, Contractor, and their subcontractors to discuss responsibilities as they relate to the implementation of this SWPPP.
3. Provide on-site inspections to determine compliance with the SWPPP. Site inspections shall occur at an interval of at least once every seven calendar days. A written inspection report shall be provided to the Owner/Operator and general contractor within one business day of the completion of the inspection, with any deficiencies identified. A sample inspection form is provided in Appendix.
4. Prepare a construction Site Log Book to be used as a record of all inspection reports generated throughout the duration of construction. Ensure that the construction Site Log Book is maintained and kept up-to-date throughout the duration of construction.
5. Prepare an inspection report subsequent to each and every inspection that shall include/address the items listed in GP-0-20-001. Sign all inspection reports and maintain on site with the SWPPP.
6. Notify the owner/operator and appropriate contractor or subcontractor of any corrective actions that need to be taken.
7. Review the Contractor's SWPPP records on a periodic basis to ensure compliance with the requirements for daily reports, soil restoration, inspections, and maintenance logs.
8. Transfer the SWPPP documents, construction Site Log Book, and written records required

by the General Permit to the Owner/Operator for archiving.

11.0 IMPLEMENTATION RESPONSIBILITIES

Temporary erosion and sediment controls and practices will need to be maintained frequently. It is the responsibility of the operator to inspect and maintain the temporary controls so that they are working efficiently. The operator needs to pay close attention to SWPPP Inspection Reports that will advise of needed maintenance. Captured sediment will have to be removed periodically from each practice in order for the control to function properly. It is likely that if temporary controls are not maintained properly, controls will fail creating a mass discharge of sedimentation to the water body previously protected. Periodically remove sediment from silt fences, check dams, silt sacks, inlet protections, and sediment traps. Replace top-soil, mulch and seed where seeding has been disturbed.

Post-construction maintenance for this project will consist of annual inspections of permanent stormwater management facilities and steep slopes. The following procedures must be performed twice annually on the appropriate structural stormwater management practice. These maintenance procedures are essential to assure continual performance of the stormwater management practices on your site.

Catch Basins:

- Sediment removal with a vacuum truck should be done at least once a year, preferably after spring runoff and then in early fall, or when they are at 50% capacity, whichever comes first.
- Any mechanical valves should be operated for inspection every two months.

Green Roof:

- Owner shall keep a maintenance log which shall include details of any events which would have an effect on the system's operational capacity.
- Maintenance of the stormwater management system shall be performed by qualified workers and shall follow applicable occupational health and safety requirements.
- Debris removed from the stormwater management system shall be disposed of in accordance with applicable laws and regulations.
- The following suggested schedule for routine maintenance shall be followed:

| FREQUENCY | ACTION |
|---|---|
| Monthly in first year | Check inlets and outlets for clogging and remove any debris, as required. |
| Spring and fall | Check inlets and outlets for clogging and remove any debris, as required. |
| One year after commissioning and every third year following | Check inlets and outlets for clogging and remove any debris, as required. |

Table 5

- The following suggested schedule for major maintenance shall be followed:

| | FREQUENCY | ACTION |
|--|---|--|
| Inlets and Outlets | Every 3 years | Obtain documentation that the inlets, outlets and vents have been cleaned and will function as intended. |
| | Spring and Fall | Check inlet and outlets for clogging and remove any debris as required. |
| Green Roof soil media and drainage layer | 2 years after commissioning | Inspect the soil media and drainage layer Obtain documentation that the layers will function as anticipated. |
| | 9 years after commissioning and every 9 years following | Clean soil media and drainage layers. Inspect the soil media and drainage layer. Obtain documentation that the layers will function as anticipated. |
| | 45 years after commissioning | Clean soil media and drainage layers. Determine the remaining life expectancy of the green roof and recommended schedule and actions to rehabilitate as required. Inspect the soil media and drainage layer. Replace or restore the layers in accordance with the schedule determined at the 45-year inspection. Establish a new operation and maintenance schedule. |
| Surrounding Site | Monthly in 1 st year | Check for depressions in areas over and surrounding the stormwater management system. |
| | Spring and Fall | Check for depressions in areas over and surrounding the stormwater management system. |
| | Yearly | Confirm that no unauthorized modifications have been performed to the site. |

Table 6

12.0 SPILL PREVENTION PRACTICES

Good Housekeeping and Material Management Practices: The following good housekeeping and material management practices will be followed on site during the construction project to reduce the risk of spills or other accidental exposure of materials and substances to stormwater runoff.

- Materials will be brought on site in the minimum quantities required.
- All materials stored on site will be stored in a neat, orderly manner in their appropriate containers, and if possible, under a roof or other enclosure.
- Products will be kept in their original containers with the original manufacturer's label.
- Substances will not be mixed with one another unless recommended by the manufacturer.
- Whenever possible, all of a product will be used up before disposal.

- Manufacturer's recommendations for proper use and disposal will be followed.
- The construction manager or his designee will inspect regularly to ensure proper use and disposal of materials on site.
- The contractor shall prohibit washing of tools, equipment, and machinery in or within 100 feet of any watercourse or wetland.
- All above grade storage tanks are to be protected from vehicle damage by temporary barriers.

Inventory for Pollution Prevention Plan: If the materials and substances listed below are expected to be on-site during construction, the following procedures shall apply:

- Petroleum for fueling vehicles will be stored in above ground storage tanks. Tanks will either be steel with an enclosure capable of holding 110% of the storage tank volume or of a Con-Store, concrete encased type typically employed by NYSDOT. Hydraulic oil and other oils will be stored in their original containers. Concrete and asphalt will be stored in the original delivery trucks.
- Fertilizer may be stored on site in its original container for a short period of time prior to seeding. Original containers will be safely piled on pallets or similar devices to protect from moisture.
- Paints and other similar materials will be stored in their original containers and all empty containers will be disposed of in accordance with label directions.
- Portable sanitary facilities, which contain chemical disinfectants (deodorants) will be located on-site, with the disinfectants held in the tank of the toilet.

Hazardous Products: These practices are used to reduce the risks associated with hazardous materials.

- Products will be kept in original containers unless they are not re-sealable.
- Original labels and material safety data sheets will be retained; they contain important product information.
- If surplus product must be disposed of, manufacturers' or local and State recommended methods for proper disposal will be followed.

Petroleum Spill Protection: The following product specific practices will be followed on site if applicable.

- Construction personnel should be made aware that emergency telephone numbers are located in this SWPPP.
- The contractor shall immediately contact NYSDEC in the event of a spill, and shall take all appropriate steps to contain the spill, including construction of a dike around the spill and placing absorbent material over this spill.
- The contractor shall instruct personnel that spillage of fuels, oils, and similar chemicals must be avoided and will have arranged with a qualified spill remediation company to serve the site.
- Fuels, oils, and chemicals will be stored in appropriate and tightly capped containers. Containers shall not be disposed of on the project site.
- Fuels, oils, chemicals, material, equipment, and sanitary facilities will be stored/located away from trees and at least 100 feet from streams, wells, wet areas, and other environmentally sensitive sites.

- Dispose of chemical containers and surplus chemicals off the project site in accordance with label directions.
- Use tight connections and hoses with appropriate nozzles in all operations involving fuels, lubricating materials or chemicals.
- Use funnels when pouring fuels, lubricating materials or chemicals.
- Refueling and cleaning of construction equipment will take place in parking areas to provide rapid response to emergency situations.
- All on-site vehicles will be monitored for leaks and receive regular preventative maintenance to reduce the chance of leakage. Any vehicle leaking fuel or hydraulic fuel will be immediately scheduled for repairs and use will be discontinued until repairs are made.
- Products will be kept in original containers unless they are not re-sealable.
- Original labels and material safety data sheets will be retained; they contain important product information.
- If surplus product must be disposed of, manufacturers' or local and State recommended methods for proper disposal will be followed.

Fertilizer Spill Protection: The following product specific practices will be followed on site.

- Fertilizer will be stored in its original containers on pallets with water resistant coverings.
- Proper delivery scheduling will minimize storage time.
- Any damaged containers will be repaired immediately upon discovery and any released fertilizer recovered to the fullest extent practicable.

Paint Spill Protection: The following product specific practices will be followed on site.

- All containers will be tightly sealed and stored when not required for use.
- Excess paint will not be discharged to the storm water system or wastewater system, but will be properly disposed of according to manufacturers' instructions or State and local regulations.

Concrete Trucks Spill Protection: The following product specific practices will be followed on site.

- Concrete trucks will be allowed to wash out or discharge surplus concrete or drum wash water only at designated locations on site.

Asphalt Trucks Spill Protection: The following product specific practices will be followed on site.

- Asphalt trucks shall not discharge surplus asphalt on the site.

Spill Control Practices: In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for spill prevention and cleanup. The construction manager responsible for the day-to-day site operations will be the spill prevention and cleanup coordinator. He will designate at least three other site personnel who will receive spill prevention and cleanup training. These individuals will each become responsible for a particular phase of prevention and cleanup. The names of responsible spill personnel will be posted in the material storage area and in the onsite

construction office or trailer.

- Manufacturers' recommended methods for spill cleanup will be clearly posted and site personnel will be made aware of the procedures and the location of the information and cleanup supplies. Any spill in excess or suspected to be in excess of two gallons will be reported to the NYSDEC Regional Spill Response Unit. Notification to the NYSDEC (1-800-457-7362) must be completed within two hours of the discovery of the spill.
- Materials and equipment necessary for spill cleanup will be kept in the material storage area onsite. Equipment and materials will include but not be limited to absorbent pads, brooms, dustpan, mops, rags, gloves, goggles, activated clay, sand, sawdust, and plastic and metal trash containers specifically for this purpose.
- All spills will be cleaned up immediately after discovery.
- The spill area will be kept well ventilated, and personnel will wear appropriate protective clothing to prevent injury from contact with spilled substance.
- Spills of toxic or hazardous material will be reported to the appropriate State or local government agency, regardless of the size.

13.0 CERTIFICATIONS

Preparer Certification of Compliance with Federal, State, and Local Regulations

This Stormwater Pollution Prevention Plan was prepared in accordance with the New York State Department of Environmental Conservation SPDES General Permit for- Stormwater Discharges from Construction Activities (Permit No. GP-0-20-001), pursuant to Article 17, Titles 7, 8 and Article 70 of the Environment Conservation Law. This SPDES General Permit implements the Federal Clean Water Act pertaining to stormwater discharges.

Name: *Dominick R Pilla* **Title:** *Civil Engineer*

Signature: _____ **Date:** *February 10, 2026*

Company Name: *Dominick R Pilla Associates*

Owner Pollution Prevention Plan Certification

I certify penalty of law that this document and all attachments were prepared under my direction or supervision to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who are directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law.

I understand that GP-0-20-001 requires site inspections be conducted by a qualified professional once every seven (7) days and when approved in writing by the NYSDEC, disturbances of greater than five (5) acres at one time require site inspections two (2) times every seven (7) days. These inspections shall be performed by a qualified professional as defined by the General Permit.

The Owner/Operator will be held financially responsible for any and all fines related to work tasks that are not specified by the Contractor(s)/Subcontractor(s) below.

Name: _____ **Title:** _____

Signature: _____ **Date:** _____

Company Name: _____

Contractor and Subcontractor Certification

I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the owner or operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System (“SPDES”) general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceeding.

Name:

Title:

Signature:

Date:

Company Name:

Address:

City, State, Zip:

Phone:

SWPPP Components You Are Responsible For:

1. _____

2. _____

3. _____

4. _____

5. _____

6. _____

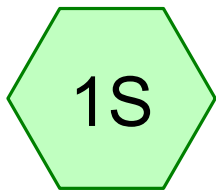
Name / Title of Trained Individual Responsible for SWPPP Implementation:

Signature of Trained Individual Responsible for SWPPP Implementation:

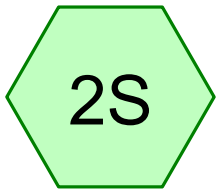
APPENDIX A
NOTICE OF INTENT (NOI)

APPENDIX B

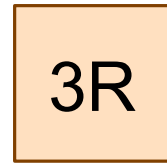
HYDROCAD COMPUTATIONS



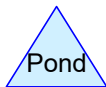
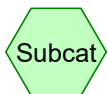
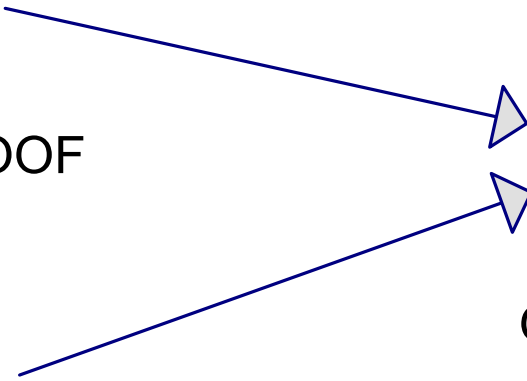
EXISTING ROOF



EXISTING PAVEMENT



OUTFLOW



22-143_80 S BROADWAY_EXISTING

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Page 2

Area Listing (all nodes)

| Area (sq-ft) | CN | Description (subcatchment-numbers) |
|-----------------|-----------|---------------------------------------|
| 10,017 | 98 | Paved parking, HSG A (2S) |
| 1,984 | 98 | Roofs, HSG A (1S) |
| 12,001 | 98 | TOTAL AREA |

22-143_80 S BROADWAY_EXISTING

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Page 3

Soil Listing (all nodes)

| Area (sq-ft) | Soil Group | Subcatchment Numbers |
|-----------------|---------------|-------------------------|
| 12,001 | HSG A | 1S, 2S |
| 0 | HSG B | |
| 0 | HSG C | |
| 0 | HSG D | |
| 0 | Other | |
| 12,001 | | TOTAL AREA |

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Ground Covers (all nodes)

| HSG-A (sq-ft) | HSG-B (sq-ft) | HSG-C (sq-ft) | HSG-D (sq-ft) | Other (sq-ft) | Total (sq-ft) | Ground Cover | Subcatchmen Numbers |
|------------------|------------------|------------------|------------------|------------------|------------------|-------------------|------------------------|
| 10,017 | 0 | 0 | 0 | 0 | 10,017 | Paved parking | 2 |
| 1,984 | 0 | 0 | 0 | 0 | 1,984 | Roofs | 1 |
| 12,001 | 0 | 0 | 0 | 0 | 12,001 | TOTAL AREA | |

22-143_80 S BROADWAY_EXISTING

NY-NYACK 24-hr S1 1-yr Rainfall=2.79"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: EXISTING ROOF Runoff Area=1,984 sf 100.00% Impervious Runoff Depth>2.31"
Flow Length=30' Slope=0.0200 '/' Tc=0.4 min CN=98 Runoff=0.16 cfs 383 cf

Subcatchment 2S: EXISTING PAVEMENT Runoff Area=10,017 sf 100.00% Impervious Runoff Depth>2.31"
Flow Length=103' Slope=0.0200 '/' Tc=1.2 min CN=98 Runoff=0.84 cfs 1,932 cf

Reach 3R: OUTFLOW Inflow=1.00 cfs 2,314 cf
Outflow=1.00 cfs 2,314 cf

Total Runoff Area = 12,001 sf Runoff Volume = 2,314 cf Average Runoff Depth = 2.31"
0.00% Pervious = 0 sf 100.00% Impervious = 12,001 sf

Summary for Subcatchment 1S: EXISTING ROOF

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.16 cfs @ 11.96 hrs, Volume= 383 cf, Depth> 2.31"

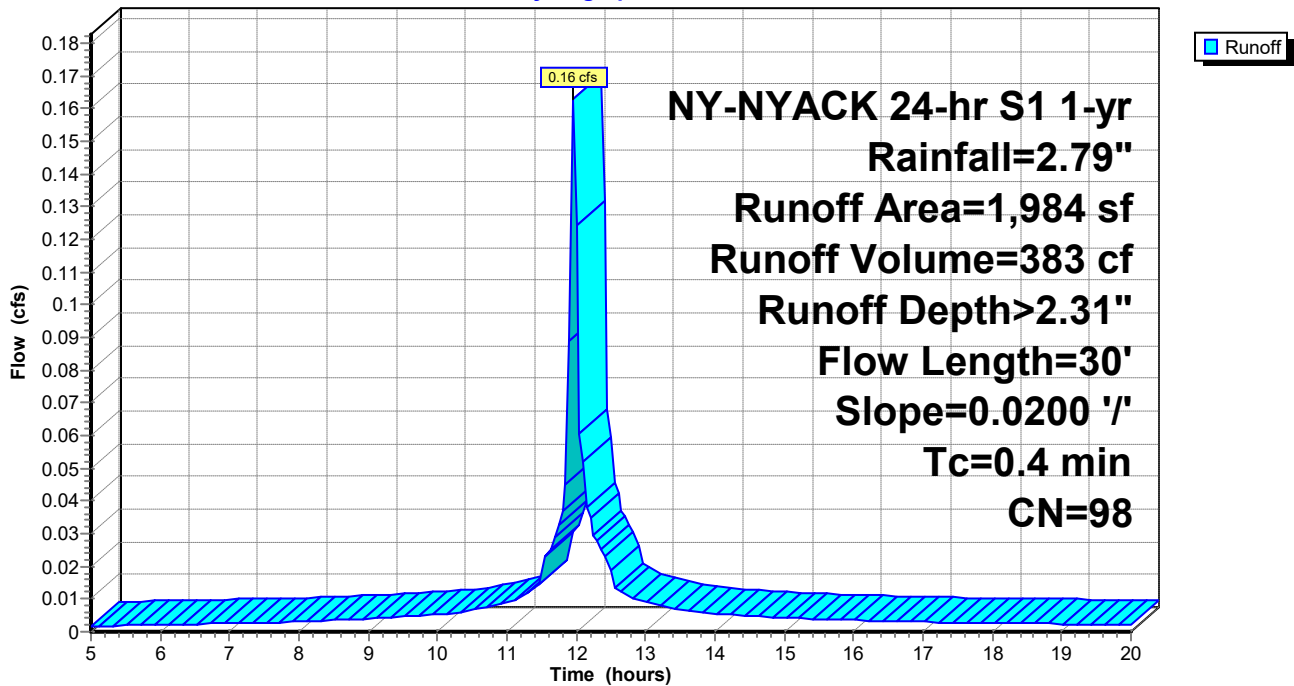
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 1-yr Rainfall=2.79"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 1,984 | 98 | Roofs, HSG A |
| 1,984 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 0.4 | 30 | 0.0200 | 1.11 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: EXISTING ROOF

Hydrograph



Summary for Subcatchment 2S: EXISTING PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.84 cfs @ 11.97 hrs, Volume= 1,932 cf, Depth> 2.31"

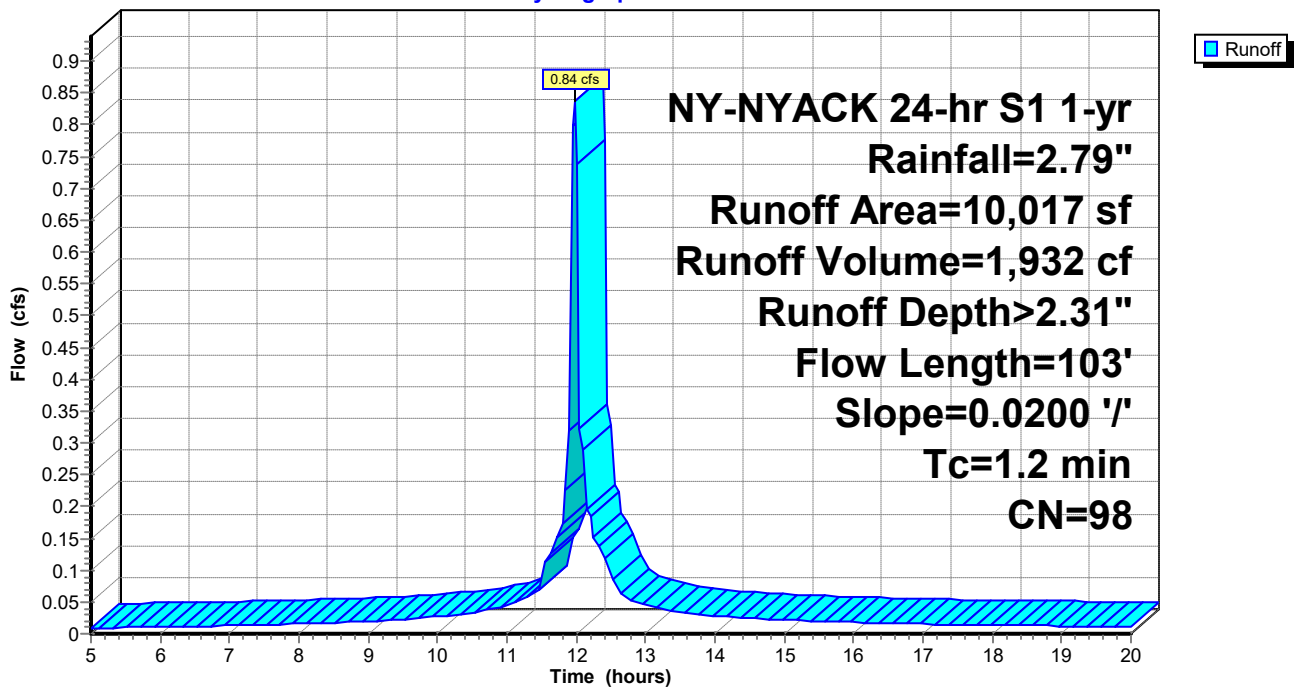
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 1-yr Rainfall=2.79"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 10,017 | 98 | Paved parking, HSG A |
| 10,017 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 1.2 | 103 | 0.0200 | 1.43 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: EXISTING PAVEMENT

Hydrograph



Summary for Reach 3R: OUTFLOW

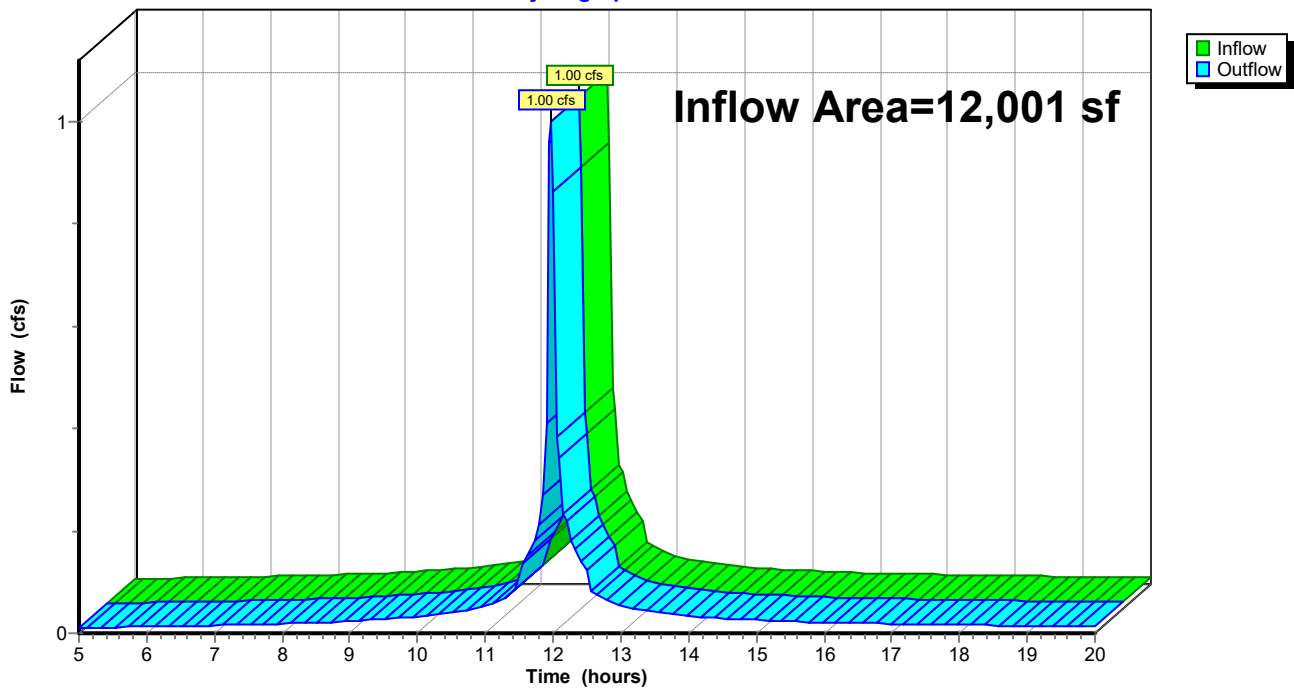
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 12,001 sf, 100.00% Impervious, Inflow Depth > 2.31" for 1-yr event
Inflow = 1.00 cfs @ 11.97 hrs, Volume= 2,314 cf
Outflow = 1.00 cfs @ 11.97 hrs, Volume= 2,314 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph



22-143_80 S BROADWAY_EXISTING

NY-NYACK 24-hr S1 10-yr Rainfall=5.08"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: EXISTING ROOF Runoff Area=1,984 sf 100.00% Impervious Runoff Depth>4.31"
Flow Length=30' Slope=0.0200 '/' Tc=0.4 min CN=98 Runoff=0.27 cfs 712 cf

Subcatchment 2S: EXISTING PAVEMENT Runoff Area=10,017 sf 100.00% Impervious Runoff Depth>4.31"
Flow Length=103' Slope=0.0200 '/' Tc=1.2 min CN=98 Runoff=1.37 cfs 3,594 cf

Reach 3R: OUTFLOW Inflow=1.64 cfs 4,305 cf
Outflow=1.64 cfs 4,305 cf

Total Runoff Area = 12,001 sf Runoff Volume = 4,305 cf Average Runoff Depth = 4.31"
0.00% Pervious = 0 sf 100.00% Impervious = 12,001 sf

Summary for Subcatchment 1S: EXISTING ROOF

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.27 cfs @ 11.96 hrs, Volume= 712 cf, Depth> 4.31"

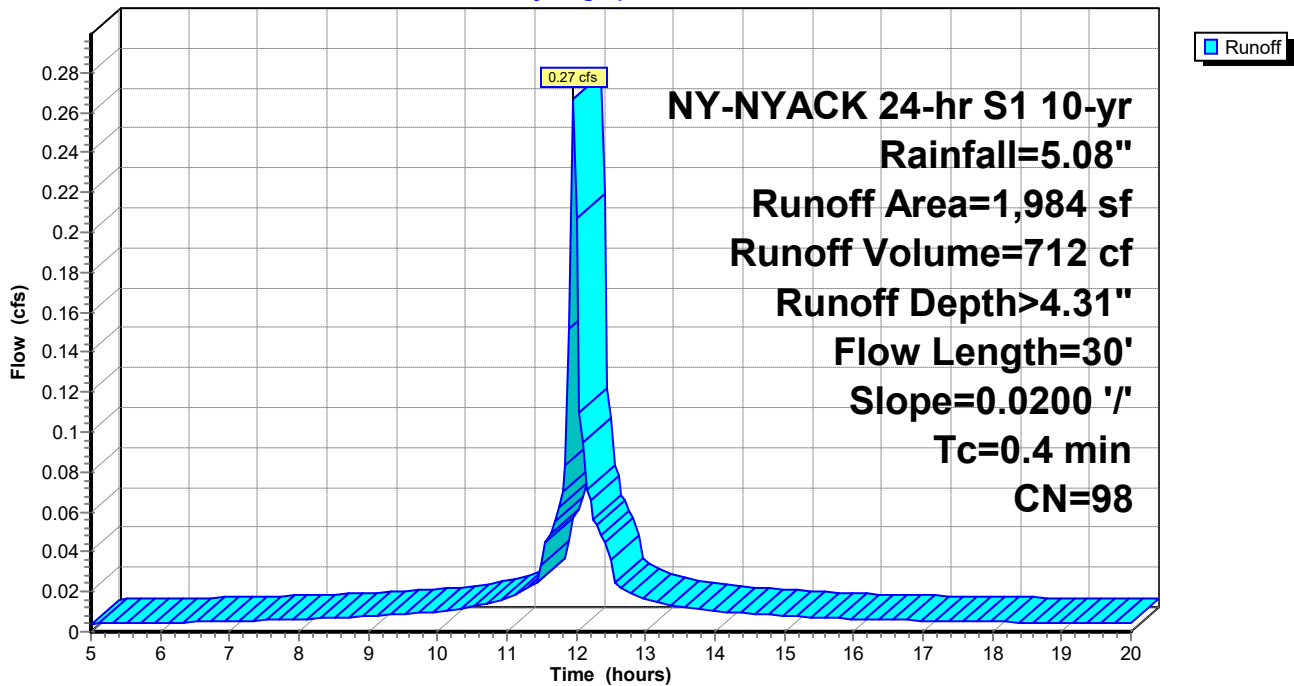
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 10-yr Rainfall=5.08"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 1,984 | 98 | Roofs, HSG A |
| 1,984 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.4 | 30 | 0.0200 | 1.11 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: EXISTING ROOF

Hydrograph



Summary for Subcatchment 2S: EXISTING PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 1.37 cfs @ 11.97 hrs, Volume= 3,594 cf, Depth> 4.31"

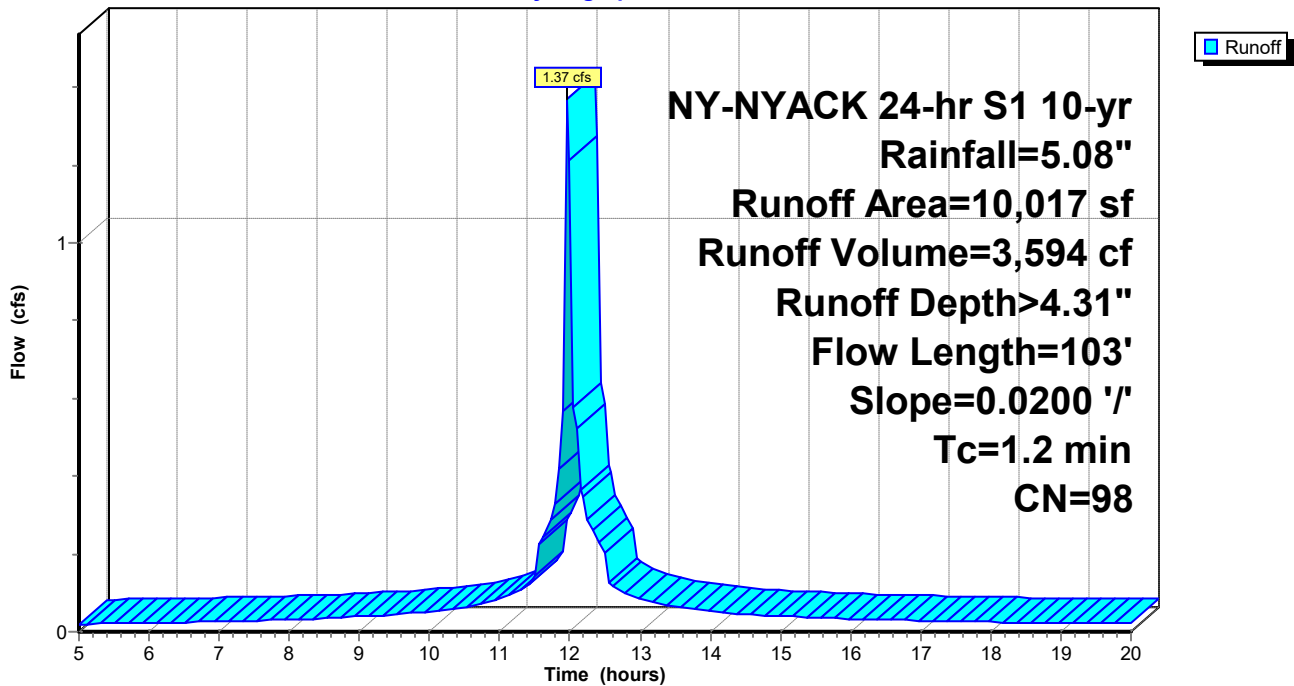
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 10-yr Rainfall=5.08"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 10,017 | 98 | Paved parking, HSG A |
| 10,017 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 1.2 | 103 | 0.0200 | 1.43 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: EXISTING PAVEMENT

Hydrograph



Summary for Reach 3R: OUTFLOW

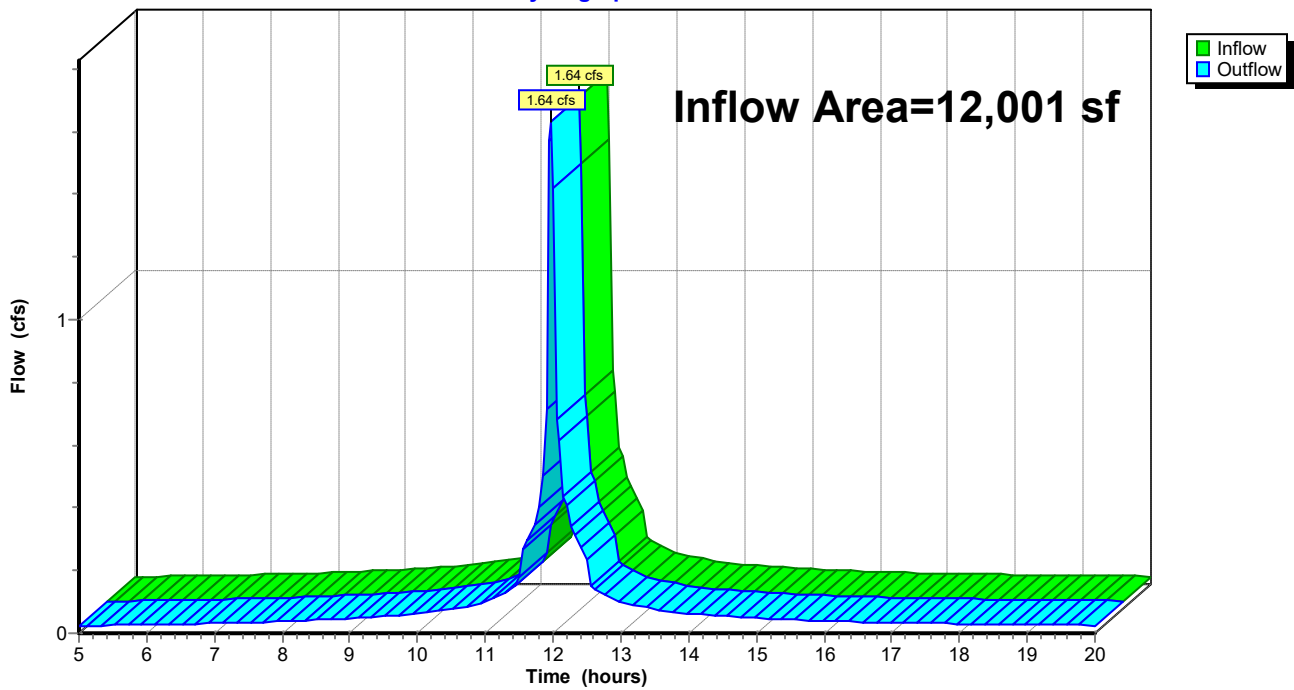
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 12,001 sf, 100.00% Impervious, Inflow Depth > 4.31" for 10-yr event
Inflow = 1.64 cfs @ 11.97 hrs, Volume= 4,305 cf
Outflow = 1.64 cfs @ 11.97 hrs, Volume= 4,305 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph



22-143_80 S BROADWAY_EXISTING

NY-NYACK 24-hr S1 25-yr Rainfall=6.40"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: EXISTING ROOF Runoff Area=1,984 sf 100.00% Impervious Runoff Depth>5.44"
Flow Length=30' Slope=0.0200 '/' Tc=0.4 min CN=98 Runoff=0.32 cfs 899 cf

Subcatchment 2S: EXISTING PAVEMENT Runoff Area=10,017 sf 100.00% Impervious Runoff Depth>5.44"
Flow Length=103' Slope=0.0200 '/' Tc=1.2 min CN=98 Runoff=1.66 cfs 4,540 cf

Reach 3R: OUTFLOW Inflow=1.98 cfs 5,439 cf
Outflow=1.98 cfs 5,439 cf

Total Runoff Area = 12,001 sf Runoff Volume = 5,439 cf Average Runoff Depth = 5.44"
0.00% Pervious = 0 sf 100.00% Impervious = 12,001 sf

Summary for Subcatchment 1S: EXISTING ROOF

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.32 cfs @ 11.96 hrs, Volume= 899 cf, Depth> 5.44"

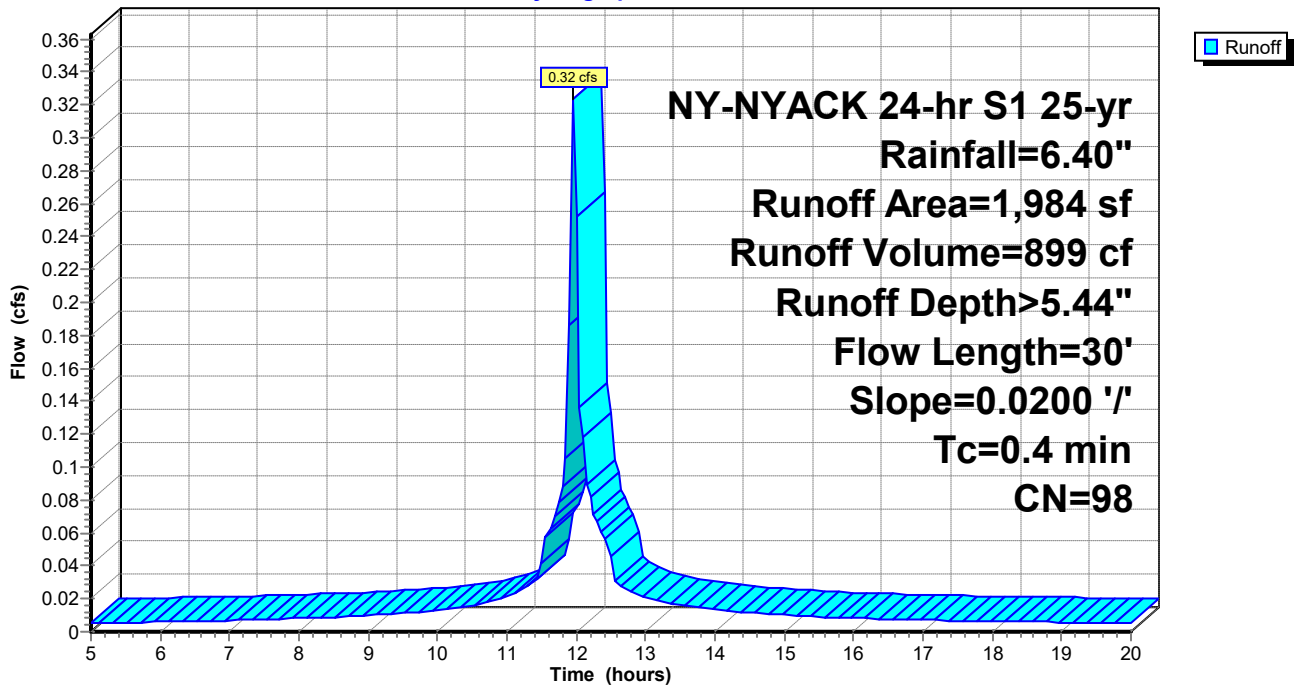
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 25-yr Rainfall=6.40"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 1,984 | 98 | Roofs, HSG A |
| 1,984 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 0.4 | 30 | 0.0200 | 1.11 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: EXISTING ROOF

Hydrograph



Summary for Subcatchment 2S: EXISTING PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 1.66 cfs @ 11.97 hrs, Volume= 4,540 cf, Depth> 5.44"

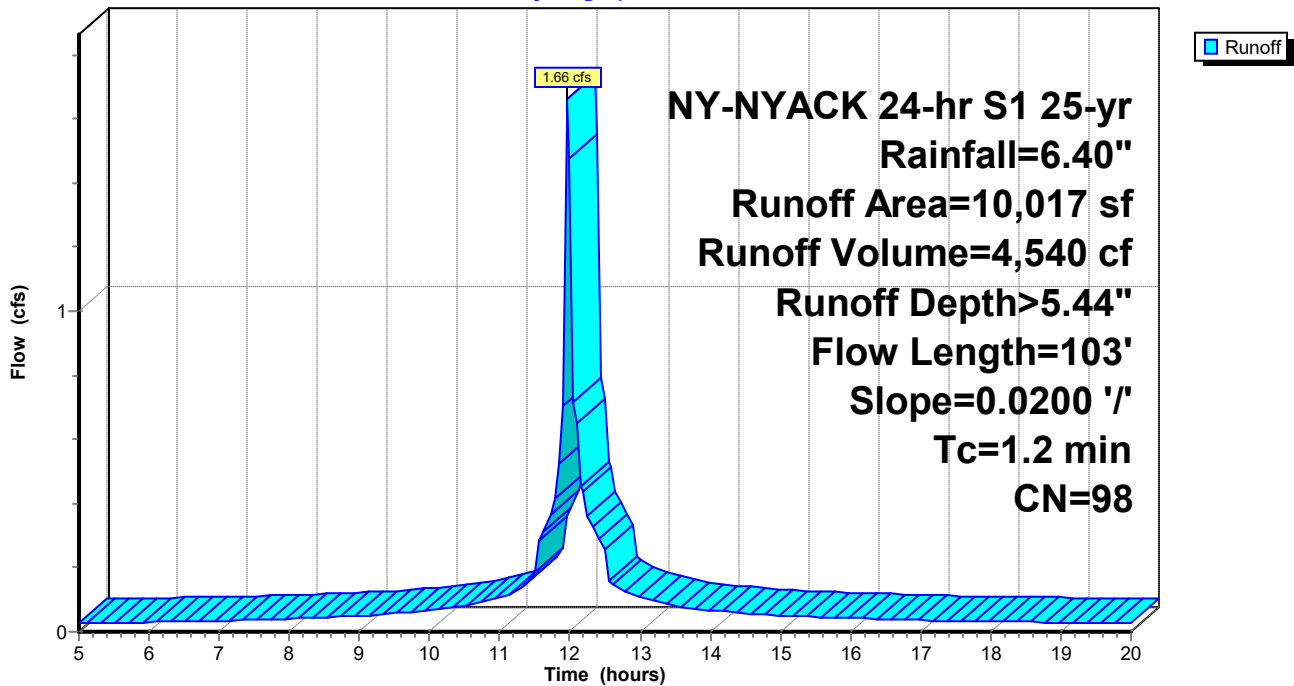
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 25-yr Rainfall=6.40"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 10,017 | 98 | Paved parking, HSG A |
| 10,017 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 1.2 | 103 | 0.0200 | 1.43 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: EXISTING PAVEMENT

Hydrograph



Summary for Reach 3R: OUTFLOW

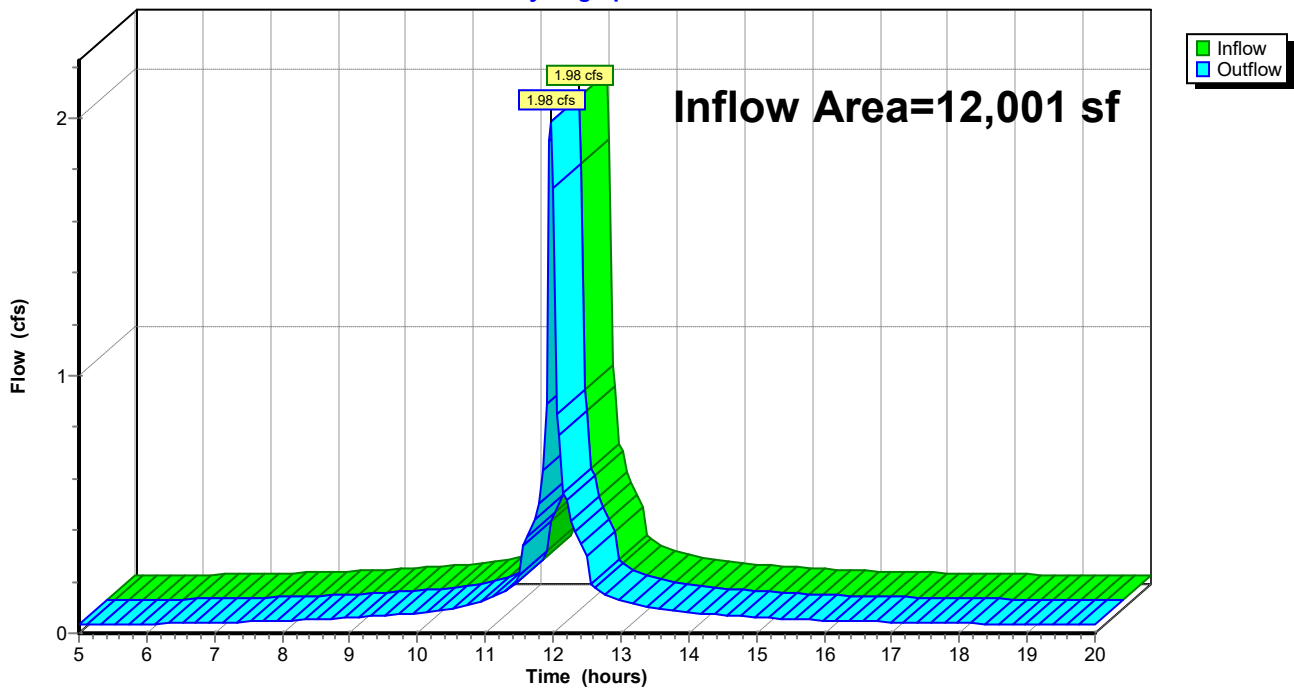
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 12,001 sf, 100.00% Impervious, Inflow Depth > 5.44" for 25-yr event
Inflow = 1.98 cfs @ 11.97 hrs, Volume= 5,439 cf
Outflow = 1.98 cfs @ 11.97 hrs, Volume= 5,439 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph



22-143_80 S BROADWAY_EXISTING

NY-NYACK 24-hr S1 100-yr Rainfall=9.07"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: EXISTING ROOF Runoff Area=1,984 sf 100.00% Impervious Runoff Depth>7.72"
Flow Length=30' Slope=0.0200 '/' Tc=0.4 min CN=98 Runoff=0.43 cfs 1,276 cf

Subcatchment 2S: EXISTING PAVEMENT Runoff Area=10,017 sf 100.00% Impervious Runoff Depth>7.72"
Flow Length=103' Slope=0.0200 '/' Tc=1.2 min CN=98 Runoff=2.19 cfs 6,441 cf

Reach 3R: OUTFLOW Inflow=2.62 cfs 7,717 cf
Outflow=2.62 cfs 7,717 cf

Total Runoff Area = 12,001 sf Runoff Volume = 7,717 cf Average Runoff Depth = 7.72"
0.00% Pervious = 0 sf 100.00% Impervious = 12,001 sf

Summary for Subcatchment 1S: EXISTING ROOF

[49] Hint: $T_c < 2dt$ may require smaller dt

Runoff = 0.43 cfs @ 11.96 hrs, Volume= 1,276 cf, Depth> 7.72"

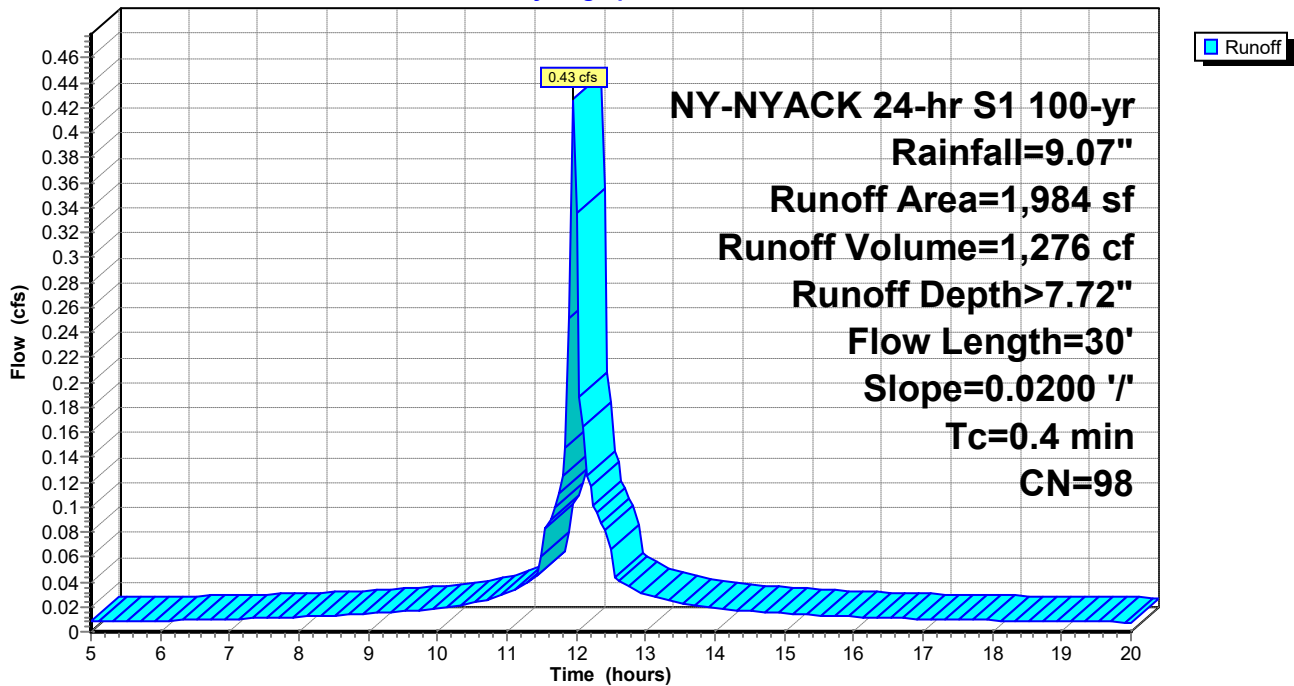
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 100-yr Rainfall=9.07"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 1,984 | 98 | Roofs, HSG A |
| 1,984 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.4 | 30 | 0.0200 | 1.11 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: EXISTING ROOF

Hydrograph



Summary for Subcatchment 2S: EXISTING PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 2.19 cfs @ 11.97 hrs, Volume= 6,441 cf, Depth> 7.72"

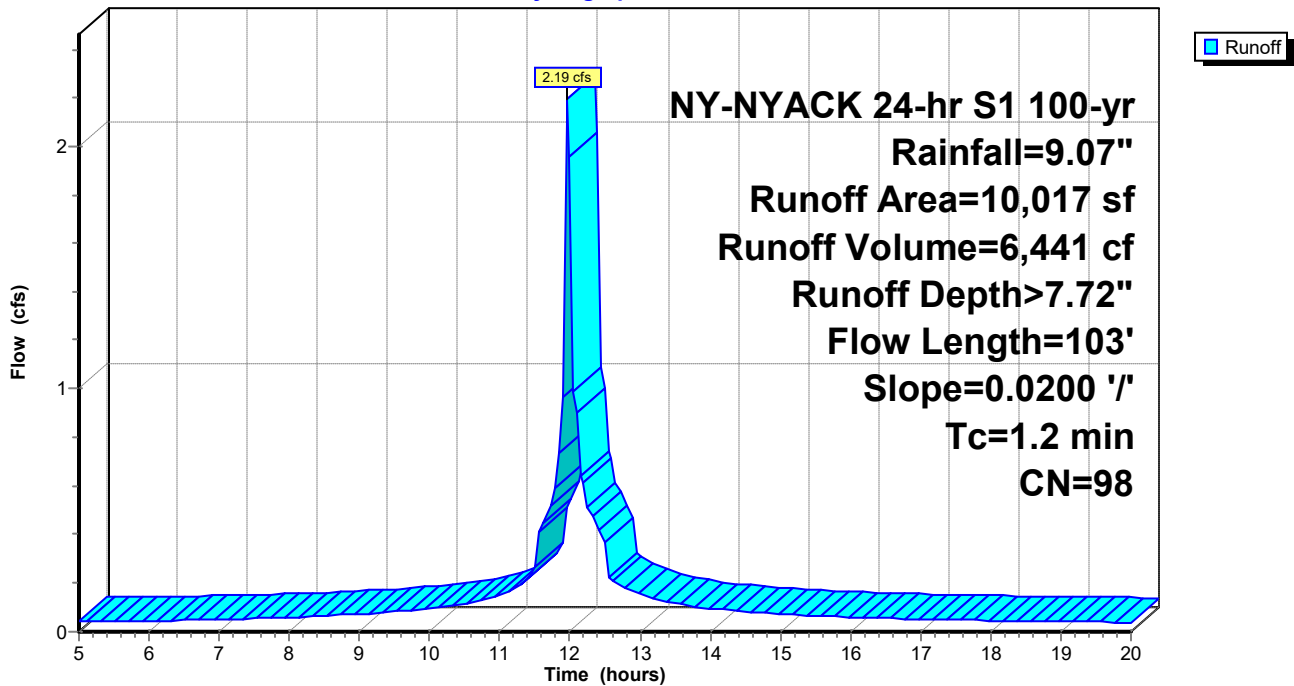
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 100-yr Rainfall=9.07"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 10,017 | 98 | Paved parking, HSG A |
| 10,017 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 1.2 | 103 | 0.0200 | 1.43 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: EXISTING PAVEMENT

Hydrograph



Summary for Reach 3R: OUTFLOW

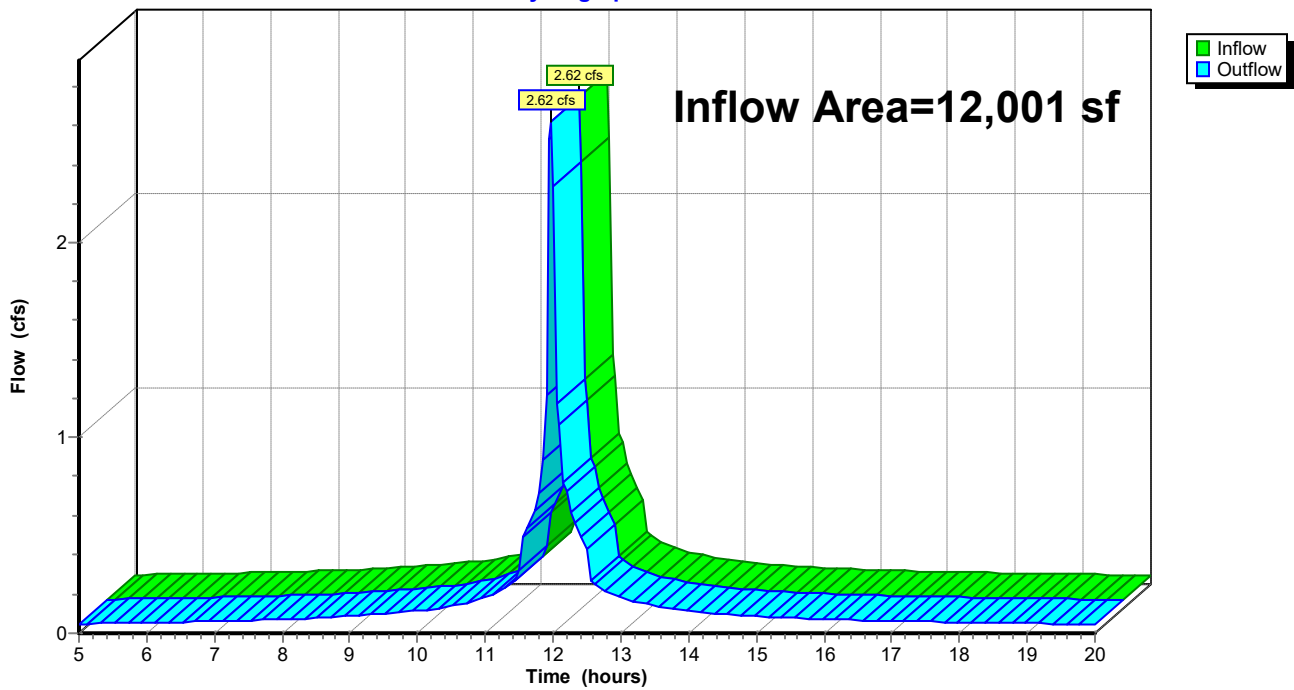
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 12,001 sf, 100.00% Impervious, Inflow Depth > 7.72" for 100-yr event
Inflow = 2.62 cfs @ 11.97 hrs, Volume= 7,717 cf
Outflow = 2.62 cfs @ 11.97 hrs, Volume= 7,717 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph



22-143_80 S BROADWAY_EXISTING

NY-NYACK 24-hr S1 200-yr Rainfall=10.81"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: EXISTING ROOF Runoff Area=1,984 sf 100.00% Impervious Runoff Depth>9.19"
Flow Length=30' Slope=0.0200 '/' Tc=0.4 min CN=98 Runoff=0.49 cfs 1,520 cf

Subcatchment 2S: EXISTING PAVEMENT Runoff Area=10,017 sf 100.00% Impervious Runoff Depth>9.19"
Flow Length=103' Slope=0.0200 '/' Tc=1.2 min CN=98 Runoff=2.51 cfs 7,673 cf

Reach 3R: OUTFLOW Inflow=3.00 cfs 9,192 cf
Outflow=3.00 cfs 9,192 cf

Total Runoff Area = 12,001 sf Runoff Volume = 9,192 cf Average Runoff Depth = 9.19"
0.00% Pervious = 0 sf 100.00% Impervious = 12,001 sf

Summary for Subcatchment 1S: EXISTING ROOF

[49] Hint: $T_c < 2dt$ may require smaller dt

Runoff = 0.49 cfs @ 11.96 hrs, Volume= 1,520 cf, Depth> 9.19"

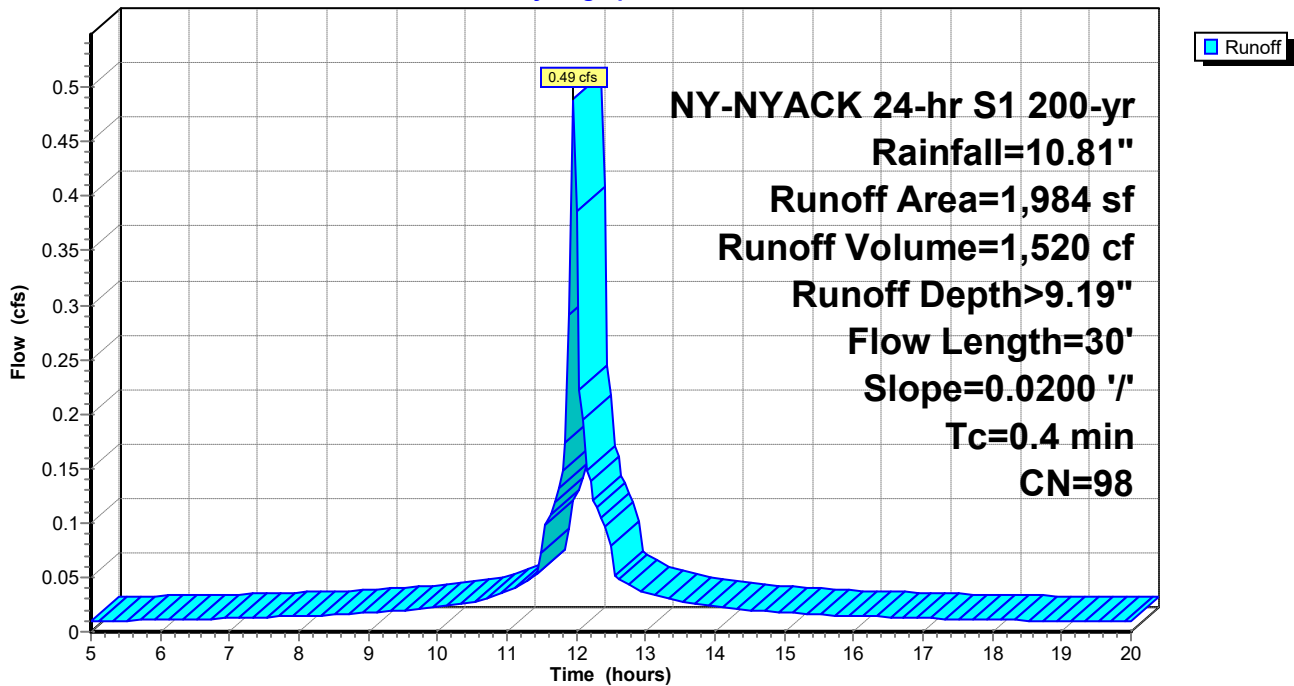
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 200-yr Rainfall=10.81"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 1,984 | 98 | Roofs, HSG A |
| 1,984 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.4 | 30 | 0.0200 | 1.11 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: EXISTING ROOF

Hydrograph



Summary for Subcatchment 2S: EXISTING PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 2.51 cfs @ 11.97 hrs, Volume= 7,673 cf, Depth> 9.19"

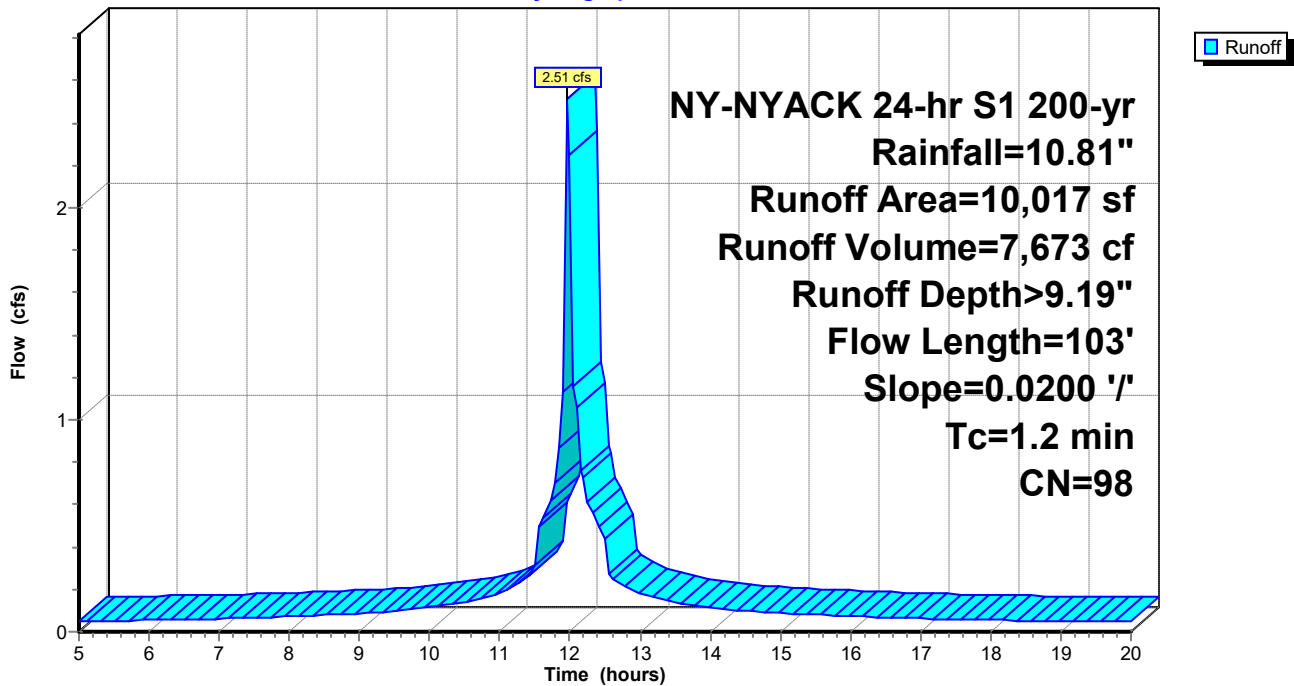
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 200-yr Rainfall=10.81"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 10,017 | 98 | Paved parking, HSG A |
| 10,017 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 1.2 | 103 | 0.0200 | 1.43 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: EXISTING PAVEMENT

Hydrograph



Summary for Reach 3R: OUTFLOW

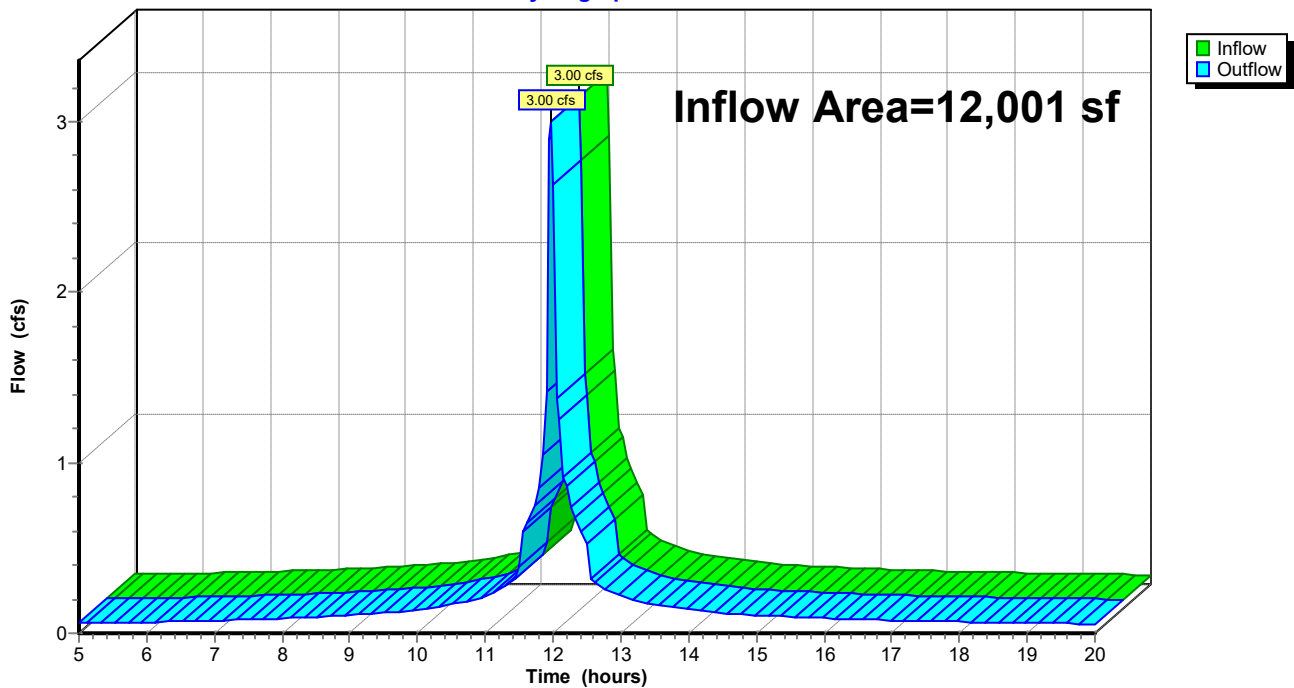
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 12,001 sf, 100.00% Impervious, Inflow Depth > 9.19" for 200-yr event
Inflow = 3.00 cfs @ 11.97 hrs, Volume= 9,192 cf
Outflow = 3.00 cfs @ 11.97 hrs, Volume= 9,192 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph



22-143_80 S BROADWAY_EXISTING

NY-NYACK 24-hr S1 500-yr Rainfall=13.65"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: EXISTING ROOF Runoff Area=1,984 sf 100.00% Impervious Runoff Depth>11.60"
Flow Length=30' Slope=0.0200 '/' Tc=0.4 min CN=98 Runoff=0.59 cfs 1,917 cf

Subcatchment 2S: EXISTING PAVEMENT Runoff Area=10,017 sf 100.00% Impervious Runoff Depth>11.60"
Flow Length=103' Slope=0.0200 '/' Tc=1.2 min CN=98 Runoff=3.04 cfs 9,680 cf

Reach 3R: OUTFLOW Inflow=3.63 cfs 11,598 cf
Outflow=3.63 cfs 11,598 cf

Total Runoff Area = 12,001 sf Runoff Volume = 11,598 cf Average Runoff Depth = 11.60"
0.00% Pervious = 0 sf 100.00% Impervious = 12,001 sf

Summary for Subcatchment 1S: EXISTING ROOF

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.59 cfs @ 11.96 hrs, Volume= 1,917 cf, Depth>11.60"

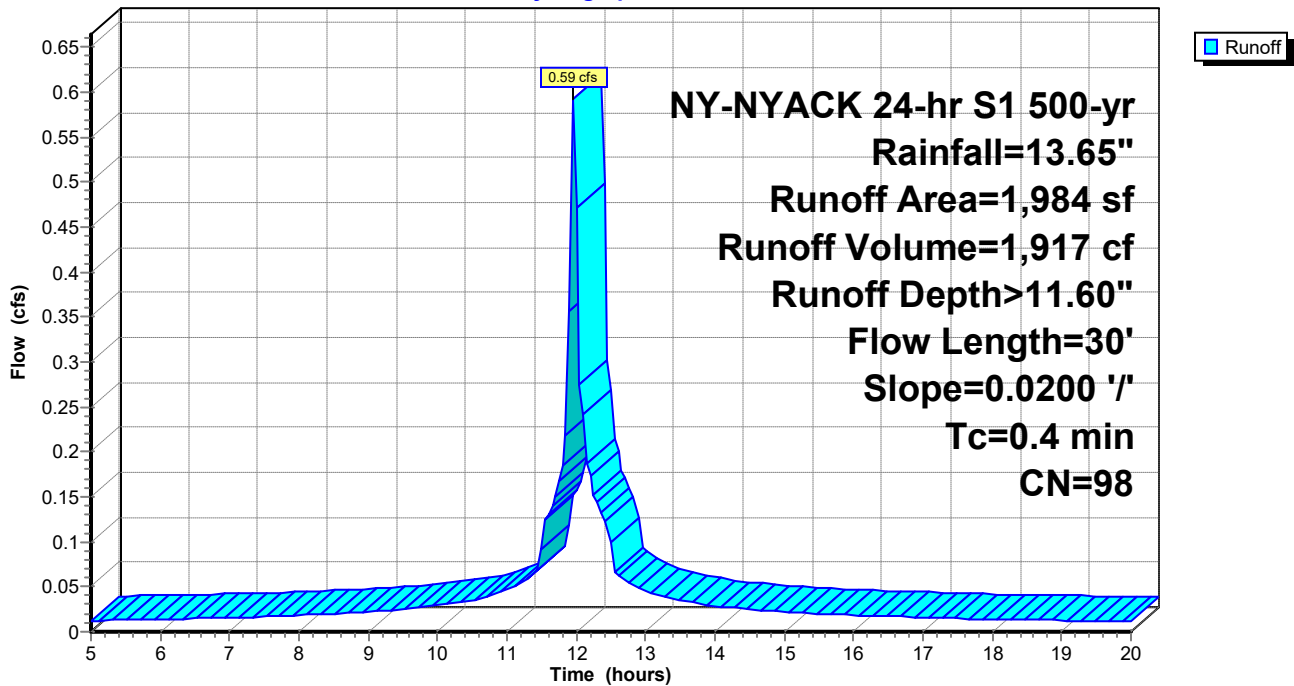
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 500-yr Rainfall=13.65"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 1,984 | 98 | Roofs, HSG A |
| 1,984 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.4 | 30 | 0.0200 | 1.11 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: EXISTING ROOF

Hydrograph



Summary for Subcatchment 2S: EXISTING PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 3.04 cfs @ 11.97 hrs, Volume= 9,680 cf, Depth>11.60"

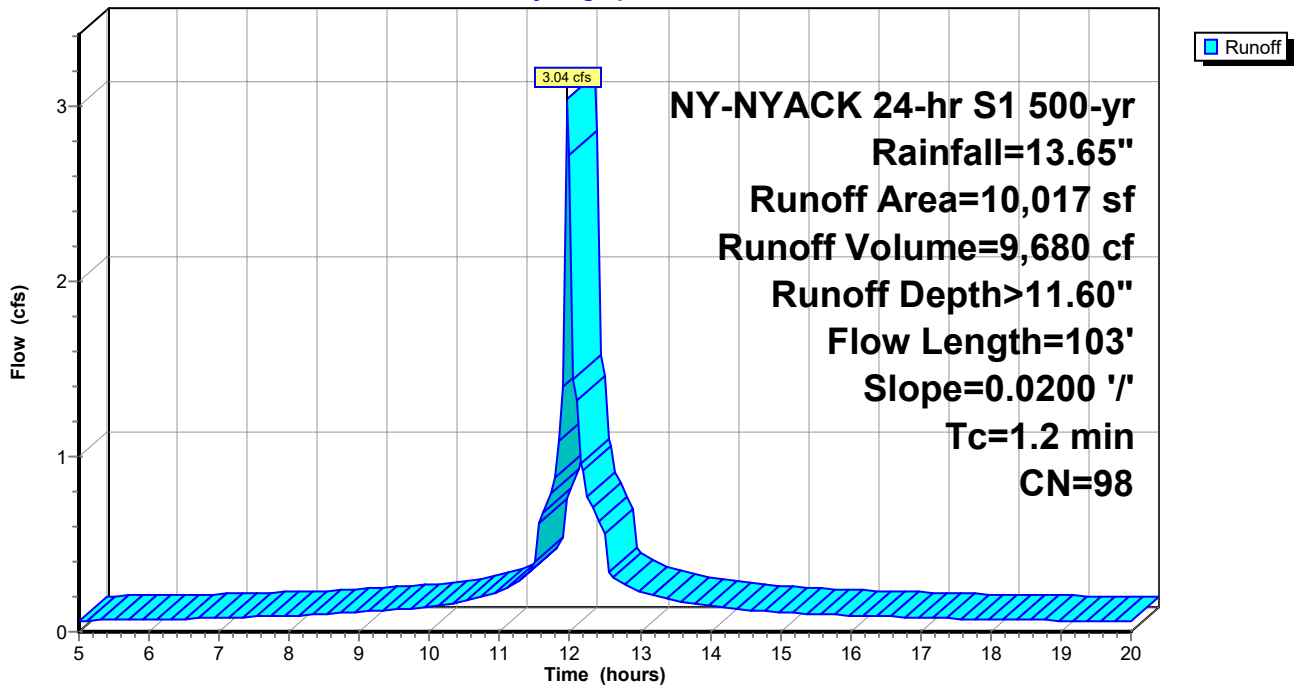
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 500-yr Rainfall=13.65"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 10,017 | 98 | Paved parking, HSG A |
| 10,017 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 1.2 | 103 | 0.0200 | 1.43 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: EXISTING PAVEMENT

Hydrograph



Summary for Reach 3R: OUTFLOW

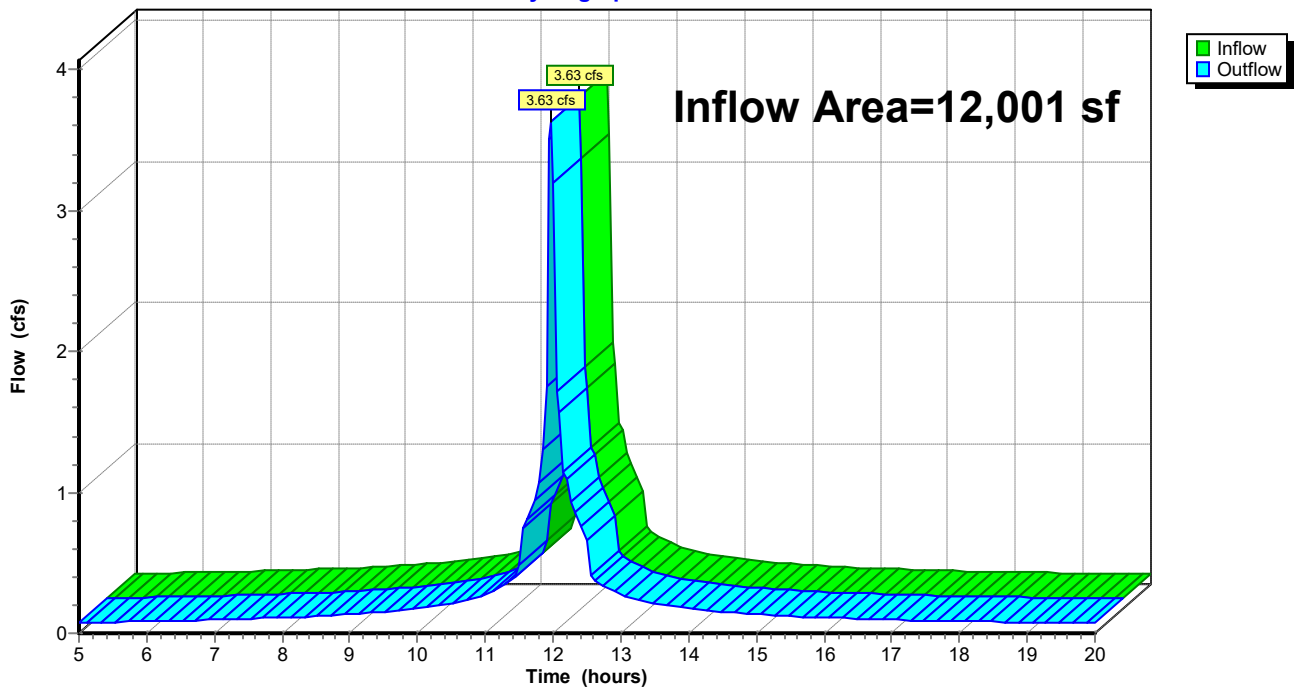
[40] Hint: Not Described (Outflow=Inflow)

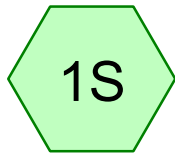
Inflow Area = 12,001 sf, 100.00% Impervious, Inflow Depth > 11.60" for 500-yr event
Inflow = 3.63 cfs @ 11.97 hrs, Volume= 11,598 cf
Outflow = 3.63 cfs @ 11.97 hrs, Volume= 11,598 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph

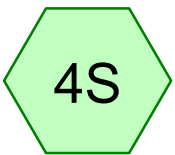




NEW ROOF



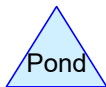
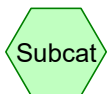
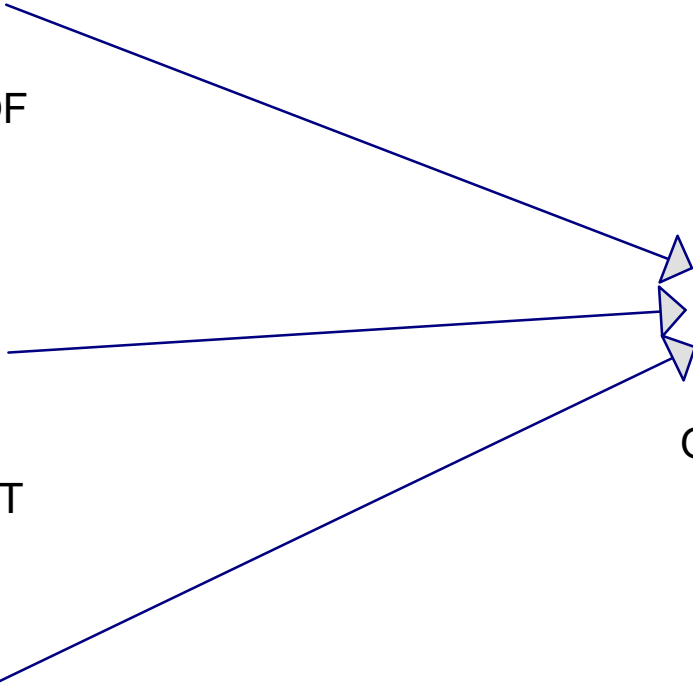
PAVEMENT



GREEN ROOF



OUTFLOW



Routing Diagram for 22-143_80 S BROADWAY_PROPOSED_GREEN ROOF_3 story

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22-143_80 S BROADWAY_PROPOSED_GREEN ROOF_3 story

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Area Listing (all nodes)

| Area (sq-ft) | CN | Description (subcatchment-numbers) |
|-----------------|-----------|---------------------------------------|
| 5,514 | 79 | <50% Grass cover, Poor, HSG B (4S) |
| 672 | 98 | Paved parking, HSG A (2S) |
| 5,815 | 98 | Roofs, HSG A (1S) |
| 12,001 | 89 | TOTAL AREA |

22-143_80 S BROADWAY_PROPOSED_GREEN ROOF_3 story

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Soil Listing (all nodes)

| Area (sq-ft) | Soil Group | Subcatchment Numbers |
|-----------------|---------------|-------------------------|
| 6,487 | HSG A | 1S, 2S |
| 5,514 | HSG B | 4S |
| 0 | HSG C | |
| 0 | HSG D | |
| 0 | Other | |
| 12,001 | | TOTAL AREA |

22-143_80 S BROADWAY_PROPOSED_GREEN ROOF_3 story

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Ground Covers (all nodes)

| HSG-A (sq-ft) | HSG-B (sq-ft) | HSG-C (sq-ft) | HSG-D (sq-ft) | Other (sq-ft) | Total (sq-ft) | Ground Cover |
|------------------|------------------|------------------|------------------|------------------|------------------|---------------------------|
| 0 | 5,514 | 0 | 0 | 0 | 5,514 | <50% Grass cover, Poor |
| 672 | 0 | 0 | 0 | 0 | 672 | Paved parking |
| 5,815 | 0 | 0 | 0 | 0 | 5,815 | Roofs |
| 6,487 | 5,514 | 0 | 0 | 0 | 12,001 | TOTAL AREA |

Sub
Num

Time span=0.00-20.00 hrs, dt=0.05 hrs, 401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: NEW ROOF Runoff Area=5,815 sf 100.00% Impervious Runoff Depth>2.39"
Flow Length=40' Slope=0.0200 '/' Tc=0.6 min CN=98 Runoff=0.48 cfs 1,160 cf

Subcatchment 2S: PAVEMENT Runoff Area=672 sf 100.00% Impervious Runoff Depth>2.39"
Flow Length=15' Slope=0.0200 '/' Tc=0.3 min CN=98 Runoff=0.06 cfs 134 cf

Subcatchment 4S: GREEN ROOF Runoff Area=5,514 sf 0.00% Impervious Runoff Depth>0.91"
Flow Length=100' Slope=0.0020 '/' Tc=23.9 min CN=79 Runoff=0.09 cfs 418 cf

Reach 3R: OUTFLOW Inflow=0.56 cfs 1,713 cf
Outflow=0.56 cfs 1,713 cf

Total Runoff Area = 12,001 sf Runoff Volume = 1,713 cf Average Runoff Depth = 1.71"
45.95% Pervious = 5,514 sf 54.05% Impervious = 6,487 sf

Summary for Subcatchment 1S: NEW ROOF

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.48 cfs @ 11.96 hrs, Volume= 1,160 cf, Depth> 2.39"

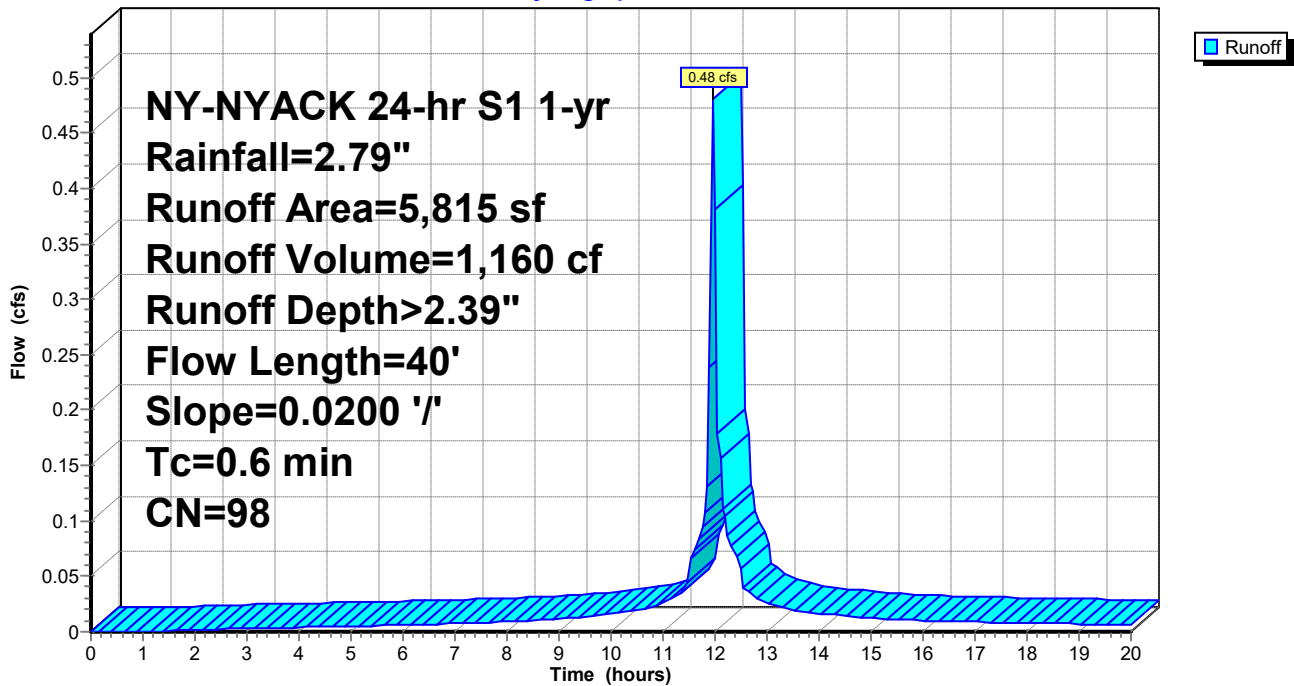
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 1-yr Rainfall=2.79"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 5,815 | 98 | Roofs, HSG A |
| 5,815 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.6 | 40 | 0.0200 | 1.18 | | Sheet Flow, ROOF Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: NEW ROOF

Hydrograph



Summary for Subcatchment 2S: PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.06 cfs @ 11.96 hrs, Volume= 134 cf, Depth> 2.39"

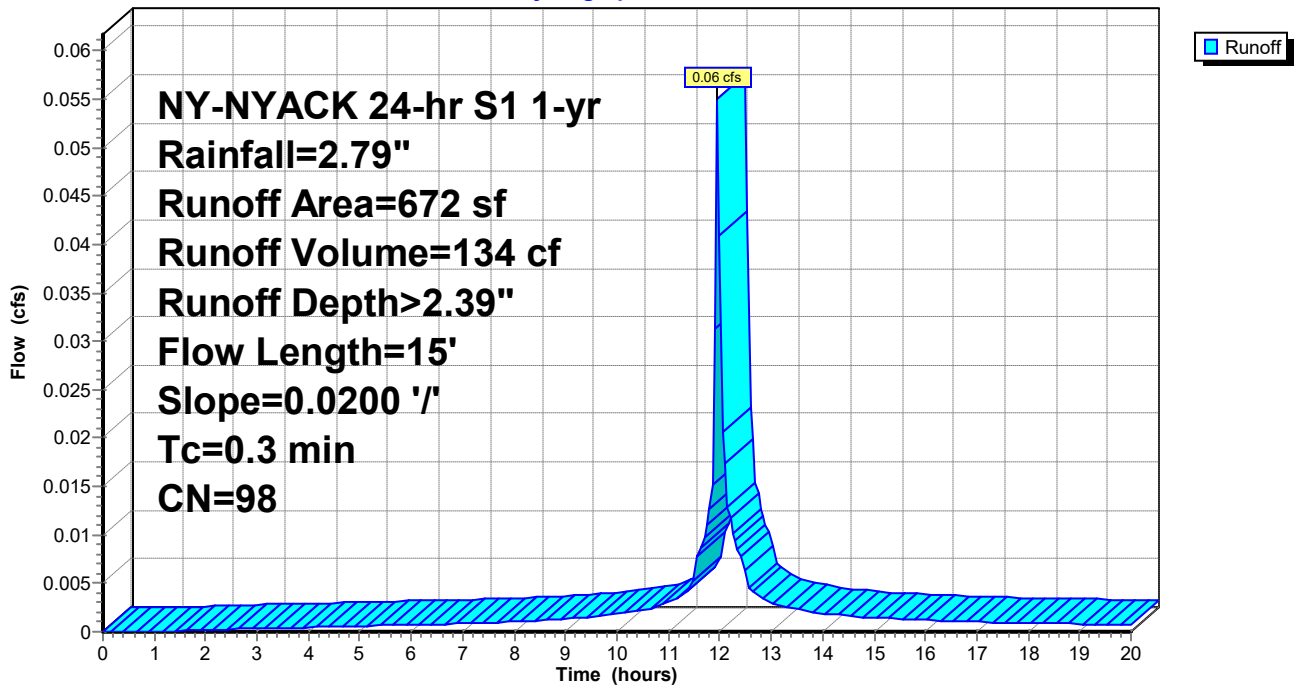
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 1-yr Rainfall=2.79"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 672 | 98 | Paved parking, HSG A |
| 672 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.3 | 15 | 0.0200 | 0.97 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: PAVEMENT

Hydrograph



Summary for Subcatchment 4S: GREEN ROOF

Runoff = 0.09 cfs @ 12.30 hrs, Volume= 418 cf, Depth> 0.91"

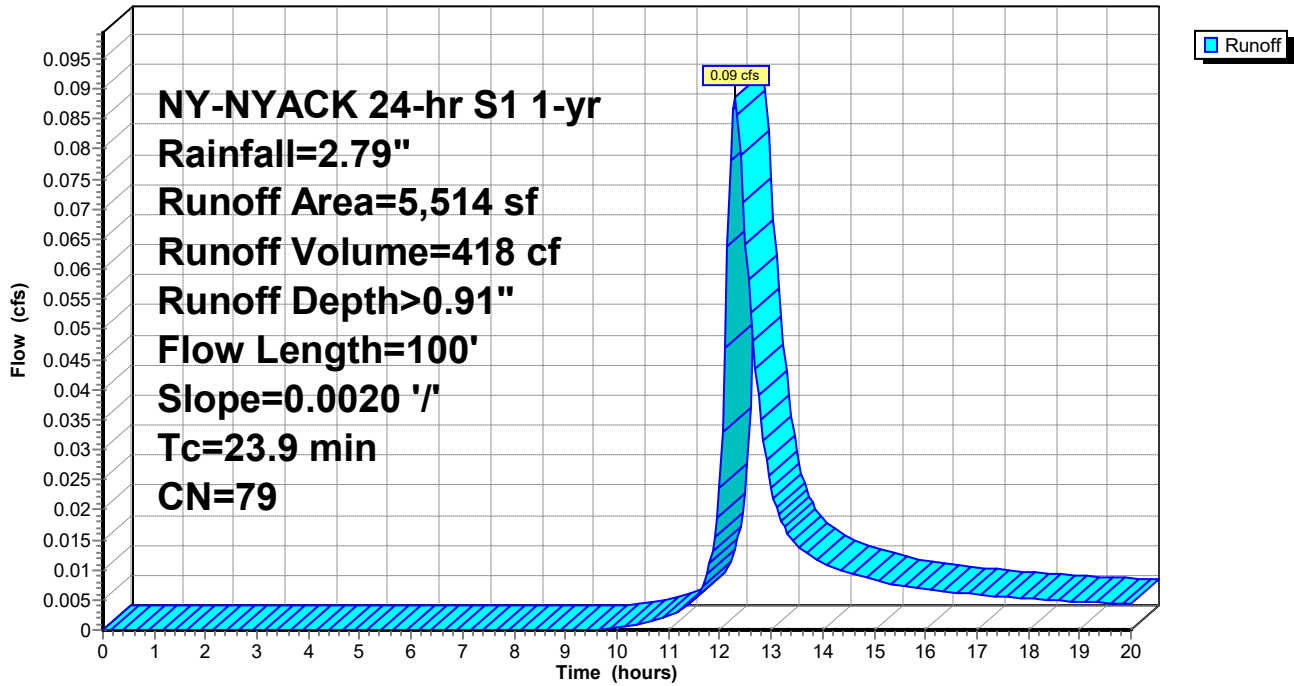
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 1-yr Rainfall=2.79"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 5,514 | 79 | <50% Grass cover, Poor, HSG B |
| 5,514 | | 100.00% Pervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 23.9 | 100 | 0.0020 | 0.07 | | Sheet Flow, GREEN ROOF Grass: Short n= 0.150 P2= 3.40" |

Subcatchment 4S: GREEN ROOF

Hydrograph



Summary for Reach 3R: OUTFLOW

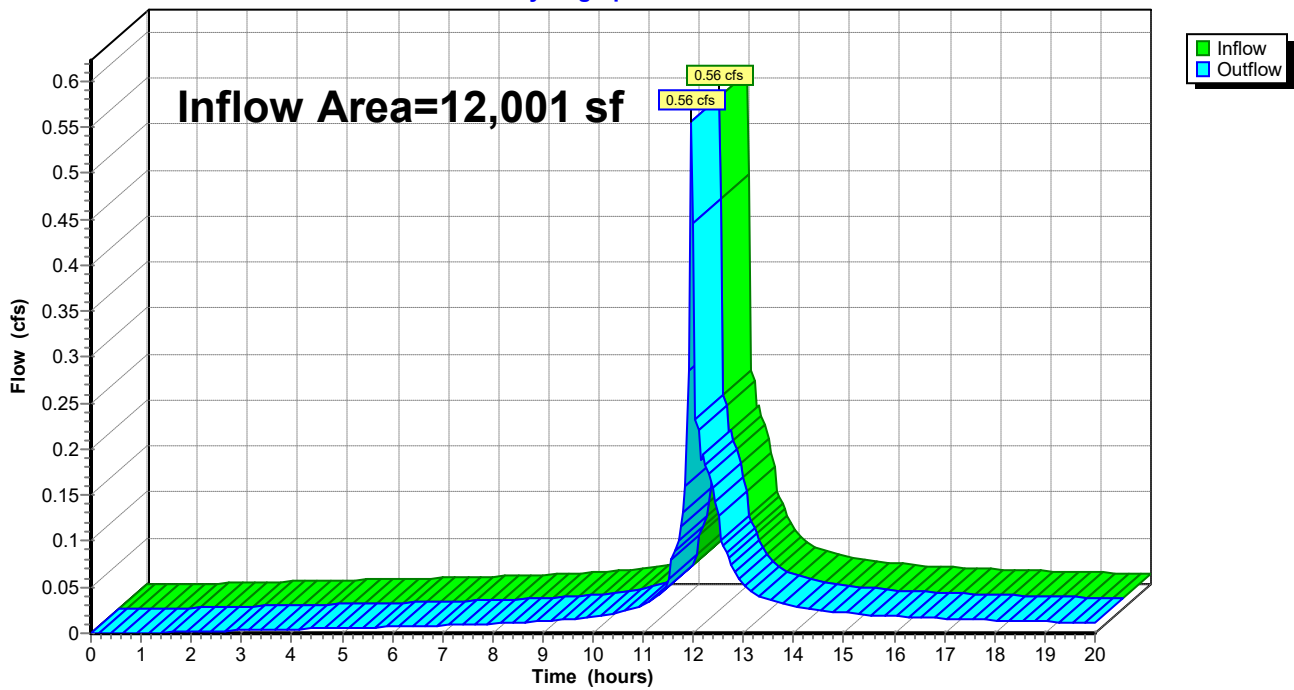
[40] Hint: Not Described (Outflow=Inflow)

| | |
|---------------|---|
| Inflow Area = | 12,001 sf, 54.05% Impervious, Inflow Depth > 1.71" for 1-yr event |
| Inflow = | 0.56 cfs @ 11.96 hrs, Volume= 1,713 cf |
| Outflow = | 0.56 cfs @ 11.96 hrs, Volume= 1,713 cf, Atten= 0%, Lag= 0.0 min |

Routing by Stor-Ind+Trans method, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph



Time span=0.00-20.00 hrs, dt=0.05 hrs, 401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: NEW ROOF Runoff Area=5,815 sf 100.00% Impervious Runoff Depth>4.54"
Flow Length=40' Slope=0.0200 '/' Tc=0.6 min CN=98 Runoff=0.79 cfs 2,198 cf

Subcatchment 2S: PAVEMENT Runoff Area=672 sf 100.00% Impervious Runoff Depth>4.54"
Flow Length=15' Slope=0.0200 '/' Tc=0.3 min CN=98 Runoff=0.09 cfs 254 cf

Subcatchment 4S: GREEN ROOF Runoff Area=5,514 sf 0.00% Impervious Runoff Depth>2.58"
Flow Length=100' Slope=0.0020 '/' Tc=23.9 min CN=79 Runoff=0.24 cfs 1,185 cf

Reach 3R: OUTFLOW Inflow=0.95 cfs 3,636 cf
Outflow=0.95 cfs 3,636 cf

Total Runoff Area = 12,001 sf Runoff Volume = 3,636 cf Average Runoff Depth = 3.64"
45.95% Pervious = 5,514 sf 54.05% Impervious = 6,487 sf

Summary for Subcatchment 1S: NEW ROOF

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.79 cfs @ 11.96 hrs, Volume= 2,198 cf, Depth> 4.54"

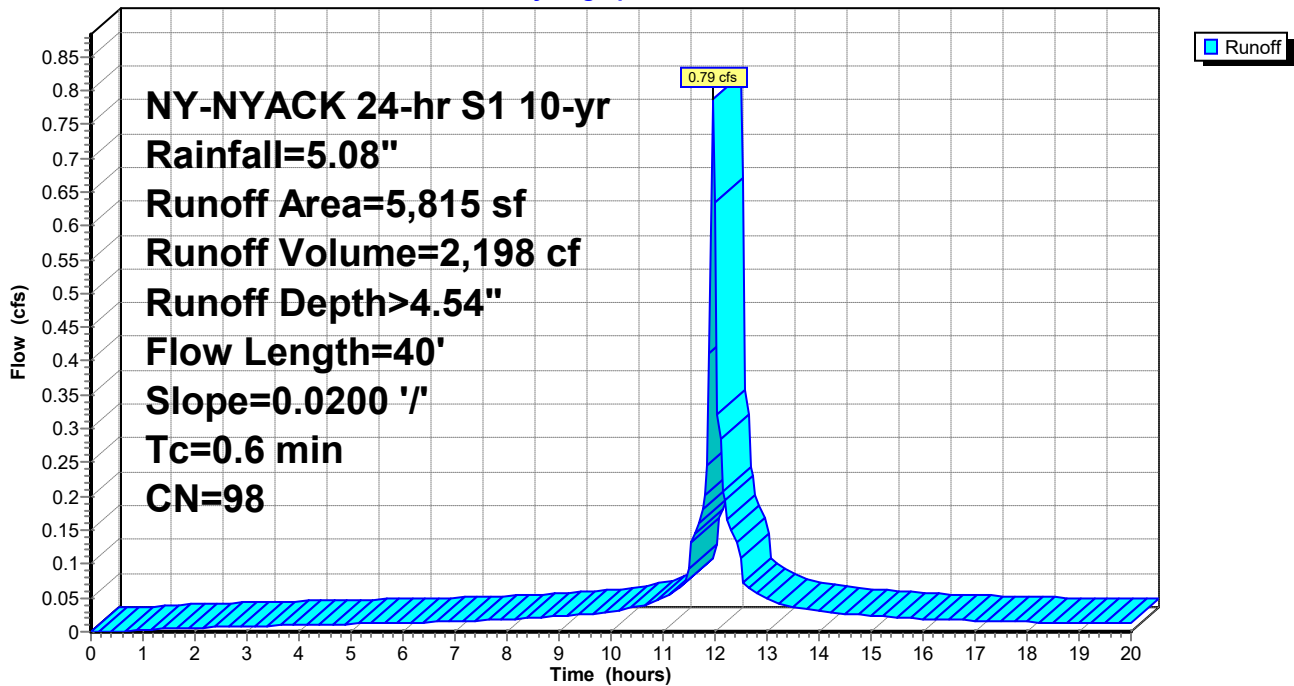
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 10-yr Rainfall=5.08"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 5,815 | 98 | Roofs, HSG A |
| 5,815 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.6 | 40 | 0.0200 | 1.18 | | Sheet Flow, ROOF Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: NEW ROOF

Hydrograph



Summary for Subcatchment 2S: PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.09 cfs @ 11.96 hrs, Volume= 254 cf, Depth> 4.54"

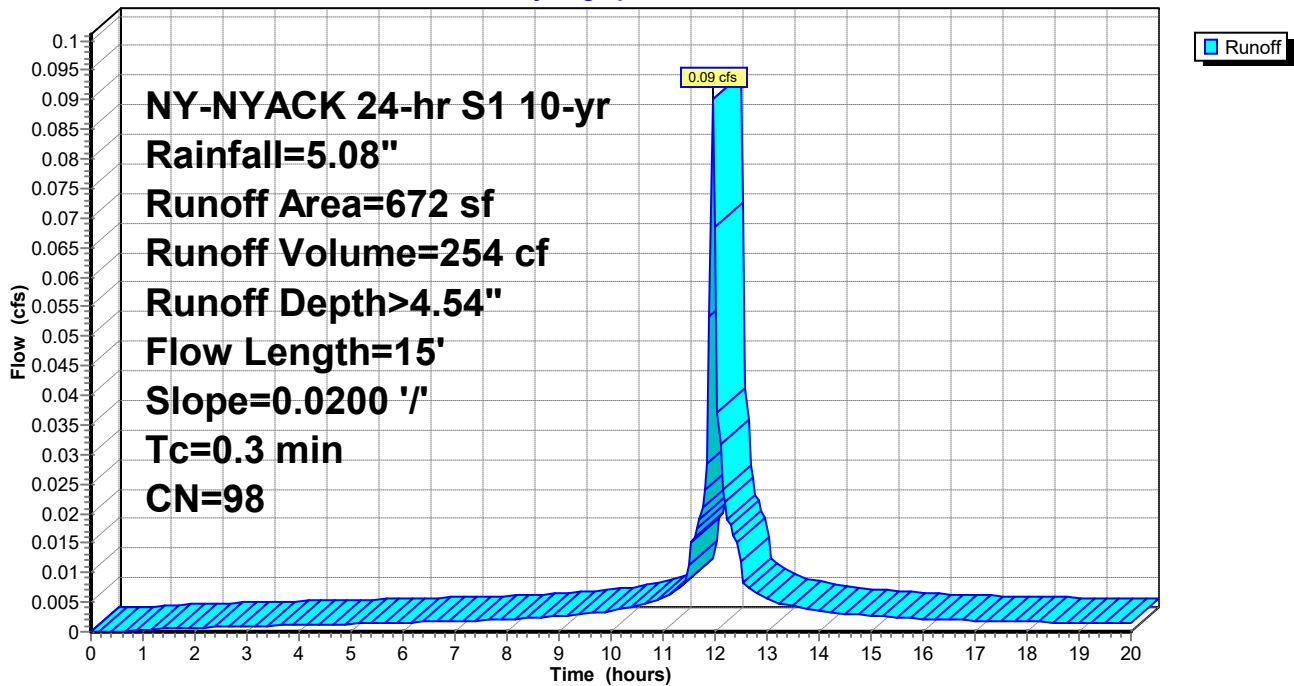
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 10-yr Rainfall=5.08"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 672 | 98 | Paved parking, HSG A |
| 672 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 0.3 | 15 | 0.0200 | 0.97 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: PAVEMENT

Hydrograph



Summary for Subcatchment 4S: GREEN ROOF

Runoff = 0.24 cfs @ 12.28 hrs, Volume= 1,185 cf, Depth> 2.58"

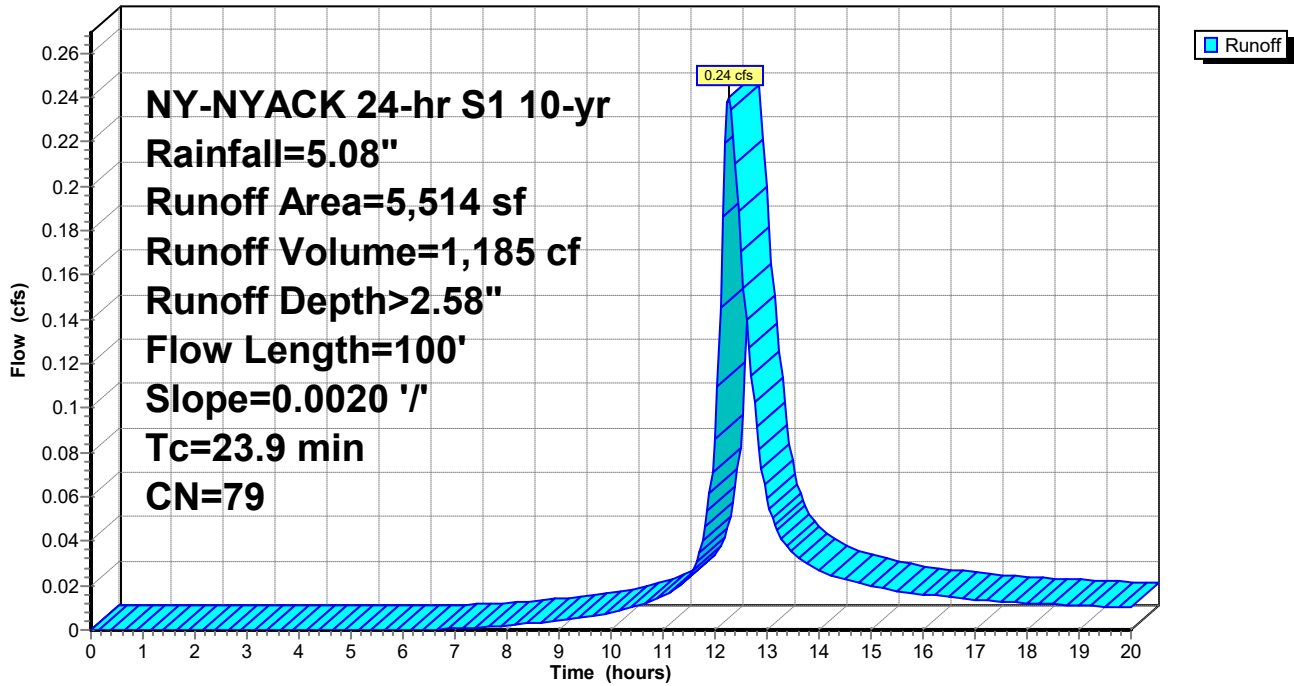
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 10-yr Rainfall=5.08"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 5,514 | 79 | <50% Grass cover, Poor, HSG B |
| 5,514 | | 100.00% Pervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 23.9 | 100 | 0.0020 | 0.07 | | Sheet Flow, GREEN ROOF Grass: Short n= 0.150 P2= 3.40" |

Subcatchment 4S: GREEN ROOF

Hydrograph



Summary for Reach 3R: OUTFLOW

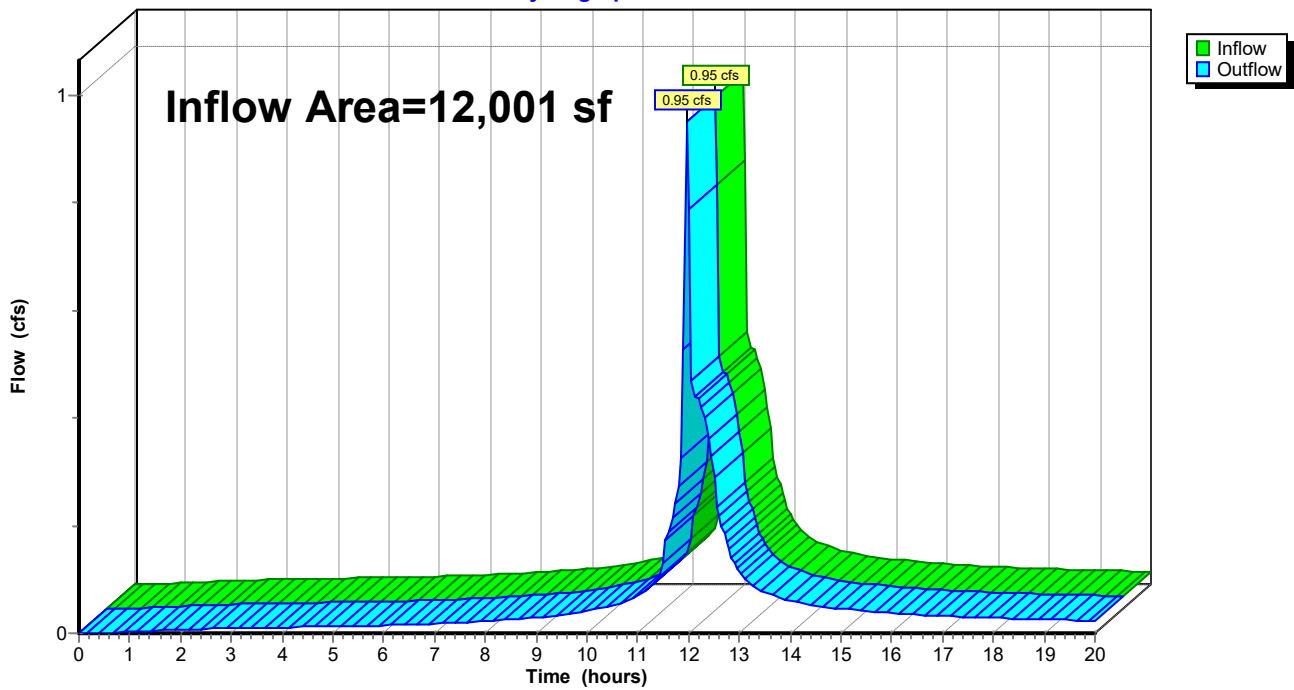
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 12,001 sf, 54.05% Impervious, Inflow Depth > 3.64" for 10-yr event
Inflow = 0.95 cfs @ 11.96 hrs, Volume= 3,636 cf
Outflow = 0.95 cfs @ 11.96 hrs, Volume= 3,636 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph



Time span=0.00-20.00 hrs, dt=0.05 hrs, 401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: NEW ROOF Runoff Area=5,815 sf 100.00% Impervious Runoff Depth>5.77"
Flow Length=40' Slope=0.0200 '/' Tc=0.6 min CN=98 Runoff=0.96 cfs 2,795 cf

Subcatchment 2S: PAVEMENT Runoff Area=672 sf 100.00% Impervious Runoff Depth>5.77"
Flow Length=15' Slope=0.0200 '/' Tc=0.3 min CN=98 Runoff=0.11 cfs 323 cf

Subcatchment 4S: GREEN ROOF Runoff Area=5,514 sf 0.00% Impervious Runoff Depth>3.65"
Flow Length=100' Slope=0.0020 '/' Tc=23.9 min CN=79 Runoff=0.33 cfs 1,676 cf

Reach 3R: OUTFLOW Inflow=1.17 cfs 4,794 cf
Outflow=1.17 cfs 4,794 cf

Total Runoff Area = 12,001 sf Runoff Volume = 4,794 cf Average Runoff Depth = 4.79"
45.95% Pervious = 5,514 sf 54.05% Impervious = 6,487 sf

Summary for Subcatchment 1S: NEW ROOF

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.96 cfs @ 11.96 hrs, Volume= 2,795 cf, Depth> 5.77"

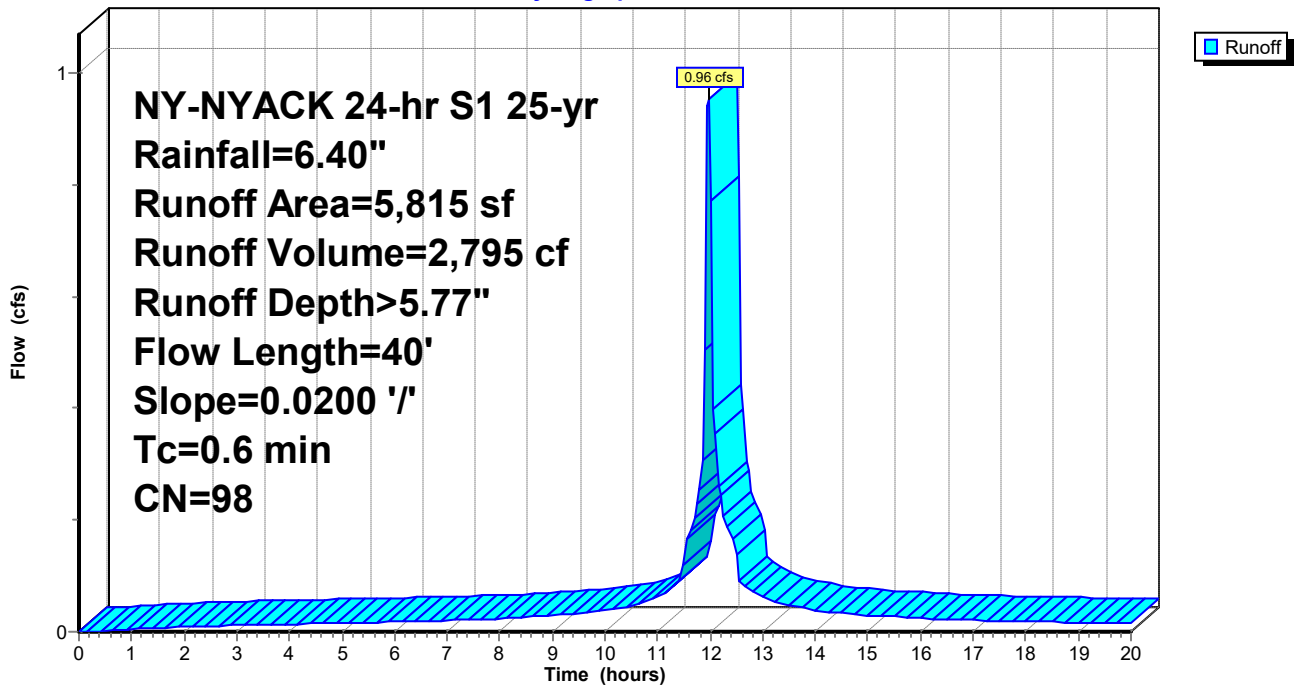
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 25-yr Rainfall=6.40"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 5,815 | 98 | Roofs, HSG A |
| 5,815 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.6 | 40 | 0.0200 | 1.18 | | Sheet Flow, ROOF Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: NEW ROOF

Hydrograph



Summary for Subcatchment 2S: PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.11 cfs @ 11.96 hrs, Volume= 323 cf, Depth> 5.77"

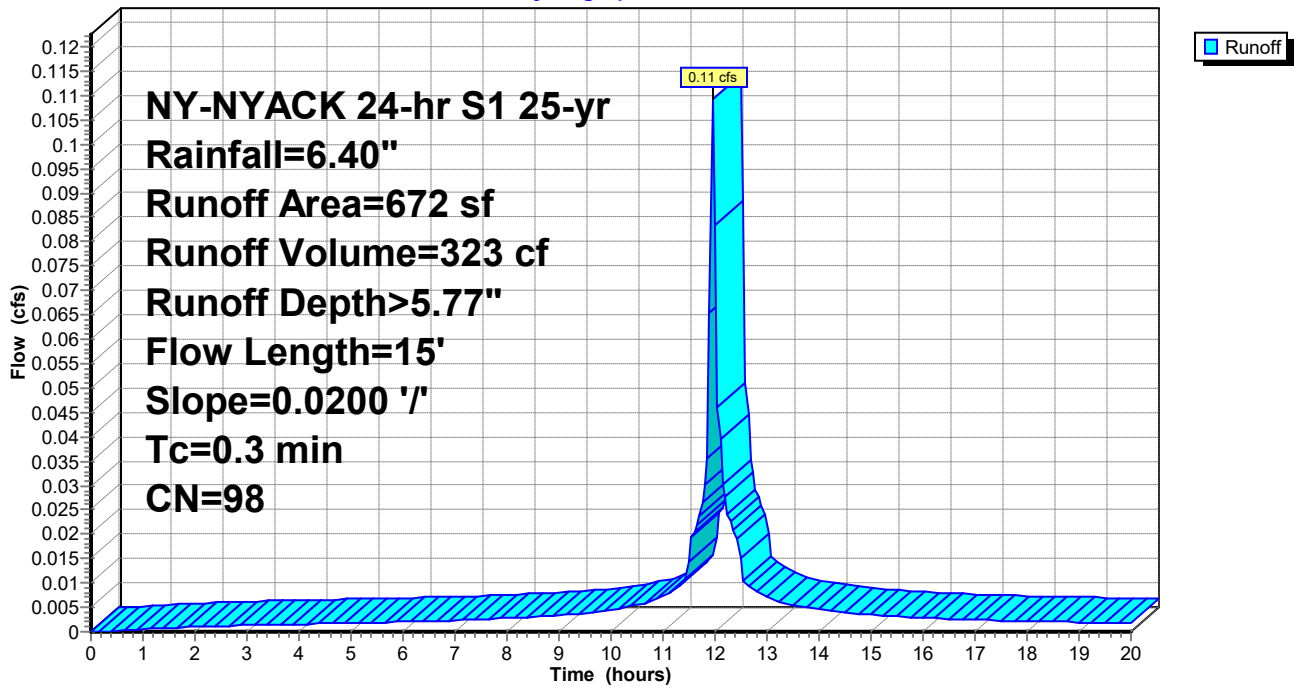
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 25-yr Rainfall=6.40"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 672 | 98 | Paved parking, HSG A |
| 672 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.3 | 15 | 0.0200 | 0.97 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: PAVEMENT

Hydrograph



Summary for Subcatchment 4S: GREEN ROOF

Runoff = 0.33 cfs @ 12.28 hrs, Volume= 1,676 cf, Depth> 3.65"

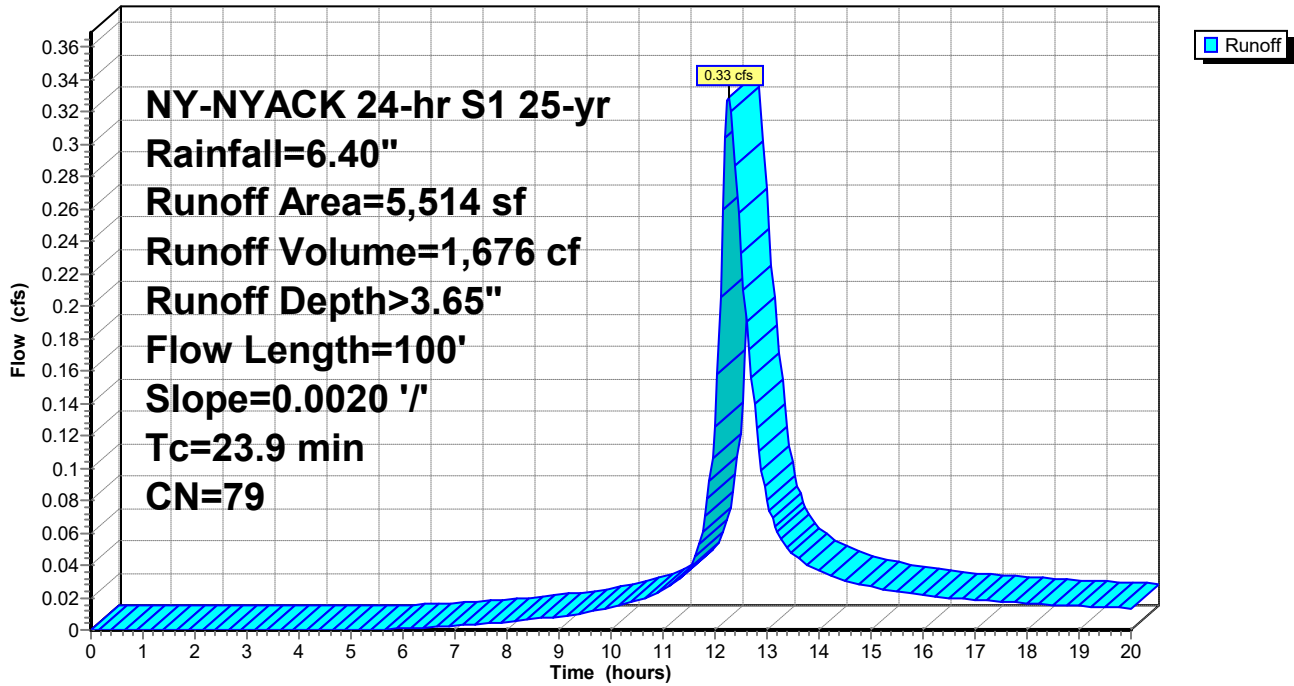
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 25-yr Rainfall=6.40"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 5,514 | 79 | <50% Grass cover, Poor, HSG B |
| 5,514 | | 100.00% Pervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 23.9 | 100 | 0.0020 | 0.07 | | Sheet Flow, GREEN ROOF Grass: Short n= 0.150 P2= 3.40" |

Subcatchment 4S: GREEN ROOF

Hydrograph



Summary for Reach 3R: OUTFLOW

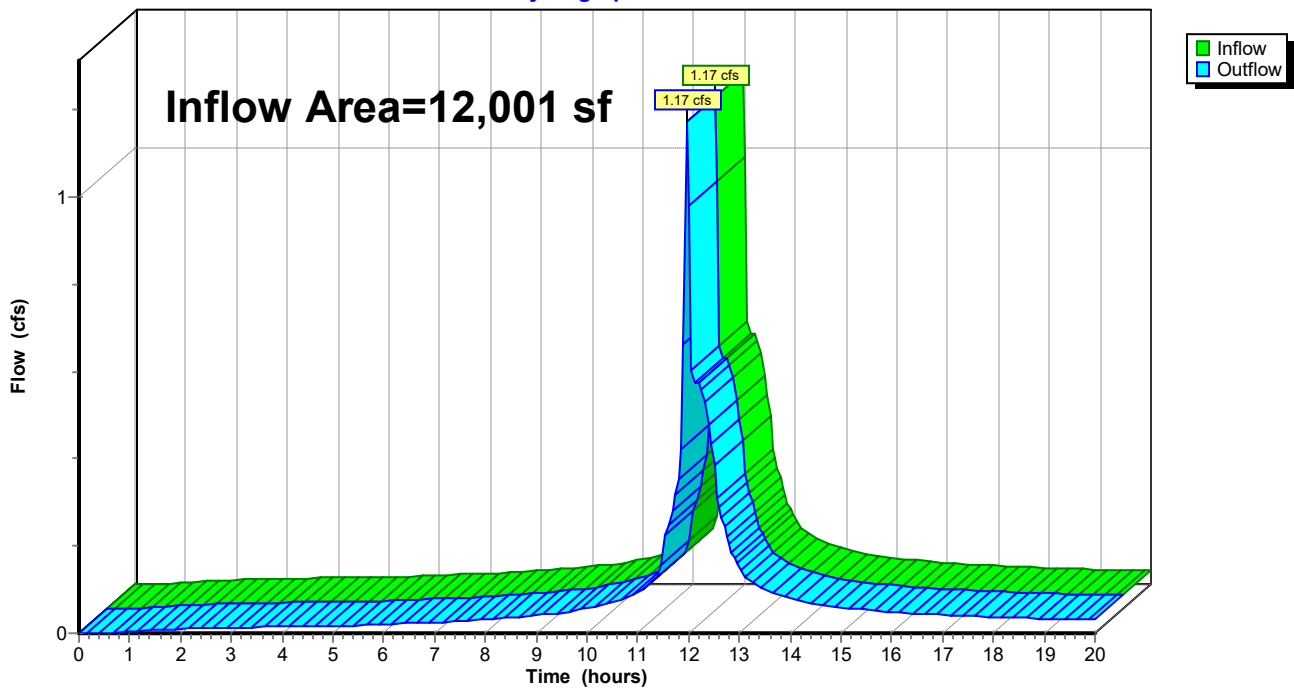
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 12,001 sf, 54.05% Impervious, Inflow Depth > 4.79" for 25-yr event
Inflow = 1.17 cfs @ 11.96 hrs, Volume= 4,794 cf
Outflow = 1.17 cfs @ 11.96 hrs, Volume= 4,794 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph



Time span=0.00-20.00 hrs, dt=0.05 hrs, 401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: NEW ROOF Runoff Area=5,815 sf 100.00% Impervious Runoff Depth>8.26"
Flow Length=40' Slope=0.0200 '/' Tc=0.6 min CN=98 Runoff=1.26 cfs 4,002 cf

Subcatchment 2S: PAVEMENT Runoff Area=672 sf 100.00% Impervious Runoff Depth>8.26"
Flow Length=15' Slope=0.0200 '/' Tc=0.3 min CN=98 Runoff=0.14 cfs 463 cf

Subcatchment 4S: GREEN ROOF Runoff Area=5,514 sf 0.00% Impervious Runoff Depth>5.92"
Flow Length=100' Slope=0.0020 '/' Tc=23.9 min CN=79 Runoff=0.50 cfs 2,719 cf

Reach 3R: OUTFLOW Inflow=1.59 cfs 7,184 cf
Outflow=1.59 cfs 7,184 cf

Total Runoff Area = 12,001 sf Runoff Volume = 7,184 cf Average Runoff Depth = 7.18"
45.95% Pervious = 5,514 sf 54.05% Impervious = 6,487 sf

Summary for Subcatchment 1S: NEW ROOF

[49] Hint: Tc<2dt may require smaller dt

Runoff = 1.26 cfs @ 11.96 hrs, Volume= 4,002 cf, Depth> 8.26"

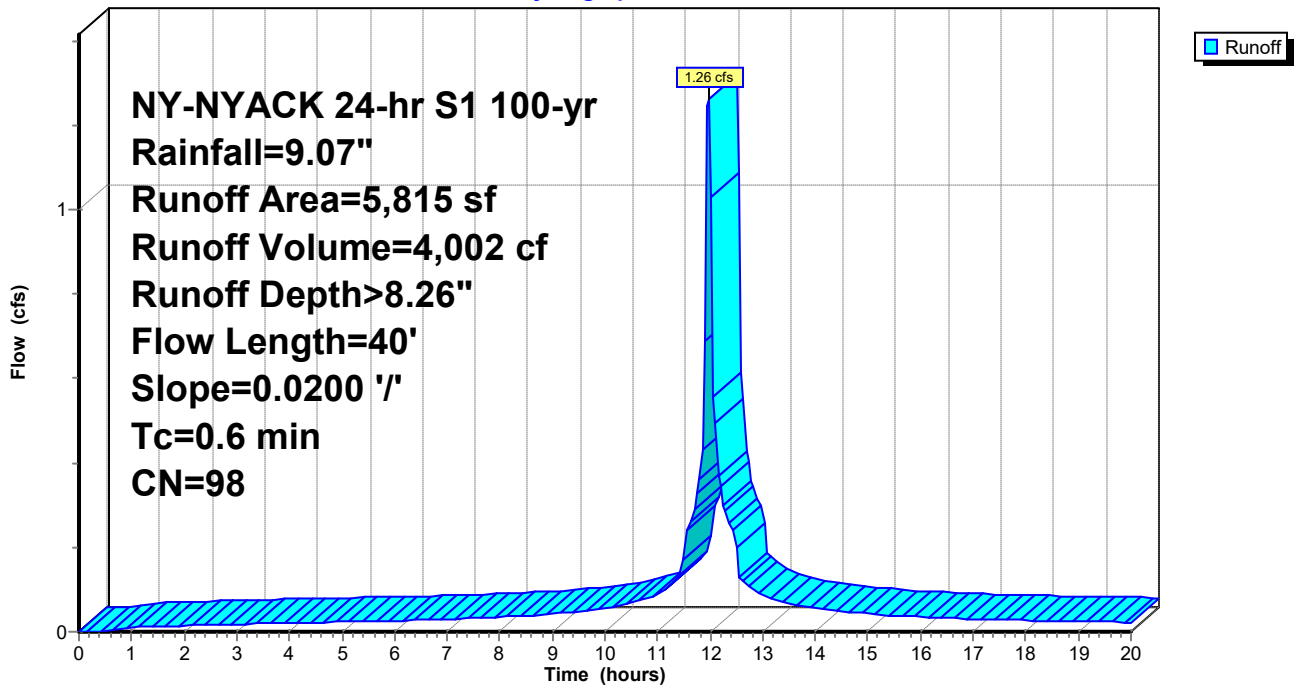
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 100-yr Rainfall=9.07"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 5,815 | 98 | Roofs, HSG A |
| 5,815 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.6 | 40 | 0.0200 | 1.18 | | Sheet Flow, ROOF Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: NEW ROOF

Hydrograph



Summary for Subcatchment 2S: PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.14 cfs @ 11.96 hrs, Volume= 463 cf, Depth> 8.26"

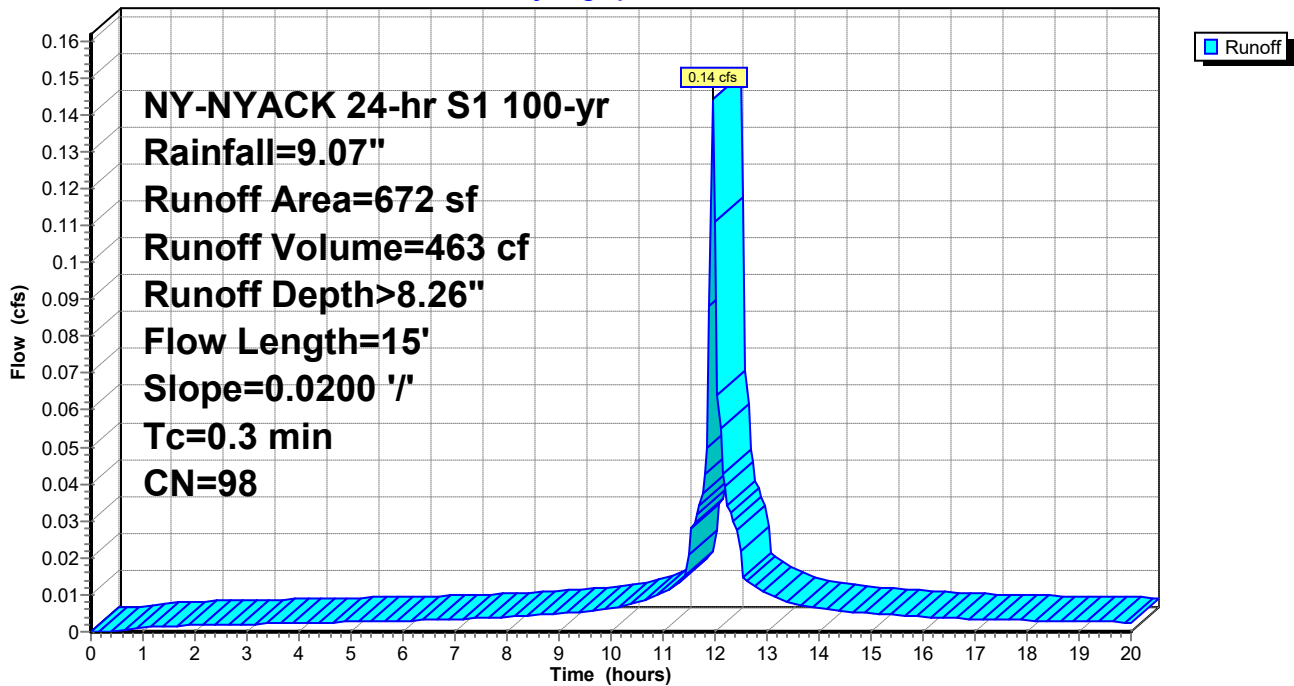
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 100-yr Rainfall=9.07"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 672 | 98 | Paved parking, HSG A |
| 672 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 0.3 | 15 | 0.0200 | 0.97 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: PAVEMENT

Hydrograph



Summary for Subcatchment 4S: GREEN ROOF

Runoff = 0.50 cfs @ 12.28 hrs, Volume= 2,719 cf, Depth> 5.92"

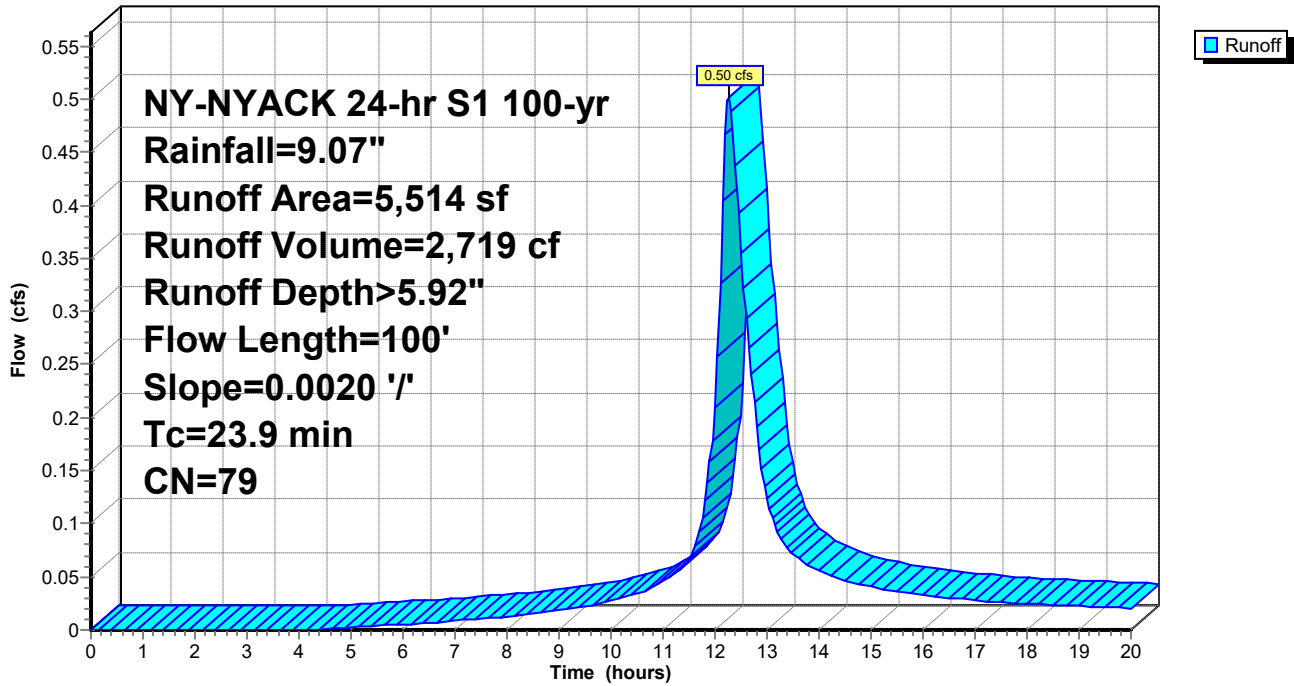
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 100-yr Rainfall=9.07"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 5,514 | 79 | <50% Grass cover, Poor, HSG B |
| 5,514 | | 100.00% Pervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 23.9 | 100 | 0.0020 | 0.07 | | Sheet Flow, GREEN ROOF Grass: Short n= 0.150 P2= 3.40" |

Subcatchment 4S: GREEN ROOF

Hydrograph



Summary for Reach 3R: OUTFLOW

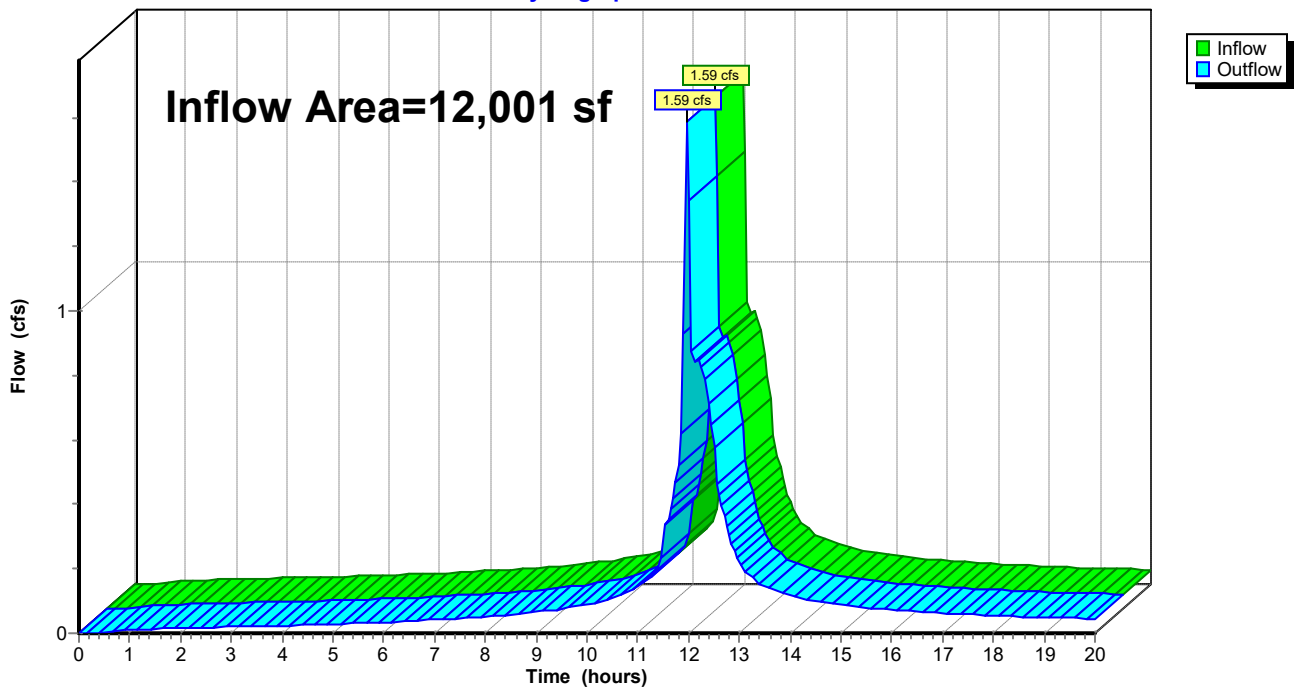
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 12,001 sf, 54.05% Impervious, Inflow Depth > 7.18" for 100-yr event
Inflow = 1.59 cfs @ 11.96 hrs, Volume= 7,184 cf
Outflow = 1.59 cfs @ 11.96 hrs, Volume= 7,184 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph



Time span=0.00-20.00 hrs, dt=0.05 hrs, 401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: NEW ROOF Runoff Area=5,815 sf 100.00% Impervious Runoff Depth>9.88"
Flow Length=40' Slope=0.0200 '/' Tc=0.6 min CN=98 Runoff=1.44 cfs 4,788 cf

Subcatchment 2S: PAVEMENT Runoff Area=672 sf 100.00% Impervious Runoff Depth>9.88"
Flow Length=15' Slope=0.0200 '/' Tc=0.3 min CN=98 Runoff=0.17 cfs 553 cf

Subcatchment 4S: GREEN ROOF Runoff Area=5,514 sf 0.00% Impervious Runoff Depth>7.44"
Flow Length=100' Slope=0.0020 '/' Tc=23.9 min CN=79 Runoff=0.61 cfs 3,418 cf

Reach 3R: OUTFLOW Inflow=1.84 cfs 8,760 cf
Outflow=1.84 cfs 8,760 cf

Total Runoff Area = 12,001 sf Runoff Volume = 8,760 cf Average Runoff Depth = 8.76"
45.95% Pervious = 5,514 sf 54.05% Impervious = 6,487 sf

Summary for Subcatchment 1S: NEW ROOF

[49] Hint: Tc<2dt may require smaller dt

Runoff = 1.44 cfs @ 11.96 hrs, Volume= 4,788 cf, Depth> 9.88"

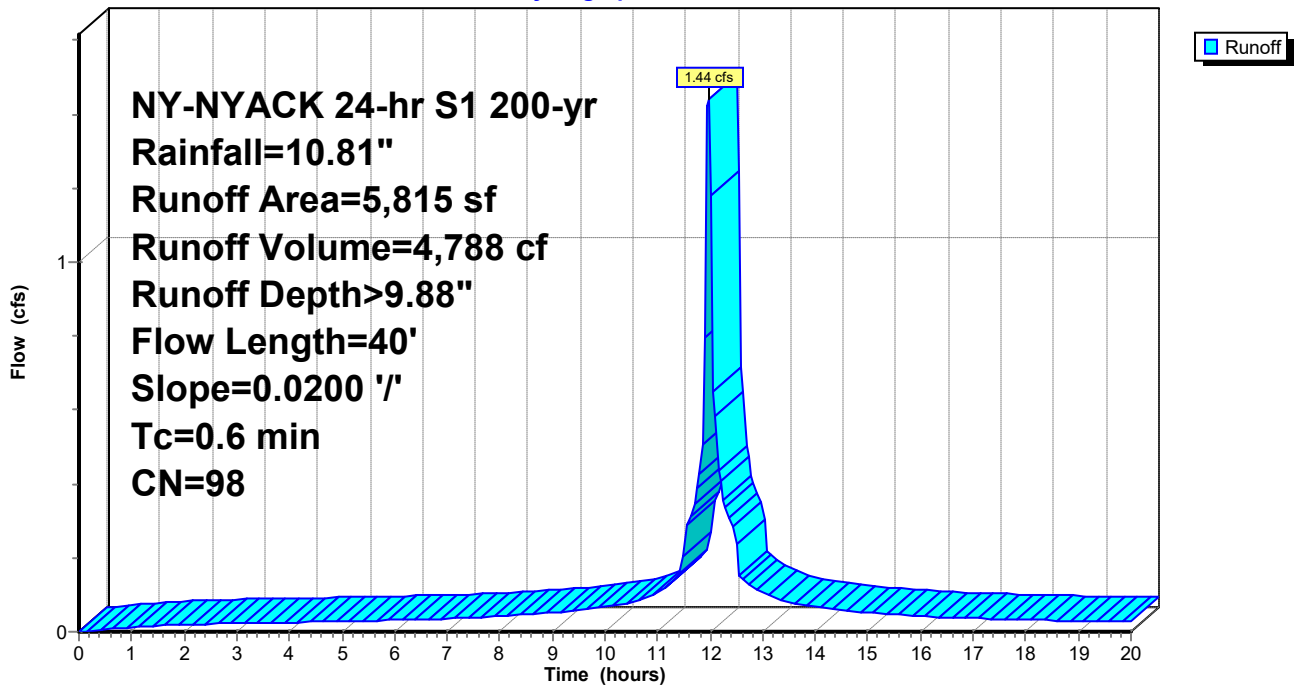
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 200-yr Rainfall=10.81"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 5,815 | 98 | Roofs, HSG A |
| 5,815 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.6 | 40 | 0.0200 | 1.18 | | Sheet Flow, ROOF Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: NEW ROOF

Hydrograph



Summary for Subcatchment 2S: PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.17 cfs @ 11.96 hrs, Volume= 553 cf, Depth> 9.88"

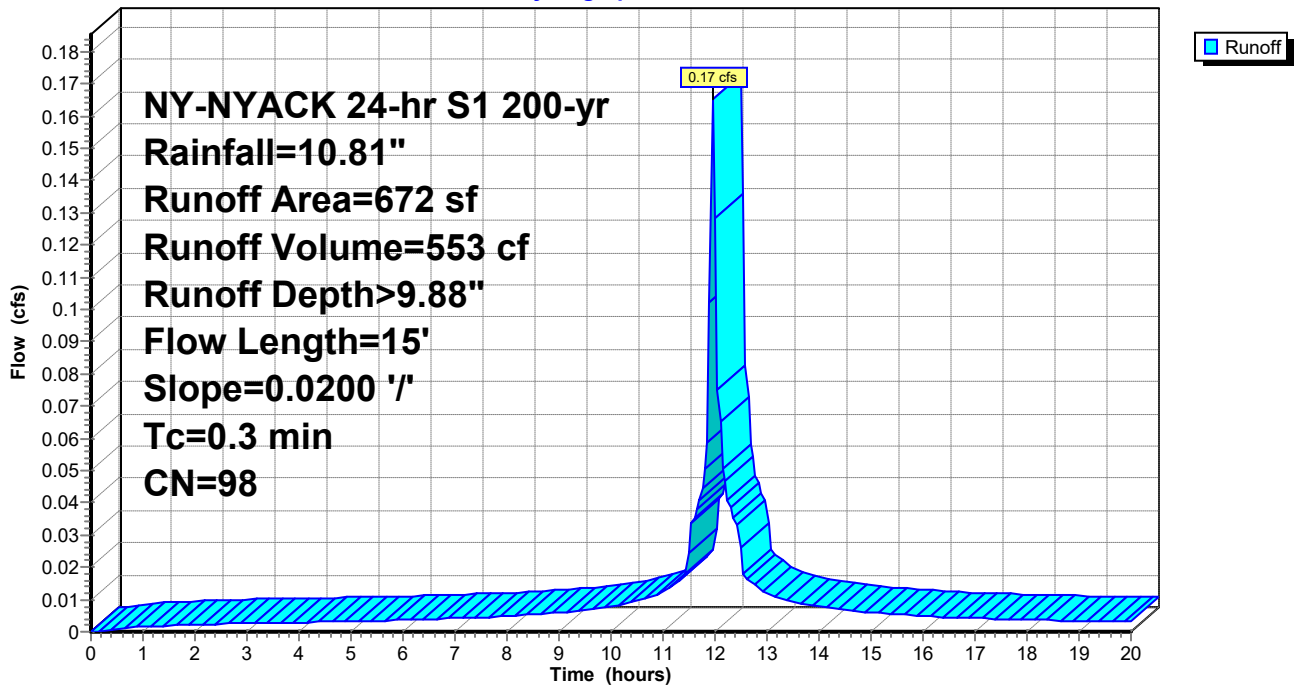
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 200-yr Rainfall=10.81"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 672 | 98 | Paved parking, HSG A |
| 672 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 0.3 | 15 | 0.0200 | 0.97 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: PAVEMENT

Hydrograph



Summary for Subcatchment 4S: GREEN ROOF

Runoff = 0.61 cfs @ 12.28 hrs, Volume= 3,418 cf, Depth> 7.44"

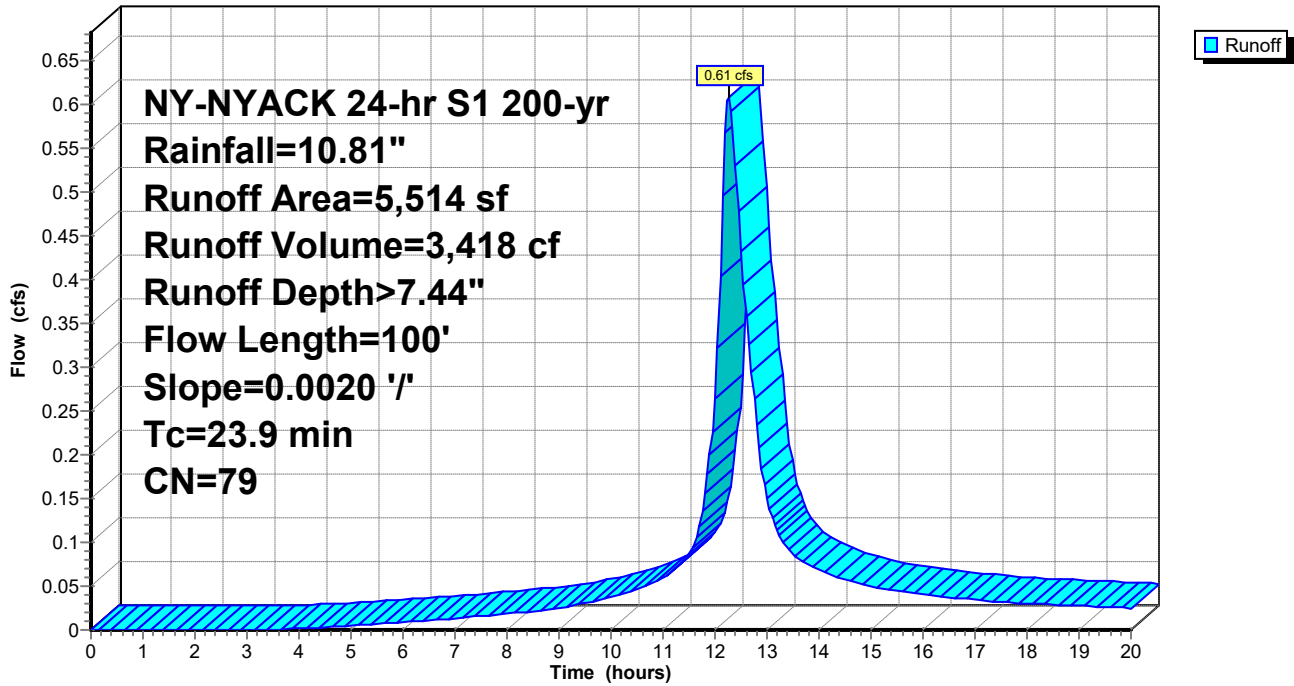
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 200-yr Rainfall=10.81"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 5,514 | 79 | <50% Grass cover, Poor, HSG B |
| 5,514 | | 100.00% Pervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 23.9 | 100 | 0.0020 | 0.07 | | Sheet Flow, GREEN ROOF Grass: Short n= 0.150 P2= 3.40" |

Subcatchment 4S: GREEN ROOF

Hydrograph



Summary for Reach 3R: OUTFLOW

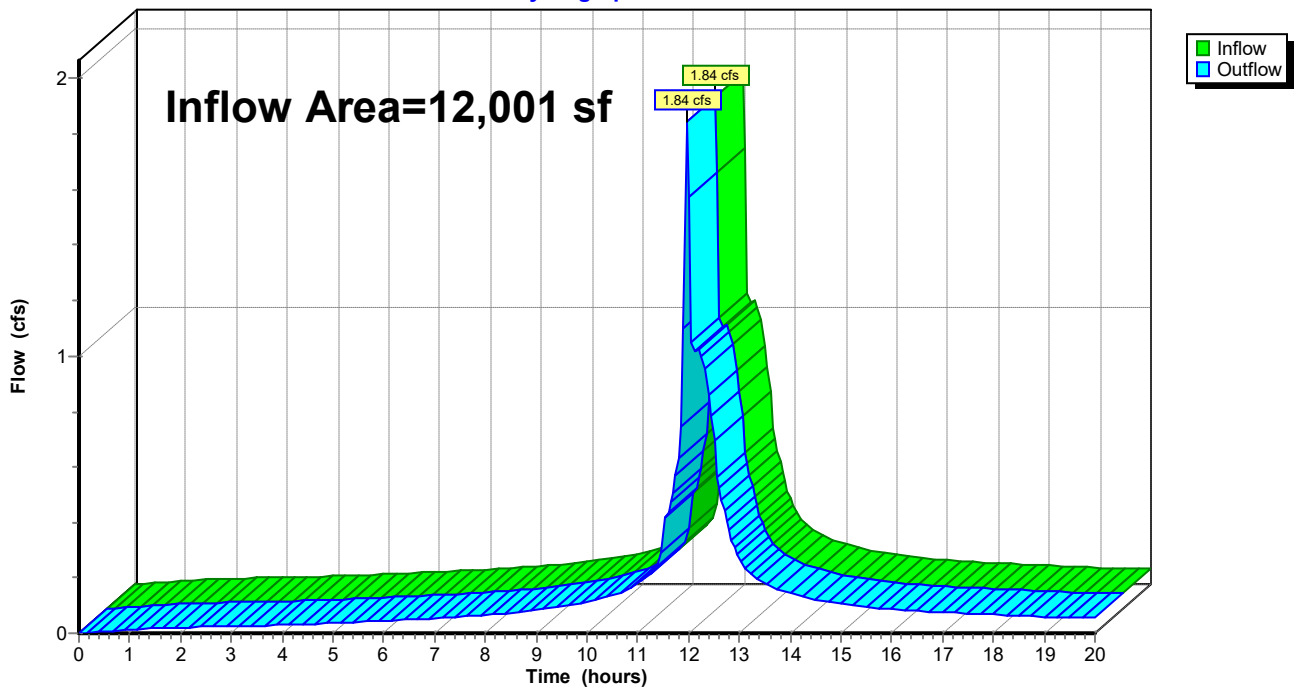
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 12,001 sf, 54.05% Impervious, Inflow Depth > 8.76" for 200-yr event
Inflow = 1.84 cfs @ 11.96 hrs, Volume= 8,760 cf
Outflow = 1.84 cfs @ 11.96 hrs, Volume= 8,760 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph



Time span=0.00-20.00 hrs, dt=0.05 hrs, 401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: NEW ROOF Runoff Area=5,815 sf 100.00% Impervious Runoff Depth>12.53"
Flow Length=40' Slope=0.0200 '/' Tc=0.6 min CN=98 Runoff=1.75 cfs 6,071 cf

Subcatchment 2S: PAVEMENT Runoff Area=672 sf 100.00% Impervious Runoff Depth>12.53"
Flow Length=15' Slope=0.0200 '/' Tc=0.3 min CN=98 Runoff=0.20 cfs 702 cf

Subcatchment 4S: GREEN ROOF Runoff Area=5,514 sf 0.00% Impervious Runoff Depth>9.96"
Flow Length=100' Slope=0.0020 '/' Tc=23.9 min CN=79 Runoff=0.78 cfs 4,578 cf

Reach 3R: OUTFLOW Inflow=2.27 cfs 11,351 cf
Outflow=2.27 cfs 11,351 cf

Total Runoff Area = 12,001 sf Runoff Volume = 11,351 cf Average Runoff Depth = 11.35"
45.95% Pervious = 5,514 sf 54.05% Impervious = 6,487 sf

Summary for Subcatchment 1S: NEW ROOF

[49] Hint: Tc<2dt may require smaller dt

Runoff = 1.75 cfs @ 11.96 hrs, Volume= 6,071 cf, Depth>12.53"

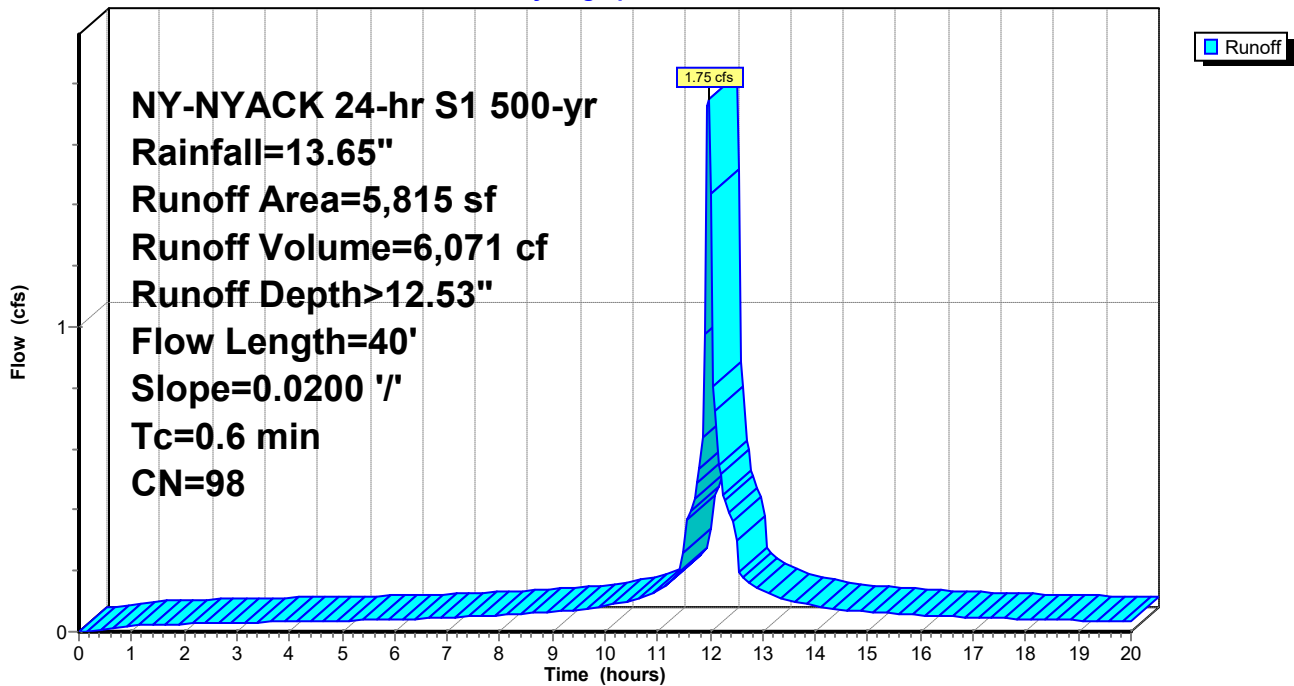
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 500-yr Rainfall=13.65"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 5,815 | 98 | Roofs, HSG A |
| 5,815 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---|
| 0.6 | 40 | 0.0200 | 1.18 | | Sheet Flow, ROOF Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 1S: NEW ROOF

Hydrograph



Summary for Subcatchment 2S: PAVEMENT

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.20 cfs @ 11.96 hrs, Volume= 702 cf, Depth>12.53"

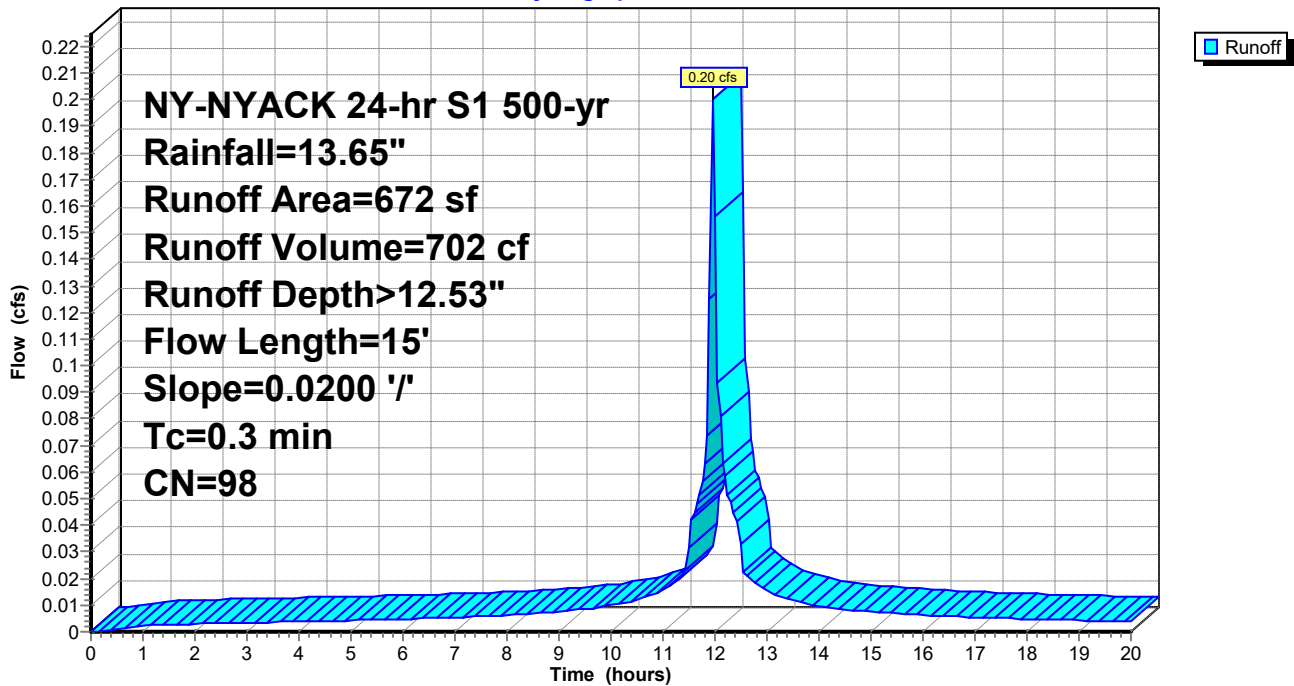
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 500-yr Rainfall=13.65"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 672 | 98 | Paved parking, HSG A |
| 672 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 0.3 | 15 | 0.0200 | 0.97 | | Sheet Flow, Smooth surfaces n= 0.011 P2= 3.40" |

Subcatchment 2S: PAVEMENT

Hydrograph



Summary for Subcatchment 4S: GREEN ROOF

Runoff = 0.78 cfs @ 12.27 hrs, Volume= 4,578 cf, Depth> 9.96"

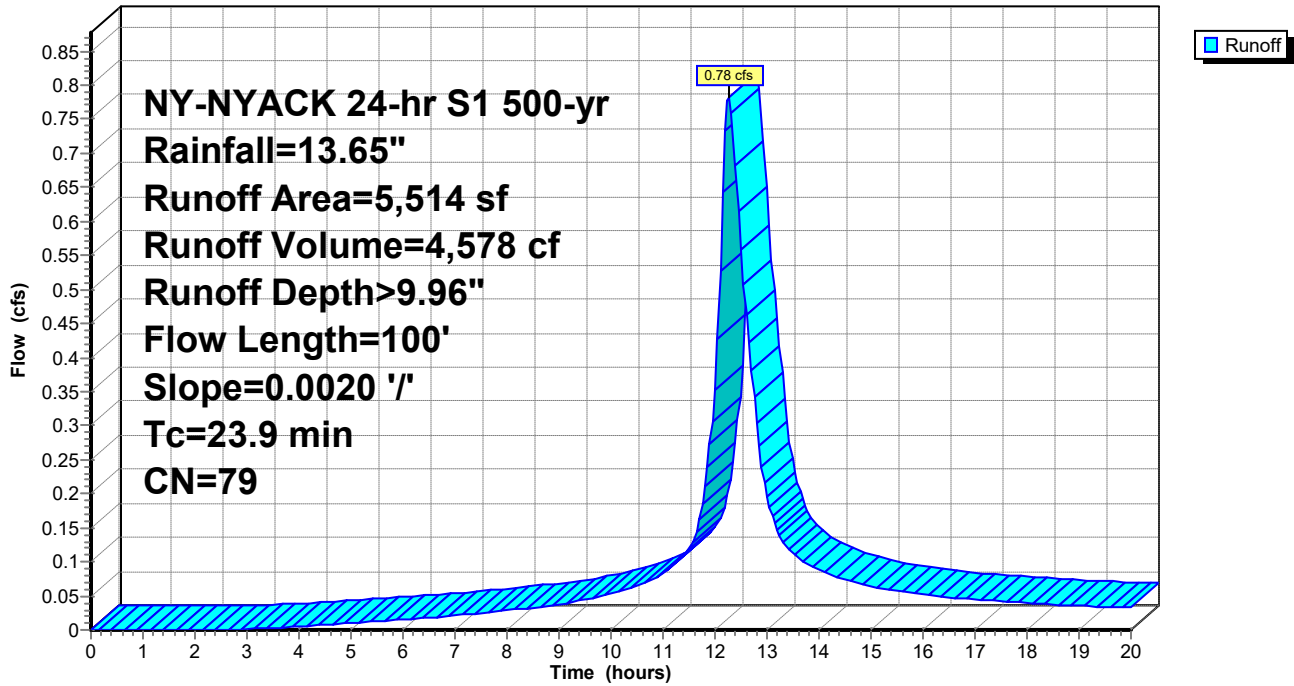
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NY-NYACK 24-hr S1 500-yr Rainfall=13.65"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 5,514 | 79 | <50% Grass cover, Poor, HSG B |
| 5,514 | | 100.00% Pervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|--|
| 23.9 | 100 | 0.0020 | 0.07 | | Sheet Flow, GREEN ROOF Grass: Short n= 0.150 P2= 3.40" |

Subcatchment 4S: GREEN ROOF

Hydrograph



Summary for Reach 3R: OUTFLOW

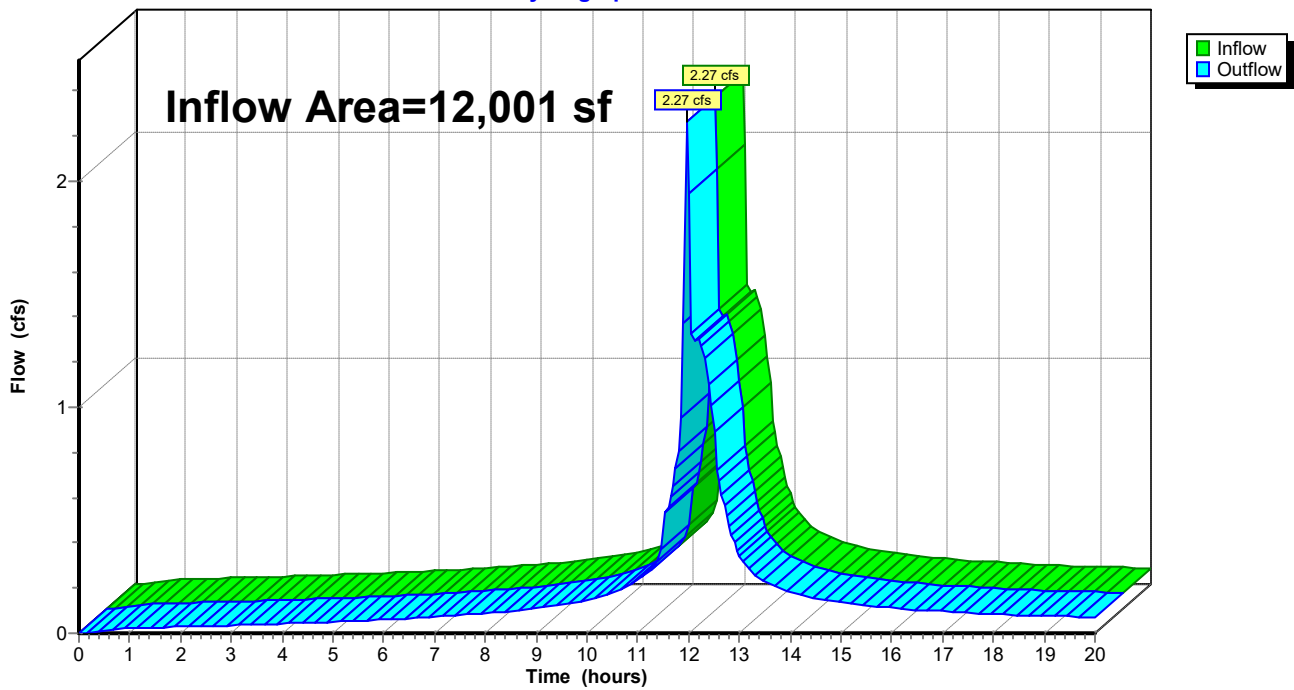
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 12,001 sf, 54.05% Impervious, Inflow Depth > 11.35" for 500-yr event
Inflow = 2.27 cfs @ 11.96 hrs, Volume= 11,351 cf
Outflow = 2.27 cfs @ 11.96 hrs, Volume= 11,351 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs

Reach 3R: OUTFLOW

Hydrograph



APPENDIX C
MAP SET (LOCATION MAP,
CONSTRUCTION DRAWINGS, EROSION
AND SEDIMENT CONTROL PLAN MAP)

PROJECT NAME: 80 SOUTH BROADWAY

CIVIL ENGINEER: DOMINICK R.PILLA ASSOCIATES PC

PROJECT ADDRESS: 80 SOUTH BROADWAY, NYACK, NY 10960

ISSUED: PLANNING BOARD RESUBMISSION

CIVIL PLANS

DATE: 02/10/2026

| INDEX OF DRAWINGS | | | |
|-------------------|-------|---|------------|
| PAGE # | DWG # | DRAWING TITLE | REVISION # |
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| 2 | C-002 | EXISTING SITE SURVEY | 00 |
| 3 | C-100 | STORMWATER MANAGEMENT PLAN | 00 |
| 4 | C-101 | PROPOSED GRADING PLAN | 00 |
| 5 | C-102 | SITE UTILITY PLAN | 00 |
| 6 | C-103 | SOIL EROSION AND SEDIMENT CONTROL PLAN | 00 |
| 7 | C-104 | PHOTOMETRIC PLAN | 00 |
| 8 | C-105 | LANDSCAPE PLAN | 00 |
| 9 | C-200 | STORMWATER MANAGEMENT DETAILS | 00 |
| 10 | C-201 | SITE UTILITY DETAILS-1 | 00 |
| 11 | C-202 | SITE UTILITY DETAILS-2 | 00 |
| 12 | C-203 | SITE UTILITY DETAILS-3 | 00 |
| 13 | C-204 | SOIL EROSION AND SEDIMENT CONTROL DETAILS | 00 |

PROPERTY INFORMATION:

ADDRESS: 80 SOUTH BROADWAY, NYACK, NY 10960
 BLOCK: 1
 LOT: 39
 LOT AREA: 12,001 SOFT
 0.28 ACRES

SCOPE OF WORK:

INSTALLATION OF NEW STORMWATER MANAGEMENT IN CONJUNCTION WITH APPLICATION FOR CONSTRUCTION OF NEW MIXED USE BUILDING. SYSTEM IS TO CONSIST OF A GREEN ROOF WITH EMERGENCY OVERFLOW TO AN EXISTING DOUBLE CATCH BASIN IN SOUTH BROADWAY.

| LEGEND | |
|--------|---------------------------------------|
| | SECTION SYMBOL |
| | DETAIL REFERENCE SYMBOL |
| | PLAN, SECTION, OR DETAIL TITLE SYMBOL |
| | ELEVATION SYMBOL |

CONSTRUCTION NOTES:

- ANY EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS, PRIVATE RECORDS AS SUPPLIED BY THE OWNER, OR DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS FAMILIAR WITH THE PROJECT SITE. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR IMPROPER LOCATIONS ON THE CONSTRUCTION PLANS. OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF EITHER (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS OF AN UNUSUAL NATURE, DIFFERING MATERIALLY FROM THOSE ORIGINALLY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN THE CHARACTER OF THE WORK PROVIDED FOR IN THE CONTRACT. THE CONTRACTOR AND/OR OWNER SHALL MAKE NO CLAIMS TO THE ENGINEER FOR RECOMPENSATION FOR EXTRA WORK RESULTING FROM CHANGED CONDITIONS UNLESS THE ENGINEER HAS APPROVED THE WORK IN WRITING.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND APPROVED CITY ORDINANCES AND SHALL POST SUCH DOCUMENTS AT VISIBLE LOCATIONS AND MAINTAIN UPDATED DOCUMENTATION ACCORDINGLY.
- CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATIONS OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF THE UTILITIES UNDERGROUND LOCATION CENTER, THEN THE CONTRACTOR SHALL GIVE NOTICE TO THAT UTILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ALL INFORMATION PROVIDED BY UTILITY PURVEYORS, AND CITY OR STATE RECORDS RELATED TO THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO THESE FACILITIES AND SHALL RESTORE ALL UTILITIES AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL NOTIFY ALL UTILITY SERVICES FOR TEMPORARY SHUT OFF AS REQUIRED. CONTRACTOR SHALL MAINTAIN AND PROTECT SERVICES AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- NO PUBLIC WAYS OR WALKS MAY BE OBSTRUCTED WITHOUT THE WRITTEN PERMISSION OF GOVERNING AUTHORITIES AND OF THE OWNER. WHERE ROUTES ARE PERMITTED TO BE CLOSED, PROVIDE ALTERNATE ROUTES AND SIGNAGE IF REQUIRED.
- WET DEBRIS WITH WATER AS NECESSARY TO LIMIT DUST TO LOWEST PRACTICAL LEVEL. DO NOT WET TO THE EXTENT OF FLOODING, CONTAMINATED RUNOFF, OR ICING.
- ANY PORTIONS OF PAVEMENT TO BE REMOVED MUST BE SEPARATED BY MAKING A NEAT VERTICAL SAW CUT ALONG THE BOUNDARIES OF THE AREA TO BE REMOVED. MAKE CUTS AT CLOSEST PAVING JOINT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT, AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. PROVIDE BARRICADES, BARRIERS, AND SHORING WHERE REQUIRED TO PROTECT THE PUBLIC, PERSONNEL, CONSTRUCTION, AND VEGETATION TO REMAIN. COMPLY WITH ALL STATE AND LOCAL AGENCY REQUIREMENTS.
- PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT, AND DUST TO THE ADJACENT PROPERTIES. THE PROPERTY SHALL BE KEPT AS CLEAN AS POSSIBLE AT ALL TIMES. MAINTAIN HAULING ROUTES CLEAN AND FREE OF ANY DEBRIS RESULTING FROM DEMOLITION WORK ON THIS PROJECT. ANY HAZARDOUS MATERIAL REMOVAL SUCH AS ASBESTOS REMOVAL SHALL BE PERFORMED PRIOR TO ANY DEMOLITION ACTIVITY. THE HAZARDOUS MATERIAL REMOVAL SHALL BE PERFORMED BY A LICENSED ABATEMENT COMPANY.
- THE REFUSE RESULTING FROM ANY CLEARING AND GRUBBING AND ALL DEBRIS AND MATERIALS FROM ANY STRUCTURES TO BE DEMOLISHED SHALL BE DISPOSED BY THE CONTRACTOR IN A MANNER CONSISTENT WITH ALL GOVERNMENT REGULATIONS. IN NO CASE SHALL REFUSE MATERIAL BE LEFT ON THE PROJECT SITE, PUSHED ONTO ADJUTING PRIVATE PROPERTIES, OR BE BURIED IN EMBANKMENTS OR TRENCHES ON THE PROJECT SITE. DEBRIS SHALL NOT BE DEPOSITED IN ANY STREAM, LAKE, WETLAND, BODY OF WATER, OR IN ANY STREET OR ALLEY, OR UPON ANY PRIVATE PROPERTY EXCEPT BY WRITTEN CONSENT OF THE PRIVATE PROPERTY OWNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY THE ARCHITECT OR OWNER.
- WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS, OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THE CONTRACTED WORK, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED, REPAIRED, FINISHED, OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION, INCLUDING GAS LINE REMOVAL IS TO BE PERFORMED BY A CONTRACTOR OR SUB-CONTRACTOR LICENSED IN THE PARTICULAR TRADE.

STORM WATER SYSTEM CLEANING AND MAINTENANCE:

STORM WATER SYSTEM, INCLUDING ANY ROOF GUTTERS AND UNDERGROUND PIPING, SHOULD BE CLEANED OF LEAVES, SAND, DIRT, SEDIMENT, TRASH AND OTHER DEBRIS BY HAND OR BY VACUOR TRUCK. THE SYSTEM IS TO BE EVALUATED, CLEANED AND MAINTAINED AT LEAST TWO TIMES PER YEAR. SURFACE GRATES AND INTERIOR SUMPS SHOULD BE MAINTAINED TO FUNCTION AS ORIGINALLY DESIGNED. SEE MAINTENANCE PLAN ON FILE WITH BOTH THE PROPERTY OWNER AND THE LOCAL BUILDING DEPARTMENT FOR MORE DETAILS.

GENERAL NOTES

- UNLESS OTHERWISE NOTED OR SHOWN ON THE CIVIL DRAWINGS, THE FOLLOWING REQUIREMENTS, TOGETHER WITH THE PROJECT PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT APPLY TO THE STRUCTURES IN THIS CONTRACT.
- CONSTRUCTION IS TO COMPLY WITH THE REQUIREMENTS OF THE GOVERNING BUILDING CODE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
 - THE CIVIL DOCUMENTS SHALL BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, STRUCTURAL, AND MEP CONTRACT DOCUMENTS AS WELL AS ANY OTHER TRADES. IF A CONFLICT EXISTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AND OBTAIN CLARIFICATION PRIOR TO BIDDING AND PROCEEDING WITH WORK.

- THE GENERAL CONTRACTOR SHALL COORDINATE ALL CONTRACT DOCUMENTS WITH FIELD CONDITIONS, DIMENSIONS, ELEVATIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS; USE ONLY PRINTED DIMENSIONS. REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH WORK. DO NOT CHANGE SIZE OR LOCATION OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE STRUCTURAL ENGINEER OF RECORD.
- CONTRACTORS WHO DISCOVER DISCREPANCIES, OMISSIONS OR VARIATIONS IN THE CONTRACT DOCUMENTS DURING BIDDING SHALL IMMEDIATELY NOTIFY THE ARCHITECT. THE ARCHITECT WILL RESOLVE THE CONDITION AND ISSUE A WRITTEN CLARIFICATION.
- THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTY, HIS OWN WORK AND THE PUBLIC FROM HARM. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND JOBSITE SAFETY INCLUDING ALL OSHA REQUIREMENTS.
- DETAILS LABELED "TYPICAL" APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED, WHETHER OR NOT THEY ARE KEVED IN AT EACH LOCATION. QUESTIONS REGARDING THE APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.

CODES AND SPECIFICATIONS

THE DESIGN SHOWN ON THESE DRAWINGS IS BASED ON THE FOLLOWING CODES, SPECIFICATIONS AND STANDARDS:

- "BUILDING CODE OF NEW YORK", 2020.
- NYS STORMWATER MANAGEMENT DESIGN MANUAL (JULY 31, 2024 VERSION)

SHOP DRAWINGS AND OTHER SUBMITTALS

- INCOMPLETE SUBMITTALS WILL BE RETURNED WITHOUT REVIEW.
- ON FIRST SUBMITTAL, CLEARLY FLAG AND CLOUD ALL DIFFERENCES FROM THE CONTRACT DOCUMENTS. ON RE-SUBMITTALS, FLAG AND CLOUD ALL CHANGES AND ADDITIONS TO PREVIOUS SUBMITTAL. ONLY CLOUDED ITEMS WILL BE REVIEWED.
- A DELEGATED ENGINEER IS DEFINED AS A NEW YORK STATE LICENSED ENGINEER WHO SPECIALIZES IN AND UNDERTAKES THE DESIGN OF CIVIL COMPONENTS OR CIVIL SYSTEMS INCLUDED IN A SPECIFIC SUBMITTAL PREPARED FOR THIS PROJECT AND IS AN EMPLOYEE OR OFFICER OF, OR CONSULTANT TO, THE CONTRACTOR OR FABRICATOR RESPONSIBLE FOR THE SUBMITTAL. THE DELEGATED ENGINEER SHALL SIGN, SEAL AND DATE THE SUBMITTAL, INCLUDING CALCULATIONS AND DRAWINGS. SEE SPECIFICATIONS FOR MORE SPECIFIC CRITERIA.
- THE TRADE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE JOB SITES, FOR TOLERANCES, CLEARANCES, QUANTITIES, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF THE WORK WITH OTHER TRADES AND FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER SHALL REVIEW AND APPROVE SUBMITTALS AND SHALL SIGN AND DATE EACH DRAWING PRIOR TO SUBMITTING TO THE ARCHITECT. THIS APPROVAL IS TO CONFIRM THAT THE SUBMITTAL IS COMPLETE, COMPLIES WITH THE SUBMITTAL REQUIREMENTS AND IS COORDINATED WITH FIELD DIMENSIONS, OTHER TRADES, ERECTION SEQUENCING AND CONSTRUCTABILITY.
- THE CIVIL ENGINEER REVIEWS SUBMITTALS TO CONFIRM THAT THE SUBMITTAL IS IN GENERAL CONFORMANCE WITH THE DESIGN CONCEPT PRESENTED IN THE CONTRACT DOCUMENTS. QUANTITIES AND DIMENSIONS ARE NOT CHECKED. NOTATIONS ON SUBMITTALS DO NOT AUTHORIZE CHANGES TO THE CONTRACT SUM. CHECKING OF THE SUBMITTAL BY THE CIVIL ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR DEVIATIONS FROM THE CONTRACT DOCUMENTS AND FROM ERRORS OR OMISSIONS IN THE SUBMITTAL.
- IN ADDITION TO THE ABOVE, THE CIVIL ENGINEER'S REVIEW OF DELEGATED ENGINEER SUBMITTALS IS LIMITED TO VERIFYING THAT THE SPECIFIED CIVIL SUBMITTAL HAS BEEN FURNISHED, SIGNED AND SEALED BY THE DELEGATED ENGINEER AND THAT THE DELEGATED ENGINEER HAS UNDERSTOOD THE DESIGN INTENT AND USED THE SPECIFIED CIVIL CRITERIA. NO DETAILED CHECK OF CALCULATIONS WILL BE MADE. THE DELEGATED ENGINEER IS SOLELY RESPONSIBLE FOR HIS/HER DESIGN, INCLUDING BUT NOT LIMITED TO THE ACCURACY OF HIS/HER CALCULATIONS AND COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.
- CAD FILES OF CIVIL DRAWINGS MAY BE USED AS AN AID IN PREPARING SHOP DRAWINGS ONLY UPON THE CONTRACTOR SIGNING AN AGREEMENT. WHEN CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE MADE AVAILABLE, IT IS UNDER THE FOLLOWING CONDITIONS:
 - ALL INFORMATION CONTAINED IN THE CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE INSTRUMENTS OF SERVICE OF THE ARCHITECT/ENGINEER AND SHALL NOT BE USED FOR OTHER PROJECTS. ADDITIONS TO THE PROJECT OR THE COMPLETION OF THE PROJECT BY OTHERS. CAD FILES AND COPIES OF THE CIVIL DRAWINGS REMAIN THE PROPERTY OF DOMINICK R. PILLA ASSOCIATES AND IN NO CASE SHALL THEIR TRANSFER BE CONSIDERED A SALE.
 - CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE NOT CONTRACT DOCUMENTS. IN THE EVENT OF A CONFLICT, THE CIVIL DRAWINGS SHALL GOVERN.
 - THE USE OF CAD FILES OR COPIES OF THE CIVIL DRAWINGS SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROPER CHECKING AND COORDINATION OF DIMENSIONS, DETAILS, SIZES AND QUANTITIES OF MATERIALS AS REQUIRED FOR THE PREPARATION OF COMPLETE AND ACCURATE SHOP DRAWINGS;
 - THE CONTRACTOR SHALL REVISE ALL REFERENCES TO CONTRACT DOCUMENT SHEET NUMBERS AND SECTION MARKS AND SHALL REMOVE INFORMATION THAT IS NOT REQUIRED FOR THEIR WORK FROM THE CAD FILES OR COPIES OF THE CIVIL DRAWINGS, INCLUDING THE TITLE BLOCK.
 - DIMENSIONS IN THE CAD FILES MAY NOT BE PRECISE AND, IN SOME CASES, HAVE BEEN INTENTIONALLY ALTERED FOR PRESENTATION PURPOSES. DO NOT SCALE DIMENSIONS

ELECTRONICALLY OR OTHERWISE.

EXCAVATION, BACKFILL AND DEWATERING

- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT AND OSHA REGULATIONS. DO NOT EXCAVATE WITHIN ONE FOOT OF THE ANGLE OF REPOSE OF ANY SOIL BEARING FOUNDATION UNLESS THE FOUNDATION IS PROPERLY PROTECTED AGAINST SETTLEMENT.
- DO NOT BACKFILL AGAINST WALLS UNTIL 7 DAYS AFTER THE WALLS ARE BRACED BY THE STRUCTURE OR ARE TEMPORARILY BRACED. DO NOT BACKFILL CANTILEVERED RETAINING WALLS UNTIL CONCRETE IS 7 DAYS OLD. DO NOT BACKFILL UNTIL AFTER COMPLETION AND INSPECTION OF ANY WATERPROOFING.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER IN A MANNER THAT DOES NOT INCONVENIENCE OR DAMAGE THE WORK.

ABBREVIATION

| | |
|----------|---|
| AESS | ARCHITECTURALLY EXPOSED STRUCTURAL STEEL |
| AD | AREA DRAIN |
| B | BOTTOM REINFORCEMENT |
| BOC | BOTTOM OF CURB |
| BM | BEAM |
| BS | BOTH SIDES |
| BOW | BOTTOM OF WALL |
| BU | BUILT UP MEMBER |
| C | COMPRESSION FORCE IN KIPS |
| C/O | CLEAN OUT |
| CANT. | CANTILEVER |
| CB | CATCH BASIN |
| CL | CENTER LINE |
| CG | CENTER OF GRAVITY |
| COL | COLUMN |
| CONT | CONTINUOUS |
| COMP LAP | COMPRESSION REINF LAP SLICE |
| CP | COMPLY/R PENETRATION ERF |
| DB | FISMRYKT OF REINFORCEMENT BAR |
| DEL | DELTA OR CHANGE IN ELEVATION |
| (E) | EXISTING CONSTRUCTION |
| EF | EACH FACE |
| EL | ELEVATION |
| EW | EACH WAY |
| F | FINISHED SURFACE |
| GB | GRADE BEAM |
| H | HORIZONTAL REINFORCEMENT |
| H | HORIZONTAL FORCE IN KIPS |
| JLJ2 | NEW CODE FORMED STEEL JOISTS |
| LAP | FULL TENSION CAPACITY LAP SPLICE |
| LD | TENSION DEVELOPMENT LENGTH FOR REINFORCING BARS |
| LDC | COMPRESSION SPLICE LENGTH FOR REINFORCE BARS |
| LLBB | LONG LEGS BACK-TO-BACK |
| LW | LIGHTWEIGHT CONCRETE |
| M | BENDING MOMENT IN FOOT-KIPS |
| MC | MOMENT CONNECTION SHOWN ON DRAWING |
| MIN | MINIMUM |
| (N) | NEW CONSTRUCTION |
| N | BEARING BOLTS THREADS INCLUDED IN SHEAR PLANE |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| PC | PILE CAP |
| PL | PLATE |
| PP | PARTIAL PENETRATION WELD |
| PEOP | PROPERTY LINE |
| SAD | SEE ARCHITECTURAL DRAWINGS/DETAILS |
| SI,S2 | SLAB ON DECK TYPE |
| SC | SLIP CRITICAL BOLT |
| SD | SLOT DRAIN |
| SIM | SIMILAR |
| T | TENSION FORCE IN KIPS |
| T | THICKNESS |
| T | TOP REINFORCEMENT |
| TBC | TO BE CONFIRMED |
| TGL | THEORETICAL GRADE LINE |
| TOC | TOP OF CURB |
| TOF | TOP OF FOOTING |
| TOS | TOP OF STEEL |
| TOW | TOP OF WALL |
| TYP | TYPICAL |
| UNO,UON | UNLESS OTHERWISE NOTED |
| M | VERTICAL REINFORCEMENT |
| V | VERTICAL BEAM END REACTION IN KIPS |
| VIF | VERIFY IN FIELD |
| WP | WORKPOINT |
| WWF | WELDED WIRE FABRIC |

DRPILLA
 CONSULTING ENGINEERS
 - DOMINICK R. PILLA ASSOCIATES -

846.727.7788 212.224.9520
 143 Main Street 5 Columbus Circle, 11th Fl
 Nyack, NY, 10960 New York, NY, 10019
 dpilla.com

| REVISIONS: | | |
|------------|------|-------------|
| NO. | DATE | DESCRIPTION |
| | | |

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

THE ENTIRE CONTENTS OF THIS DOCUMENT, INCLUDING ALL SCHEDULES, PLANS, STUDIES, DRAWINGS, SCHEDULES AND SPECIFICATIONS, AND ALL COPYRIGHTS THEREIN, ARE AND SHALL REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF DOMINICK R. PILLA ASSOCIATES, P.C. THE DOCUMENTS AND THEIR CONTENTS MAY NOT BE USED, PHOTOCOPIED OR REPRODUCED DIGITALLY, ELECTRONICALLY OR IN ANY OTHER MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF DOMINICK R. PILLA ASSOCIATES, P.C.

PROJECT:
 80 S BROADWAY
 NYACK, NY

TITLE SHEET AND GENERAL NOTES

SEAL AND SIGNATURE:



DOMINICK R. PILLA, P.E., R.A.
 NY P.E. 074213-1 NY R.A. 027028-1

PLANNING BOARD RESUBMISSION
 DATE: 02/10/2026
 PROJECT NO.: 22-143
 DRAWN/CHK BY: JB/DT
 SCALE: AS NOTED
 DWG NO.:

C-001.00

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.
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PROJECT:
80 S BROADWAY
NYACK, NY

EXISTING SITE SURVEY

SEAL AND SIGNATURE:

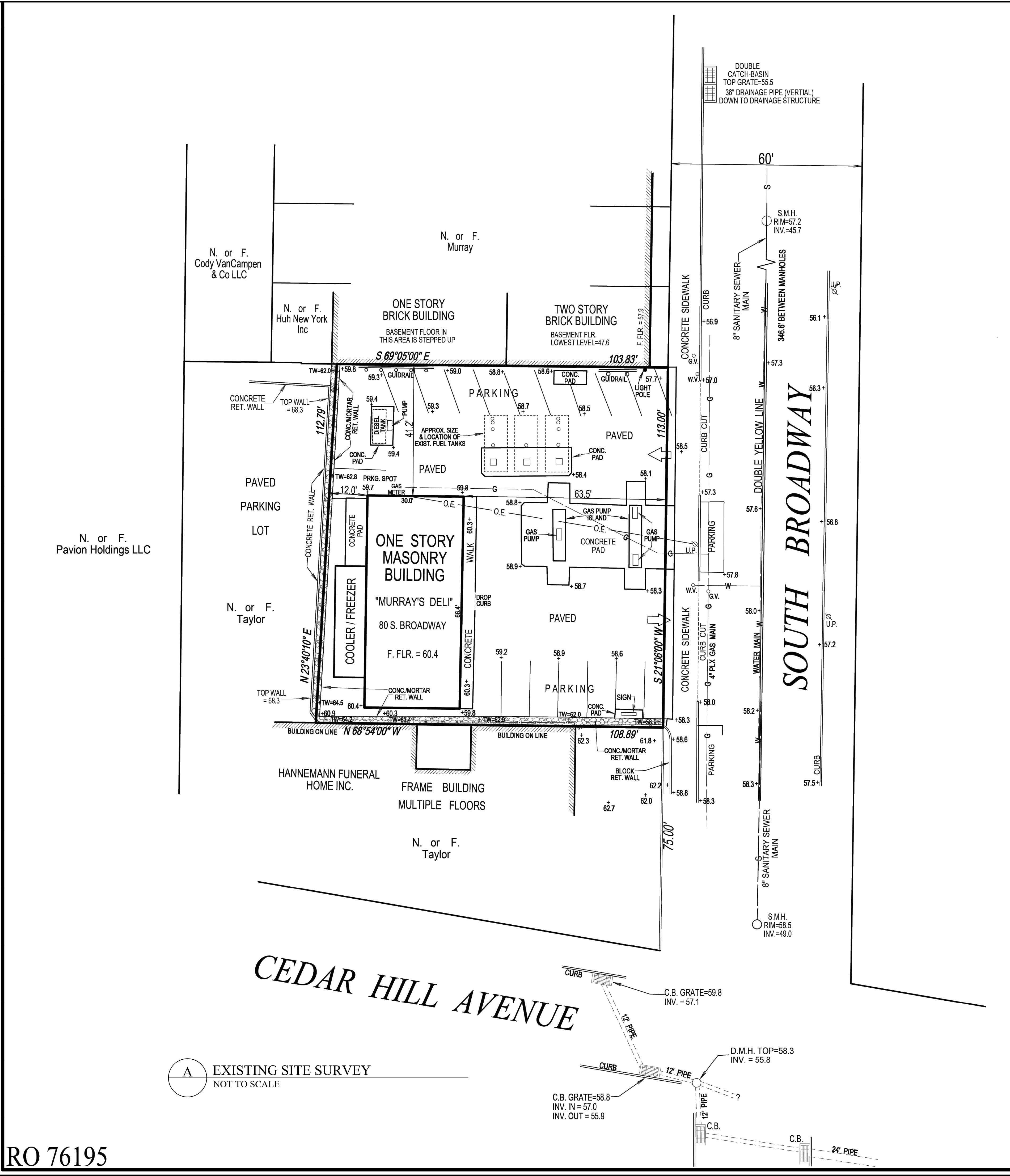
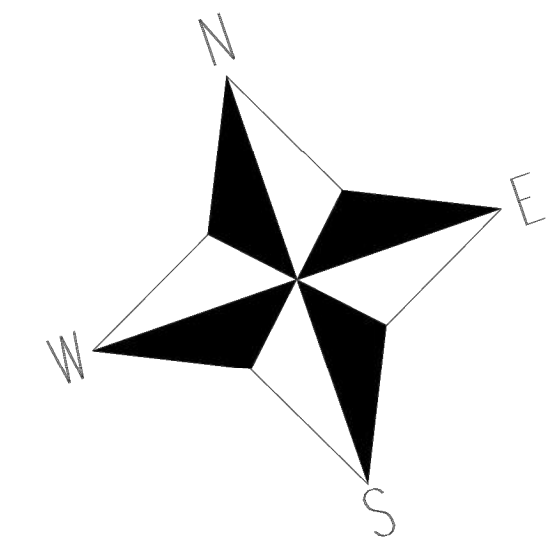


DOMINICK R. PILLA, P.E., R.A.
NY P.E. 074213-1 NY R.A. 027028-1

BEARING BOARD RESUBMISSION
DATE: 02/10/2026
PROJECT NO.: 22-143
DRAWN/CHK BY: JB/DT
SCALE: AS NOTED
DWG NO.:

C-002.00

NOTES:
EXISTING SURVEY DEVELOPMENT BY "ROBERT E. SORACE, PLS". SHOWN FOR INFORMATION ONLY



A EXISTING SITE SURVEY
NOT TO SCALE

Land Survey
For
J & T Staprem Inc
Village of Nyack
Town of Orangetown Rockland County, NY
Scale: 1" = 30' Area = 0.28 Ac.
(12,001 sf)
September 15, 2023
March 14, 2024 - Revised
May 15, 2024 - Revised

Tax Lot Desig.: Section 66.46 Block. 1 Lot 39

Certified to:
* J & T Staprem Inc

Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certification shall run only to the person for whom the survey is prepared, and on behalf of the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners."



Robert E. Sorace, PLS
New City, NY 10956
845-638-1498

| LEGEND | |
|--------|-----------------------------|
| | PROPERTY LINE |
| | EXISTING ROOF AREA |
| | PROPOSED ROOF AREA |
| | EXIST. IMPERVIOUS AREA |
| | PROP. GRASS AREA/GREEN ROOF |
| | EXIST. RETAINING WALL |
| | NEW STORMWATER DRAIN LINE |
| | NEW CURB |
| | NEW AREA DRAIN |
| | PROPOSED TRENCH DRAIN |

- GENERAL NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH NEW YORK STATE REGULATIONS, CODES, AND OSHA STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL PERMITTING AND APPROVAL INSPECTIONS AS REQUIRED.
 - THE CONTRACTOR SHALL VERIFY ELEVATIONS AT CONNECTION POINTS OR ANY EXISTING UTILITY CROSSING PRIOR TO ORDERING STRUCTURES. REPORT ANY CONFLICTS TO THE ENGINEER.
 - UTILITIES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO BACKFILLING.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS TO UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - STORM SEWER CATCH BASINS, CURB INLETS MANHOLES AND ENDWALLS SHALL CONFORM TO NEW YORK STATE STANDARD CONSTRUCTION DRAWINGS.
 - ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
 - PROVIDE 2% MAXIMUM CROSS SLOPE ON ALL SIDEWALKS AND ADA PARKING AREAS.
 - ALL ELEVATIONS SHOWN ARE BASED ON NAVD88.
 - THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY AND ALL CONSTRUCTION ON OR NEAR ANY EXISTING AND/OR PROPOSED SANITARY SEWER FACILITIES.
 - FIELD VERIFICATION OF THE EXISTING CATCH BASIN IS NEEDED PRIOR TO ANY WORK COMMENCING.

INFORMATION SHOWN IS BASED ON A SURVEY PROVIDED BY ROBERT E. SORACE, PLS DATED 05.15.2024.

| REVISIONS: | | |
|------------|------|-------------|
| NO. | DATE | DESCRIPTION |
| | | |

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

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PROJECT:
80 S BROADWAY
NYACK, NY

STORMWATER MANAGEMENT PLAN

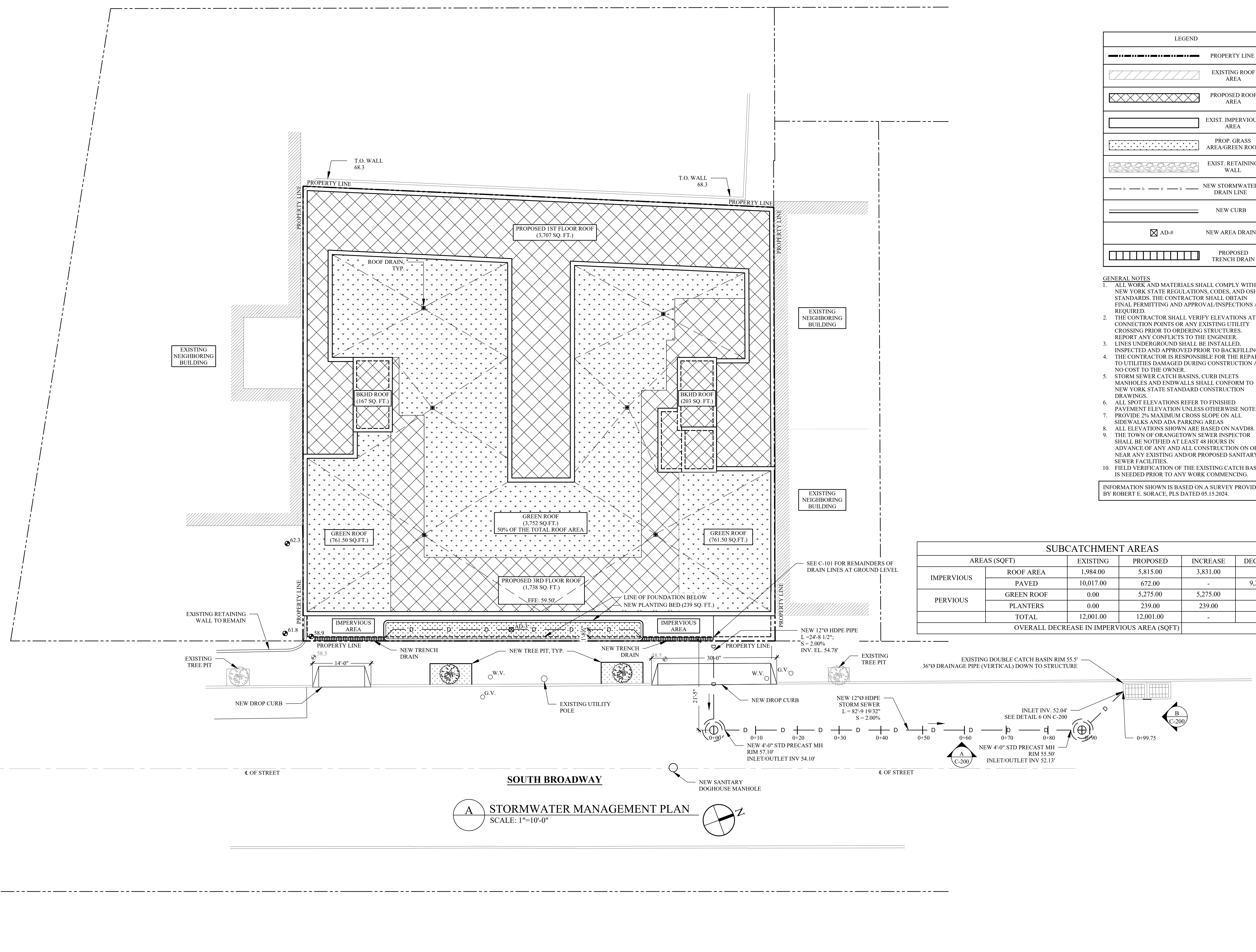
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DOMINICK R. PILLA, P.E., R.A.
NY P.E. 074213-1 NY R.A. 027028-1

BEANNING BOARD RESUBMISSION
DATE: 02/10/2026
PROJECT NO.: 22-143
DRAWN/CHK BY: JB/DT
SCALE: AS NOTED
DWG NO.:

C-100.00



| SUBCATCHMENT AREAS | | | | |
|--|------------|-----------|----------|----------|
| AREAS (SQFT) | EXISTING | PROPOSED | INCREASE | DECREASE |
| | IMPERVIOUS | 1,984.00 | 5,815.00 | 3,831.00 |
| PERVIOUS | 10,017.00 | 672.00 | - | 9,345.00 |
| | 0.00 | 5,275.00 | 5,275.00 | - |
| | 0.00 | 239.00 | 239.00 | - |
| TOTAL | 12,001.00 | 12,001.00 | - | - |
| OVERALL DECREASE IN IMPERVIOUS AREA (SQFT) | | | | 5,514.00 |

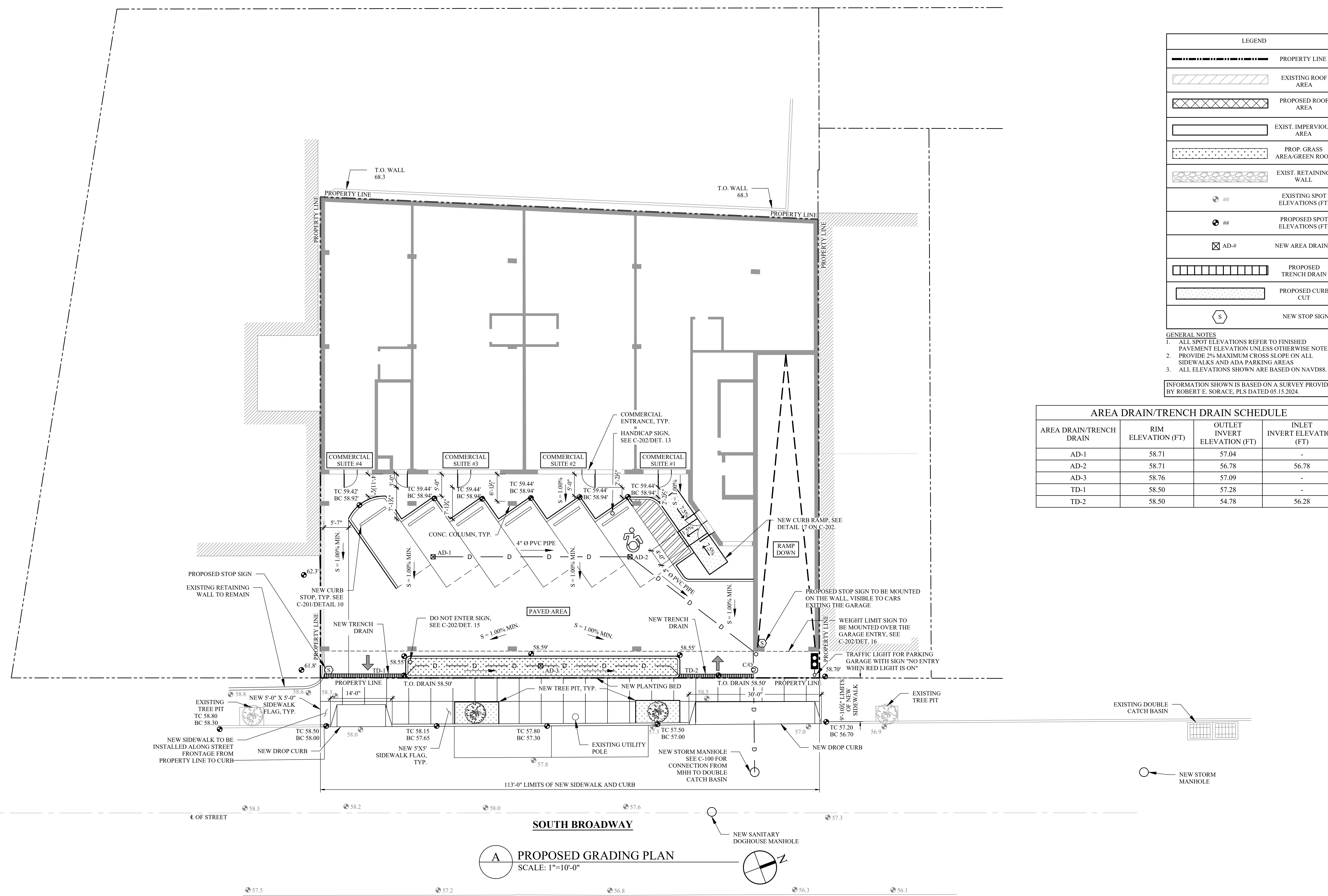
A STORMWATER MANAGEMENT PLAN
SCALE: 1"=10'-0"

| LEGEND | |
|--------|-------------------------------|
| | PROPERTY LINE |
| | EXISTING ROOF AREA |
| | PROPOSED ROOF AREA |
| | EXIST. IMPERVIOUS AREA |
| | PROP. GRASS AREA/GREEN ROOF |
| | EXIST. RETAINING WALL |
| | EXISTING SPOT ELEVATIONS (FT) |
| | PROPOSED SPOT ELEVATIONS (FT) |
| | NEW AREA DRAIN |
| | PROPOSED TRENCH DRAIN |
| | PROPOSED CURB CUT |
| | NEW STOP SIGN |

- GENERAL NOTES
- ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED
 - PROVIDE 2% MAXIMUM CROSS SLOPE ON ALL SIDEWALKS AND ADA PARKING AREAS
 - ALL ELEVATIONS SHOWN ARE BASED ON NAVD88.

INFORMATION SHOWN IS BASED ON A SURVEY PROVIDED BY ROBERT E. SORACE, PLS DATED 05.15.2024.

| AREA DRAIN/TRENCH DRAIN SCHEDULE | | | |
|----------------------------------|--------------------|------------------------------|-----------------------------|
| AREA DRAIN/TRENCH DRAIN | RIM ELEVATION (FT) | OUTLET INVERT ELEVATION (FT) | INLET INVERT ELEVATION (FT) |
| AD-1 | 58.71 | 57.04 | - |
| AD-2 | 58.71 | 56.78 | 56.78 |
| AD-3 | 58.76 | 57.09 | - |
| TD-1 | 58.50 | 57.28 | - |
| TD-2 | 58.50 | 54.78 | 56.28 |



A PROPOSED GRADING PLAN
 SCALE: 1"=10'-0"

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PROJECT:
80 S BROADWAY
 NYACK, NY

PROPOSED GRADING PLAN

SEAL AND SIGNATURE:



DOMINICK R. PILLA, P.E., R.A.
 NY P.E. 074213-1 NY R.A. 027028-1

BEARING BOARD RESUBMISSION
 DATE: 02/10/2026
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 DRAWN/CHK BY: JB/DT
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C-101.00

| LEGEND | |
|--------|-------------------------------|
| | PROPERTY LINE |
| | EXISTING ROOF AREA |
| | PROPOSED ROOF AREA |
| | EXIST. IMPERVIOUS AREA |
| | PROP. GRASS AREA/GREEN ROOF |
| | EXIST. RETAINING WALL |
| | PROPOSED SPOT ELEVATIONS (FT) |
| | NEW STORMWATER DRAIN LINE |
| | PROP. SANITARY SEWER LINE |
| | PROP. ELECTRIC LINE |
| | PROP. WATER LINE |
| | EXIST. STORMWATER DRAIN LINE |
| | EXIST. SANITARY SEWER LINE |
| | EXIST. ELECTRIC LINE |
| | EXIST. WATER LINE |
| | EXIST. UTILITY POLE |
| | PROPOSED CURB CUT |

| REVISIONS: | | |
|------------|------|-------------|
| NO. | DATE | DESCRIPTION |
| | | |

- GENERAL NOTES**
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 - THE CONTRACTOR SHALL VERIFY ELEVATIONS AT CONNECTION POINTS OR ANY EXISTING UTILITY CROSSING PRIOR TO ORDERING STRUCTURES. REPORT ANY CONFLICTS TO THE ENGINEER.
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PROJECT:
80 S BROADWAY
NYACK, NY

SITE UTILITY PLAN

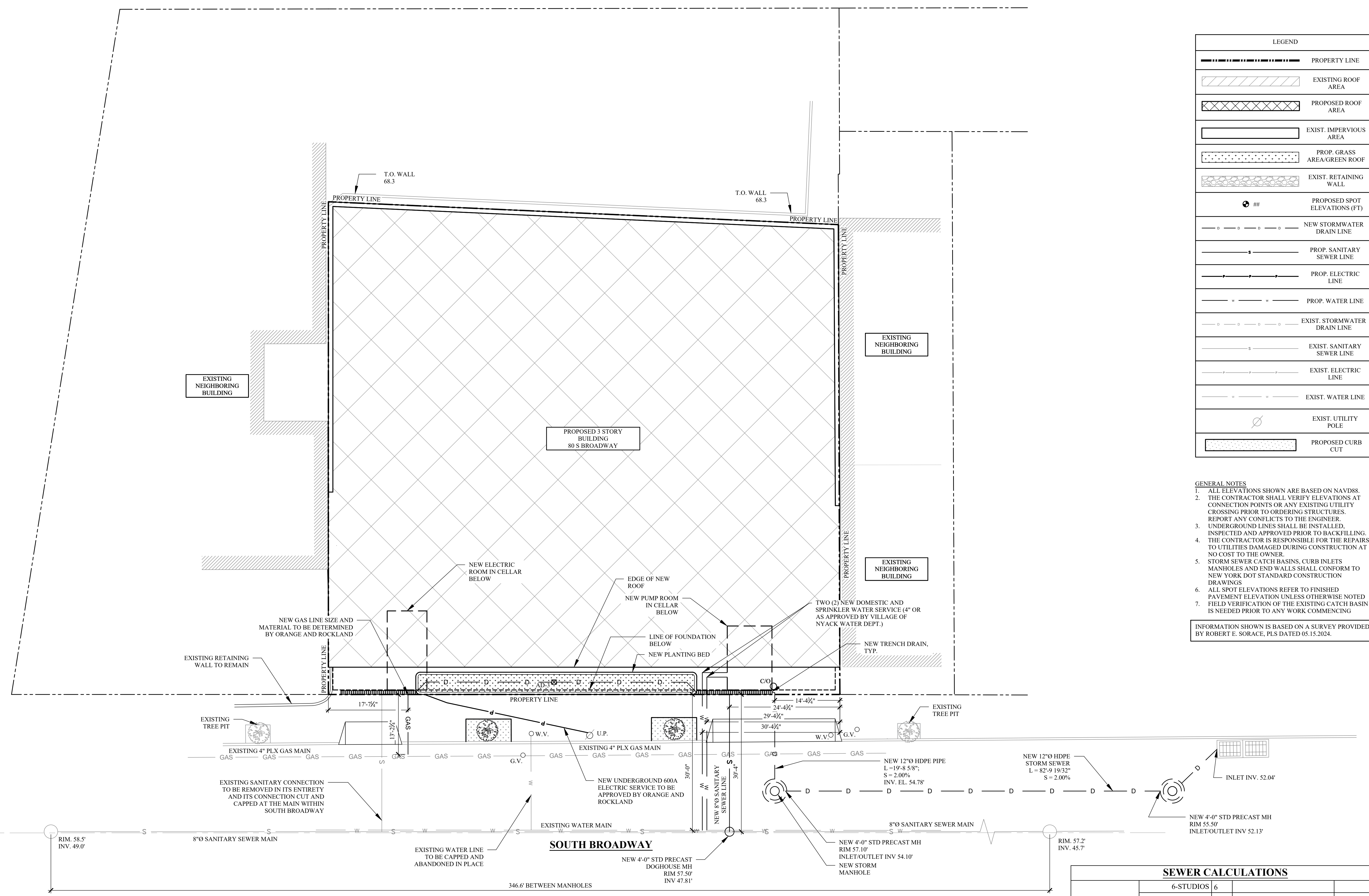
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NY P.E. 074213-1 NY R.A. 027028-1

BEARING BOARD RESUBMISSION
DATE: 02/10/2026
PROJECT NO.: 22-143
DRAWN/CHK BY: JB/DT
SCALE: AS NOTED
DWG NO.:

C-102.00



U.P. **A** SITE UTILITY PLAN
SCALE: 1"=10'

| SEWER CALCULATIONS | | | |
|---|-----------------------|-----------|---------------------|
| # OF BEDROOMS | 6-STUDIOS | 6 | |
| | 9-ONE BEDROOM | 9 | |
| | 3-TWO BEDROOM | 6 | |
| | TOTAL BEDROOMS | 21 | |
| HYDRAULIC LOADING RATE | | 110 | GALLONS/DAY/BEDROOM |
| Q = HYDRAULIC LOADING RATE X TOTAL BEDROOMS | | | TABLE B-3* |
| DAILY FLOW RATE, Q | | 2310 | GALLONS/DAY |

*TABLE B-3 ON PAGE B-16 OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS

| LEGEND | |
|--------|--------------------------------|
| | PROPERTY LINE |
| | EXISTING ROOF AREA |
| | PROPOSED ROOF AREA |
| | EXIST. IMPERVIOUS AREA |
| | PROP. GRASS AREA/GREEN ROOF |
| | EXIST. RETAINING WALL |
| | PROP. SILT FENCE |
| | PROP. AREA OF DISTURBANCE |
| | PROPOSED DROP INLET PROTECTION |
| | PROPOSED CURB CUT |

- GENERAL NOTES**
1. ALL ELEVATIONS SHOWN ARE BASED ON NAVD88.
 2. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS TO UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
 3. ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED
 4. AREA OF DISTURBANCE = 12,001 SQFT

INFORMATION SHOWN IS BASED ON A SURVEY PROVIDED BY ROBERT E. SORACE, PLS DATED 05.15.2024.

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PROJECT:
80 S BROADWAY
NYACK, NY

SOIL EROSION AND SEDIMENT CONTROL PLAN

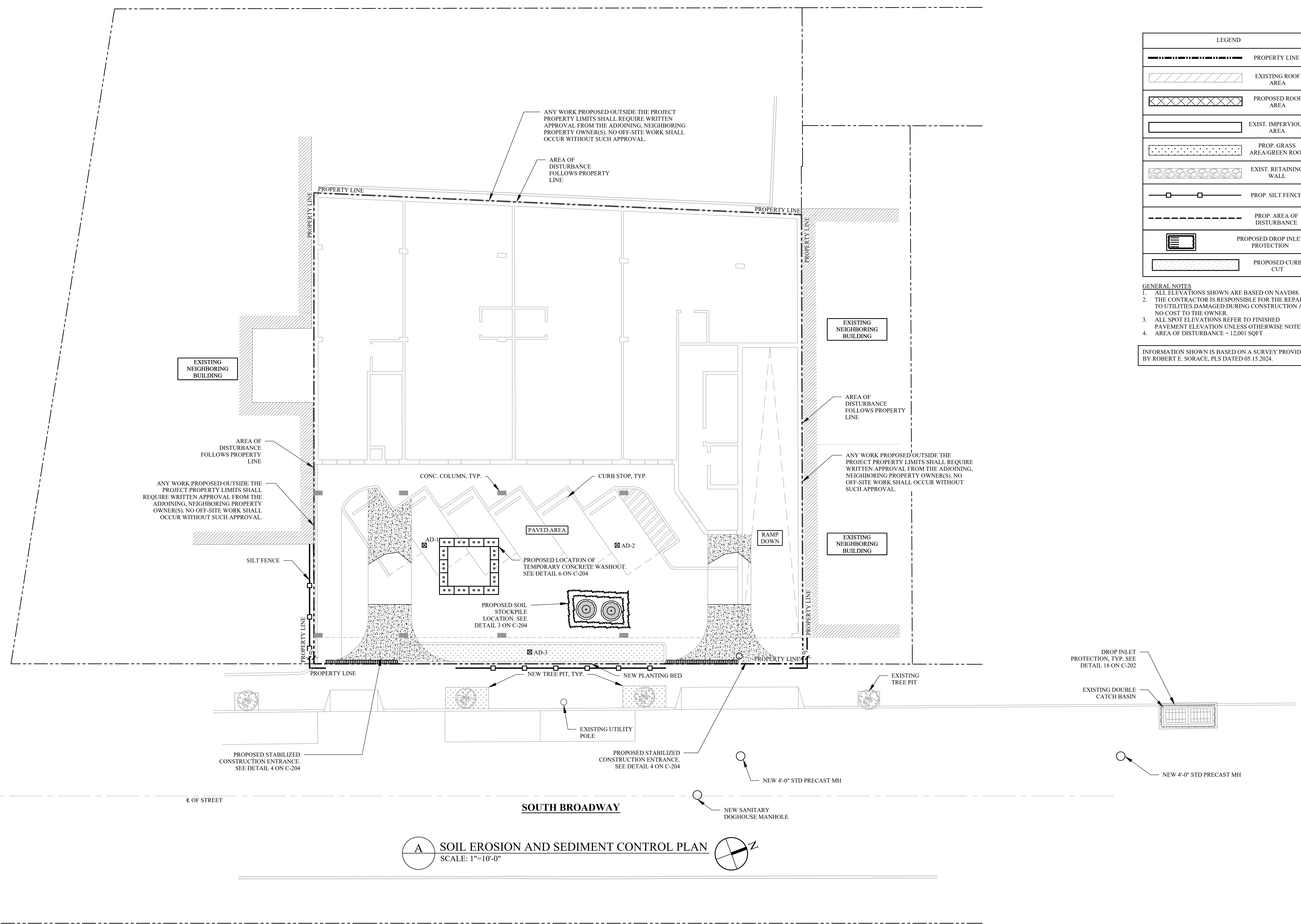
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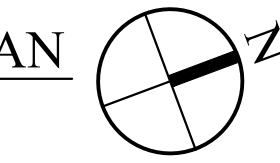
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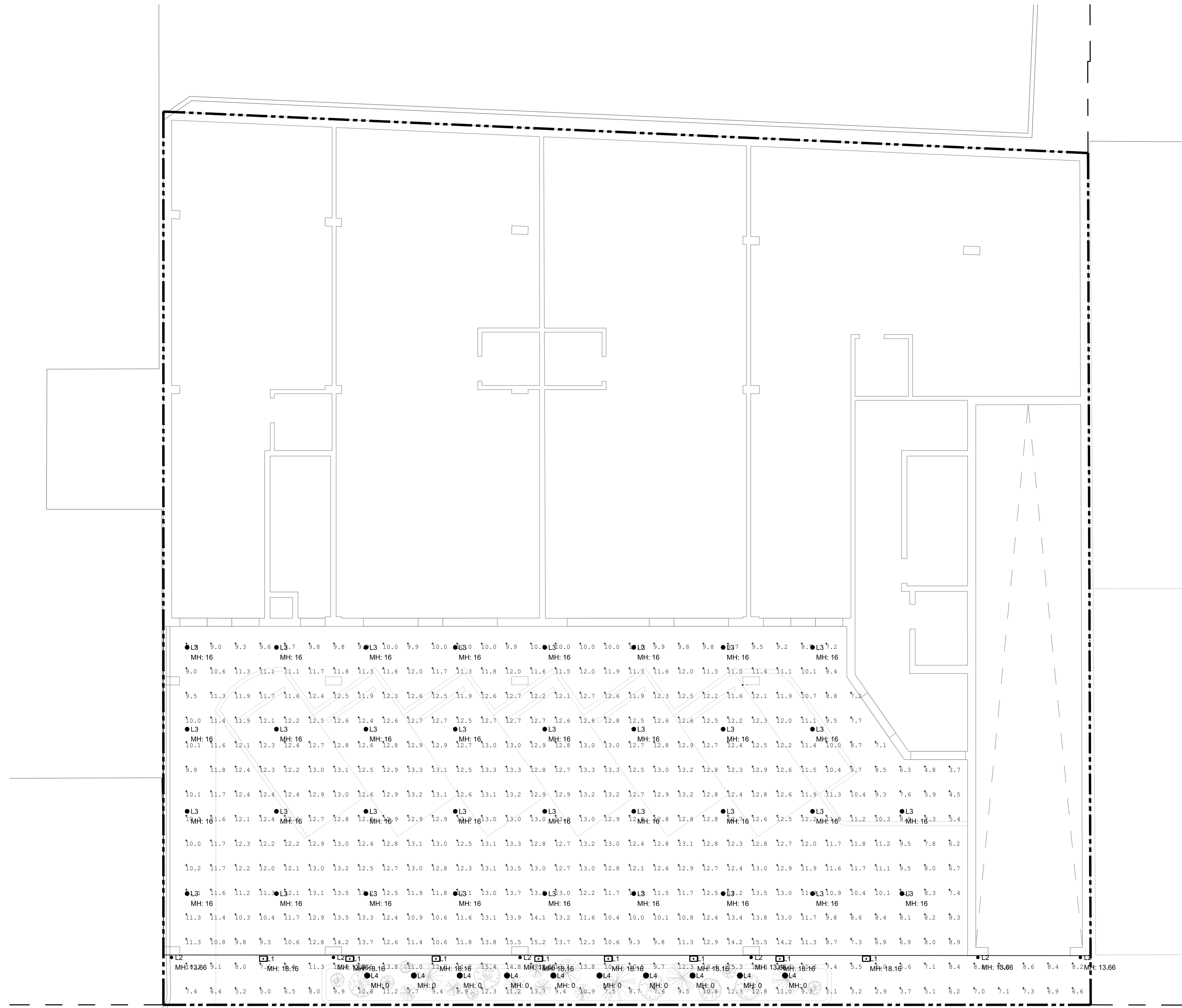
BEARING BOARD RESUBMISSION
DATE: 02/10/2026
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DRAWN/CHK BY: JB/DT
SCALE: AS NOTED
DWG NO.:

C-103.00



A SOIL EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1"=10'-0"

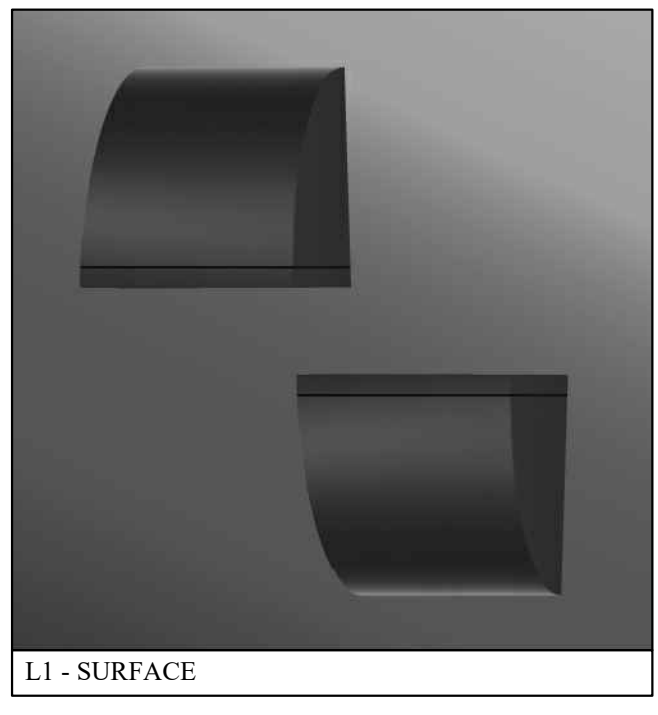




A PHOTOMETRIC PLAN
 SCALE: 1/8"=1'-0"

| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min | Description |
|-----------|-------------|-------|-------|------|-----|---------|---------|---------------------|
| CalcPht_1 | Illuminance | Fc | 11.28 | 17.1 | 2.9 | 3.89 | 5.90 | Grid points 3' x 3' |

| Symbol | Qty | Label | Description | LLF | Arrangement | Luminaire Watts | Luminaire Lumens | Arrangement Watts | Arrangement Luminaire Lumens | Mounting Height |
|--------|-----|-------|-------------------|-------|-------------|--------------------|---------------------|----------------------|---------------------------------|--------------------|
| ⊙ | 8 | L1 | UQU-31343-M-W30 | 0.900 | Single | 37 | 4670 | 37 | 4670 | 18.16 |
| ○ | 6 | L2 | UMV-30002-EW-8030 | 0.900 | Single | 20 | 1957 | 20 | 1957 | 13.66 |
| ⊙ | 34 | L3 | UMO-80012-VW-W30 | 0.900 | Single | 21 | 1726 | 21 | 1726 | 16 |
| ○ | 10 | L4 | ULW-10874-W30 | 0.900 | Single | 27.9 | 448 | 27.9 | 448 | 0 |



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PROJECT:
80 S BROADWAY
 NYACK, NY

PHOTOMETRIC PLAN

SEAL AND SIGNATURE:



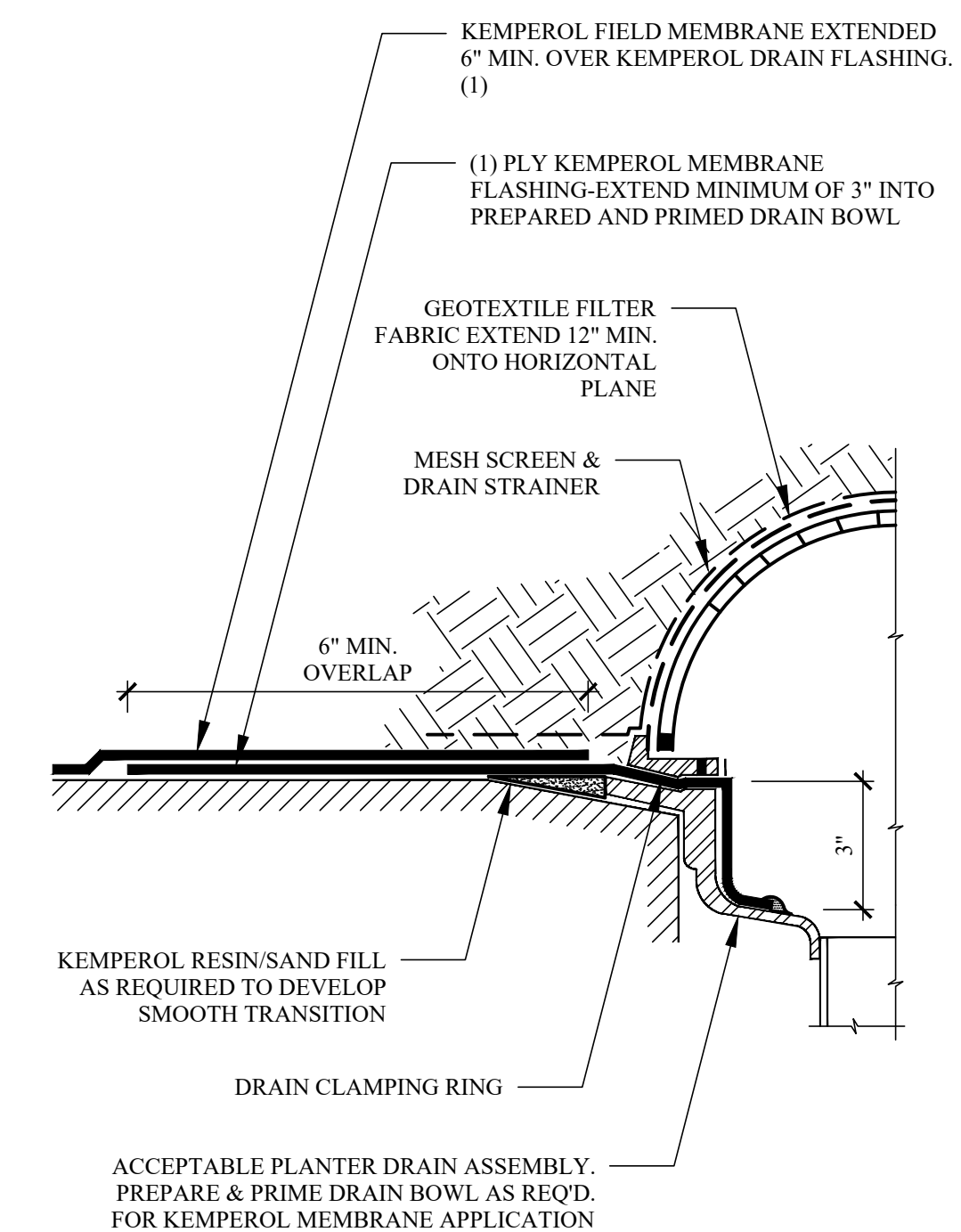
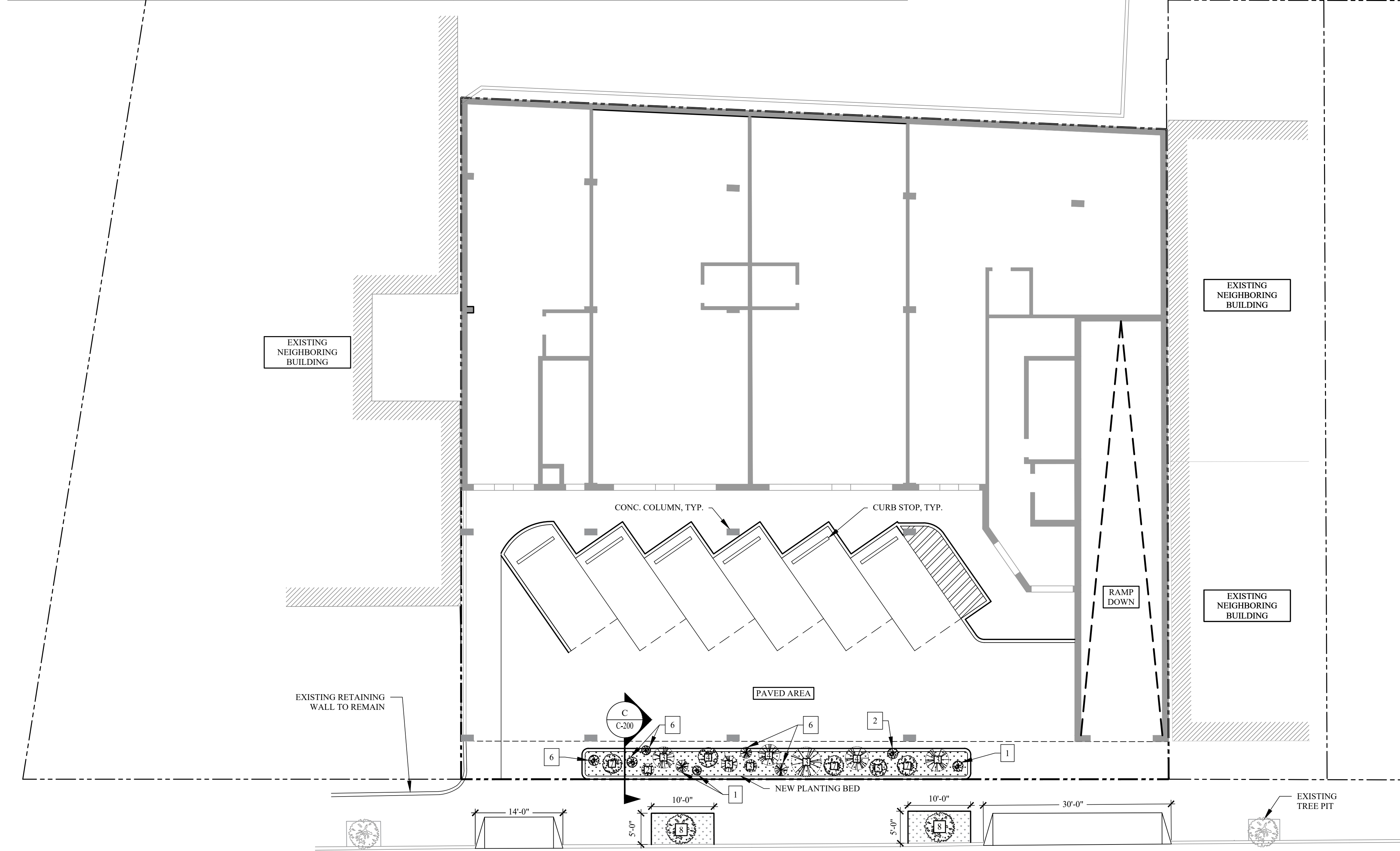
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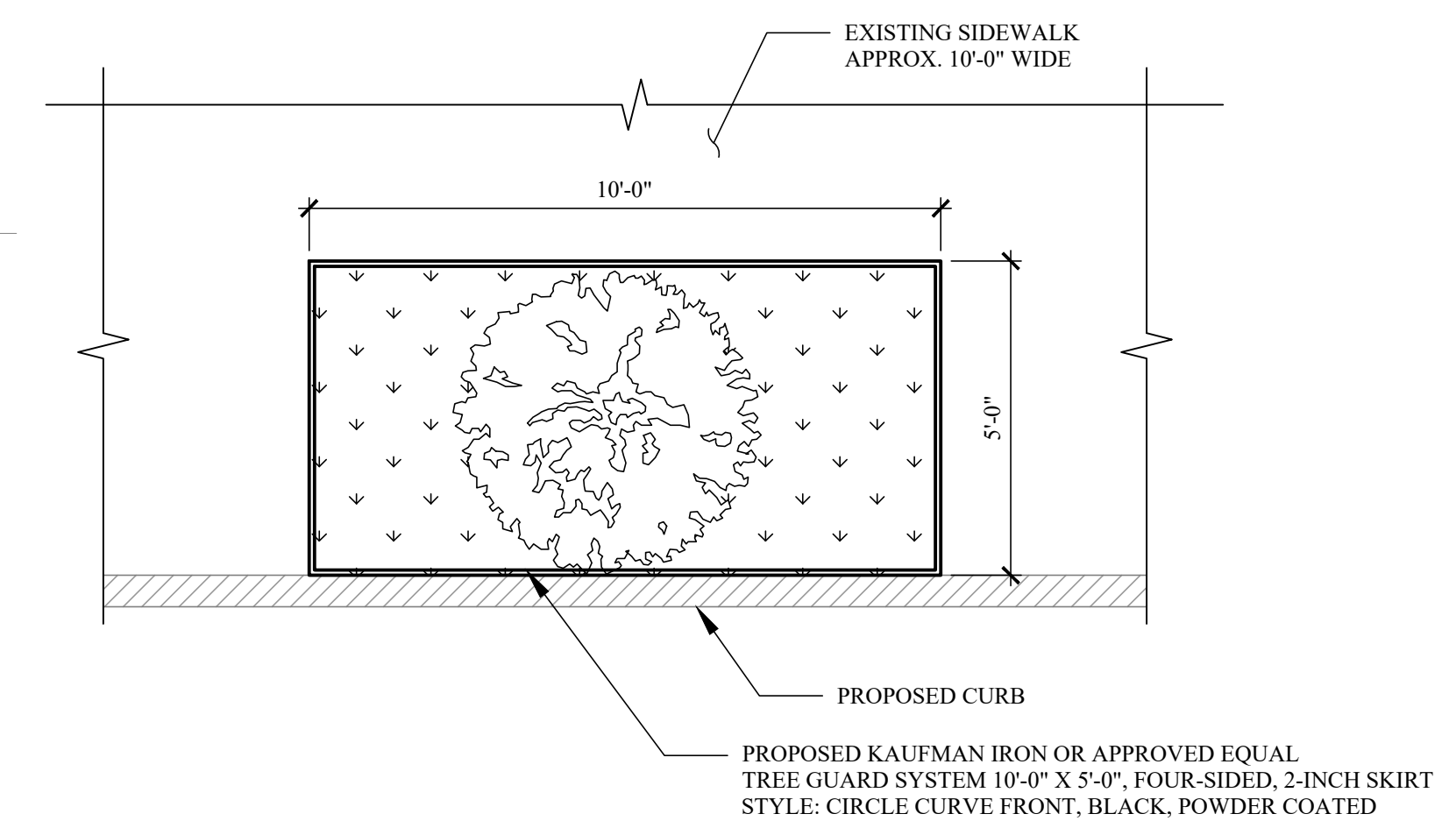
C-104.00

| PLANTING SCHEDULE | | | | | |
|-------------------|------------------------------|---------------------------|----------------------------|---------------|----------|
| LABEL | TYPE | PLANT NAME | SPECIES | HEIGHT/SPREAD | QUANTITY |
| 1 | GRASSES, FERNS, GROUND COVER | BROAD-LEAF SEDGE | CAREX PLATYPHYLLA | 4"-12" | 3 |
| 2 | | CHRISTMAS FERN | POLYSTICHUM ACROSTICHOIDES | 12"-18" | 3 |
| 3 | FLOWERS | JOE-PYE WEED | EUTROCHUM SPP. | 3'-6" | 3 |
| 4 | | GREAT BLUE LOBELIA | LOBELIA SPIHILITICA | 2'-3' | 3 |
| 5 | | SMOOTH BLUE ASTER | SYMPHYOTRICHUM LAEVE | 1'-3' | 2 |
| 6 | | BLUETS | HOUSTONIA CAERULEA | 2"-6" | 5 |
| 7 | SHRUBS | NORTHERN BUSH HONEYSUCKLE | DIERVILLA LONICERA | 3'/3' | 3 |
| 8 | TREES | AMERICAN HORNBEAM | CARPINUS CAROLINIANA | 15'/15' | 2 |

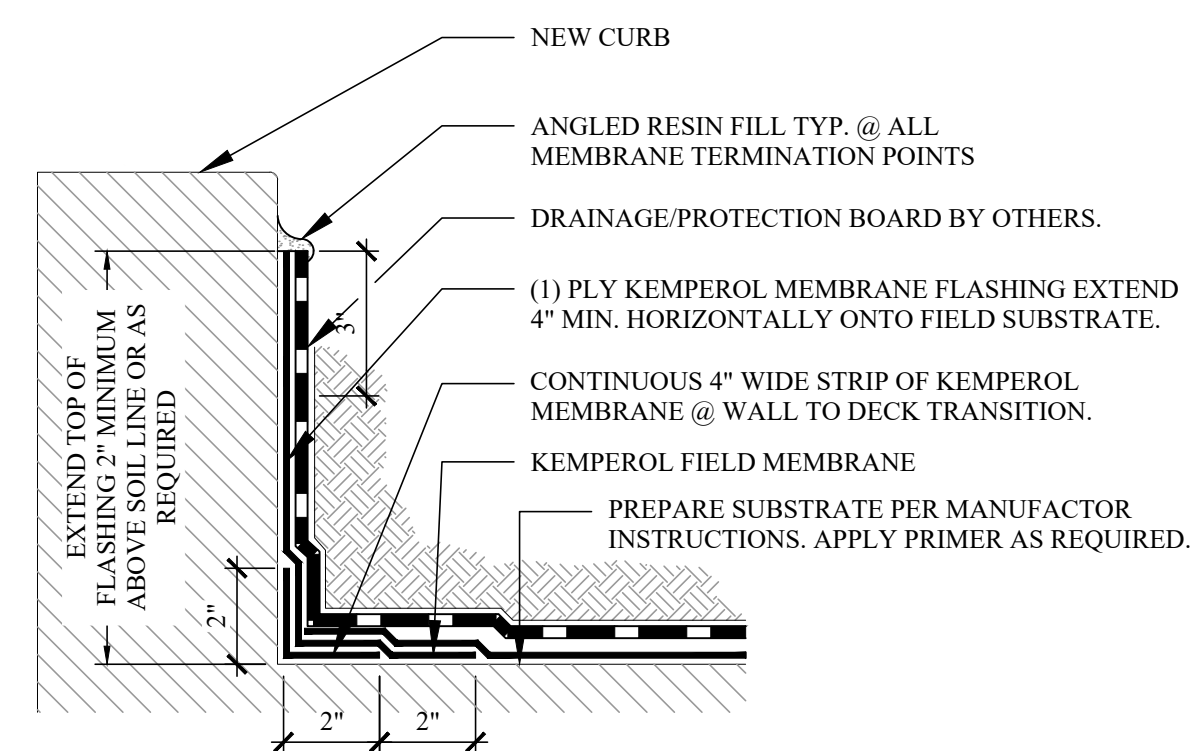
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| | EXIST. IMPERVIOUS AREA |
| | PROP. GRASS AREA/GREEN ROOF |
| | EXIST. RETAINING WALL |
| | PROPOSED TREE |
| | PROPOSED SHRUB |
| | EXISTING TREE |
| | PROPOSED CURB CUT |



2 PLANTER DRAIN FLASHING
SCALE: 3" = 1'-0"



1 TREE PLANTER DETAIL
SCALE: 1/2" = 1'-0"



3 PLANTER WATERPROOFING
SCALE: 3" = 1'-0"

A LANDSCAPE PLAN
SCALE: 1" = 10'-0"

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PROJECT:
80 S BROADWAY
NYACK, NY

LANDSCAPE PLAN

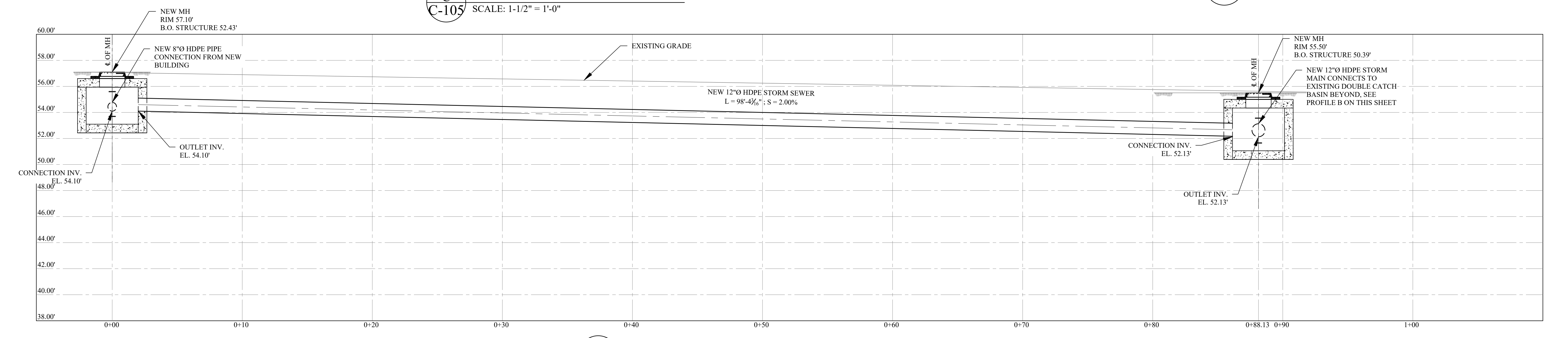
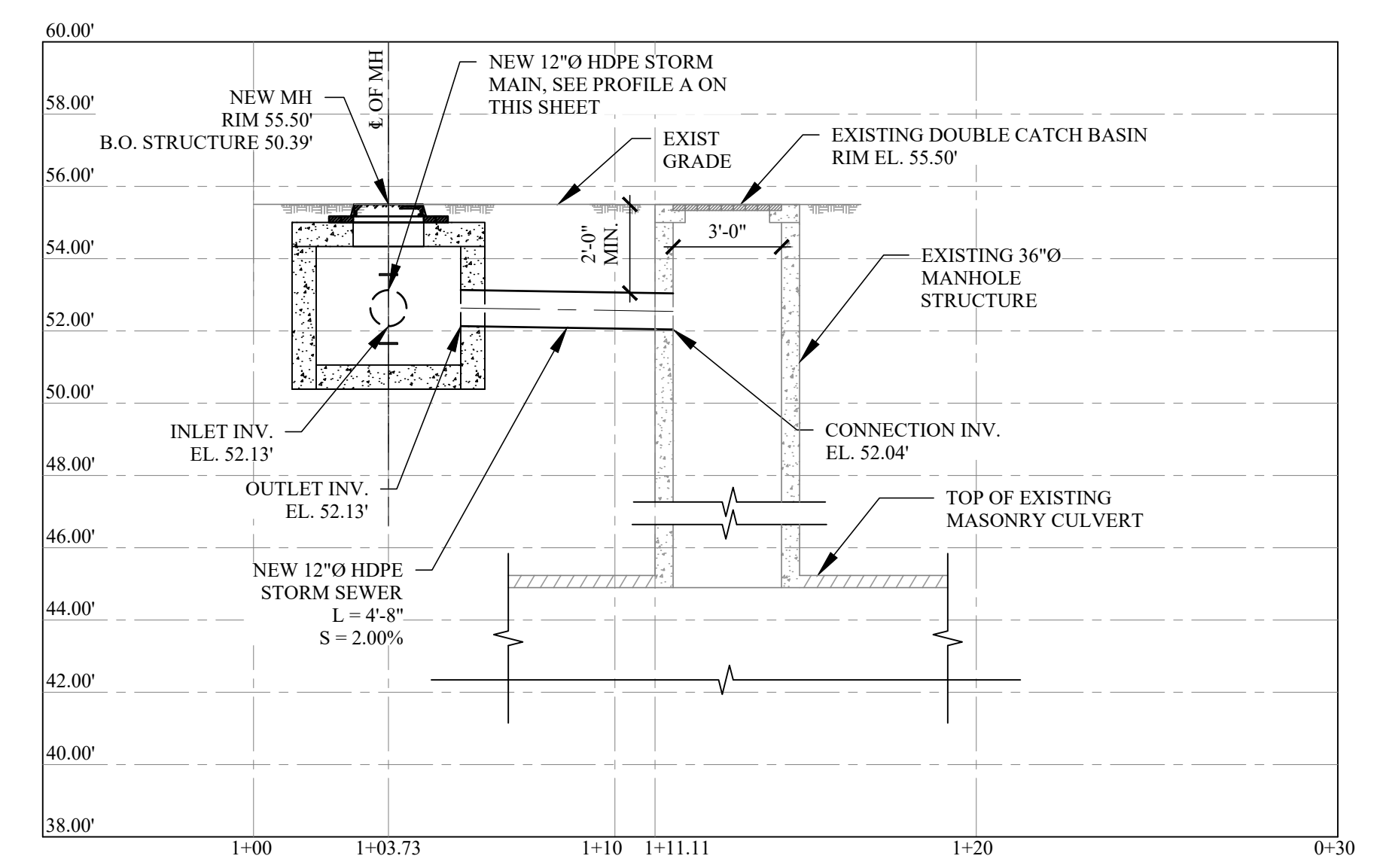
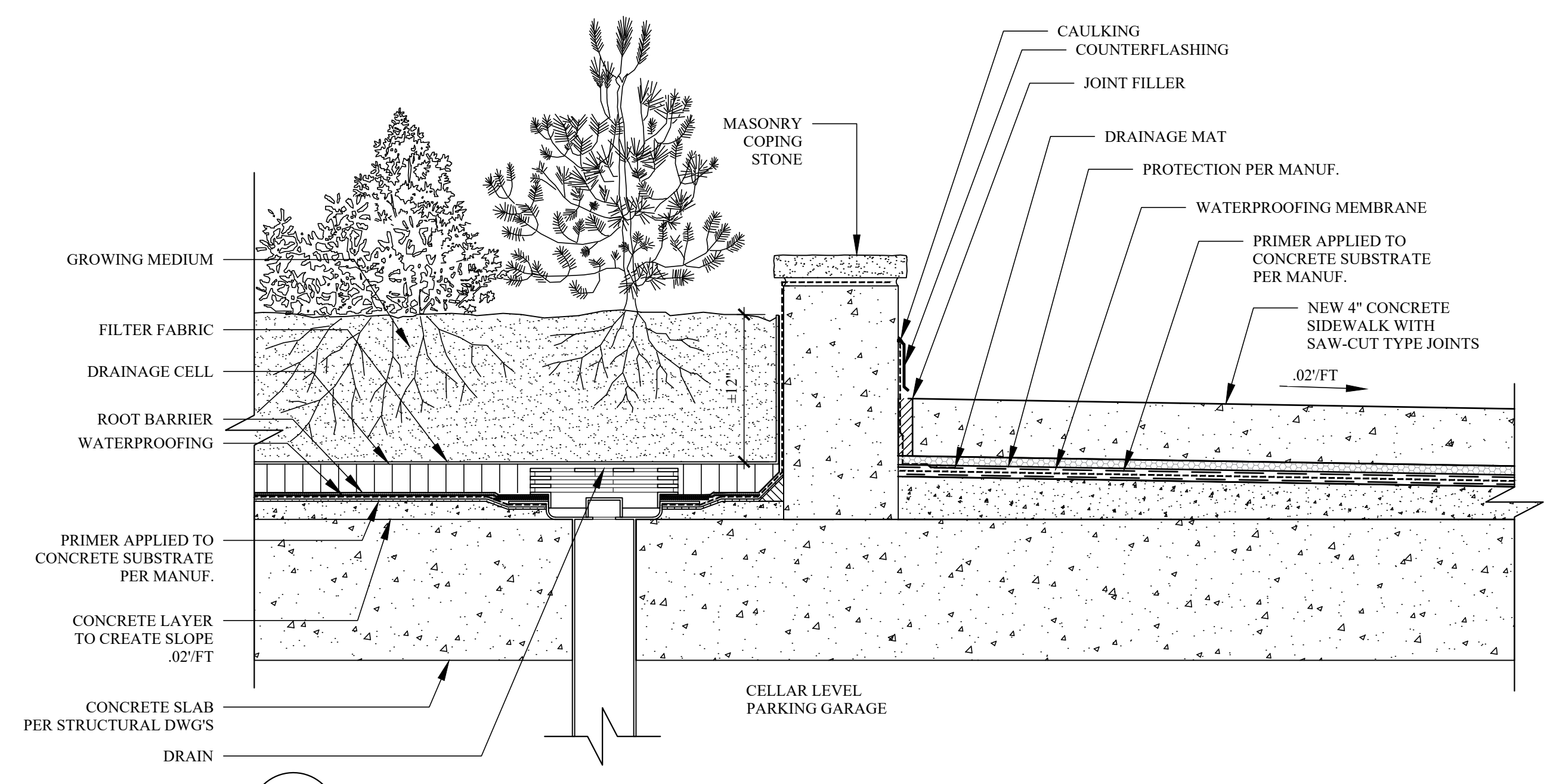
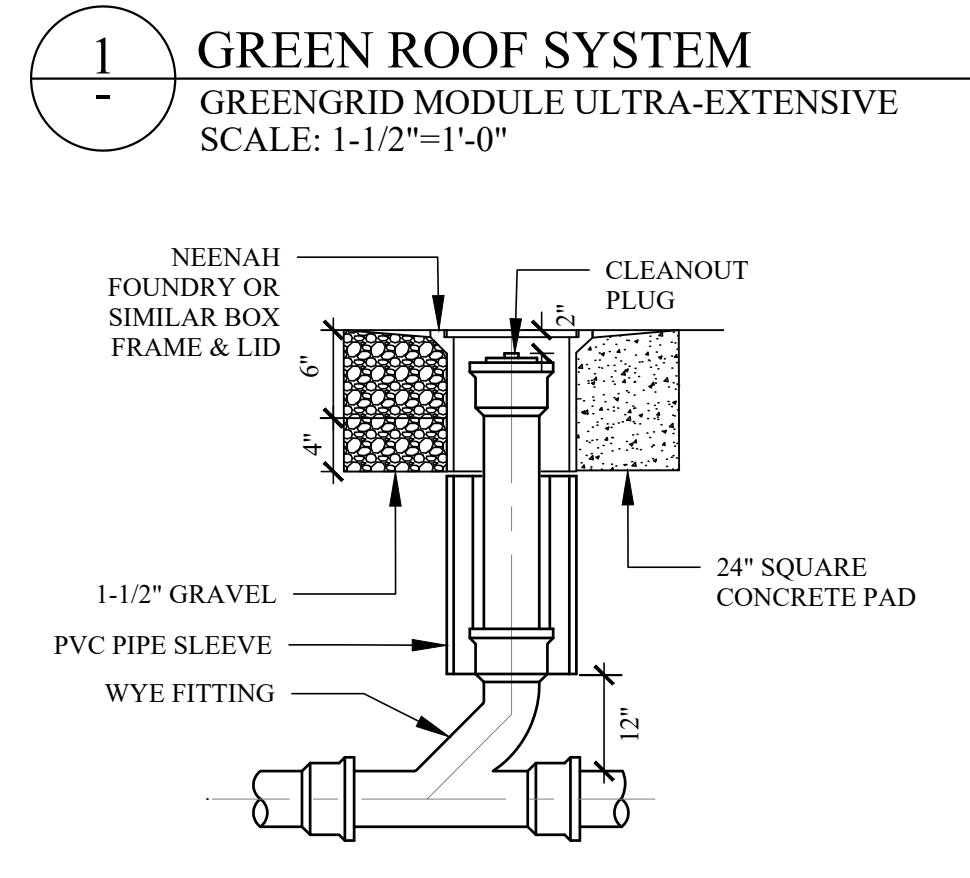
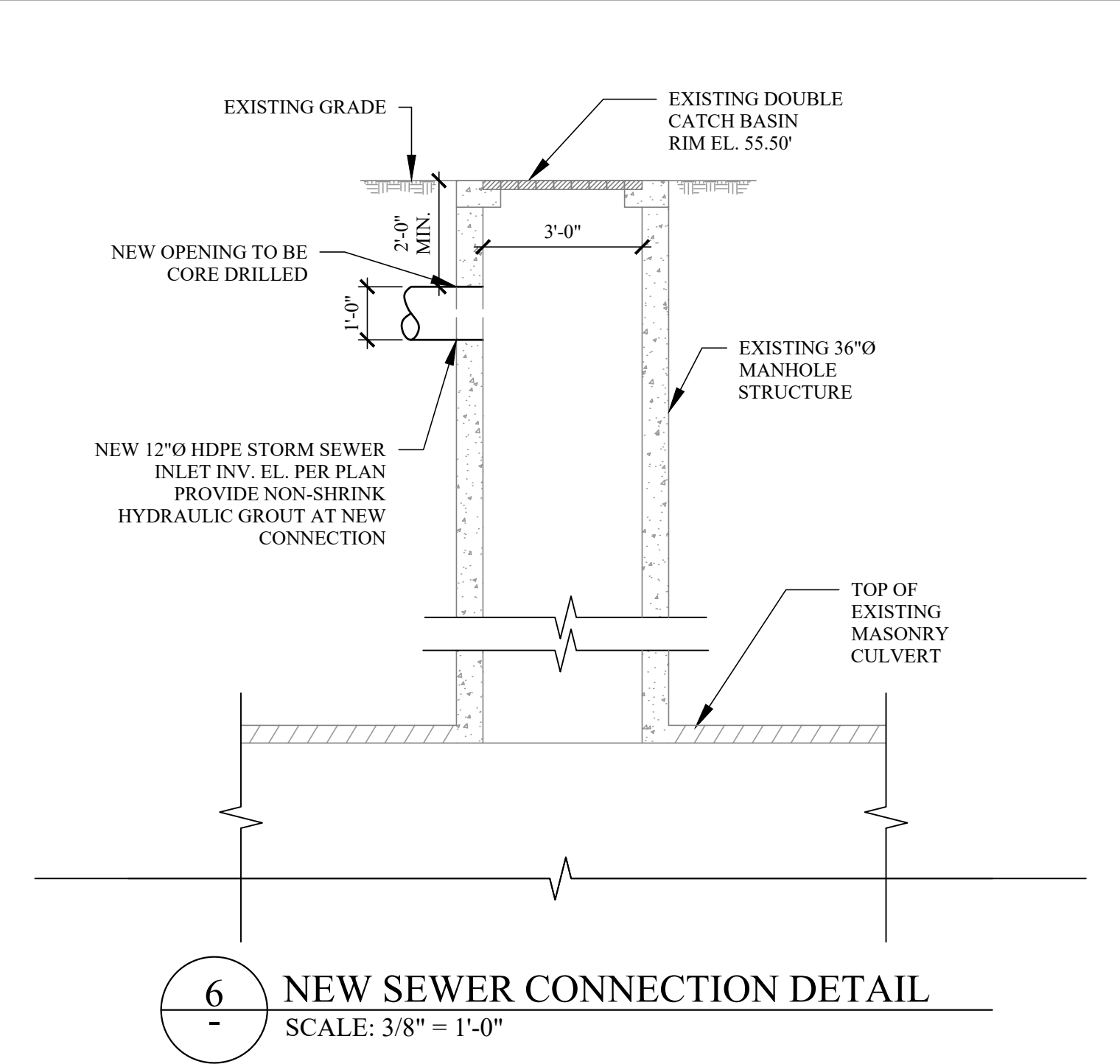
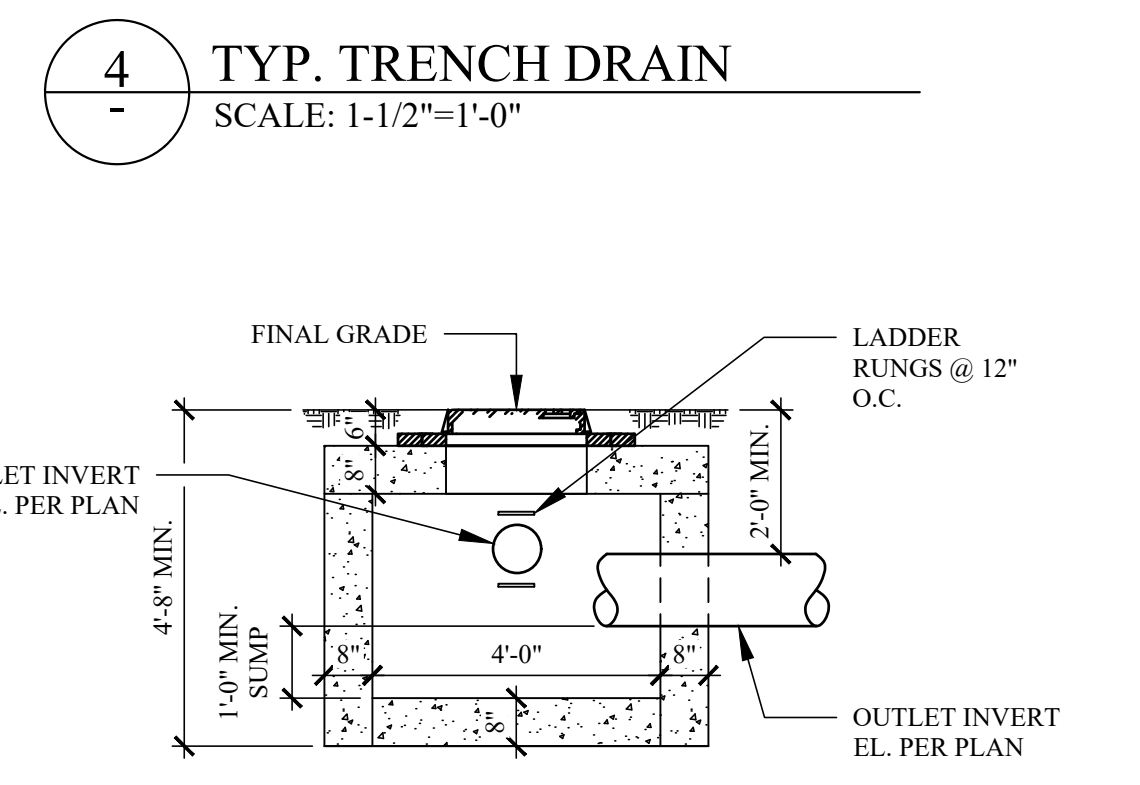
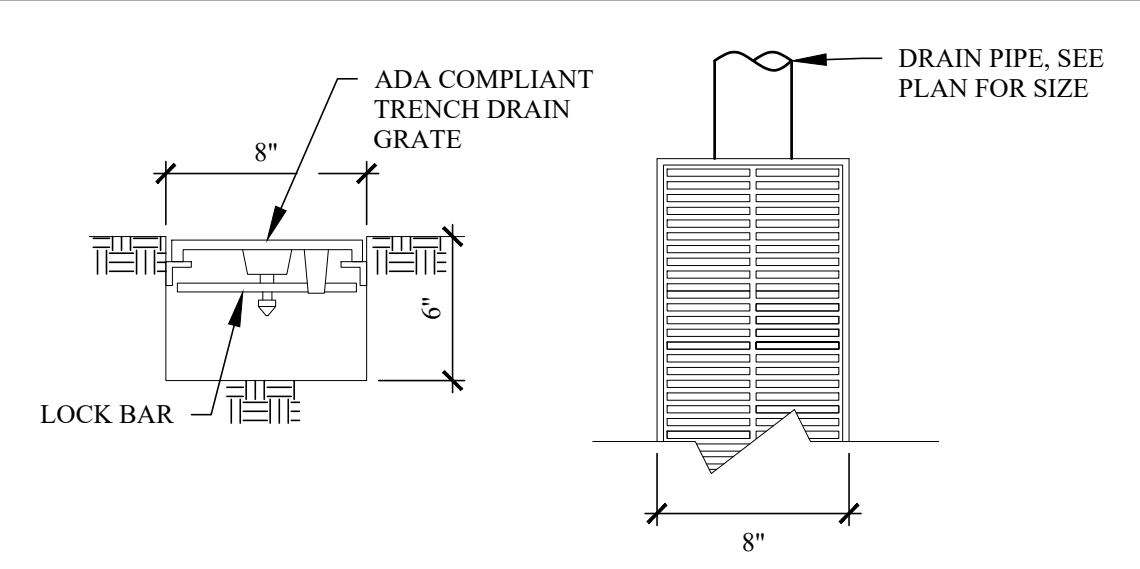
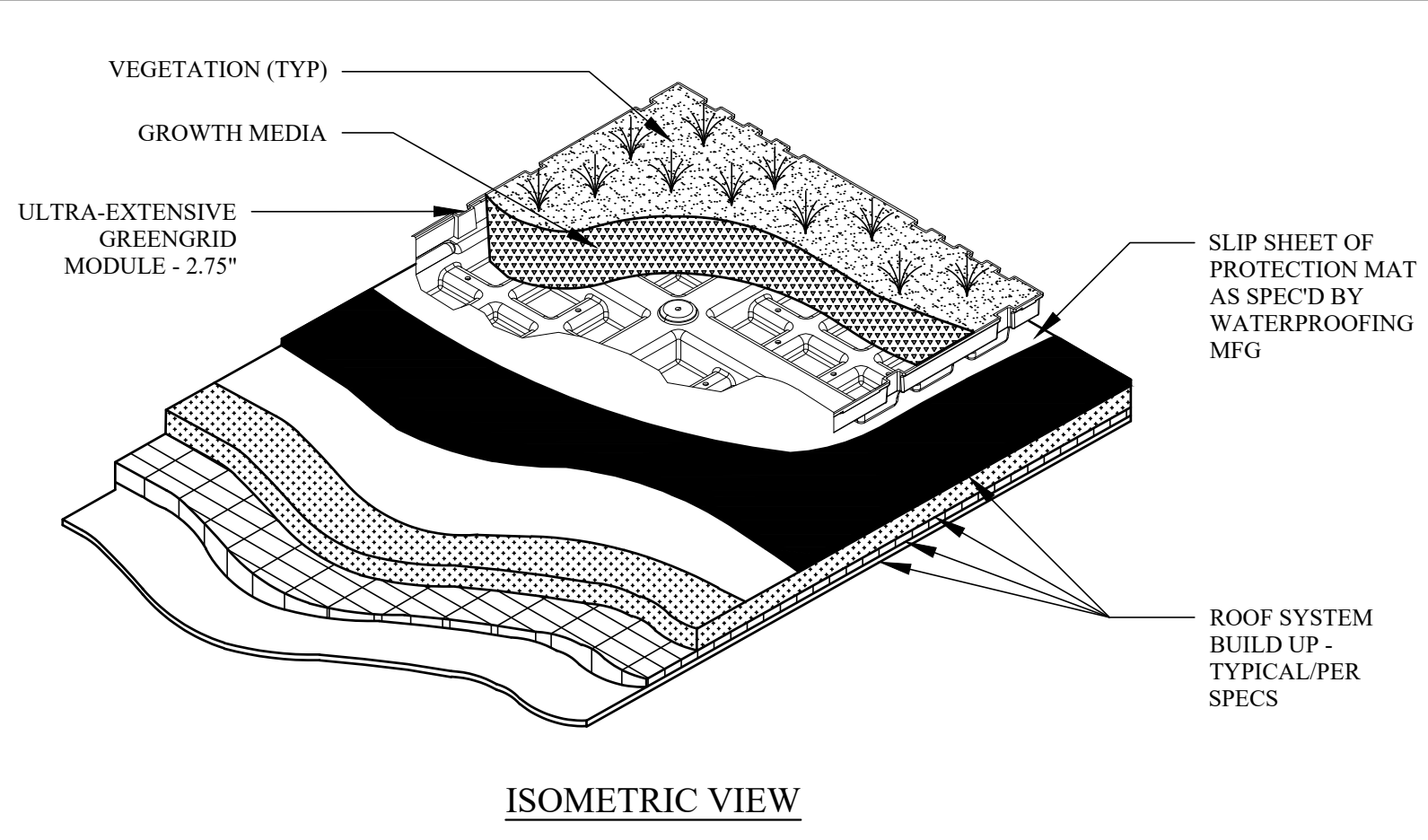
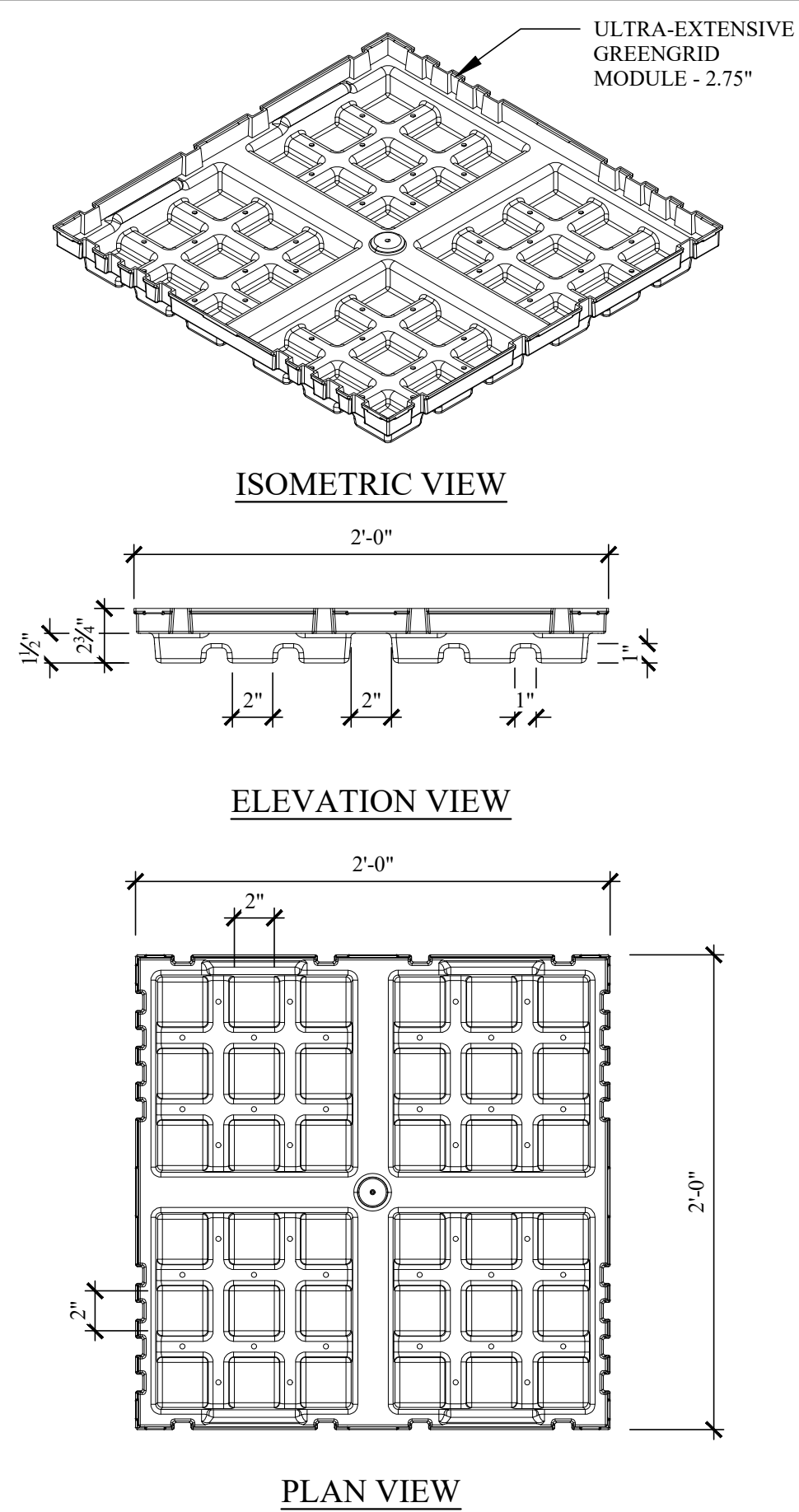
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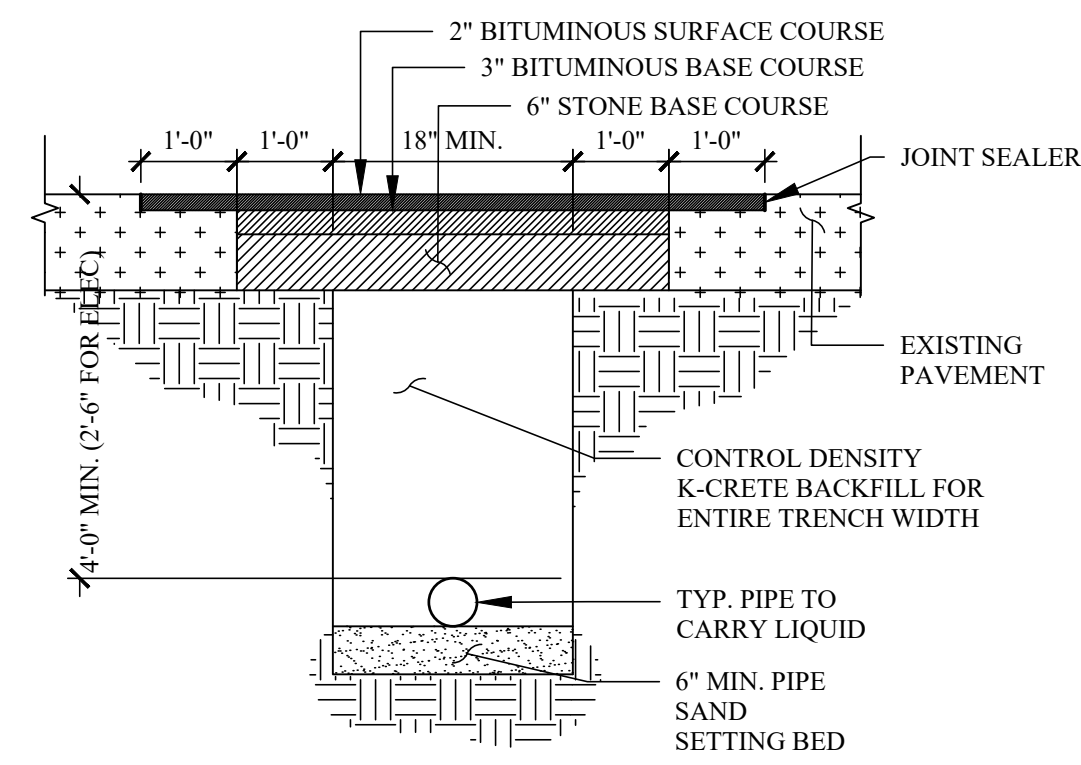
PROJECT:
80 S BROADWAY
NYACK, NY

STORMWATER MANAGEMENT
DETAILS

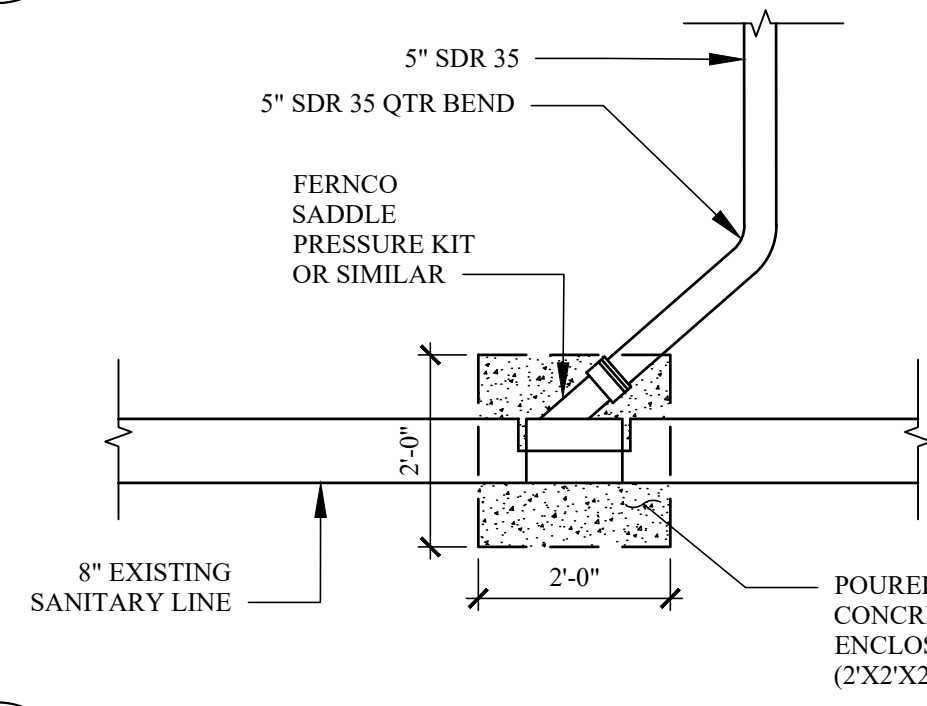
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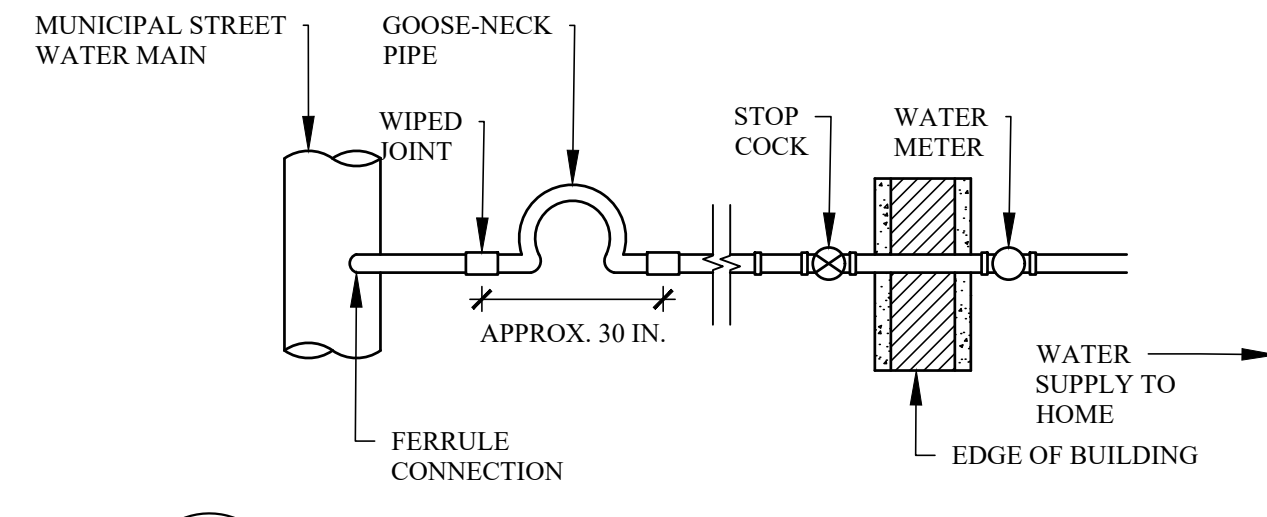
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SCALE: AS NOTED
DWG NO.:



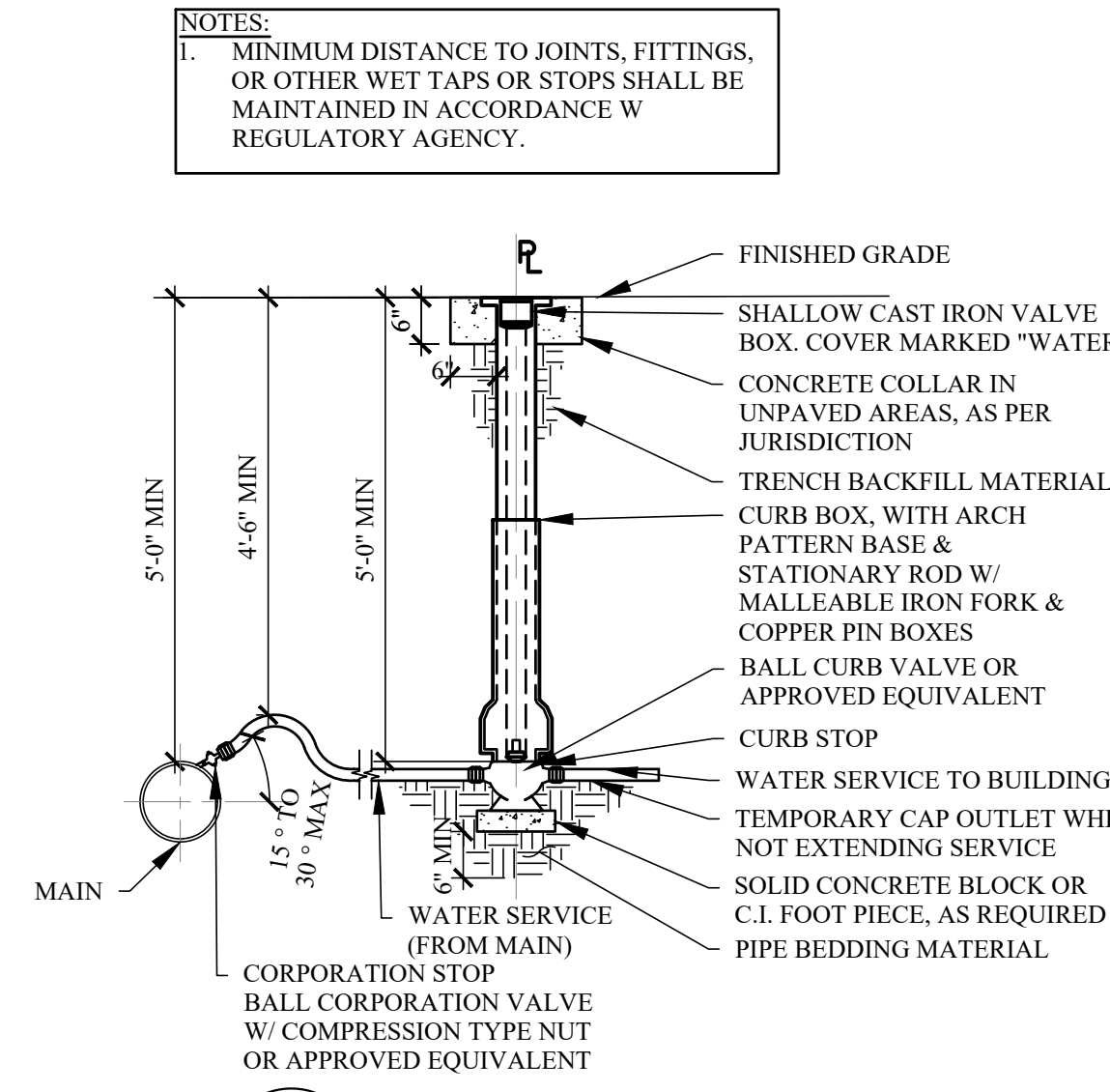
1 TYP. UTILITY TRENCH DETAIL AT ROAD
SCALE: 1/2"=1'-0"



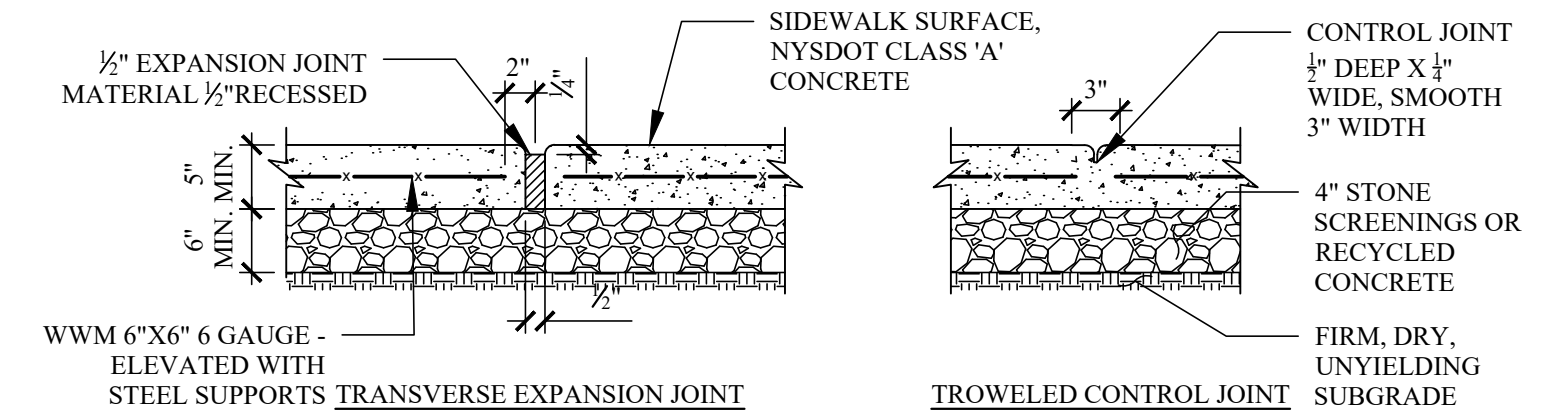
2 SANITARY LINE CONNECTION DETAIL
SCALE: 1/2"=1'-0"



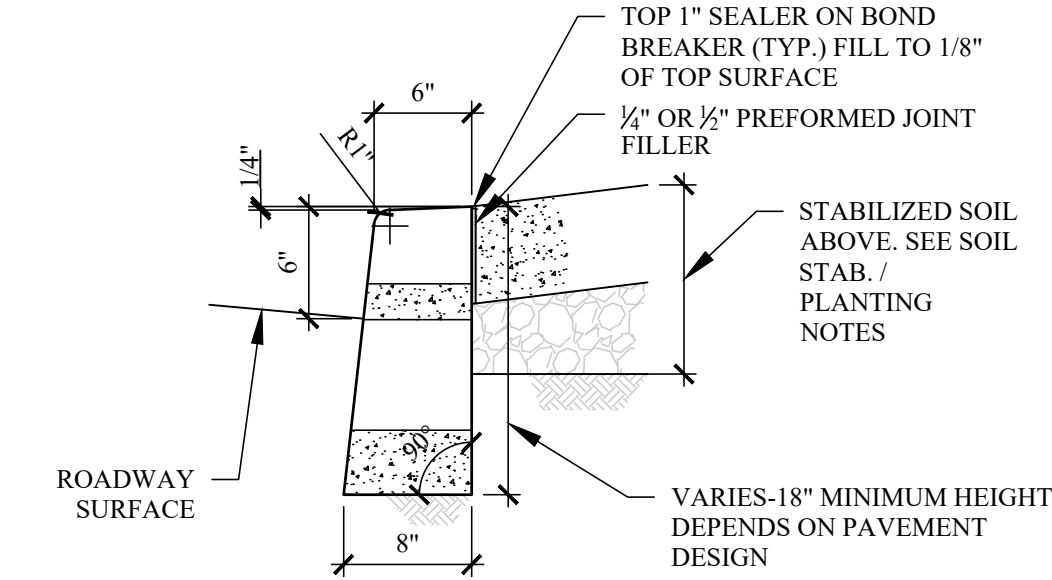
3 WATER LINE CONNECTION DETAIL
NOT TO SCALE



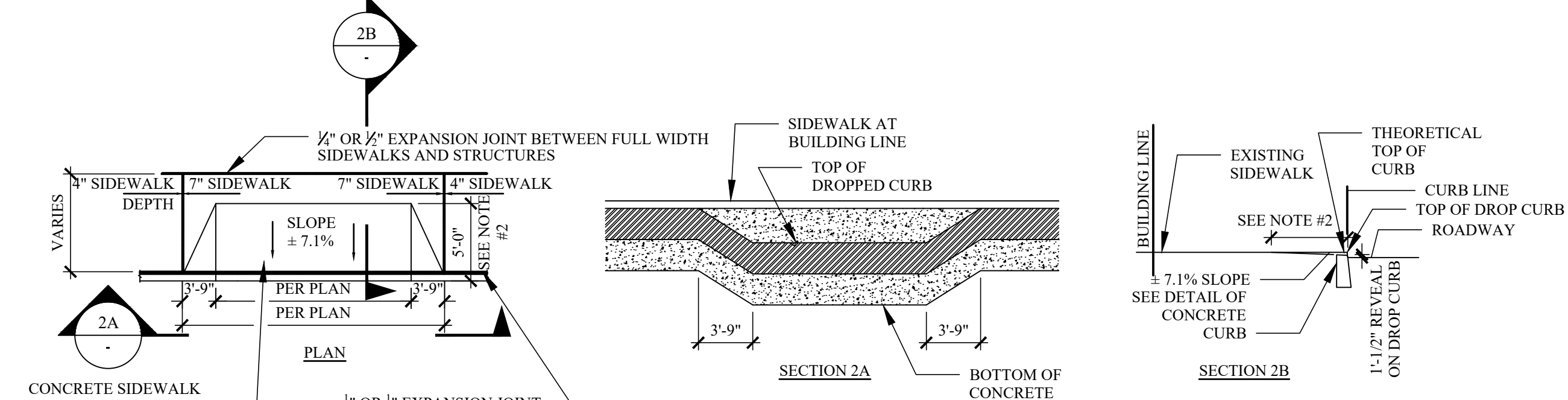
4 WATER SERVICE DETAIL
SCALE: 1/2"=1'-0"



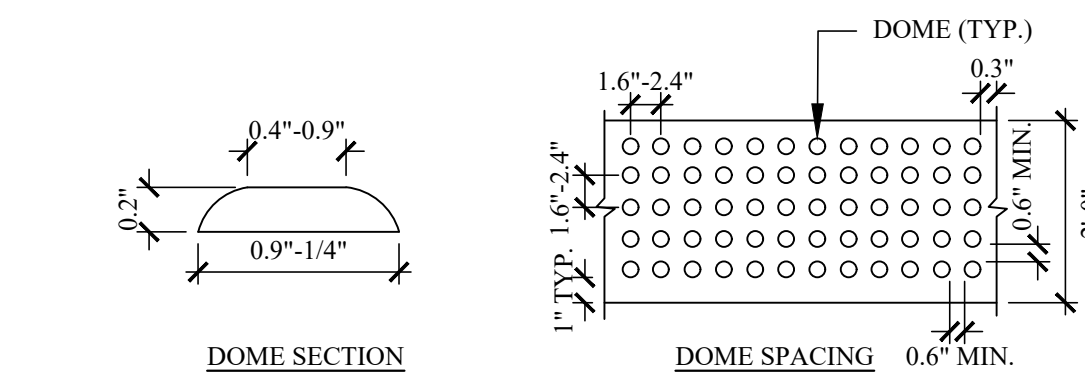
5 CONCRETE SIDEWALK
SEE DOT STD H-1045
SCALE: 1"=1'-0"



6 CONCRETE CURB
NOT TO SCALE
DOT DWG #1044



7 DROP CURB DETAIL
NOT TO SCALE



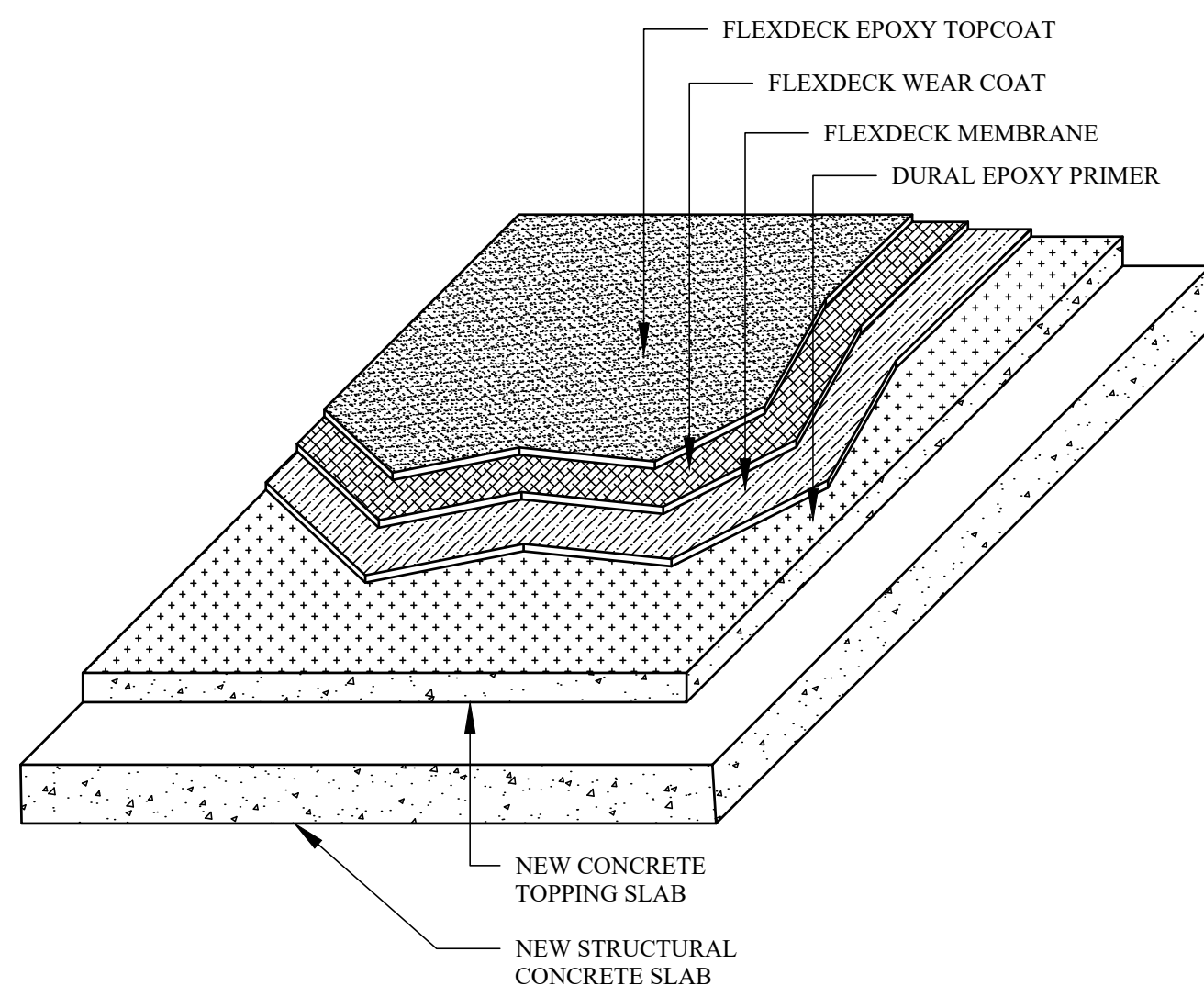
8 DOT DETAIL-8
DETECTABLE WARNING DOME SIZING
NOT TO SCALE

NOTE: THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING FIELD (THE DOMES AND THE ENTIRE 2'-0" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY

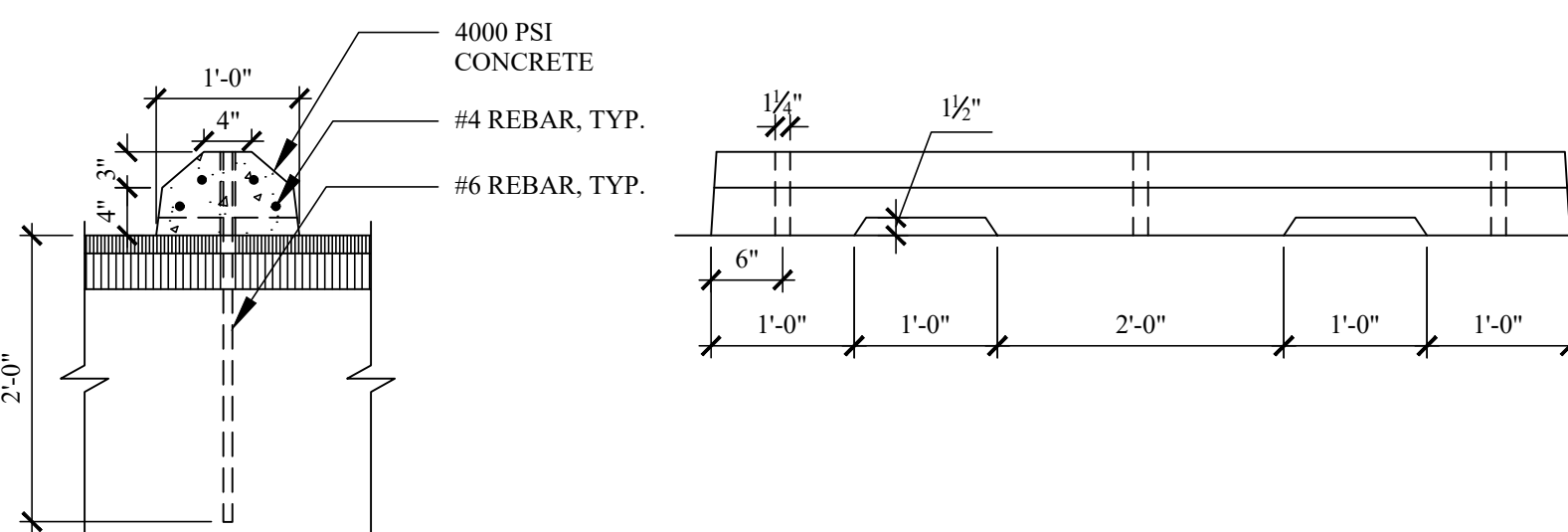
- NOTES:
- CONCRETE TO BE CLASS B-32 TYPE IIA
 - 3'-6" TO 5'-0" AS ORDERED BY THE ENGINEER EXCEPT FOR THE FIRE DEPARTMENT DRIVEWAYS WHICH WILL SLOPE STRAIGHT BACK TO THE PROPERTY LINE.

REPAIR PROCEDURE:

- AFTER THE NEW CONCRETE TOPPING HAVE PROPERLY CURED AND AT LEAST 28 DAYS OLD, SHOTBLAST CLEAN HORIZONTAL SURFACES AND SANDBLAST CLEAN VERTICAL SURFACES SCHEDULED TO RECEIVE TRAFFIC BEARING WATERPROOFING MEMBRANE. OIL STAINS, PAINT, AND OTHER CONTAMINANTS SHALL BE REMOVED AS RECOMMENDED BY THE SYSTEM MANUFACTURER.
- ALL CRACKS GREAT THAN 1/16" SHALL BE ROUTED AND SEALED.
- ALL CRACKS LESS THAN 1/16" SHALL BE PREPARED AS PER MANUFACTURER'S RECOMMENDED PROCEDURE AND SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONSTRUCTION JOINTS SHALL BE ROUTED AND SEALED.
- ALL COVE JOINTS SHALL BE INSTALLED BEFORE MEMBRANE INSTALLATION.
- THE SYSTEM MANUFACTURER AND COATING APPLICATOR SHALL PERFORM THE FOLLOWING TO ASSURE SYSTEM PERFORMANCE:
 - VERIFY MOISTURE CONTENT OF EXISTING CONCRETE AND NEW CONCRETE REPAIR AREAS.
 - PERFORM ADHESION TESTING ON EXISTING CONCRETE AND NEW CONCRETE REPAIR AREAS TO VERIFY COMPLIANCE WITH SYSTEM PERFORMANCE. DECK PREPARATION SHALL BE PER SPECIFICATION IN ALL TEST AREAS.
 - THE SYSTEM MANUFACTURER AND COATING APPLICATOR SHALL SUBMIT A JOINT LETTER STATING THAT THE ABOVE TESTING WAS PERFORMED, THAT THE SURFACE PREPARATION IS ACCEPTABLE, AND THAT THE SYSTEM WILL PERFORM PER SPECIFICATION, AS APPLIED ON CONCRETE SLAB.
- APPLY CONCRETE PRIMER PER MANUFACTURER'S RECOMMENDATIONS.
- DETAIL CRACKS WITH BASE COATS AS PER MANUFACTURER'S RECOMMENDED PROCEDURE.
- APPLY BASE COAT TO THE SPECIFIED THICKNESS.
- APPLY THE REINFORCED WATERPROOFING SYSTEM TO THE SPECIFIED THICKNESS. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS AND CONTRACT SPECIFICATIONS.
- INSTALL A LAYER OF COLOR FINISH WITH A ROLLER TO THE SPECIFIED THICKNESS PER MANUFACTURER'S RECOMMENDATIONS. COLOR SHALL BE SELECTED BY THE OWNER.



9 LIQUID APPLIED TRAFFIC MEMBRANE SYSTEM
FOR VEHICULAR TRAFFIC BEARING AREAS
SCALE: 1/2" = 1'-0"



10 CONCRETE WHEELSTOP
SCALE: 3/4" = 1'-0"

| NO. | DATE | DESCRIPTION |
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PROJECT:
80 S BROADWAY
NYACK, NY

SITE UTILITY DETAILS-1

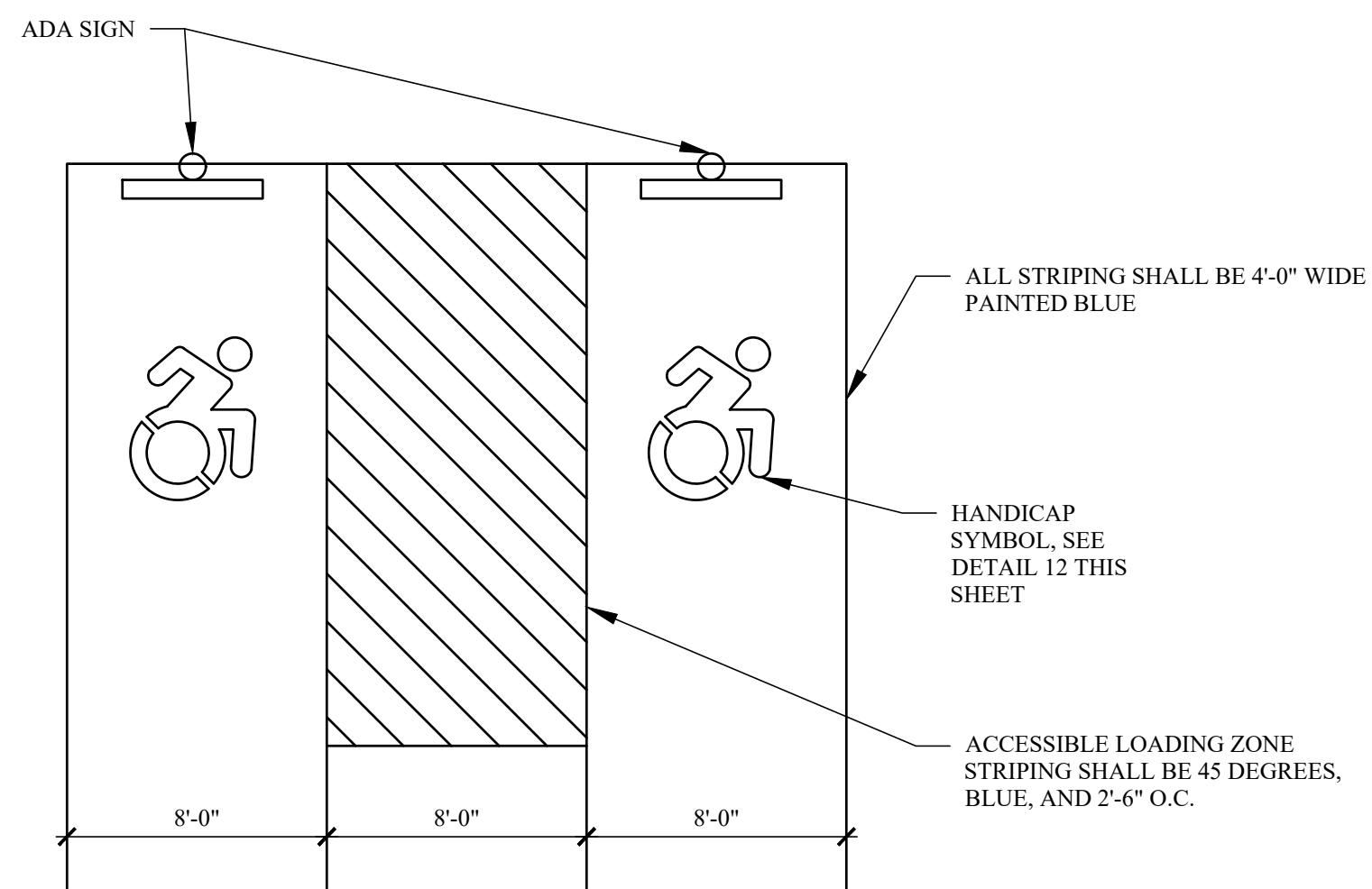
SEAL AND SIGNATURE:



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NY P.E. 074213-1 NY R.A. 027028-1

BEARING BOARD RESUBMISSION
DATE: 02/10/2026
PROJECT NO.: 22-143
DRAWN/CHK BY: JB/DT
SCALE: AS NOTED
DWG NO.:

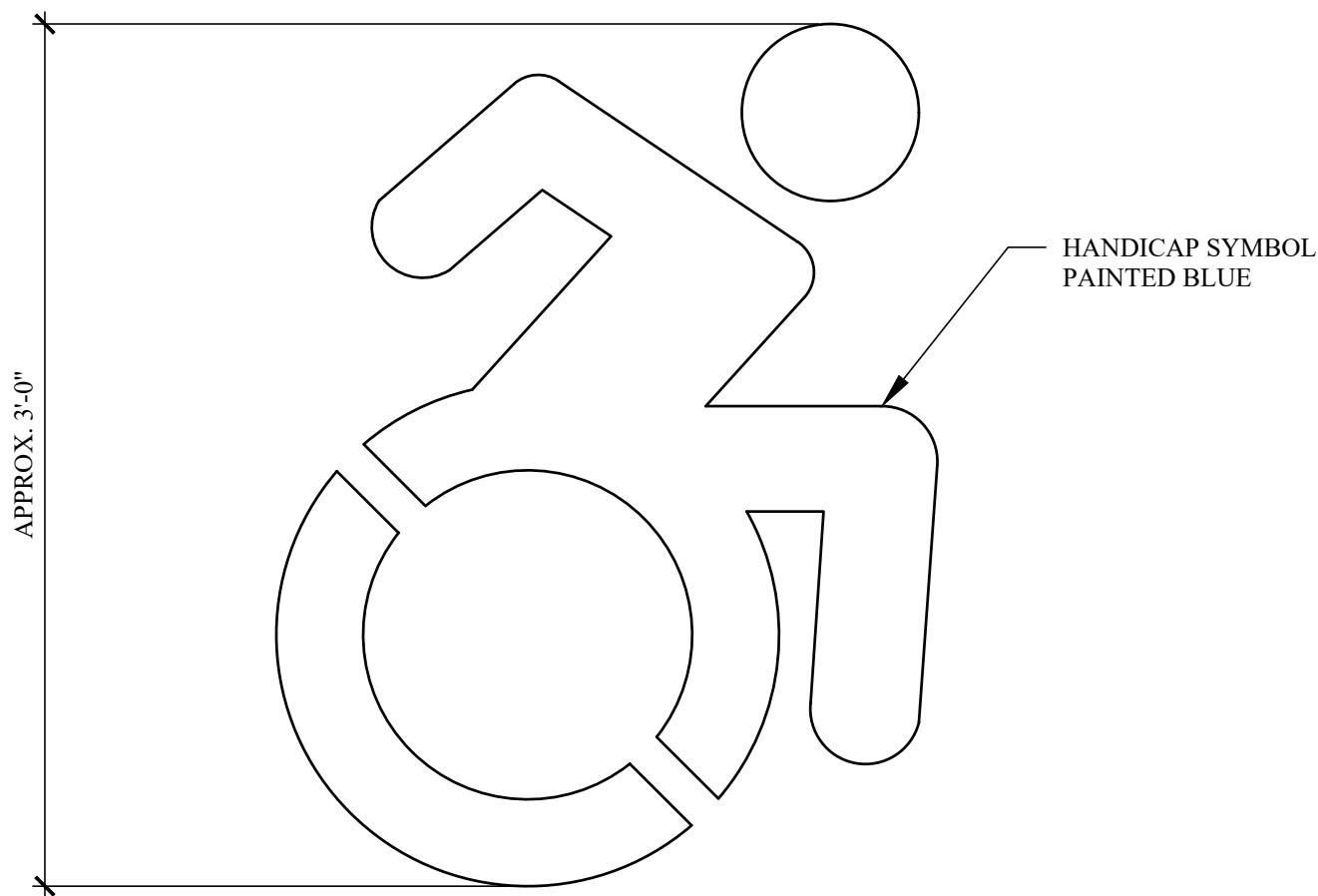
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11 TYPICAL ADA VAN AND CAR PARKING DETAIL

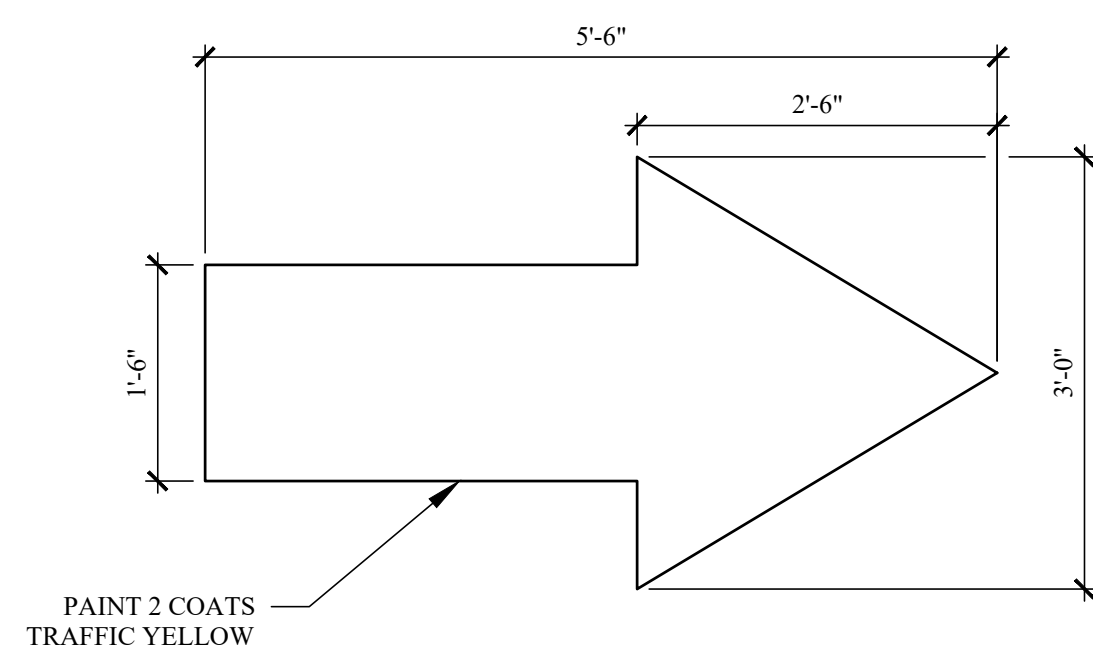
SCALE: 3/16" = 1'-0"

- NOTES:
1. ALL STRIPING AND SYMBOLS SHALL BE BLUE AND 4" WIDE.
 2. FINISHED GRADES SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.



12 HANDICAP SYMBOL FOR PARKING STALL

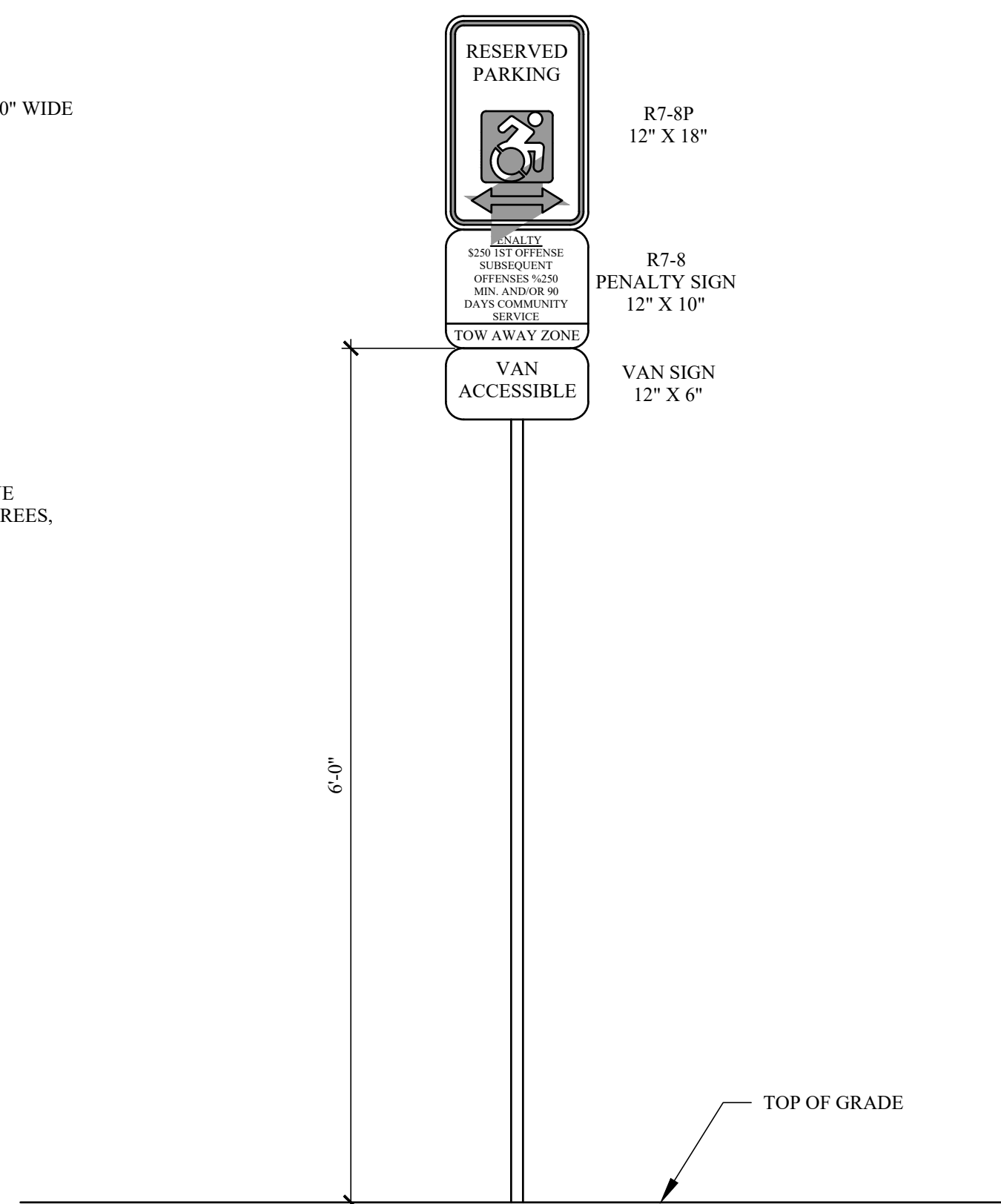
NOT TO SCALE



14 PAVEMENT DIRECTIONAL ARROW

SCALE: 3/4" = 1'-0"

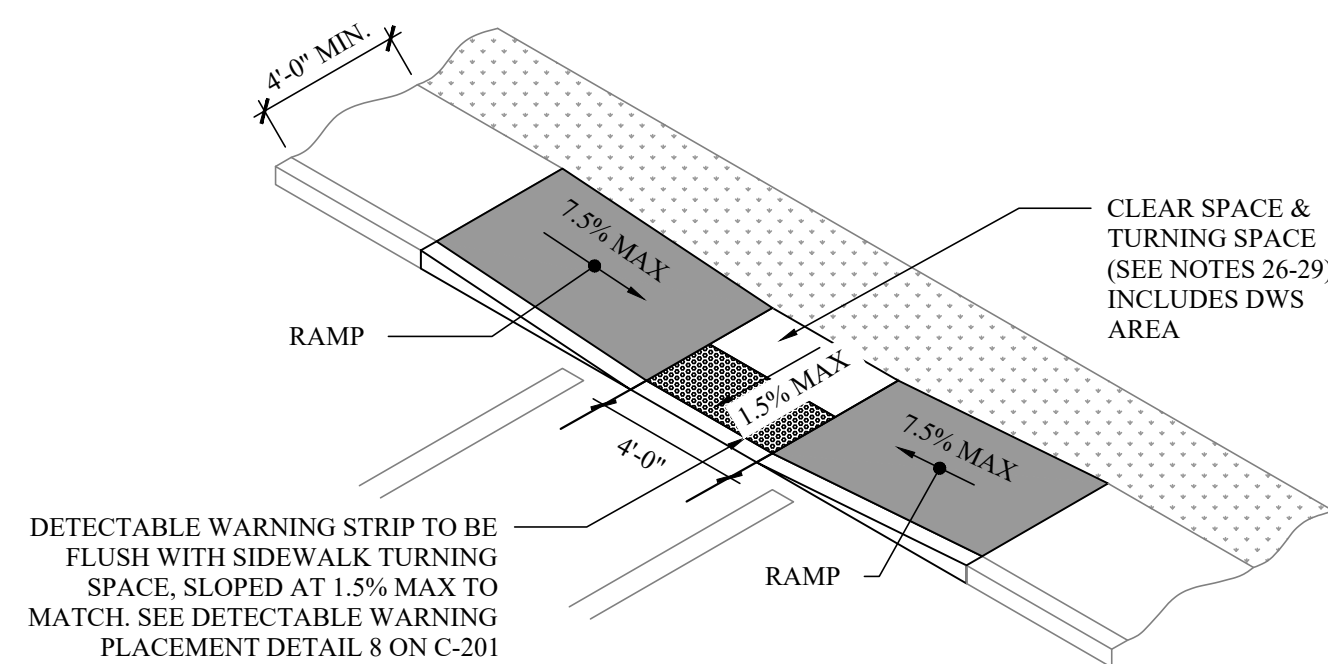
- NOTES:
1. PROVIDE YELLOW PAINTED DIRECTIONAL ARROW AT ALL LOCATIONS INDICATED ON ARCHITECTURAL SITE PLAN.



13 TYPICAL HANDICAP SIGN DETAIL

NOT TO SCALE

- NOTES:
1. THE BOTTOM OF THE R7-8 SIGN SHALL BE MOUNTED APPROXIMATELY 60 INCHES ABOVE THE PARKING LOT OR SIDEWALK SURFACE WHEN THE SIGN IS PARALLEL TO THE SIDEWALK AND APPROXIMATELY 72 INCHES ABOVE THE PARKING LOT OR SIDEWALK SURFACE WHEN THE SIGN IS PERPENDICULAR TO THE SIDEWALK.
 2. THE R7-8 SIGN SHALL BE CENTERED AND MOUNTED AT THE HEAD OF EACH PARKING SPACE.
 3. THE SIGNS SHOULD HAVE A GREEN LEGEND AND BORDER ON A WHITE BACKGROUND. THE SIGN SHALL ALSO DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NORMALLY BLUE).
 4. EACH ACCESSIBLE PARKING SPACE SHALL ALSO BE MARKED WITH A BLACK LEGEND AND BORDER ON A WHITE BACKGROUND (DIMENSIONS AND COLORS AS PER NEW YORK DEPARTMENT OF TRANSPORTATION), BENEATH THE R7-8P SIGN.



17 CURB RAMP CONFIGURATION

TYPE 9 MID BLOCK CROSSING OR T-INTERSECTION NOT TO SCALE

- NOTE:
1. SEE NYSDOT SHEET U.S. CUSTOMARY STANDARD SHEET 608-01 (SHEET 6 OF 12).
 2. TURNING SPACE AND CLEAR SPACE NOTES TAKEN FROM NYSDOT SHEET U.S. CUSTOMARY STANDARD SHEET 608-01 (SHEET 1 OF 12).

TURNING SPACE AND CLEAR SPACE NOTES

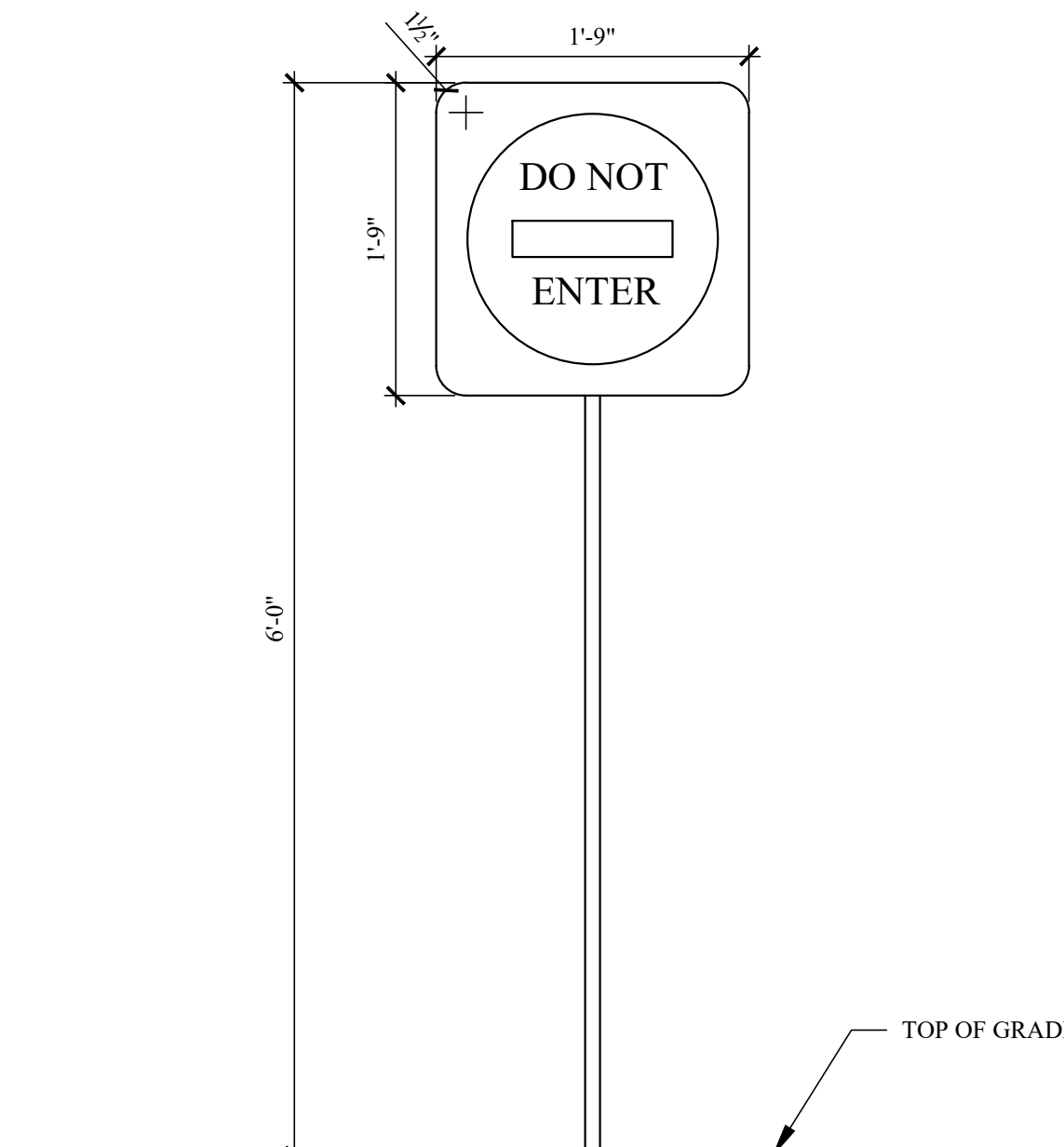
26. WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED AT THE BASE OR THE TOP OF CURB RAMP, AS APPLICABLE. TURNING SPACES SHALL BE PERMITTED TO OVERLAP CLEAR SPACES.

27. WHERE THERE ARE NO VERTICAL CONSTRAINTS AT THE BACK OF SIDEWALK, E.G., VERTICAL CURBS, BUILDINGS, FENCES, THE TURNING SPACE DIMENSIONS SHALL BE 4'-0" X 4'-0" MINIMUM. WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK, THE TURNING SPACE SHALL BE 4'-0" X 5'-0" MINIMUM. THE 5'-0" DIMENSION SHALL BE IN THE DIRECTION OF THE RAMP RUN.

28. TURNING SPACES SHALL NOT BE DESIGNED WITH A SLOPE GREATER THAN 1.5% IN ANY DIRECTION, WHILE PROVIDING POSITIVE DRAINAGE. THE MAXIMUM SLOPE FOR WORK ACCEPTANCE IS 2.0%. THE FOLLOWING EXCEPTIONS ARE ALLOWED:

A. WHERE PEDESTRIAN STREET CROSSINGS ARE PROVIDED AT INTERSECTIONS WHERE THERE IS NO YIELD OR STOP CONTROL OR WHERE THERE IS A TRAFFIC SIGNAL THAT IS DESIGNATED FOR THE GREEN PHASE, AND AT MIDBLOCK CROSSINGS, THE CROSS-SLOPE OF THE TURNING SPACE SHALL BE PERMITTED TO EQUAL THE STREET OR HIGHWAY GRADE. WHEN A RAMP EXISTS BETWEEN THE TURNING SPACE AND THE CURB, THE CROSS SLOPE OF THE TURNING SPACE SHOULD BE LESS STEEP THAN THE ROADWAY GRADE AND AS FLAT AS PRACTICABLE WHEREVER POSSIBLE.

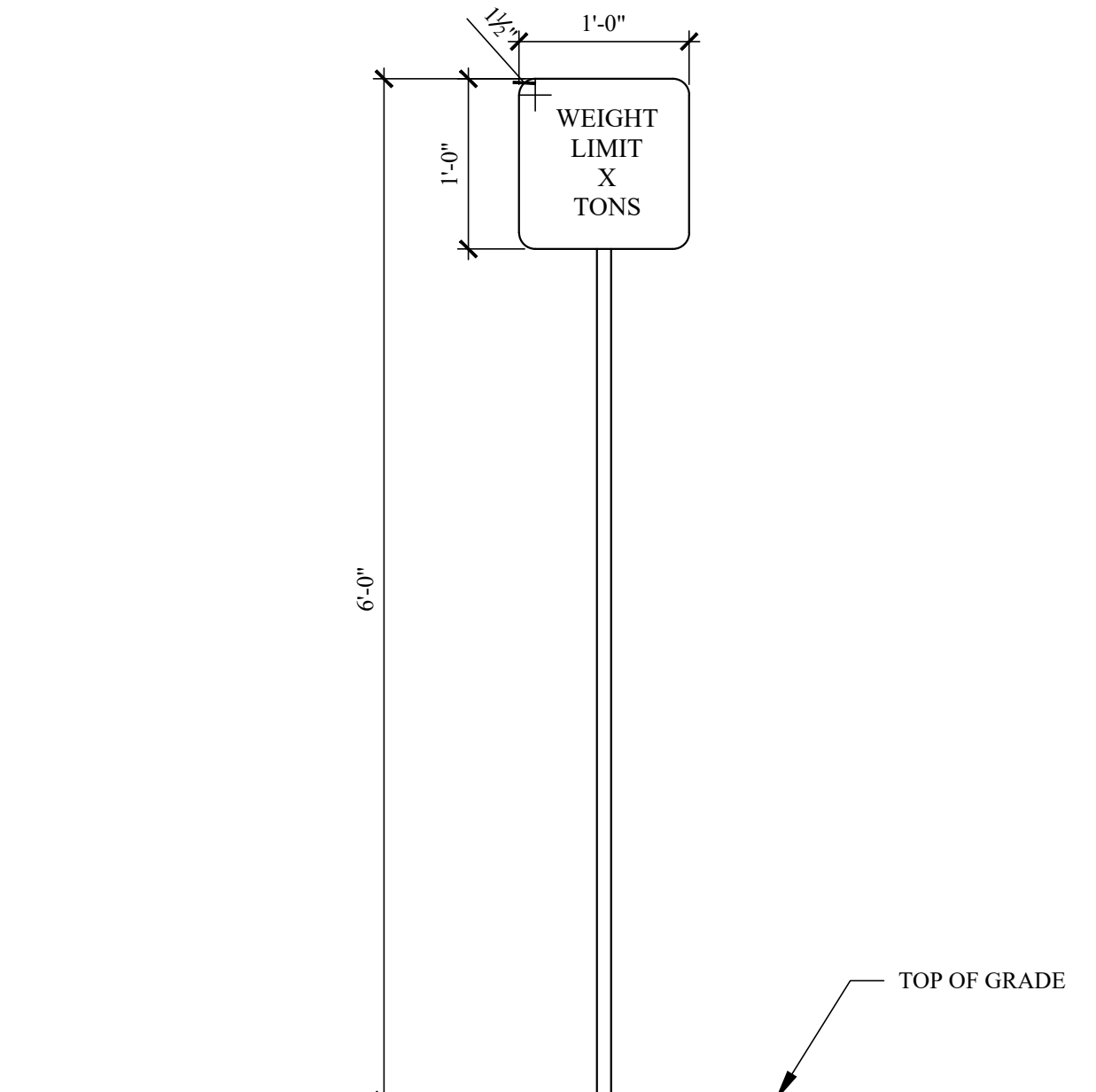
29. BELOW THE BOTTOM GRADE BREAK OF A CURB RAMP, A CLEAR SPACE OF 4'-0" X 4'-0" MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN CROSSWALK, AND OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. THE CLEAR SPACE MAY OVERLAP TURNING SPACES, DETECTABLE WARNING SURFACES, AND DROP CURBS.



15 TYPICAL DO NOT ENTER SIGN

NOT TO SCALE

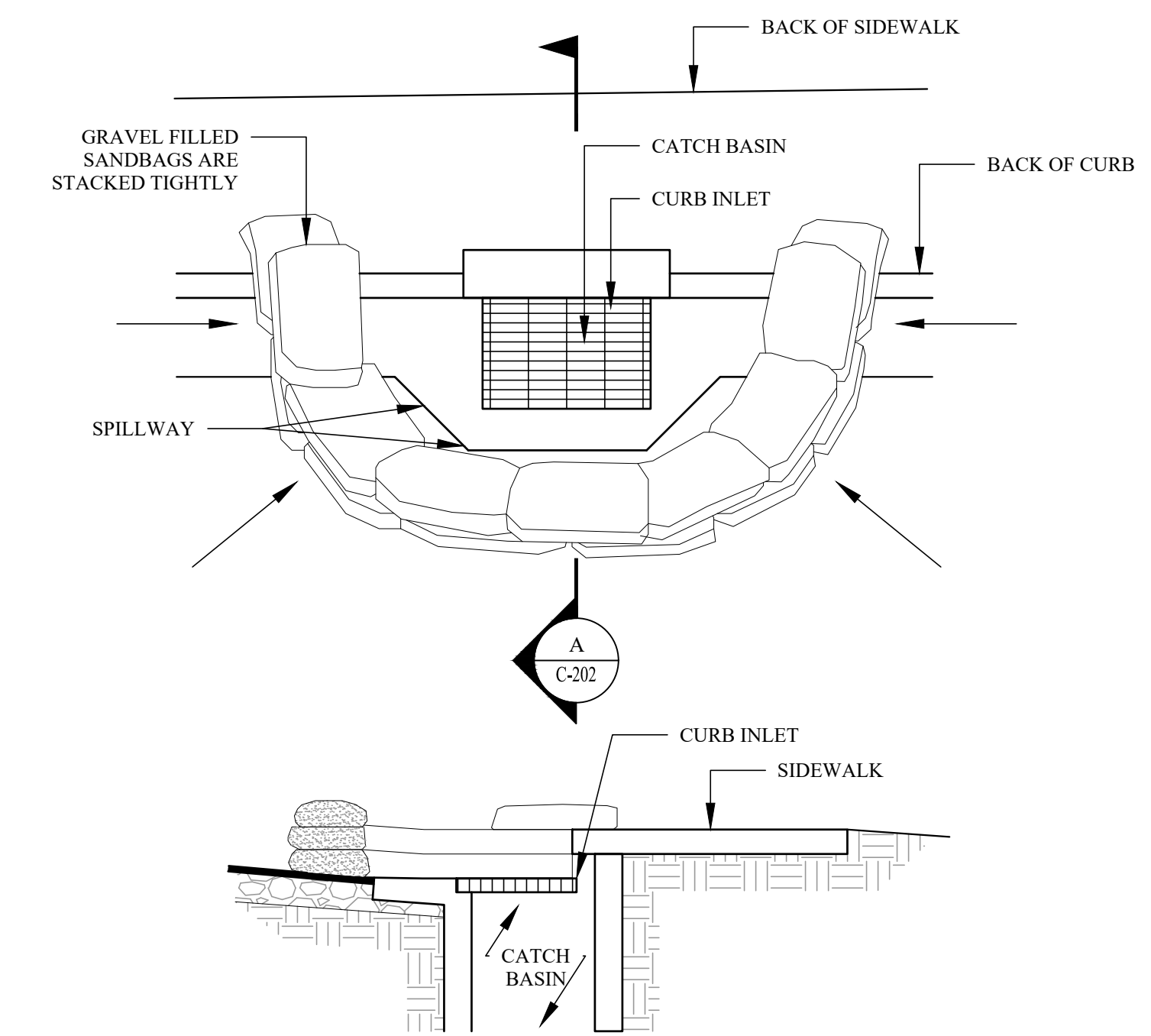
- NOTES:
1. SEE NYS DOT U.S. CUSTOMARY SHEET 645-01 FOR OVERALL SIGN BLANK SIZE.
- NYS DOT NOTES:
1. SIGN BLANKS SHALL BE 10 GAUGE THICK ALUMINUM.



16 TYPICAL WEIGHT LIMIT SIGN

NOT TO SCALE

- NOTES:
1. SEE NYS DOT U.S. CUSTOMARY SHEET 645-01 FOR OVERALL SIGN BLANK SIZE.
- NYS DOT NOTES:
1. SIGN BLANKS SHALL BE 10 GAUGE THICK ALUMINUM.



SECTION A

- NOTES:
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 2. SANDBAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
 4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

18 DROP INLET PROTECTION

SCALE: 1/2" = 1'-0"

| NO. | DATE | DESCRIPTION |
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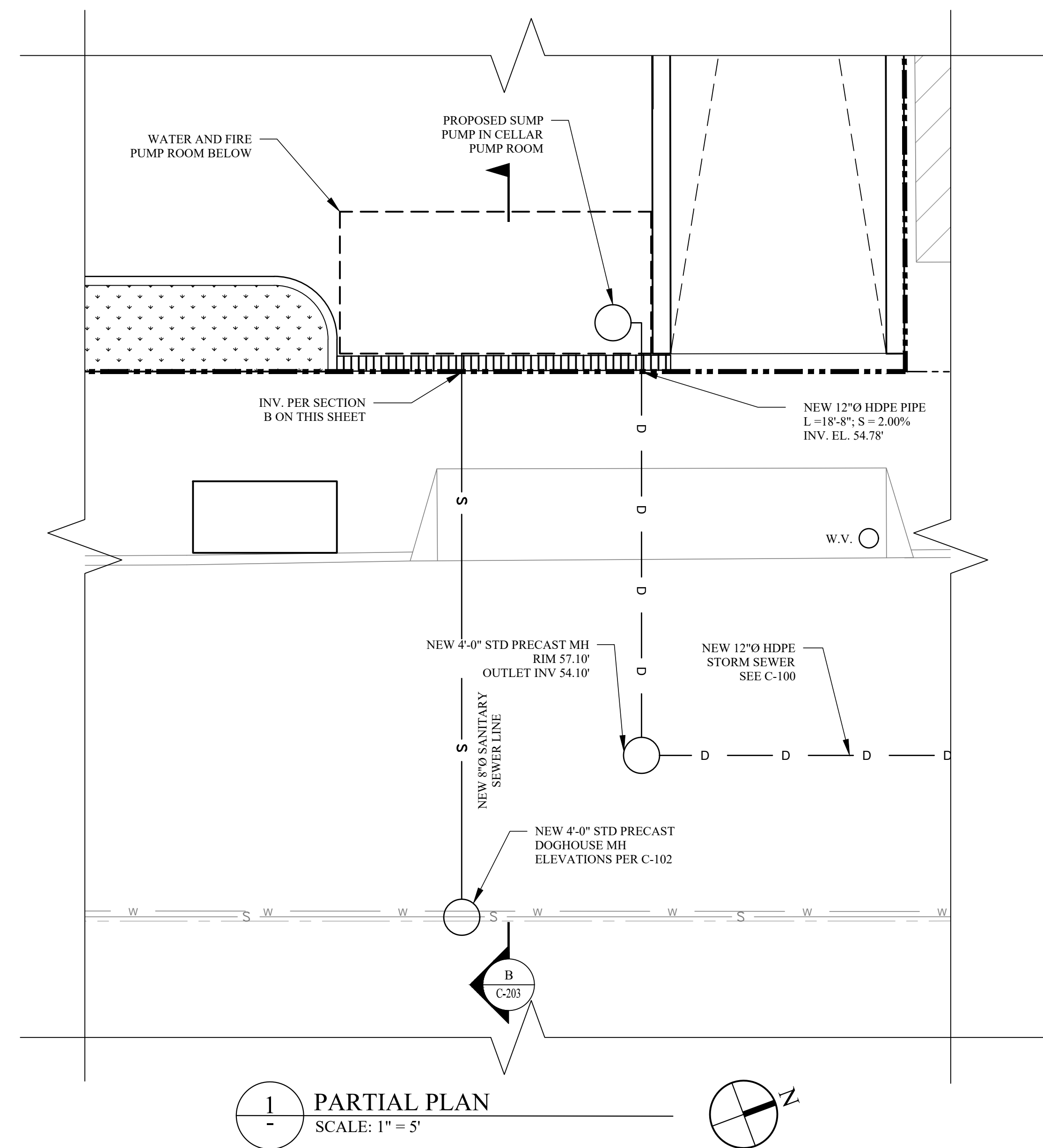
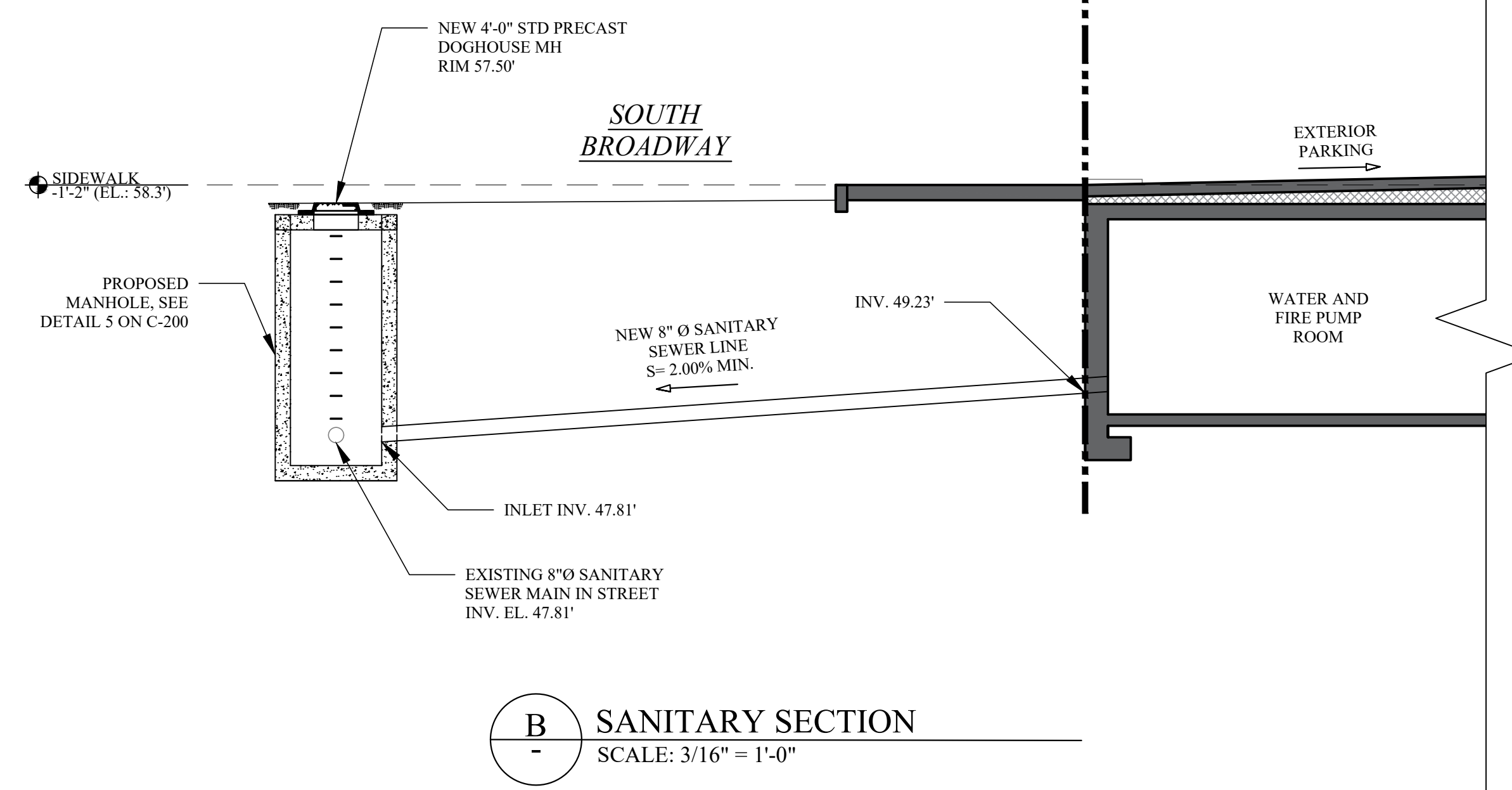
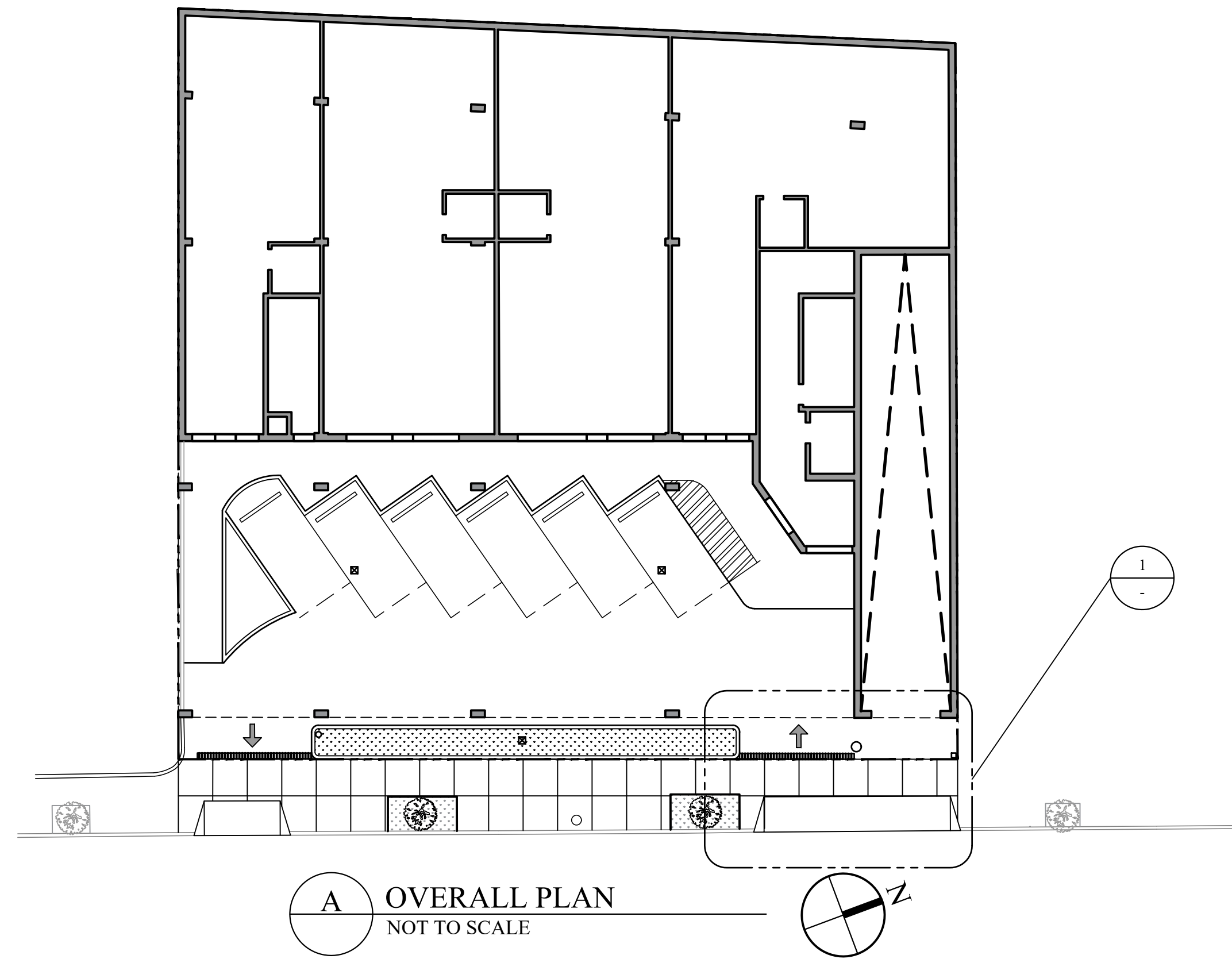
SITE UTILITY DETAILS-2

SEAL AND SIGNATURE:



DOMINICK R. PILLA, P.E., R.A.
NY P.E. 074213-1 NY R.A. 027028-1

REOPENING BOARD RESUBMISSION
DATE: 02/10/2026
PROJECT NO.: 22-143
DRAWN/CHK BY: JB/DT
SCALE: AS NOTED
DWG NO.: C-202.00



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PROJECT:
80 S BROADWAY
NYACK, NY

SITE UTILITY DETAILS-3

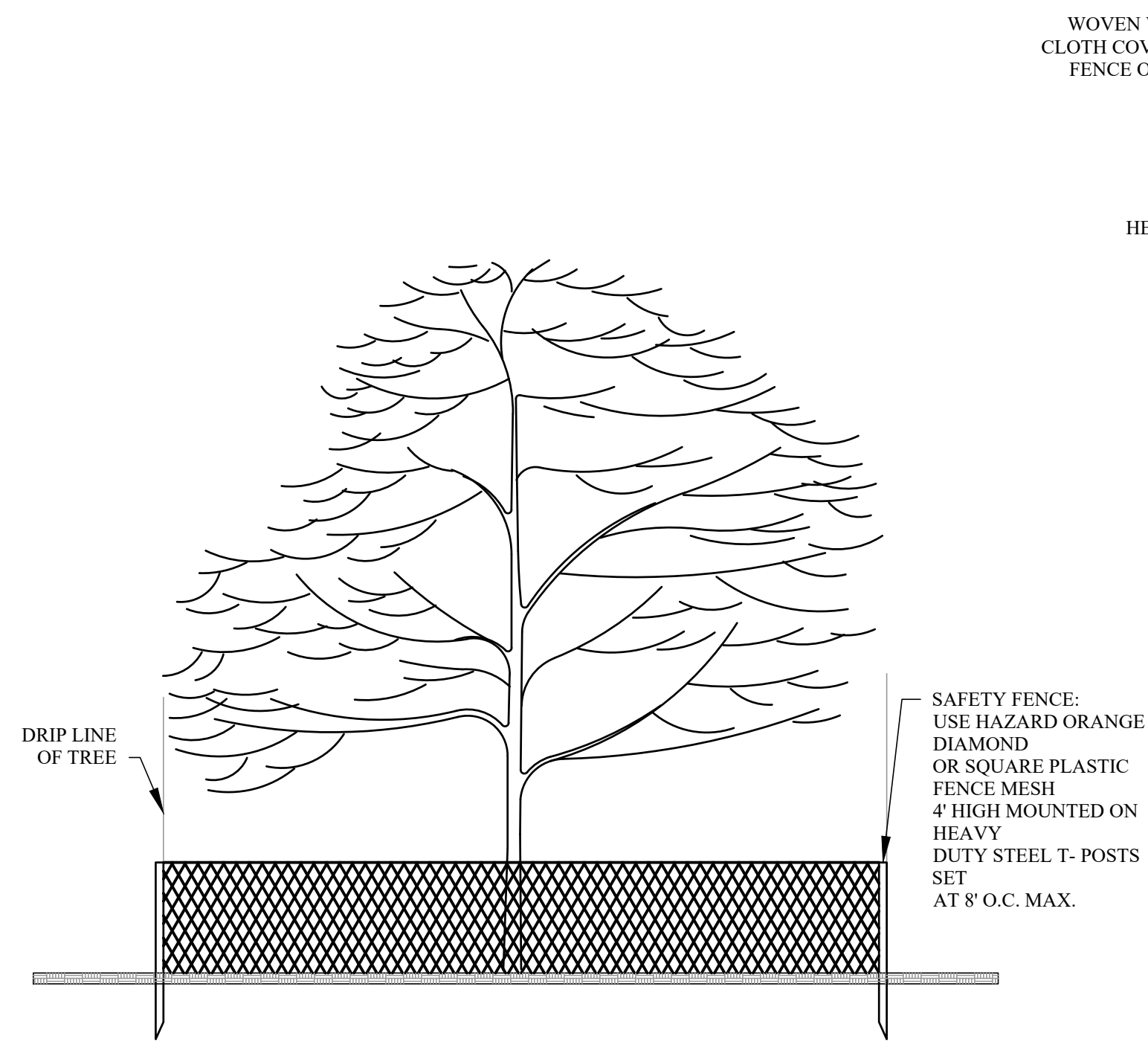
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NY P.E. 074213-1 NY R.A. 027028-1

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DATE: 02/10/2026
PROJECT NO.: 22-143
DRAWN/CHK BY: JB/DT
SCALE: AS NOTED
DWG NO.:

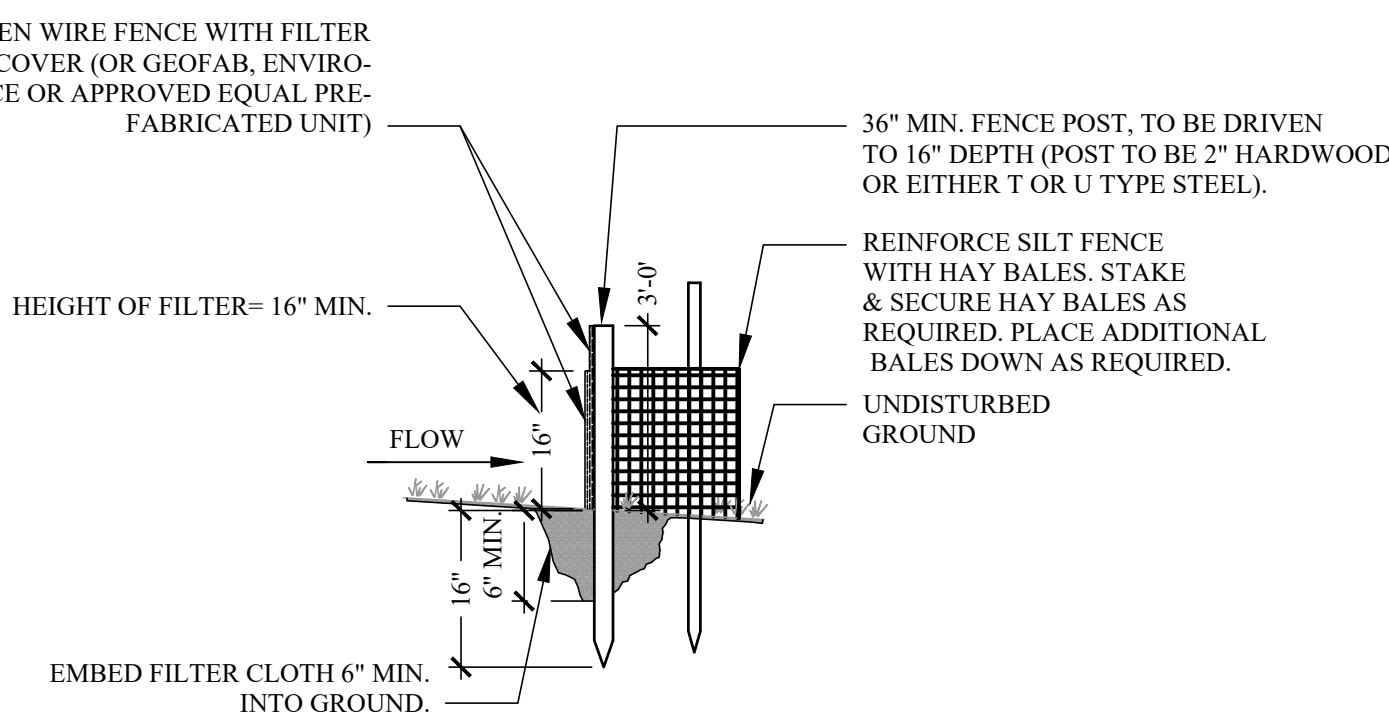
C-203.00



- 1- THE PROJECT DEVELOPER SHALL TAKE REASONABLE PRECAUTION TO SAVE SPECIMEN QUALITY TREES IN AREAS NOTED ON THE PLANS FOR CLEARING. WHEN POSSIBLE, THE DEVELOPER SHALL PROTECT INDIVIDUAL SPECIMEN TREES THROUGH THE INSTALLATION OF SAFETY FENCING AROUND THE DRIP LINE PERIMETER OF THE TREE.
- 2- SAFETY FENCING SHALL BE INSTALLED AT THE ONSET OF SITE CONSTRUCTION TO PREVENT VEHICLE TRAFFIC FROM COMPACTING THE SOILS IN THE VICINITY OF THE TREE ROOT STRUCTURE.

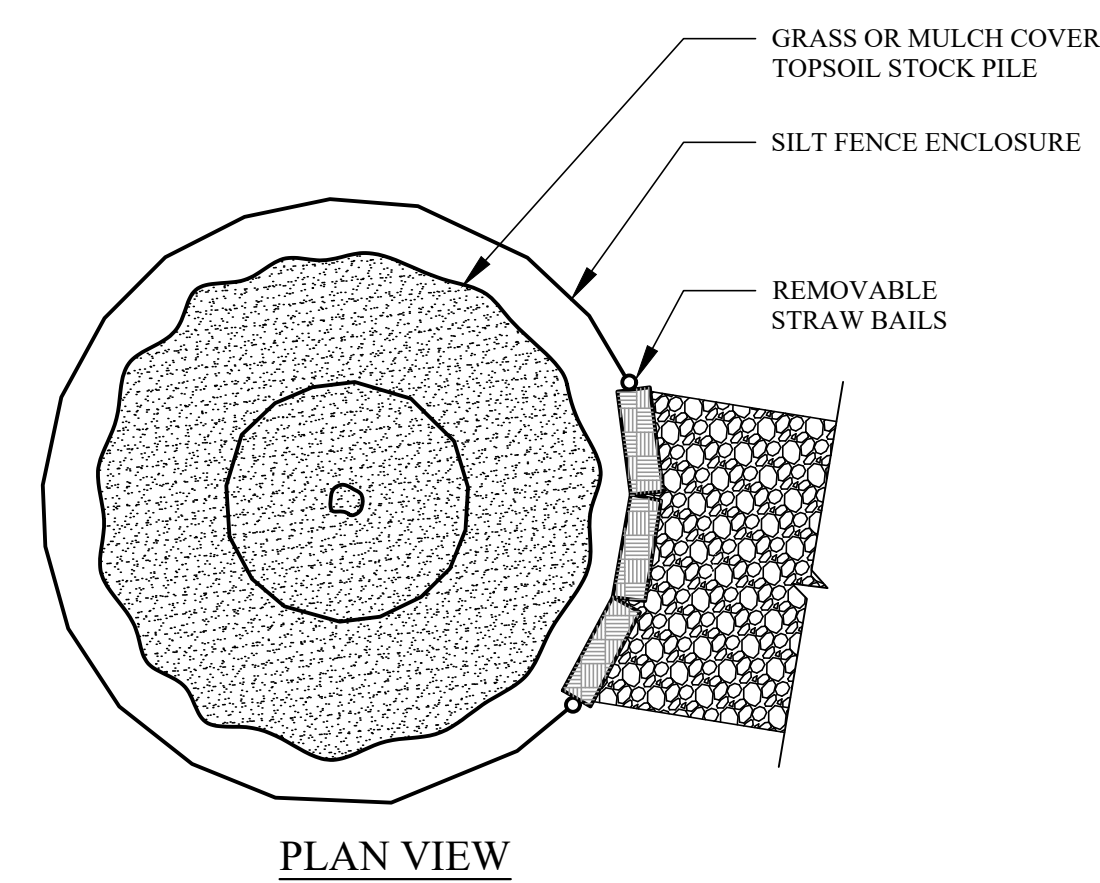
TREE PROTECTION DETAIL

1 TREE PROTECTION DETAIL
- NOT TO SCALE

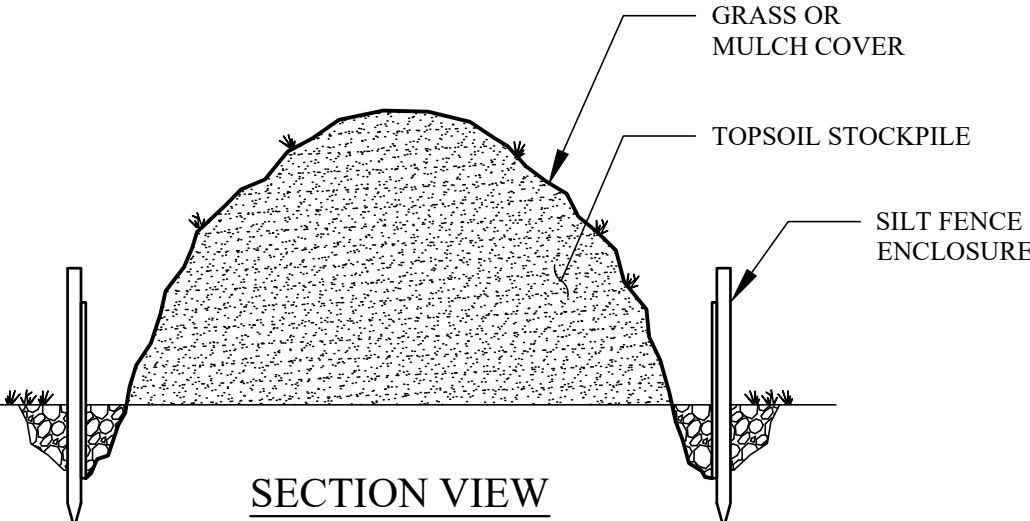


- NOTES:
- 1- POST SPACING TO BE 10' MAX. O.C.
 - 2- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - 3- WOVEN WIRE FENCE TO BE 14 GA. MIN., 6" MAX. SPACING.
 - 4- FILTER CLOTH TO BE FILTER X, MIRAFI 100XOR APPROVED EQUAL.
 - 5- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE, WITH WIRE TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - 6- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED OR TIED TO A POST (PROVIDE POST AT SPLICE).
 - 7- MAINTENANCE SHALL BE PERFORMED AS NEEDED, AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
 - 8- BALES SHALL BE PLACED AT THE TOE OF SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - 9- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
 - 10- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN 1 1/2" TO 2" INTO THE GROUND AND FLUSH WITH THE BALE.
 - 11- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - 12- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

2 TYPICAL SILT FENCE DETAIL
- NOT TO SCALE



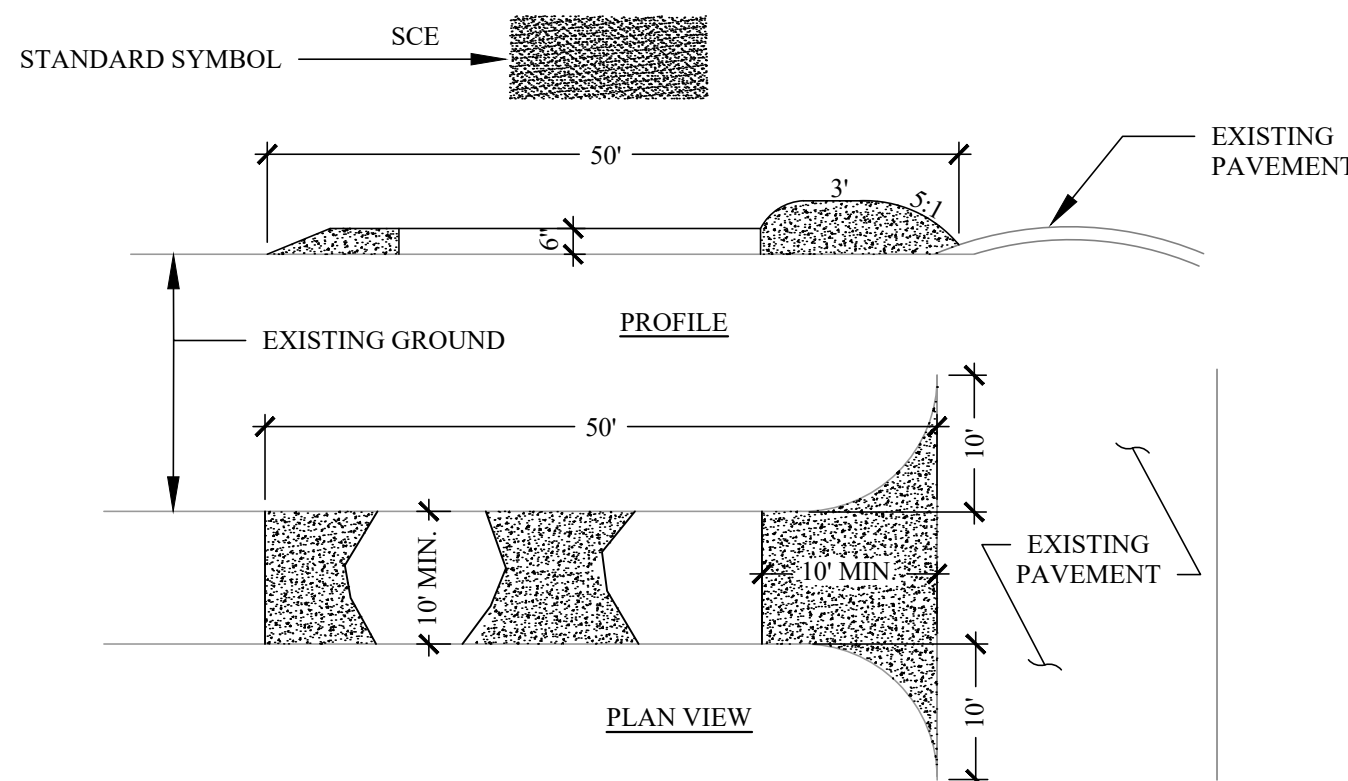
PLAN VIEW



SECTION VIEW

- NOTES:
1. SOIL STOCKPILE SHALL BE ENCLOSED WITH SILT FENCING WITH PASSAGEWAY PROVIDED FOR EQUIPMENT ACCESS.
 2. PROVIDE TEMPORARY GRASS OR MULCH COVER IF STOCKPILE IS TO REMAIN UNDISTURBED FOR THIRTY DAYS OR MORE. TEMPORARY COVER SHALL CONSIST OF ONE OF THE FOLLOWING MEASURES:
 - 3- GRASS SEED: 1/2 LB. RYE GRASS /1000S.F
 - 4- MULCH: 100LBS OF STRAW OR HAY/1000S.F

3 SOIL STOCK PILE DETAIL
- NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS:
- 1- STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - 2- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - 3- THICKNESS - NOT LESS THAN (6) INCHES.
 - 4- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - 5- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 - 6- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPE WILL BE PERMITTED.
 - 7- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANING OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
 - 8- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - 9- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

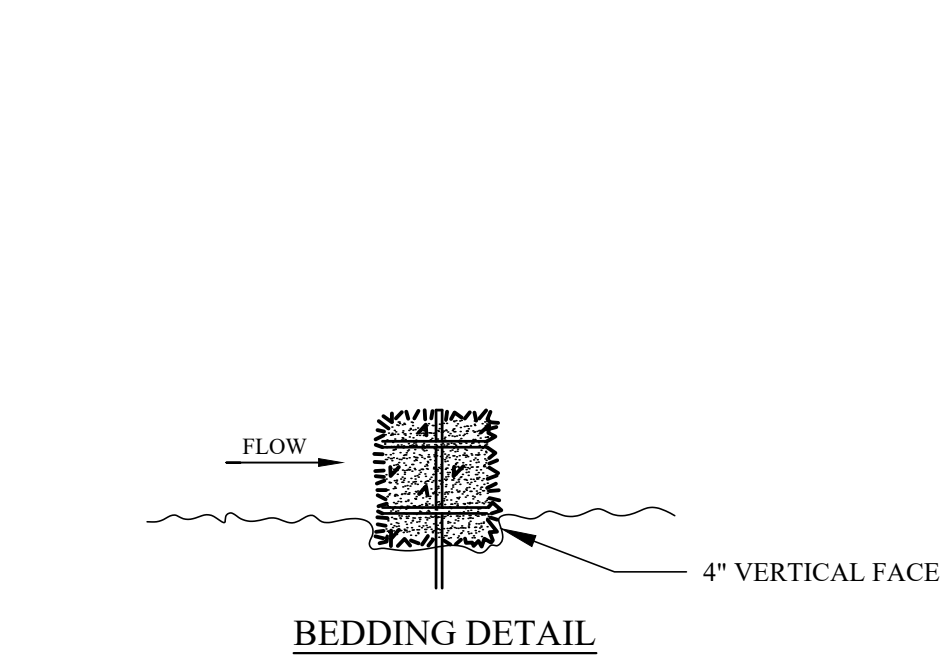
4 STABILIZED CONSTRUCTION ENTRANCE
- NOT TO SCALE

EROSION CONTROL:

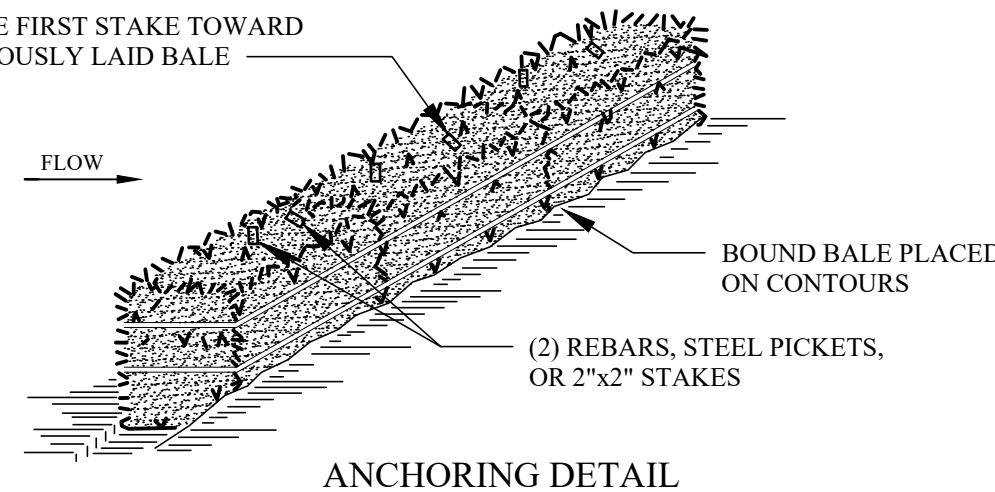
1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN STATE STANDARDS AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECTED TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO NY STANDARDS.
4.
 - A. TEMPORARY SEEDING AND MULCHING:
 - LIME - 90 LBS./1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS./1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED - PERENNIAL RYE GRASS 40 LBS./ACRE (1 LB./1,000 SF) OR OTHER APPROVED SEEDS, PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - B. PERMANENT SEEDING AND MULCHING:
 - TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
 - LIME - 90 LBS./1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS./1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 150 LBS./ACRE (3.5 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 15.
 - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID BINDER).
5. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
7. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A STRAW BALE SEDIMENT BARRIER AND/OR SILT FENCE.
8. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
9. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE ENGINEER.
10. DRIVEWAYS MUST BE STABILIZED WITH 1" - 2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
11. ALL SOIL, WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR INTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH NY STANDARDS.
13. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
14. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH NY STANDARDS.
15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH NY STANDARDS.
16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH NY STANDARDS.
17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORM WATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
18. ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
20. SILT FENCING SHALL BE ADJUSTED IN FIELD AND NOT ENCRUCH ONTO EXISTING TREES TO REMAIN AND SHALL ENCOMPASS LIMITS OF DISTURBANCE INCLUDING SEEPAGE PIT LOCATIONS.
21. THE TREE PROTECTION AND PRESERVATION WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - A. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - B. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 - C. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
 - D. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ONE (1) FOOT RADIUS FROM TRUCK PER INCH DBH.
 - DRIP LINE OF THE TREE CANOPY.

THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:

 - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - LIGHT IMPACT ONLY - INSTALLATION OF 1/2 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
22. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE CONTRACTOR SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE DRAWINGS. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE ENGINEER SHALL BE NOTIFIED IN ADVANCE TO INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE CONTRACTOR SHALL CONTACT THE ENGINEER AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
23. ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
24. IF THE CONTRACTOR, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREA, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER OF RECORD. THE CONTRACTOR MAY SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION.
25. THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE MUNICIPALITY.
26. PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.



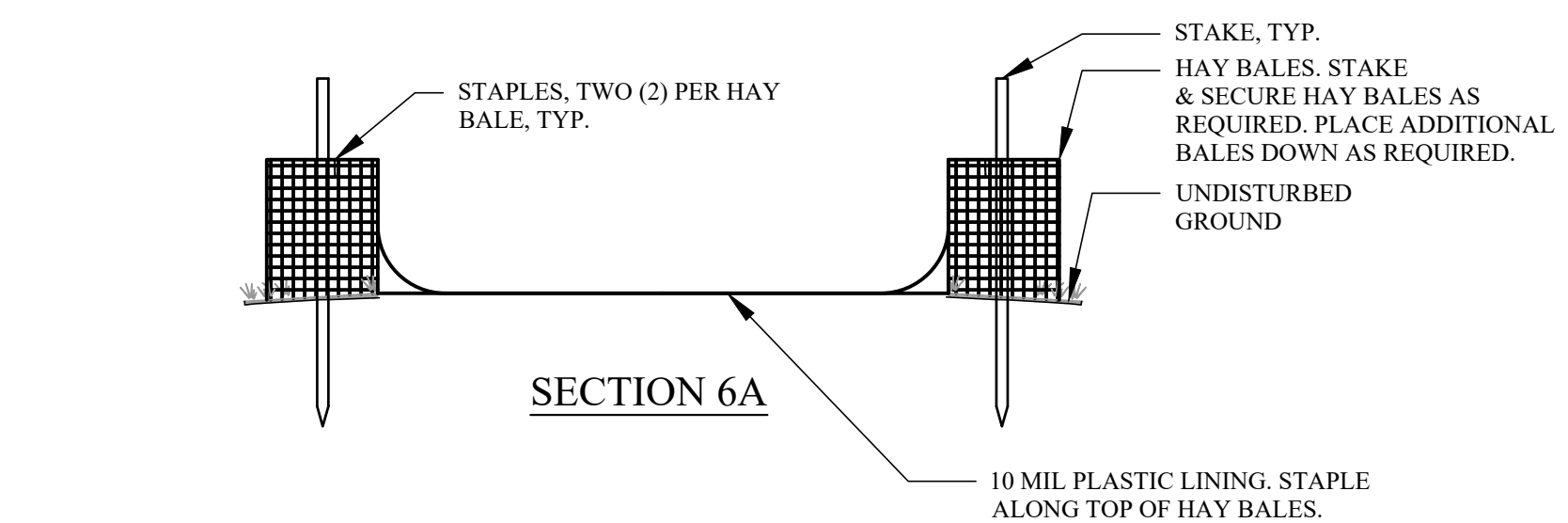
BEDDING DETAIL



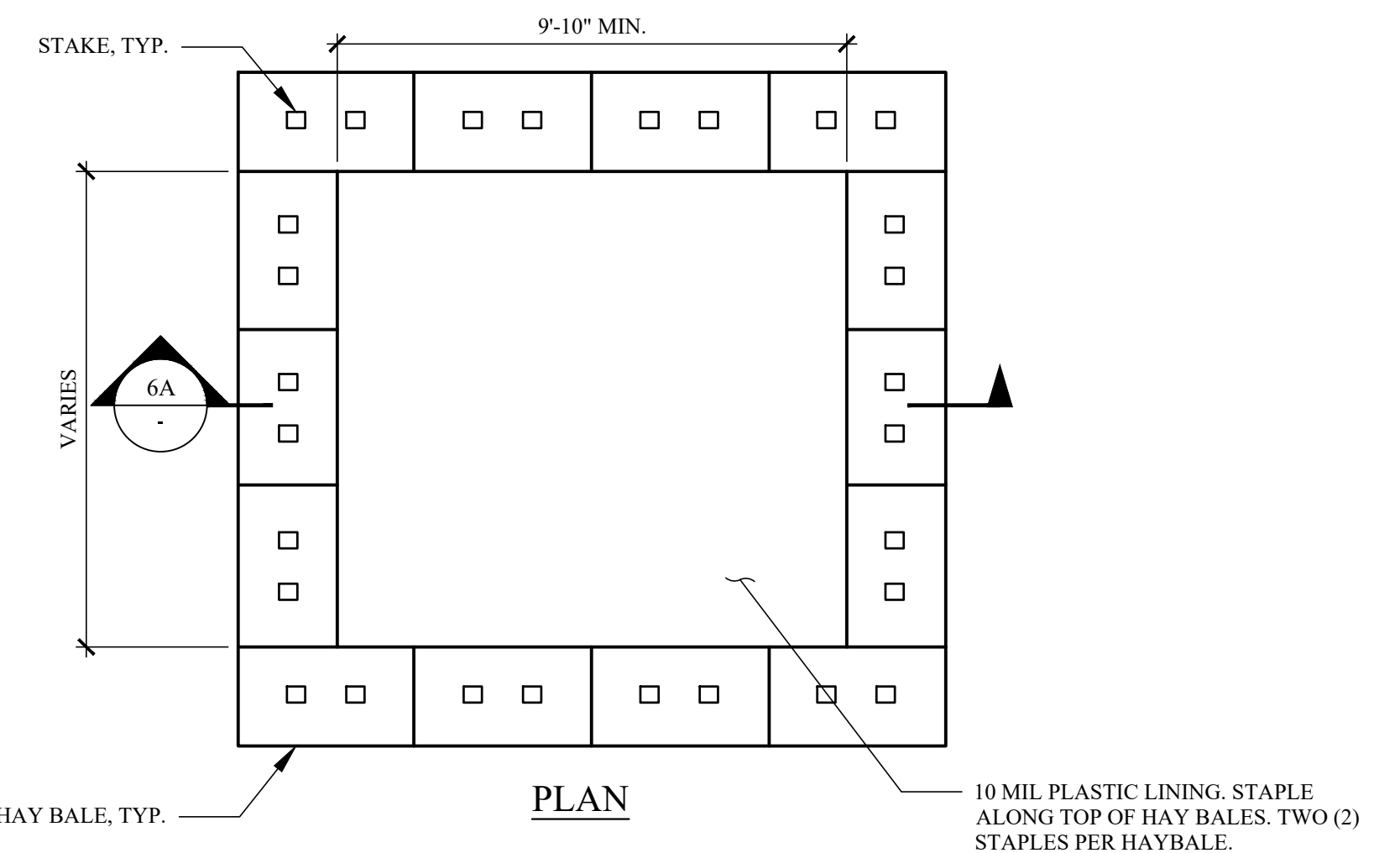
ANCHORING DETAIL

- CONSTRUCTION SPECIFICATIONS:
- 1- BALES SHALL BE PLACED AT THE TOE OF SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - 2- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
 - 3- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN 1 1/2" TO 2" INTO THE GROUND AND FLUSH WITH THE BALE.
 - 4- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - 5- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

5 TYPICAL HAY BALE DETAIL
- NOT TO SCALE



SECTION 6A



NOTE: ACTUAL LAYOUT TO BE DETERMINED BY THE CONTRACTOR IN THE FIELD.

6 TYPICAL CONCRETE WASHOUT DETAIL
- ABOVE GRADE
- NOT TO SCALE

| REVISIONS: | | |
|------------|------|-------------|
| NO. | DATE | DESCRIPTION |
| | | |

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

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PROJECT:
80 S BROADWAY
NYACK, NY

SOIL EROSION AND SEDIMENT CONTROL DETAILS

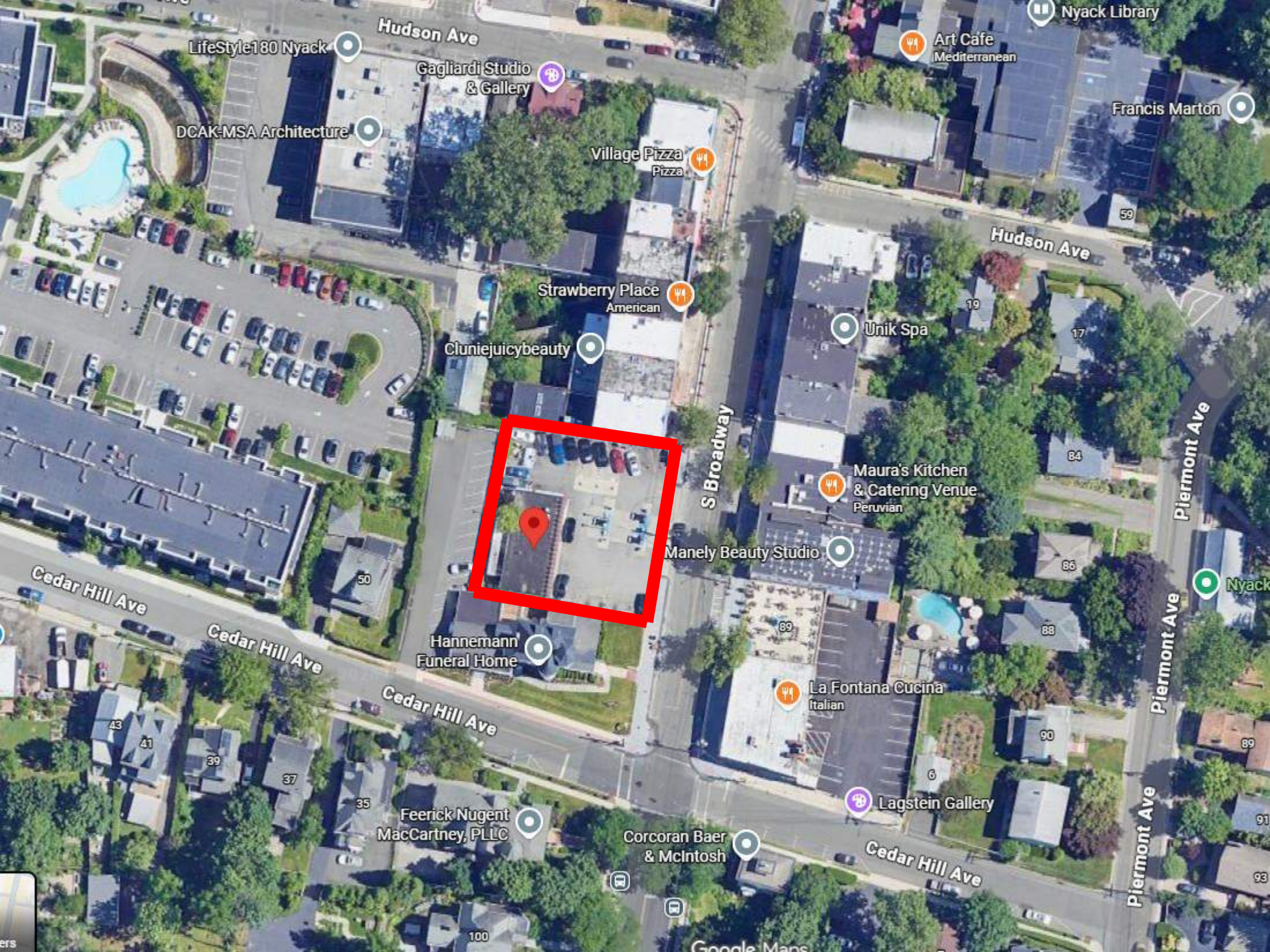
SEAL AND SIGNATURE:



DOMINICK R. PILLA, P.E., R.A.
NY P.E. 074213-1 NY R.A. 027028-1

PLANNING BOARD RESUBMISSION
DATE: 02/10/2026
PROJECT NO.: 22-143
DRAWN/CHK BY: JB/DJT
SCALE: AS NOTED
DWG NO.:

C-204.00



LifeStyle180 Nyack

Hudson Ave

Gagliardi Studio & Gallery

Village Pizza
Pizza

Art Cafe
Mediterranean

Francis Marton

DCAK-MSA Architecture

Strawberry Place
American

Hudson Ave

Cluniejuicybeauty

Unik Spa

S Broadway

Mauri's Kitchen
& Catering Venue
Peruvian

Manely Beauty Studio

Cedar Hill Ave

Hannemann
Funeral Home

La Fontana Cucina
Italian

Cedar Hill Ave

Cedar Hill Ave

Lagstein Gallery

Piermont Ave

Feerick Nugent
MacCartney, PLLC

Corcoran Baer
& McIntosh

Cedar Hill Ave

Piermont Ave

Google Maps

Location: 80 S BROADWAY

Parcel Number: 06604600010390000000

Zoning District(s):

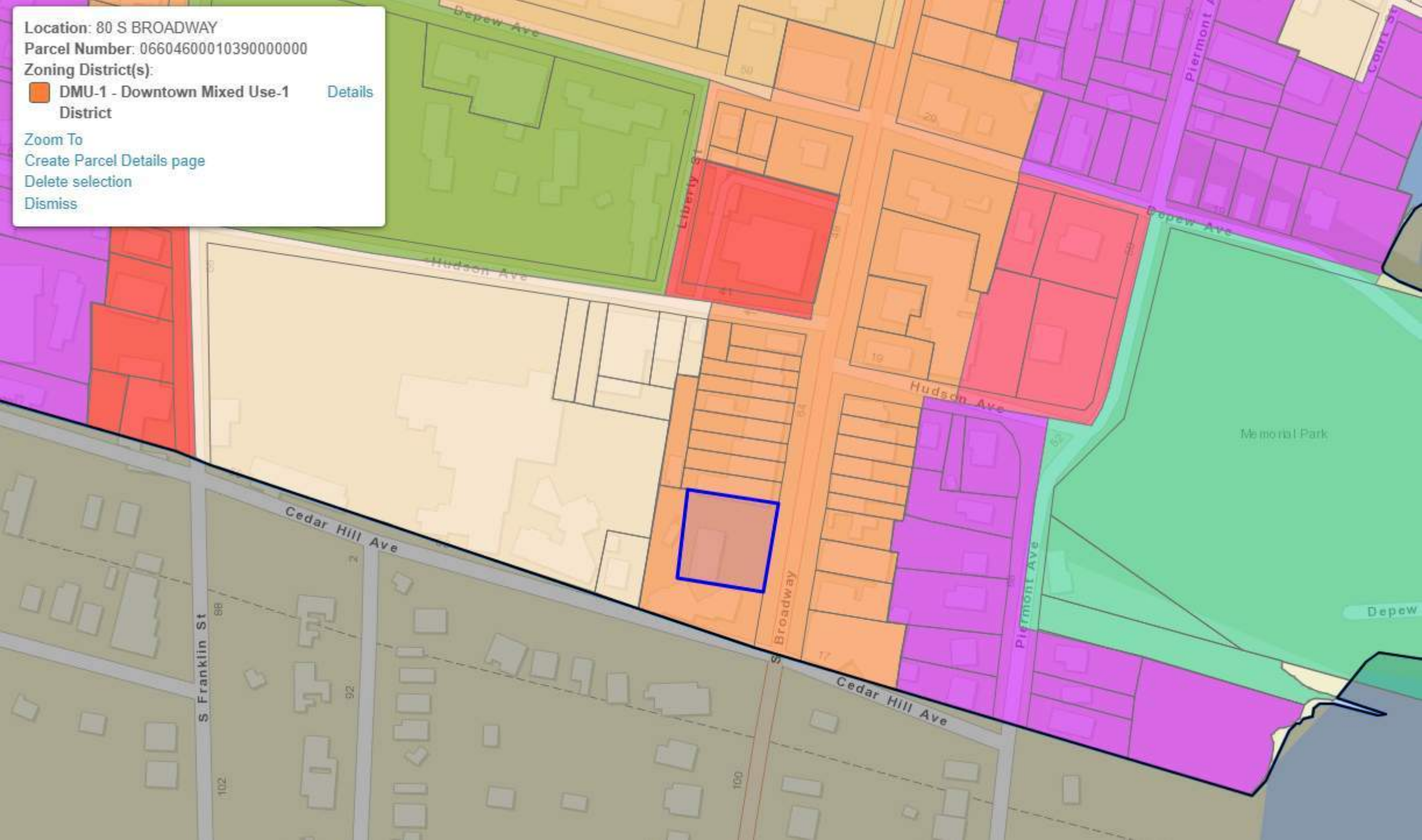
 DMU-1 - Downtown Mixed Use-1 District [Details](#)

[Zoom To](#)

[Create Parcel Details page](#)

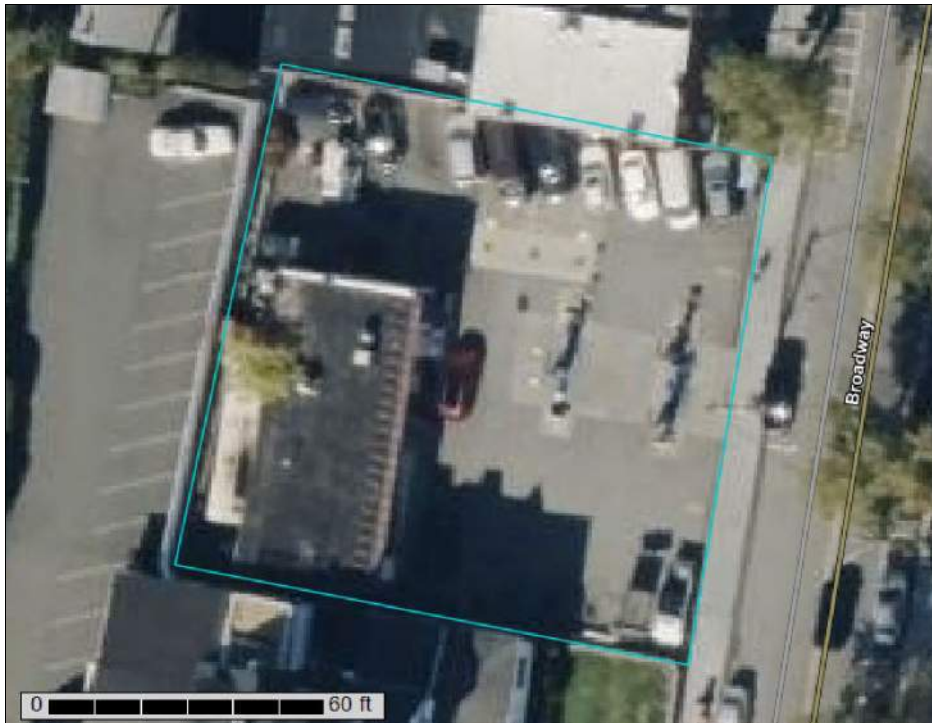
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Custom Soil Resource Report for Rockland County, New York

80 S BROADWAY



November 16, 2023

Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

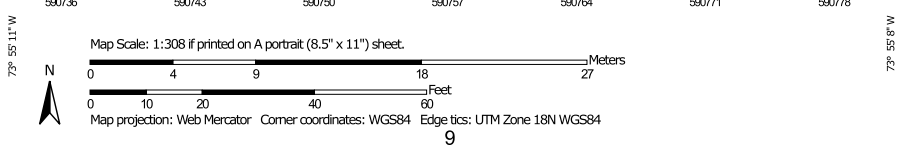
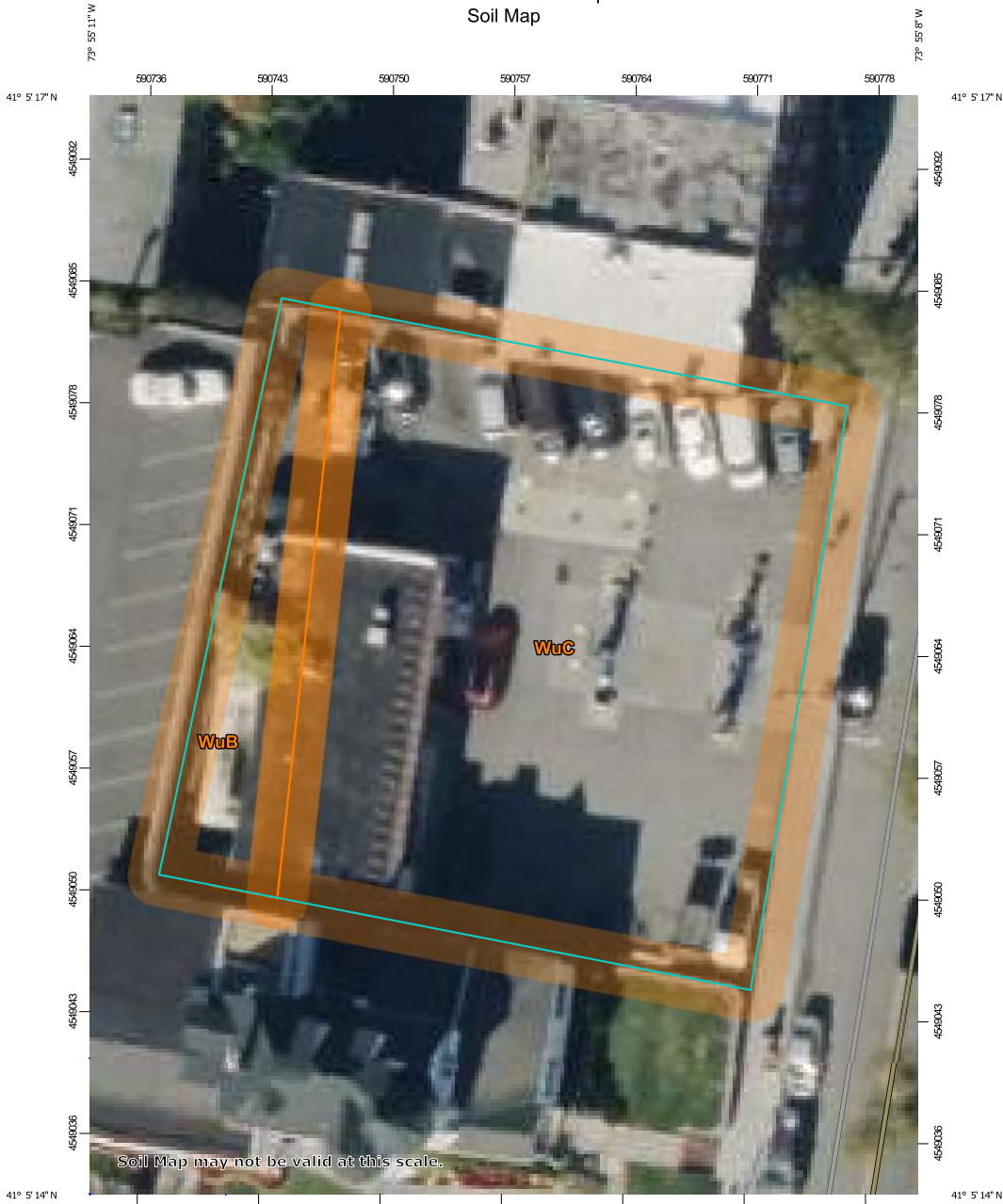
Custom Soil Resource Report

identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.





































Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report
Soil Map



MAP LEGEND

- Area of Interest (AOI)**
-  Area of Interest (AOI)
- Soils**
-  Soil Map Unit Polygons
-  Soil Map Unit Lines
-  Soil Map Unit Points
- Special Point Features**
-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot
-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features
- Water Features**
-  Streams and Canals
- Transportation**
-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads
- Background**
-  Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Rockland County, New York
 Survey Area Data: Version 21, Sep 6, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 21, 2022—Oct 27, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

| Map Unit Symbol | Map Unit Name | Acres in AOI | Percent of AOI |
|------------------------------------|---|--------------|----------------|
| WuB | Wethersfield-Urban land complex, 2 to 8 percent slopes | 0.0 | 15.3% |
| WuC | Wethersfield-Urban land complex, 8 to 15 percent slopes | 0.2 | 84.7% |
| Totals for Area of Interest | | 0.3 | 100.0% |

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The

delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Rockland County, New York

WuB—Wethersfield-Urban land complex, 2 to 8 percent slopes

Map Unit Setting

National map unit symbol: 9v5p
Elevation: 0 to 710 feet
Mean annual precipitation: 47 to 50 inches
Mean annual air temperature: 48 to 52 degrees F
Frost-free period: 135 to 215 days
Farmland classification: Not prime farmland

Map Unit Composition

Wethersfield and similar soils: 50 percent
Urban land: 25 percent
Minor components: 25 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Wethersfield

Setting

Landform: Till plains, hills
Landform position (two-dimensional): Summit
Landform position (three-dimensional): Crest
Down-slope shape: Convex
Across-slope shape: Convex
Parent material: Loamy acid till derived mainly from reddish sandstone, shale, and conglomerate, with some basalt

Typical profile

H1 - 0 to 13 inches: gravelly silt loam
H2 - 13 to 22 inches: gravelly loam
H3 - 22 to 60 inches: gravelly fine sandy loam

Properties and qualities

Slope: 2 to 8 percent
Depth to restrictive feature: 20 to 38 inches to densic material
Drainage class: Well drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.06 to 0.20 in/hr)
Depth to water table: About 18 to 30 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Low (about 3.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2e
Hydrologic Soil Group: C
Ecological site: F145XY012CT - Well Drained Dense Till Uplands
Hydric soil rating: No

Description of Urban Land

Typical profile

H1 - 0 to 6 inches: variable

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 8s

Hydric soil rating: Unranked

Minor Components

Charlton

Percent of map unit: 5 percent

Hydric soil rating: No

Cheshire

Percent of map unit: 5 percent

Hydric soil rating: No

Riverhead

Percent of map unit: 5 percent

Hydric soil rating: No

Wallington

Percent of map unit: 5 percent

Hydric soil rating: No

Udorthents

Percent of map unit: 5 percent

Hydric soil rating: No

WuC—Wethersfield-Urban land complex, 8 to 15 percent slopes

Map Unit Setting

National map unit symbol: 9v5q

Elevation: 0 to 690 feet

Mean annual precipitation: 47 to 50 inches

Mean annual air temperature: 48 to 52 degrees F

Frost-free period: 135 to 215 days

Farmland classification: Not prime farmland

Map Unit Composition

Wethersfield and similar soils: 60 percent

Urban land: 20 percent

Minor components: 20 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Wethersfield

Setting

Landform: Till plains, hills

Landform position (two-dimensional): Shoulder

Landform position (three-dimensional): Crest

Down-slope shape: Convex

Custom Soil Resource Report

Across-slope shape: Convex

Parent material: Loamy acid till derived mainly from reddish sandstone, shale, and conglomerate, with some basalt

Typical profile

H1 - 0 to 13 inches: gravelly silt loam

H2 - 13 to 22 inches: gravelly loam

H3 - 22 to 60 inches: gravelly fine sandy loam

Properties and qualities

Slope: 8 to 15 percent

Depth to restrictive feature: 20 to 38 inches to densic material

Drainage class: Well drained

Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.06 to 0.20 in/hr)

Depth to water table: About 18 to 30 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Low (about 3.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 3e

Hydrologic Soil Group: C

Ecological site: F145XY012CT - Well Drained Dense Till Uplands

Hydric soil rating: No

Description of Urban Land

Typical profile

H1 - 0 to 6 inches: variable

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 8s

Hydric soil rating: Unranked

Minor Components

Charlton

Percent of map unit: 5 percent

Hydric soil rating: No

Cheshire

Percent of map unit: 5 percent

Hydric soil rating: No

Riverhead

Percent of map unit: 5 percent

Hydric soil rating: No

Udorthents

Percent of map unit: 3 percent

Hydric soil rating: No

Wallington

Percent of map unit: 2 percent

Hydric soil rating: No

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APPENDIX D
SWPPP INSPECTION FORMS

CONSTRUCTION DURATION INSPECTION FORM

Maintaining Water Quality

Yes No N/A

- Is there an increase in turbidity causing or reasonably likely to cause a substantial visible contrast to natural conditions?
- Is there residue from oil and floating substances, visible oil film, or globules or grease?
- All disturbance is within the limits of the approved plans.
- Have receiving lake/bay, stream, and/or wetland been impacted by silt from the project?

Housekeeping

1. General Site Conditions

Yes No N/A

- Is construction site litter and debris appropriately managed?
- Are facilities and equipment necessary for implementation or erosion and sediment control in working order and/or properly maintained?
- Is construction impacting the adjacent property?
- Is dust adequately controlled?

Runoff Control Practices

1. Excavation Dewatering

Yes No N/A

- Upstream and downstream berms (sandbags, inflatable dams, etc.) are installed per plan.
- Clean water from upstream pool is being pumped to the downstream pool.
- Sediment laden water from work area is being discharged to a silt trapping device.
- Constructed upstream berm with one-foot minimum freeboard.

Soil Stabilization

1. Topsoil and Spoil Stockpiles

Yes No N/A

- Stockpiles are stabilized with vegetation and/or mulch.
- Sediment control is installed at the toe of the slope.

2. Revegetation

Yes No N/A

- Temporary seeding and mulch have been applied to idle areas.
- 6 inches minimum of topsoil has been applied under permanent seeding.

Sediment Control Practices

1. Stabilized Construction Entrance

Yes No N/A

- Stone is clean enough to effectively remove mud from vehicles.
- Installed per standards and specifications?
- Does all traffic use the stabilized entrance to enter and leave site?
- Is adequate drainage provided to prevent ponding at entrance?

2. Silt Fence

Yes No N/A

- Installed on Contour, 10 feet from toe of slope (not across conveyance channels).
- Joints constructed by wrapping the two ends together for continuous support.
- Fabric buried 6 inches minimum.
- Posts are stable, fabric is tight and without rips or frayed areas. Sediment accumulation is ___% of design capacity.

3. Storm Drain Inlet Protection

(Use for Stone & Block, Filter Fabric, Curb, or Excavated practices)

Yes No N/A

- Installed concrete blocks lengthwise so open ends face outward, not upward.
- Placed wire screen between No. 3 crushed stone and concrete blocks.
- Drainage area is 1 acre or less.
- Excavated area is 900 cubic feet.
- Excavated side slopes should be 2:1.
- 2" x 5" frame is constructed and structurally sound.
- Posts 3-foot maximum spacing between posts.
- Fabric is embedded 1 to 1.5 feet below ground and secured to frame/posts with staples at max 8-inch spacing.
- Posts are stable, fabric is tight and without rips or frayed areas. Sediment accumulation ___% of design capacity.

CONSTRUCTION DURATION INSPECTIONS

Modifications to the SWPPP (To be completed as described below)

The Developer shall amend the SWPPP whenever:

1. There is a significant change in design, construction, operation, or maintenance which may have a significant effect on the potential for the discharge of pollutants to the waters of the State and which has not otherwise been addressed in the SWPPP; or
2. The SWPPP proves to be ineffective in;
 - a. Eliminating or significantly minimizing pollutants from sources identified in the SWPPP and as required by this permit; or
 - b. Achieving the general objectives of controlling pollutants in stormwater discharges from permitted construction activity; and
3. Additionally, the SWPPP shall be amended to identify any new contractor or subcontractor that will implement any measure of the SWPPP.

Modification & Reason:

[Insert Text Here](#)

SITE PLAN/SKETCH

PHOTOS

Inspector (Print name)

Date of Inspection

Qualified Professional (print name)

Qualified Professional Signature

The above signed acknowledges that, to the best of his/her knowledge, all information provided on the forms is accurate and complete.

CONTRACTOR'S CERTIFICATION STATEMENT

I. SITE INFORMATION

Construction Site Name: [Insert Construction Site Name](#)
Site Location: [Insert Site Location](#)

II. CONTRACTORS INFORMATION

Contracting Firm Name: [Insert Contracting Firm Name](#)
Contracting Firm Address: [Insert Address](#)
Telephone Number(s): [Insert Telephone No.](#)
Contact(s): 1) [Insert Contact's Name](#)
 2) [Insert Contact's Name](#)

III. STORMWATER MEASURES

Contractor is responsible for all stormwater pollution prevention measures described within the SWPPP and Erosion and Sediment Control Plan, but not limited to the following storm water measures:

- | | | |
|--|--|--|
| 1. Insert Stormwater Measure | 4. Insert Stormwater Measure | 7. Insert Stormwater Measure |
| 2. Insert Stormwater Measure | 5. Insert Stormwater Measure | 8. Insert Stormwater Measure |
| 3. Insert Stormwater Measure | 6. Insert Stormwater Measure | 9. Insert Stormwater Measure |

IV. CERTIFICATION

"I hereby certify under penalty of law that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the developer must comply with the terms and conditions of the NYC Stormwater Construction Permit, the most current version of the New York State Pollutant Discharge Elimination System (SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I am aware that there are significant penalties for submitting false information that I do not believe to be true, including the possibility of fine and imprisonment for knowing violations."

Contractor (print name)

Contractor Signature

Title

Date

SUBCONTRACTOR'S CERTIFICATION STATEMENT

I. SITE INFORMATION

Construction Site Name: [Insert Construction Site Name](#)
Site Location: [Insert Site Location](#)

II. CONTRACTORS INFORMATION

Contracting Firm Name: [Insert Contracting Firm Name](#)
Contracting Firm Address: [Insert Address](#)
Telephone Number(s): [Insert Telephone No.](#)
Contact(s): 1) [Insert Contact's Name](#)
 2) [Insert Contact's Name](#)

III. STORMWATER MEASURES

Subcontractor is responsible for all stormwater pollution prevention measures described within the SWPPP and Erosion and Sediment Control Plan, but not limited to the following storm water measures:

- | | | |
|--|--|--|
| 1. Insert Stormwater Measure | 4. Insert Stormwater Measure | 7. Insert Stormwater Measure |
| 2. Insert Stormwater Measure | 5. Insert Stormwater Measure | 8. Insert Stormwater Measure |
| 3. Insert Stormwater Measure | 6. Insert Stormwater Measure | 9. Insert Stormwater Measure |

IV. CERTIFICATION

"I hereby certify under penalty of law that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the developer must comply with the terms and conditions of the NYC Stormwater Construction Permit, the most current version of the New York State Pollutant Discharge Elimination System (SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I am aware that there are significant penalties for submitting false information that I do not believe to be true, including the possibility of fine and imprisonment for knowing violations."

Subcontractor (print name)

Subcontractor Signature

Title

Date

CERTIFICATE OF ISSUANCE

As directed by the developer, a copy of the SWPPP will be retained at the site, along with all signed statements, reports and schedules contained herein for completion by the contractor. Upon completion, the SWPPP and all records shall be returned to the developer.

Date of issuance: [Insert Date of Issuance](#)

Name: Insert Name
Title: Insert Title
Firm: Insert Firm Name

Signature: _____

Received from:

Name: Insert Name
Title: Insert Title
Address: Insert Address
Tel. Number(s): Insert Telephone No.

Signature: _____

(Note: Inquiries in regard to copies of SWPPP by either the State Director or any local agency having jurisdiction to be directed to owner's project representative.)

EROSION AND WATER QUALITY CONTROL IDENTIFICATION

The contractor and/or subcontractors that will implement each erosion control measure must be identified:

IDENTIFICATION

| Name of Contractor and/or Subcontractor | Measure to be Implemented |
|---|---------------------------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

[Include additional rows or delete as necessary.]

(Note: Each contractor and subcontractor identified must sign a copy of the certification statement. Those copies must be filed with the SWPPP, kept on-site, and kept up to date.

This identification does not reassign or remove responsibility for all measures as agreed to the contract documents. The contractor is responsible for all subcontractors.)

CONSTRUCTION STABILIZATION

The contractor shall initiate stabilization measures as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. When construction activity is precluded by snow cover, stabilization measures shall be initiated as soon as practicable. When construction activity will resume within 21 days from when activity ceased, then stabilization measures do not have to be initiated on that portion of the site by the 14th day after construction activity temporarily ceased.

| Major Work Activity | Portion of the Site | Date Commenced | Date Ceased (Permanently/Temporarily) | Date Stabilization Measures Initiated |
|----------------------------|----------------------------|-----------------------|--|--|
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

[Include additional rows or delete as necessary.]

***THESE MUST BE KEPT UP TO DATE AND ON-SITE FOR INSPECTION AT ANYTIME.**

END OF CONSTRUCTION DOCUMENTS

FINAL STABILIZATION AND RETENTION OF RECORDS

- A. Qualified Professional Certification: A qualified professional shall perform a final site inspection.

Yes No N/A

- | | | | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Final site drainage will prevent erosion, concentrated flows to adjacent properties, uncontrolled overflow, and ponding. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Conveyance systems are stabilized. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Channels and stream banks are seeded at the outlet points. |

“I hereby certify that the site has undergone final stabilization. Final stabilization means that all soil disturbing activities have been completed and a uniform, perennial vegetative cover with a density of eighty (80) percent has been established or equivalent stabilization measures (such as the use of mulches or geotextiles) have been employed on all unpaved areas and areas not covered by permanent structures. Further, all temporary erosion and sediment controls (such as silt fence) not specified for permanent erosion control have been removed. I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the City and State of New York and could subject me to criminal, civil and/or administrative proceedings. ”

Qualified Professional (print name)

Qualified Professional Signature

Date

- B. Retention of Records: The developer shall retain copies of SWPPPs, all reports, and records of all data for a period of at least five years from the date that the site is finally stabilized.
- C. Maintenance of SWPPP and Reports at the Construction Site: The operator shall retain a copy of the SWPPP at the construction site from the data of initiation of construction activities to the date of final stabilization.

CERTIFICATE OF RETURN

As directed by the owner's representative, the copy of the storm water pollution prevention plan retained at the site, along with all signed statements, reports and schedules contained herein for completion by the contractor are to be returned to the owner. The owner shall retain the plan, reports and records of all data for a period of five years from the date that the site is stabilized. This period may be extended by the City director at any time upon written notification.

Date of issuance: [Insert Date of Issuance](#)
Name: [Insert Name](#)
Title: [Insert Title](#)
Firm: [Insert Firm Name](#)

Signature: _____

Received from:

Name: [Insert Name](#)
Title: [Insert Title](#)
Address: [Insert Address](#)
Tel. Number(s): [Insert Telephone No.](#)

Signature: _____

(Note: Inquiries in regard to copies of pollution prevention plan by either the State Director or any local agency having jurisdiction to be directed to owner's project representative.)

APPENDIX E
**OTHER SWPPP FORMS (CONSTRUCTION
SEQUENCE, SWPPP CHANGES, SPILL
RESPONSE FORM)**



Owner/Operator Certification Form

SPDES General Permit For Stormwater Discharges From Construction Activity (GP-0-20-001)

Project/Site Name: _____

eNOI Submission Number: _____

eNOI Submitted by: Owner/Operator SWPPP Preparer Other

Certification Statement - Owner/Operator

I have read or been advised of the permit conditions and believe that I understand them. I also understand that, under the terms of the permit, there may be reporting requirements. I hereby certify that this document and the corresponding documents were prepared under my direction or supervision. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. I further understand that coverage under the general permit will be identified in the acknowledgment that I will receive as a result of submitting this NOI and can be as long as sixty (60) business days as provided for in the general permit. I also understand that, by submitting this NOI, I am acknowledging that the SWPPP has been developed and will be implemented as the first element of construction, and agreeing to comply with all the terms and conditions of the general permit for which this NOI is being submitted.

Owner/Operator First Name

M.I. Last Name

Signature

Date



SWPPP Preparer Certification Form

*SPDES General Permit for Stormwater
Discharges From Construction Activity
(GP-0-20-001)*

Project Site Information

Project/Site Name

Owner/Operator Information

Owner/Operator (Company Name/Private Owner/Municipality Name)

Certification Statement – SWPPP Preparer

I hereby certify that the Stormwater Pollution Prevention Plan (SWPPP) for this project has been prepared in accordance with the terms and conditions of the GP-0-20-001. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of this permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

First name

MI

Last Name


Signature

Date

CERTIFICATE OF CHANGE BY THE CONTRACTOR

To: [Insert Name](#)

Project: [Insert Name](#)

Site Address: [Insert Address](#)

Enclosed, please find your written notification of the following provision(s) of the SWPPP not being met:

[Insert Text Here](#)

Provisions of the plan requiring modification:

[Insert Text Here](#)

Action taken to modify plan to bring project into compliance:

[Insert Text Here](#)

Date Completed: [Insert Date](#)

Received By:

Name: [Insert Name](#)

Title: [Insert Title](#)

Contracting Firm: [Insert Contracting Firm Name](#)

Address: [Insert Address](#)

Tel. Number: [Insert Telephone No.](#)

Signature: _____

Received By:

Name: [Insert Name](#)

Title: [Insert Title](#)

Contracting Firm: [Insert Contracting Firm Name](#)

Address: [Insert Address](#)

Tel. Number: [Insert Telephone No.](#)

Signature: _____

(Note: Plan amendments – major and minor need to be filed on-line. Major amendments include changes to structural components that would require design review. All others shall be filed as a minor amendment, but will not require review.)

[PLEASE INCLUDE CORRECTIVE ACTIONS FORM HERE]

CONSTRUCTION SEQUENCE FORM

The operator shall prepare a summary of construction status using the Construction Sequence Form below once every month. Significant deviations to the sequence and reasons for those deviations (i.e weather subcontractor availability, etc) shall be noted by the contractor. The schedule shall be used to record the dates for initiation of construction, implementation of erosion control measures, stabilization, etc. A copy of this table will be maintained at the construction site and updated in addition to the individual inspection reports completed for each inspection.

| <i>Construction Activities (Identify Name of Planned Practices)</i> | <i>Date Complete</i> |
|---|----------------------|
| 1. | |
| 2. | |
| 3. | |
| 4. | |
| 5. | |
| 6. | |
| 7. | |
| 8. | |
| 9. | |
| 10. | |
| 11. | |
| 12. | |



Department of
Environmental
Conservation

NYS Department of Environmental Conservation
Division of Water
625 Broadway, 4th Floor
Albany, New York 12233-3505

MS4 Stormwater Pollution Prevention Plan (SWPPP) Acceptance Form

for

Construction Activities Seeking Authorization Under SPDES General Permit
*(NOTE: Attach Completed Form to Notice Of Intent and Submit to Address Above)

I. Project Owner/Operator Information

1. Owner/Operator Name:

2. Contact Person:

3. Street Address:

4. City/State/Zip:

II. Project Site Information

5. Project/Site Name:

6. Street Address:

7. City/State/Zip:

III. Stormwater Pollution Prevention Plan (SWPPP) Review and Acceptance Information

8. SWPPP Reviewed by:

9. Title/Position:

10. Date Final SWPPP Reviewed and Accepted:

IV. Regulated MS4 Information

11. Name of MS4:

12. MS4 SPDES Permit Identification Number: NYR20A

13. Contact Person:

14. Street Address:

15. City/State/Zip:

16. Telephone Number:

MS4 SWPPP Acceptance Form - continued

V. Certification Statement - MS4 Official (principal executive officer or ranking elected official) or Duly Authorized Representative

I hereby certify that the final Stormwater Pollution Prevention Plan (SWPPP) for the construction project identified in question 5 has been reviewed and meets the substantive requirements in the SPDES General Permit For Stormwater Discharges from Municipal Separate Storm Sewer Systems (MS4s).
Note: The MS4, through the acceptance of the SWPPP, assumes no responsibility for the accuracy and adequacy of the design included in the SWPPP. In addition, review and acceptance of the SWPPP by the MS4 does not relieve the owner/operator or their SWPPP preparer of responsibility or liability for errors or omissions in the plan.

Printed Name:

Title/Position:

Signature:

Date:

VI. Additional Information



SWPPP Preparer Certification Form

*SPDES General Permit for Stormwater
Discharges From Construction Activity
(GP-0-20-001)*

Project Site Information

Project/Site Name

Owner/Operator Information

Owner/Operator (Company Name/Private Owner/Municipality Name)

Certification Statement – SWPPP Preparer

I hereby certify that the Stormwater Pollution Prevention Plan (SWPPP) for this project has been prepared in accordance with the terms and conditions of the GP-0-20-001. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of this permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

First name

MI

Last Name



Signature

Date

APPENDIX F
SPDES GENERAL PERMIT GP-0-20-001



Department of
Environmental
Conservation

NEW YORK STATE
DEPARTMENT OF ENVIRONMENTAL CONSERVATION

SPDES GENERAL PERMIT
FOR STORMWATER DISCHARGES

From

CONSTRUCTION ACTIVITY

Permit No. GP- 0-20-001

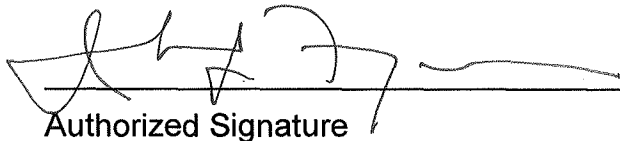
Issued Pursuant to Article 17, Titles 7, 8 and Article 70
of the Environmental Conservation Law

Effective Date: January 29, 2020

Expiration Date: January 28, 2025

John J. Ferguson

Chief Permit Administrator



Authorized Signature

1-23-20
Date

Address: NYS DEC
Division of Environmental Permits
625 Broadway, 4th Floor
Albany, N.Y. 12233-1750

PREFACE

Pursuant to Section 402 of the Clean Water Act (“CWA”), stormwater *discharges* from certain *construction activities* are unlawful unless they are authorized by a *National Pollutant Discharge Elimination System (“NPDES”)* permit or by a state permit program. New York administers the approved State Pollutant Discharge Elimination System (SPDES) program with permits issued in accordance with the New York State Environmental Conservation Law (ECL) Article 17, Titles 7, 8 and Article 70.

An *owner or operator* of a *construction activity* that is eligible for coverage under this permit must obtain coverage prior to the *commencement of construction activity*. Activities that fit the definition of “*construction activity*”, as defined under 40 CFR 122.26(b)(14)(x), (15)(i), and (15)(ii), constitute construction of a *point source* and therefore, pursuant to ECL section 17-0505 and 17-0701, the *owner or operator* must have coverage under a SPDES permit prior to *commencing construction activity*. The *owner or operator* cannot wait until there is an actual *discharge* from the *construction site* to obtain permit coverage.

***Note: The italicized words/phrases within this permit are defined in Appendix A.**

**NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM
CONSTRUCTION ACTIVITIES**

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Part 1. PERMIT COVERAGE AND LIMITATIONS

A. Permit Application

This permit authorizes stormwater *discharges to surface waters of the State* from the following *construction activities* identified within 40 CFR Parts 122.26(b)(14)(x), 122.26(b)(15)(i) and 122.26(b)(15)(ii), provided all of the eligibility provisions of this permit are met:

1. *Construction activities* involving soil disturbances of one (1) or more acres; including disturbances of less than one acre that are part of a *larger common plan of development or sale* that will ultimately disturb one or more acres of land; excluding *routine maintenance activity* that is performed to maintain the original line and grade, hydraulic capacity or original purpose of a facility;
2. *Construction activities* involving soil disturbances of less than one (1) acre where the Department has determined that a *SPDES* permit is required for stormwater *discharges* based on the potential for contribution to a violation of a *water quality standard* or for significant contribution of *pollutants to surface waters of the State*.
3. *Construction activities* located in the watershed(s) identified in Appendix D that involve soil disturbances between five thousand (5,000) square feet and one (1) acre of land.

B. Effluent Limitations Applicable to Discharges from Construction Activities

Discharges authorized by this permit must achieve, at a minimum, the effluent limitations in Part I.B.1. (a) – (f) of this permit. These limitations represent the degree of effluent reduction attainable by the application of best practicable technology currently available.

1. Erosion and Sediment Control Requirements - The *owner or operator* must select, design, install, implement and maintain control measures to *minimize the discharge of pollutants* and prevent a violation of the *water quality standards*. The selection, design, installation, implementation, and maintenance of these control measures must meet the non-numeric effluent limitations in Part I.B.1.(a) – (f) of this permit and be in accordance with the New York State Standards and Specifications for Erosion and Sediment Control, dated November 2016, using sound engineering judgment. Where control measures are not designed in conformance with the design criteria included in the technical standard, the *owner or operator* must include in the *Stormwater Pollution Prevention Plan* (“SWPPP”) the reason(s) for the

deviation or alternative design and provide information which demonstrates that the deviation or alternative design is *equivalent* to the technical standard.

- a. **Erosion and Sediment Controls.** Design, install and maintain effective erosion and sediment controls to *minimize* the *discharge of pollutants* and prevent a violation of the *water quality standards*. At a minimum, such controls must be designed, installed and maintained to:
- (i) *Minimize* soil erosion through application of runoff control and soil stabilization control measure to *minimize pollutant discharges*;
 - (ii) Control stormwater *discharges*, including both peak flowrates and total stormwater volume, to *minimize* channel and *streambank* erosion and scour in the immediate vicinity of the *discharge* points;
 - (iii) *Minimize* the amount of soil exposed during *construction activity*;
 - (iv) *Minimize* the disturbance of *steep slopes*;
 - (v) *Minimize* sediment *discharges* from the site;
 - (vi) Provide and maintain *natural buffers* around surface waters, direct stormwater to vegetated areas and maximize stormwater infiltration to reduce *pollutant discharges*, unless *infeasible*;
 - (vii) *Minimize* soil compaction. Minimizing soil compaction is not required where the intended function of a specific area of the site dictates that it be compacted;
 - (viii) Unless *infeasible*, preserve a sufficient amount of topsoil to complete soil restoration and establish a uniform, dense vegetative cover; and
 - (ix) *Minimize* dust. On areas of exposed soil, *minimize* dust through the appropriate application of water or other dust suppression techniques to control the generation of pollutants that could be discharged from the site.
- b. **Soil Stabilization.** In areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within fourteen (14) days from the date the current soil disturbance activity ceased. For construction sites that *directly discharge* to one of the 303(d) segments

listed in Appendix E or is located in one of the watersheds listed in Appendix C, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. See Appendix A for definition of *Temporarily Ceased*.

- c. **Dewatering.** *Discharges* from *dewatering* activities, including *discharges* from *dewatering* of trenches and excavations, must be managed by appropriate control measures.

- d. **Pollution Prevention Measures.** Design, install, implement, and maintain effective pollution prevention measures to *minimize* the *discharge* of *pollutants* and prevent a violation of the *water quality standards*. At a minimum, such measures must be designed, installed, implemented and maintained to:
 - (i) *Minimize* the *discharge* of *pollutants* from equipment and vehicle washing, wheel wash water, and other wash waters. This applies to washing operations that use clean water only. Soaps, detergents and solvents cannot be used;

 - (ii) *Minimize* the exposure of building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste, hazardous and toxic waste, and other materials present on the site to precipitation and to stormwater. Minimization of exposure is not required in cases where the exposure to precipitation and to stormwater will not result in a *discharge* of *pollutants*, or where exposure of a specific material or product poses little risk of stormwater contamination (such as final products and materials intended for outdoor use) ; and

 - (iii) Prevent the *discharge* of *pollutants* from spills and leaks and implement chemical spill and leak prevention and response procedures.

- e. **Prohibited Discharges.** The following *discharges* are prohibited:
 - (i) Wastewater from washout of concrete;

 - (ii) Wastewater from washout and cleanout of stucco, paint, form release oils, curing compounds and other construction materials;

- (iii) Fuels, oils, or other *pollutants* used in vehicle and equipment operation and maintenance;
 - (iv) Soaps or solvents used in vehicle and equipment washing; and
 - (v) Toxic or hazardous substances from a spill or other release.
- f. Surface Outlets. When discharging from basins and impoundments, the outlets shall be designed, constructed and maintained in such a manner that sediment does not leave the basin or impoundment and that erosion at or below the outlet does not occur.

C. Post-construction Stormwater Management Practice Requirements

1. The *owner or operator* of a *construction activity* that requires post-construction stormwater management practices pursuant to Part III.C. of this permit must select, design, install, and maintain the practices to meet the *performance criteria* in the New York State Stormwater Management Design Manual (“Design Manual”), dated January 2015, using sound engineering judgment. Where post-construction stormwater management practices (“SMPs”) are not designed in conformance with the *performance criteria* in the Design Manual, the *owner or operator* must include in the SWPPP the reason(s) for the deviation or alternative design and provide information which demonstrates that the deviation or alternative design is *equivalent* to the technical standard.
2. The *owner or operator* of a *construction activity* that requires post-construction stormwater management practices pursuant to Part III.C. of this permit must design the practices to meet the applicable *sizing criteria* in Part I.C.2.a., b., c. or d. of this permit.

a. Sizing Criteria for New Development

- (i) Runoff Reduction Volume (“RRv”): Reduce the total Water Quality Volume (“WQv”) by application of RR techniques and standard SMPs with RRv capacity. The total WQv shall be calculated in accordance with the criteria in Section 4.2 of the Design Manual.
- (ii) Minimum RRv and Treatment of Remaining Total WQv: Construction activities that cannot meet the criteria in Part I.C.2.a.(i) of this permit due to site limitations shall direct runoff from all newly constructed impervious areas to a RR technique or standard SMP with RRv capacity unless infeasible. The specific site limitations that prevent the reduction of 100% of the WQv shall be documented in the SWPPP.

For each impervious area that is not directed to a RR technique or standard SMP with RRv capacity, the SWPPP must include documentation which demonstrates that all options were considered and for each option explains why it is considered infeasible.

In no case shall the runoff reduction achieved from the newly constructed impervious areas be less than the Minimum RRv as calculated using the criteria in Section 4.3 of the Design Manual.

The remaining portion of the total WQv that cannot be reduced shall be treated by application of standard SMPs.

- (iii) Channel Protection Volume (“Cpv”): Provide 24 hour extended detention of the post-developed 1-year, 24-hour storm event; remaining after runoff reduction. The Cpv requirement does not apply when:
 - (1) Reduction of the entire Cpv is achieved by application of runoff reduction techniques or infiltration systems, or
 - (2) The site discharges directly to tidal waters, or fifth order or larger streams.
- (iv) *Overbank* Flood Control Criteria (“Qp”): Requires storage to attenuate the post-development 10-year, 24-hour peak discharge rate (Qp) to predevelopment rates. The Qp requirement does not apply when:
 - (1) the site discharges directly to tidal waters or fifth order or larger streams, or
 - (2) A downstream analysis reveals that *overbank* control is not required.
- (v) Extreme Flood Control Criteria (“Qf”): Requires storage to attenuate the post-development 100-year, 24-hour peak discharge rate (Qf) to predevelopment rates. The Qf requirement does not apply when:
 - (1) the site discharges directly to tidal waters or fifth order or larger streams, or
 - (2) A downstream analysis reveals that *overbank* control is not required.

b. Sizing Criteria for New Development in Enhanced Phosphorus Removal Watershed

- (i) Runoff Reduction Volume (RRv): Reduce the total Water Quality Volume (WQv) by application of RR techniques and standard SMPs with RRv capacity. The total WQv is the runoff volume from the 1-year, 24 hour design storm over the post-developed watershed and shall be

calculated in accordance with the criteria in Section 10.3 of the Design Manual.

- (ii) Minimum RRv and Treatment of Remaining Total WQv: *Construction activities* that cannot meet the criteria in Part I.C.2.b.(i) of this permit due to *site limitations* shall direct runoff from all newly constructed *impervious areas* to a RR technique or standard SMP with RRv capacity unless *infeasible*. The specific *site limitations* that prevent the reduction of 100% of the WQv shall be documented in the SWPPP. For each *impervious area* that is not directed to a RR technique or standard SMP with RRv capacity, the SWPPP must include documentation which demonstrates that all options were considered and for each option explains why it is considered *infeasible*.

In no case shall the runoff reduction achieved from the newly constructed *impervious areas* be less than the Minimum RRv as calculated using the criteria in Section 10.3 of the Design Manual. The remaining portion of the total WQv that cannot be reduced shall be treated by application of standard SMPs.

- (iii) Channel Protection Volume (Cpv): Provide 24 hour extended detention of the post-developed 1-year, 24-hour storm event; remaining after runoff reduction. The Cpv requirement does not apply when:
 - (1) Reduction of the entire Cpv is achieved by application of runoff reduction techniques or infiltration systems, or
 - (2) The site *discharges* directly to tidal waters, or fifth order or larger streams.
- (iv) *Overbank* Flood Control Criteria (Qp): Requires storage to attenuate the post-development 10-year, 24-hour peak *discharge* rate (Qp) to predevelopment rates. The Qp requirement does not apply when:
 - (1) the site *discharges* directly to tidal waters or fifth order or larger streams, or
 - (2) A downstream analysis reveals that *overbank* control is not required.
- (v) Extreme Flood Control Criteria (Qf): Requires storage to attenuate the post-development 100-year, 24-hour peak *discharge* rate (Qf) to predevelopment rates. The Qf requirement does not apply when:
 - (1) the site *discharges* directly to tidal waters or fifth order or larger streams, or
 - (2) A downstream analysis reveals that *overbank* control is not required.

c. Sizing Criteria for Redevelopment Activity

- (i) Water Quality Volume (WQv): The WQv treatment objective for *redevelopment activity* shall be addressed by one of the following options. *Redevelopment activities* located in an Enhanced Phosphorus Removal Watershed (see Part III.B.3. and Appendix C of this permit) shall calculate the WQv in accordance with Section 10.3 of the Design Manual. All other *redevelopment activities* shall calculate the WQv in accordance with Section 4.2 of the Design Manual.
- (1) Reduce the existing *impervious cover* by a minimum of 25% of the total disturbed, *impervious area*. The Soil Restoration criteria in Section 5.1.6 of the Design Manual must be applied to all newly created pervious areas, or
 - (2) Capture and treat a minimum of 25% of the WQv from the disturbed, *impervious area* by the application of standard SMPs; or reduce 25% of the WQv from the disturbed, *impervious area* by the application of RR techniques or standard SMPs with RRv capacity., or
 - (3) Capture and treat a minimum of 75% of the WQv from the disturbed, *impervious area* as well as any additional runoff from tributary areas by application of the alternative practices discussed in Sections 9.3 and 9.4 of the Design Manual., or
 - (4) Application of a combination of 1, 2 and 3 above that provide a weighted average of at least two of the above methods. Application of this method shall be in accordance with the criteria in Section 9.2.1(B) (IV) of the Design Manual.

If there is an existing post-construction stormwater management practice located on the site that captures and treats runoff from the *impervious area* that is being disturbed, the WQv treatment option selected must, at a minimum, provide treatment equal to the treatment that was being provided by the existing practice(s) if that treatment is greater than the treatment required by options 1 – 4 above.

- (ii) Channel Protection Volume (Cpv): Not required if there are no changes to hydrology that increase the *discharge* rate from the project site.
- (iii) *Overbank* Flood Control Criteria (Qp): Not required if there are no changes to hydrology that increase the *discharge* rate from the project site.
- (iv) Extreme Flood Control Criteria (Qf): Not required if there are no changes to hydrology that increase the *discharge* rate from the project site

d. Sizing Criteria for Combination of Redevelopment Activity and New Development

Construction projects that include both New Development and Redevelopment Activity shall provide post-construction stormwater management controls that meet the sizing criteria calculated as an aggregate of the Sizing Criteria in Part I.C.2.a. or b. of this permit for the New Development portion of the project and Part I.C.2.c of this permit for Redevelopment Activity portion of the project.

D. Maintaining Water Quality

The Department expects that compliance with the conditions of this permit will control *discharges* necessary to meet applicable *water quality standards*. It shall be a violation of the *ECL* for any discharge to either cause or contribute to a violation of *water quality standards* as contained in Parts 700 through 705 of Title 6 of the Official Compilation of Codes, Rules and Regulations of the State of New York, such as:

1. There shall be no increase in turbidity that will cause a substantial visible contrast to natural conditions;
2. There shall be no increase in suspended, colloidal or settleable solids that will cause deposition or impair the waters for their best usages; and
3. There shall be no residue from oil and floating substances, nor visible oil film, nor globules of grease.

If there is evidence indicating that the stormwater *discharges* authorized by this permit are causing, have the reasonable potential to cause, or are contributing to a violation of the *water quality standards*; the *owner or operator* must take appropriate corrective action in accordance with Part IV.C.5. of this general permit and document in accordance with Part IV.C.4. of this general permit. To address the *water quality standard* violation the *owner or operator* may need to provide additional information, include and implement appropriate controls in the SWPPP to correct the problem, or obtain an individual SPDES permit.

If there is evidence indicating that despite compliance with the terms and conditions of this general permit it is demonstrated that the stormwater *discharges* authorized by this permit are causing or contributing to a violation of *water quality standards*, or if the Department determines that a modification of the permit is necessary to prevent a violation of *water quality standards*, the authorized *discharges* will no longer be eligible for coverage under this permit. The Department may require the *owner or operator* to obtain an individual SPDES permit to continue discharging.

E. Eligibility Under This General Permit

1. This permit may authorize all *discharges* of stormwater from *construction activity* to *surface waters of the State* and *groundwaters* except for ineligible *discharges* identified under subparagraph F. of this Part.
2. Except for non-stormwater *discharges* explicitly listed in the next paragraph, this permit only authorizes stormwater *discharges*; including stormwater runoff, snowmelt runoff, and surface runoff and drainage, from *construction activities*.
3. Notwithstanding paragraphs E.1 and E.2 above, the following non-stormwater discharges are authorized by this permit: those listed in 6 NYCRR 750-1.2(a)(29)(vi), with the following exception: “Discharges from firefighting activities are authorized only when the firefighting activities are emergencies/unplanned”; waters to which other components have not been added that are used to control dust in accordance with the SWPPP; and uncontaminated *discharges* from *construction site* de-watering operations. All non-stormwater discharges must be identified in the SWPPP. Under all circumstances, the *owner or operator* must still comply with *water quality standards* in Part I.D of this permit.
4. The *owner or operator* must maintain permit eligibility to *discharge* under this permit. Any *discharges* that are not compliant with the eligibility conditions of this permit are not authorized by the permit and the *owner or operator* must either apply for a separate permit to cover those ineligible *discharges* or take steps necessary to make the *discharge* eligible for coverage.

F. Activities Which Are Ineligible for Coverage Under This General Permit

All of the following are **not** authorized by this permit:

1. *Discharges* after *construction activities* have been completed and the site has undergone *final stabilization*;
2. *Discharges* that are mixed with sources of non-stormwater other than those expressly authorized under subsection E.3. of this Part and identified in the SWPPP required by this permit;
3. *Discharges* that are required to obtain an individual SPDES permit or another SPDES general permit pursuant to Part VII.K. of this permit;
4. *Construction activities* or *discharges* from *construction activities* that may adversely affect an *endangered or threatened species* unless the *owner or*

operator has obtained a permit issued pursuant to 6 NYCRR Part 182 for the project or the Department has issued a letter of non-jurisdiction for the project. All documentation necessary to demonstrate eligibility shall be maintained on site in accordance with Part II.D.2 of this permit;

5. *Discharges* which either cause or contribute to a violation of *water quality standards* adopted pursuant to the *ECL* and its accompanying regulations;
6. *Construction activities* for residential, commercial and institutional projects:
 - a. Where the *discharges* from the *construction activities* are tributary to waters of the state classified as AA or AA-s; and
 - b. Which are undertaken on land with no existing *impervious cover*; and
 - c. Which disturb one (1) or more acres of land designated on the current United States Department of Agriculture (“USDA”) Soil Survey as Soil Slope Phase “D”, (provided the map unit name is inclusive of slopes greater than 25%), or Soil Slope Phase “E” or “F” (regardless of the map unit name), or a combination of the three designations.
7. *Construction activities* for linear transportation projects and linear utility projects:
 - a. Where the *discharges* from the *construction activities* are tributary to waters of the state classified as AA or AA-s; and
 - b. Which are undertaken on land with no existing *impervious cover*; and
 - c. Which disturb two (2) or more acres of land designated on the current USDA Soil Survey as Soil Slope Phase “D” (provided the map unit name is inclusive of slopes greater than 25%), or Soil Slope Phase “E” or “F” (regardless of the map unit name), or a combination of the three designations.

8. *Construction activities* that have the potential to affect an *historic property*, unless there is documentation that such impacts have been resolved. The following documentation necessary to demonstrate eligibility with this requirement shall be maintained on site in accordance with Part II.D.2 of this permit and made available to the Department in accordance with Part VII.F of this permit:
- a. Documentation that the *construction activity* is not within an archeologically sensitive area indicated on the sensitivity map, and that the *construction activity* is not located on or immediately adjacent to a property listed or determined to be eligible for listing on the National or State Registers of Historic Places, and that there is no new permanent building on the *construction site* within the following distances from a building, structure, or object that is more than 50 years old, or if there is such a new permanent building on the *construction site* within those parameters that NYS Office of Parks, Recreation and Historic Preservation (OPRHP), a Historic Preservation Commission of a Certified Local Government, or a qualified preservation professional has determined that the building, structure, or object more than 50 years old is not historically/archeologically significant.
 - 1-5 acres of disturbance - 20 feet
 - 5-20 acres of disturbance - 50 feet
 - 20+ acres of disturbance - 100 feet, or
 - b. DEC consultation form sent to OPRHP, and copied to the NYS DEC Agency Historic Preservation Officer (APO), and
 - (i) the State Environmental Quality Review (SEQR) Environmental Assessment Form (EAF) with a negative declaration or the Findings Statement, with documentation of OPRHP's agreement with the resolution; or
 - (ii) documentation from OPRHP that the *construction activity* will result in No Impact; or
 - (iii) documentation from OPRHP providing a determination of No Adverse Impact; or
 - (iv) a Letter of Resolution signed by the owner/operator, OPRHP and the DEC APO which allows for this *construction activity* to be eligible for coverage under the general permit in terms of the State Historic Preservation Act (SHPA); or
 - c. Documentation of satisfactory compliance with Section 106 of the National Historic Preservation Act for a coterminous project area:

- (i) No Affect
- (ii) No Adverse Affect
- (iii) Executed Memorandum of Agreement, or

d. Documentation that:

- (i) SHPA Section 14.09 has been completed by NYS DEC or another state agency.
9. *Discharges from construction activities* that are subject to an existing SPDES individual or general permit where a SPDES permit for *construction activity* has been terminated or denied; or where the *owner or operator* has failed to renew an expired individual permit.

Part II. PERMIT COVERAGE

A. How to Obtain Coverage

1. An *owner or operator* of a *construction activity* that is not subject to the requirements of a regulated, traditional land use control MS4 must first prepare a SWPPP in accordance with all applicable requirements of this permit and then submit a completed Notice of Intent (NOI) to the Department to be authorized to discharge under this permit.
2. An *owner or operator* of a *construction activity* that is subject to the requirements of a *regulated, traditional land use control MS4* must first prepare a SWPPP in accordance with all applicable requirements of this permit and then have the SWPPP reviewed and accepted by the *regulated, traditional land use control MS4* prior to submitting the NOI to the Department. The *owner or operator* shall have the “MS4 SWPPP Acceptance” form signed in accordance with Part VII.H., and then submit that form along with a completed NOI to the Department.
3. The requirement for an *owner or operator* to have its SWPPP reviewed and accepted by the *regulated, traditional land use control MS4* prior to submitting the NOI to the Department does not apply to an *owner or operator* that is obtaining permit coverage in accordance with the requirements in Part II.F. (Change of *Owner or Operator*) or where the *owner or operator* of the *construction activity* is the *regulated, traditional land use control MS4* . This exemption does not apply to *construction activities* subject to the New York City Administrative Code.

B. Notice of Intent (NOI) Submittal

1. Prior to December 21, 2020, an owner or operator shall use either the electronic (eNOI) or paper version of the NOI that the Department prepared. Both versions of the NOI are located on the Department's website (<http://www.dec.ny.gov/>). The paper version of the NOI shall be signed in accordance with Part VII.H. of this permit and submitted to the following address:

**NOTICE OF INTENT
NYS DEC, Bureau of Water Permits
625 Broadway, 4th Floor
Albany, New York 12233-3505**

2. Beginning December 21, 2020 and in accordance with EPA's 2015 NPDES Electronic Reporting Rule (40 CFR Part 127), the *owner or operator* must submit the NOI electronically using the *Department's* online NOI.
3. The *owner or operator* shall have the SWPPP preparer sign the "SWPPP Preparer Certification" statement on the NOI prior to submitting the form to the Department.
4. As of the date the NOI is submitted to the Department, the *owner or operator* shall make the NOI and SWPPP available for review and copying in accordance with the requirements in Part VII.F. of this permit.

C. Permit Authorization

1. An *owner or operator* shall not *commence construction activity* until their authorization to *discharge* under this permit goes into effect.
2. Authorization to *discharge* under this permit will be effective when the *owner or operator* has satisfied all of the following criteria:
 - a. project review pursuant to the State Environmental Quality Review Act ("SEQRA") have been satisfied, when SEQRA is applicable. See the Department's website (<http://www.dec.ny.gov/>) for more information,
 - b. where required, all necessary Department permits subject to the *Uniform Procedures Act ("UPA")* (see 6 NYCRR Part 621), or the equivalent from another New York State agency, have been obtained, unless otherwise notified by the Department pursuant to 6 NYCRR 621.3(a)(4). *Owners or operators of construction activities* that are required to obtain *UPA* permits

must submit a preliminary SWPPP to the appropriate DEC Permit Administrator at the Regional Office listed in Appendix F at the time all other necessary *UPA* permit applications are submitted. The preliminary SWPPP must include sufficient information to demonstrate that the *construction activity* qualifies for authorization under this permit,

- c. the final SWPPP has been prepared, and
 - d. a complete NOI has been submitted to the Department in accordance with the requirements of this permit.
3. An *owner or operator* that has satisfied the requirements of Part II.C.2 above will be authorized to *discharge* stormwater from their *construction activity* in accordance with the following schedule:
- a. For *construction activities* that are not subject to the requirements of a *regulated, traditional land use control MS4*:
 - (i) Five (5) business days from the date the Department receives a complete electronic version of the NOI (eNOI) for *construction activities* with a SWPPP that has been prepared in conformance with the design criteria in the technical standard referenced in Part III.B.1 and the *performance criteria* in the technical standard referenced in Parts III.B., 2 or 3, for *construction activities* that require post-construction stormwater management practices pursuant to Part III.C.; or
 - (ii) Sixty (60) business days from the date the Department receives a complete NOI (electronic or paper version) for *construction activities* with a SWPPP that has not been prepared in conformance with the design criteria in technical standard referenced in Part III.B.1. or, for *construction activities* that require post-construction stormwater management practices pursuant to Part III.C., the *performance criteria* in the technical standard referenced in Parts III.B., 2 or 3, or;
 - (iii) Ten (10) business days from the date the Department receives a complete paper version of the NOI for *construction activities* with a SWPPP that has been prepared in conformance with the design criteria in the technical standard referenced in Part III.B.1 and the *performance criteria* in the technical standard referenced in Parts III.B., 2 or 3, for *construction activities* that require post-construction stormwater management practices pursuant to Part III.C.

- b. For *construction activities* that are subject to the requirements of a *regulated, traditional land use control MS4*:
 - (i) Five (5) business days from the date the Department receives both a complete electronic version of the NOI (eNOI) and signed “MS4 SWPPP Acceptance” form, or
 - (ii) Ten (10) business days from the date the Department receives both a complete paper version of the NOI and signed “MS4 SWPPP Acceptance” form.
4. Coverage under this permit authorizes stormwater *discharges* from only those areas of disturbance that are identified in the NOI. If an *owner or operator* wishes to have stormwater *discharges* from future or additional areas of disturbance authorized, they must submit a new NOI that addresses that phase of the development, unless otherwise notified by the Department. The *owner or operator* shall not *commence construction activity* on the future or additional areas until their authorization to *discharge* under this permit goes into effect in accordance with Part II.C. of this permit.

D. General Requirements For Owners or Operators With Permit Coverage

1. The *owner or operator* shall ensure that the provisions of the SWPPP are implemented from the *commencement of construction activity* until all areas of disturbance have achieved *final stabilization* and the Notice of Termination (“NOT”) has been submitted to the Department in accordance with Part V. of this permit. This includes any changes made to the SWPPP pursuant to Part III.A.4. of this permit.
2. The *owner or operator* shall maintain a copy of the General Permit (GP-0-20-001), NOI, *NOI Acknowledgment Letter*, SWPPP, MS4 SWPPP Acceptance form, inspection reports, responsible contractor’s or subcontractor’s certification statement (see Part III.A.6.), and all documentation necessary to demonstrate eligibility with this permit at the *construction site* until all disturbed areas have achieved *final stabilization* and the NOT has been submitted to the Department. The documents must be maintained in a secure location, such as a job trailer, on-site construction office, or mailbox with lock. The secure location must be accessible during normal business hours to an individual performing a compliance inspection.
3. The *owner or operator of a construction activity* shall not disturb greater than five (5) acres of soil at any one time without prior written authorization from the Department or, in areas under the jurisdiction of a *regulated, traditional land*

- use control MS4, the regulated, traditional land use control MS4 (provided the regulated, traditional land use control MS4 is not the owner or operator of the construction activity). At a minimum, the owner or operator must comply with the following requirements in order to be authorized to disturb greater than five (5) acres of soil at any one time:*
- a. The *owner or operator* shall have a *qualified inspector* conduct **at least two** (2) site inspections in accordance with Part IV.C. of this permit every seven (7) calendar days, for as long as greater than five (5) acres of soil remain disturbed. The two (2) inspections shall be separated by a minimum of two (2) full calendar days.
 - b. In areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. The soil stabilization measures selected shall be in conformance with the technical standard, New York State Standards and Specifications for Erosion and Sediment Control, dated November 2016.
 - c. The *owner or operator* shall prepare a phasing plan that defines maximum disturbed area per phase and shows required cuts and fills.
 - d. The *owner or operator* shall install any additional site-specific practices needed to protect water quality.
 - e. The *owner or operator* shall include the requirements above in their SWPPP.
4. In accordance with statute, regulations, and the terms and conditions of this permit, the Department may suspend or revoke an *owner's or operator's* coverage under this permit at any time if the Department determines that the SWPPP does not meet the permit requirements or consistent with Part VII.K..
 5. Upon a finding of significant non-compliance with the practices described in the SWPPP or violation of this permit, the Department may order an immediate stop to all activity at the site until the non-compliance is remedied. The stop work order shall be in writing, describe the non-compliance in detail, and be sent to the *owner or operator*.
 6. For *construction activities* that are subject to the requirements of a *regulated, traditional land use control MS4*, the *owner or operator* shall notify the

regulated, traditional land use control MS4 in writing of any planned amendments or modifications to the post-construction stormwater management practice component of the SWPPP required by Part III.A. 4. and 5. of this permit. Unless otherwise notified by the *regulated, traditional land use control MS4*, the *owner or operator* shall have the SWPPP amendments or modifications reviewed and accepted by the *regulated, traditional land use control MS4* prior to commencing construction of the post-construction stormwater management practice.

E. Permit Coverage for Discharges Authorized Under GP-0-15-002

1. Upon renewal of SPDES General Permit for Stormwater Discharges from *Construction Activity* (Permit No. GP-0-15-002), an *owner or operator* of a *construction activity* with coverage under GP-0-15-002, as of the effective date of GP- 0-20-001, shall be authorized to *discharge* in accordance with GP- 0-20-001, unless otherwise notified by the Department.

An *owner or operator* may continue to implement the technical/design components of the post-construction stormwater management controls provided that such design was done in conformance with the technical standards in place at the time of initial project authorization. However, they must comply with the other, non-design provisions of GP-0-20-001.

F. Change of Owner or Operator

1. When property ownership changes or when there is a change in operational control over the construction plans and specifications, the original *owner or operator* must notify the new *owner or operator*, in writing, of the requirement to obtain permit coverage by submitting a NOI with the Department. For *construction activities* subject to the requirements of a *regulated, traditional land use control MS4*, the original *owner or operator* must also notify the MS4, in writing, of the change in ownership at least 30 calendar days prior to the change in ownership.
2. Once the new *owner or operator* obtains permit coverage, the original *owner or operator* shall then submit a completed NOT with the name and permit identification number of the new *owner or operator* to the Department at the address in Part II.B.1. of this permit. If the original *owner or operator* maintains ownership of a portion of the *construction activity* and will disturb soil, they must maintain their coverage under the permit.
3. Permit coverage for the new *owner or operator* will be effective as of the date the Department receives a complete NOI, provided the original *owner or*

operator was not subject to a sixty (60) business day authorization period that has not expired as of the date the Department receives the NOI from the new *owner or operator*.

Part III. STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

A. General SWPPP Requirements

1. A SWPPP shall be prepared and implemented by the *owner or operator* of each *construction activity* covered by this permit. The SWPPP must document the selection, design, installation, implementation and maintenance of the control measures and practices that will be used to meet the effluent limitations in Part I.B. of this permit and where applicable, the post-construction stormwater management practice requirements in Part I.C. of this permit. The SWPPP shall be prepared prior to the submittal of the NOI. The NOI shall be submitted to the Department prior to the *commencement of construction activity*. A copy of the completed, final NOI shall be included in the SWPPP.
2. The SWPPP shall describe the erosion and sediment control practices and where required, post-construction stormwater management practices that will be used and/or constructed to reduce the *pollutants* in stormwater *discharges* and to assure compliance with the terms and conditions of this permit. In addition, the SWPPP shall identify potential sources of pollution which may reasonably be expected to affect the quality of stormwater *discharges*.
3. All SWPPPs that require the post-construction stormwater management practice component shall be prepared by a *qualified professional* that is knowledgeable in the principles and practices of stormwater management and treatment.
4. The *owner or operator* must keep the SWPPP current so that it at all times accurately documents the erosion and sediment controls practices that are being used or will be used during construction, and all post-construction stormwater management practices that will be constructed on the site. At a minimum, the *owner or operator* shall amend the SWPPP, including construction drawings:
 - a. whenever the current provisions prove to be ineffective in minimizing *pollutants* in stormwater *discharges* from the site;

- b. whenever there is a change in design, construction, or operation at the *construction site* that has or could have an effect on the *discharge* of *pollutants*;
 - c. to address issues or deficiencies identified during an inspection by the *qualified inspector*, the Department or other regulatory authority; and
 - d. to document the final construction conditions.
5. The Department may notify the *owner or operator* at any time that the SWPPP does not meet one or more of the minimum requirements of this permit. The notification shall be in writing and identify the provisions of the SWPPP that require modification. Within fourteen (14) calendar days of such notification, or as otherwise indicated by the Department, the *owner or operator* shall make the required changes to the SWPPP and submit written notification to the Department that the changes have been made. If the *owner or operator* does not respond to the Department's comments in the specified time frame, the Department may suspend the *owner's or operator's* coverage under this permit or require the *owner or operator* to obtain coverage under an individual SPDES permit in accordance with Part II.D.4. of this permit.
6. Prior to the *commencement of construction activity*, the *owner or operator* must identify the contractor(s) and subcontractor(s) that will be responsible for installing, constructing, repairing, replacing, inspecting and maintaining the erosion and sediment control practices included in the SWPPP; and the contractor(s) and subcontractor(s) that will be responsible for constructing the post-construction stormwater management practices included in the SWPPP. The *owner or operator* shall have each of the contractors and subcontractors identify at least one person from their company that will be responsible for implementation of the SWPPP. This person shall be known as the *trained contractor*. The *owner or operator* shall ensure that at least one *trained contractor* is on site on a daily basis when soil disturbance activities are being performed.

The *owner or operator* shall have each of the contractors and subcontractors identified above sign a copy of the following certification statement below before they commence any *construction activity*:

"I hereby certify under penalty of law that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the *qualified inspector* during a site inspection. I also understand that the *owner or operator* must comply with

the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for stormwater *discharges* from *construction activities* and that it is unlawful for any person to cause or contribute to a violation of *water quality standards*. Furthermore, I am aware that there are significant penalties for submitting false information, that I do not believe to be true, including the possibility of fine and imprisonment for knowing violations"

In addition to providing the certification statement above, the certification page must also identify the specific elements of the SWPPP that each contractor and subcontractor will be responsible for and include the name and title of the person providing the signature; the name and title of the *trained contractor* responsible for SWPPP implementation; the name, address and telephone number of the contracting firm; the address (or other identifying description) of the site; and the date the certification statement is signed. The *owner or operator* shall attach the certification statement(s) to the copy of the SWPPP that is maintained at the *construction site*. If new or additional contractors are hired to implement measures identified in the SWPPP after construction has commenced, they must also sign the certification statement and provide the information listed above.

7. For projects where the Department requests a copy of the SWPPP or inspection reports, the *owner or operator* shall submit the documents in both electronic (PDF only) and paper format within five (5) business days, unless otherwise notified by the Department.

B. Required SWPPP Contents

1. Erosion and sediment control component - All SWPPPs prepared pursuant to this permit shall include erosion and sediment control practices designed in conformance with the technical standard, New York State Standards and Specifications for Erosion and Sediment Control, dated November 2016. Where erosion and sediment control practices are not designed in conformance with the design criteria included in the technical standard, the *owner or operator* must demonstrate *equivalence* to the technical standard. At a minimum, the erosion and sediment control component of the SWPPP shall include the following:
 - a. Background information about the scope of the project, including the location, type and size of project

- b. A site map/construction drawing(s) for the project, including a general location map. At a minimum, the site map shall show the total site area; all improvements; areas of disturbance; areas that will not be disturbed; existing vegetation; on-site and adjacent off-site surface water(s); floodplain/floodway boundaries; wetlands and drainage patterns that could be affected by the *construction activity*; existing and final contours ; locations of different soil types with boundaries; material, waste, borrow or equipment storage areas located on adjacent properties; and location(s) of the stormwater *discharge(s)*;
- c. A description of the soil(s) present at the site, including an identification of the Hydrologic Soil Group (HSG);
- d. A construction phasing plan and sequence of operations describing the intended order of *construction activities*, including clearing and grubbing, excavation and grading, utility and infrastructure installation and any other activity at the site that results in soil disturbance;
- e. A description of the minimum erosion and sediment control practices to be installed or implemented for each *construction activity* that will result in soil disturbance. Include a schedule that identifies the timing of initial placement or implementation of each erosion and sediment control practice and the minimum time frames that each practice should remain in place or be implemented;
- f. A temporary and permanent soil stabilization plan that meets the requirements of this general permit and the technical standard, New York State Standards and Specifications for Erosion and Sediment Control, dated November 2016, for each stage of the project, including initial land clearing and grubbing to project completion and achievement of *final stabilization*;
- g. A site map/construction drawing(s) showing the specific location(s), size(s), and length(s) of each erosion and sediment control practice;
- h. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices. Include the location and sizing of any temporary sediment basins and structural practices that will be used to divert flows from exposed soils;
- i. A maintenance inspection schedule for the contractor(s) identified in Part III.A.6. of this permit, to ensure continuous and effective operation of the erosion and sediment control practices. The maintenance inspection

schedule shall be in accordance with the requirements in the technical standard, New York State Standards and Specifications for Erosion and Sediment Control, dated November 2016;

- j. A description of the pollution prevention measures that will be used to control litter, construction chemicals and construction debris from becoming a *pollutant* source in the stormwater *discharges*;
 - k. A description and location of any stormwater *discharges* associated with industrial activity other than construction at the site, including, but not limited to, stormwater *discharges* from asphalt plants and concrete plants located on the *construction site*; and
 - l. Identification of any elements of the design that are not in conformance with the design criteria in the technical standard, New York State Standards and Specifications for Erosion and Sediment Control, dated November 2016. Include the reason for the deviation or alternative design and provide information which demonstrates that the deviation or alternative design is *equivalent* to the technical standard.
2. Post-construction stormwater management practice component – The *owner or operator* of any construction project identified in Table 2 of Appendix B as needing post-construction stormwater management practices shall prepare a SWPPP that includes practices designed in conformance with the applicable *sizing criteria* in Part I.C.2.a., c. or d. of this permit and the *performance criteria* in the technical standard, New York State Stormwater Management Design Manual dated January 2015

Where post-construction stormwater management practices are not designed in conformance with the *performance criteria* in the technical standard, the *owner or operator* must include in the SWPPP the reason(s) for the deviation or alternative design and provide information which demonstrates that the deviation or alternative design is *equivalent* to the technical standard.

The post-construction stormwater management practice component of the SWPPP shall include the following:

- a. Identification of all post-construction stormwater management practices to be constructed as part of the project. Include the dimensions, material specifications and installation details for each post-construction stormwater management practice;

- b. A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice;
- c. A Stormwater Modeling and Analysis Report that includes:
 - (i) Map(s) showing pre-development conditions, including watershed/subcatchments boundaries, flow paths/routing, and design points;
 - (ii) Map(s) showing post-development conditions, including watershed/subcatchments boundaries, flow paths/routing, design points and post-construction stormwater management practices;
 - (iii) Results of stormwater modeling (i.e. hydrology and hydraulic analysis) for the required storm events. Include supporting calculations (model runs), methodology, and a summary table that compares pre and post-development runoff rates and volumes for the different storm events;
 - (iv) Summary table, with supporting calculations, which demonstrates that each post-construction stormwater management practice has been designed in conformance with the *sizing criteria* included in the Design Manual;
 - (v) Identification of any *sizing criteria* that is not required based on the requirements included in Part I.C. of this permit; and
 - (vi) Identification of any elements of the design that are not in conformance with the *performance criteria* in the Design Manual. Include the reason(s) for the deviation or alternative design and provide information which demonstrates that the deviation or alternative design is *equivalent* to the Design Manual;
- d. Soil testing results and locations (test pits, borings);
- e. Infiltration test results, when required; and
- f. An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice.

3. Enhanced Phosphorus Removal Standards - All construction projects identified in Table 2 of Appendix B that are located in the watersheds identified in Appendix C shall prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the applicable *sizing criteria* in Part I.C.2. b., c. or d. of this permit and the *performance criteria*, Enhanced Phosphorus Removal Standards included in the Design Manual. At a minimum, the post-construction stormwater management practice component of the SWPPP shall include items 2.a - 2.f. above.

C. Required SWPPP Components by Project Type

Unless otherwise notified by the Department, *owners or operators of construction activities* identified in Table 1 of Appendix B are required to prepare a SWPPP that only includes erosion and sediment control practices designed in conformance with Part III.B.1 of this permit. *Owners or operators of the construction activities* identified in Table 2 of Appendix B shall prepare a SWPPP that also includes post-construction stormwater management practices designed in conformance with Part III.B.2 or 3 of this permit.

Part IV. INSPECTION AND MAINTENANCE REQUIREMENTS

A. General Construction Site Inspection and Maintenance Requirements

1. The *owner or operator* must ensure that all erosion and sediment control practices (including pollution prevention measures) and all post-construction stormwater management practices identified in the SWPPP are inspected and maintained in accordance with Part IV.B. and C. of this permit.
2. The terms of this permit shall not be construed to prohibit the State of New York from exercising any authority pursuant to the ECL, common law or federal law, or prohibit New York State from taking any measures, whether civil or criminal, to prevent violations of the laws of the State of New York or protect the public health and safety and/or the environment.

B. Contractor Maintenance Inspection Requirements

1. The *owner or operator* of each *construction activity* identified in Tables 1 and 2 of Appendix B shall have a *trained contractor* inspect the erosion and sediment control practices and pollution prevention measures being implemented within the active work area daily to ensure that they are being maintained in effective operating condition at all times. If deficiencies are identified, the contractor shall

begin implementing corrective actions within one business day and shall complete the corrective actions in a reasonable time frame.

2. For construction sites where soil disturbance activities have been temporarily suspended (e.g. winter shutdown) and *temporary stabilization* measures have been applied to all disturbed areas, the *trained contractor* can stop conducting the maintenance inspections. The *trained contractor* shall begin conducting the maintenance inspections in accordance with Part IV.B.1. of this permit as soon as soil disturbance activities resume.
3. For construction sites where soil disturbance activities have been shut down with partial project completion, the *trained contractor* can stop conducting the maintenance inspections if all areas disturbed as of the project shutdown date have achieved *final stabilization* and all post-construction stormwater management practices required for the completed portion of the project have been constructed in conformance with the SWPPP and are operational.

C. Qualified Inspector Inspection Requirements

The *owner or operator* shall have a *qualified inspector* conduct site inspections in conformance with the following requirements:

[Note: The *trained contractor* identified in Part III.A.6. and IV.B. of this permit **cannot** conduct the *qualified inspector* site inspections unless they meet the *qualified inspector* qualifications included in Appendix A. In order to perform these inspections, the *trained contractor* would have to be a:

- licensed Professional Engineer,
 - Certified Professional in Erosion and Sediment Control (CPESC),
 - New York State Erosion and Sediment Control Certificate Program holder
 - Registered Landscape Architect, or
 - someone working under the direct supervision of, and at the same company as, the licensed Professional Engineer or Registered Landscape Architect, provided they have received four (4) hours of Department endorsed training in proper erosion and sediment control principles from a Soil and Water Conservation District, or other Department endorsed entity].
1. A *qualified inspector* shall conduct site inspections for all *construction activities* identified in Tables 1 and 2 of Appendix B, with the exception of:
 - a. the construction of a single family residential subdivision with 25% or less *impervious cover* at total site build-out that involves a soil disturbance of one (1) or more acres of land but less than five (5) acres and is not located

in one of the watersheds listed in Appendix C and not directly discharging to one of the 303(d) segments listed in Appendix E;

- b. the construction of a single family home that involves a soil disturbance of one (1) or more acres of land but less than five (5) acres and is not located in one of the watersheds listed in Appendix C and not directly discharging to one of the 303(d) segments listed in Appendix E;
 - c. construction on agricultural property that involves a soil disturbance of one (1) or more acres of land but less than five (5) acres; and
 - d. *construction activities* located in the watersheds identified in Appendix D that involve soil disturbances between five thousand (5,000) square feet and one (1) acre of land.
2. Unless otherwise notified by the Department, the *qualified inspector* shall conduct site inspections in accordance with the following timetable:
- a. For construction sites where soil disturbance activities are on-going, the *qualified inspector* shall conduct a site inspection at least once every seven (7) calendar days.
 - b. For construction sites where soil disturbance activities are on-going and the *owner or operator* has received authorization in accordance with Part II.D.3 to disturb greater than five (5) acres of soil at any one time, the *qualified inspector* shall conduct at least two (2) site inspections every seven (7) calendar days. The two (2) inspections shall be separated by a minimum of two (2) full calendar days.
 - c. For construction sites where soil disturbance activities have been temporarily suspended (e.g. winter shutdown) and *temporary stabilization* measures have been applied to all disturbed areas, the *qualified inspector* shall conduct a site inspection at least once every thirty (30) calendar days. The *owner or operator* shall notify the DOW Water (SPDES) Program contact at the Regional Office (see contact information in Appendix F) or, in areas under the jurisdiction of a *regulated, traditional land use control MS4*, the *regulated, traditional land use control MS4* (provided the *regulated, traditional land use control MS4* is not the *owner or operator* of the *construction activity*) in writing prior to reducing the frequency of inspections.

- d. For construction sites where soil disturbance activities have been shut down with partial project completion, the *qualified inspector* can stop conducting inspections if all areas disturbed as of the project shutdown date have achieved *final stabilization* and all post-construction stormwater management practices required for the completed portion of the project have been constructed in conformance with the SWPPP and are operational. The *owner or operator* shall notify the DOW Water (SPDES) Program contact at the Regional Office (see contact information in Appendix F) or, in areas under the jurisdiction of a *regulated, traditional land use control MS4*, the *regulated, traditional land use control MS4* (provided the *regulated, traditional land use control MS4* is not the *owner or operator* of the *construction activity*) in writing prior to the shutdown. If soil disturbance activities are not resumed within 2 years from the date of shutdown, the *owner or operator* shall have the *qualified inspector* perform a final inspection and certify that all disturbed areas have achieved *final stabilization*, and all temporary, structural erosion and sediment control measures have been removed; and that all post-construction stormwater management practices have been constructed in conformance with the SWPPP by signing the “*Final Stabilization*” and “*Post-Construction Stormwater Management Practice*” certification statements on the NOT. The *owner or operator* shall then submit the completed NOT form to the address in Part II.B.1 of this permit.
 - e. For construction sites that directly *discharge* to one of the 303(d) segments listed in Appendix E or is located in one of the watersheds listed in Appendix C, the *qualified inspector* shall conduct at least two (2) site inspections every seven (7) calendar days. The two (2) inspections shall be separated by a minimum of two (2) full calendar days.
3. At a minimum, the *qualified inspector* shall inspect all erosion and sediment control practices and pollution prevention measures to ensure integrity and effectiveness, all post-construction stormwater management practices under construction to ensure that they are constructed in conformance with the SWPPP, all areas of disturbance that have not achieved *final stabilization*, all points of *discharge* to natural surface waterbodies located within, or immediately adjacent to, the property boundaries of the *construction site*, and all points of *discharge* from the *construction site*.
 4. The *qualified inspector* shall prepare an inspection report subsequent to each and every inspection. At a minimum, the inspection report shall include and/or address the following:

- a. Date and time of inspection;
- b. Name and title of person(s) performing inspection;
- c. A description of the weather and soil conditions (e.g. dry, wet, saturated) at the time of the inspection;
- d. A description of the condition of the runoff at all points of *discharge* from the *construction site*. This shall include identification of any *discharges* of sediment from the *construction site*. Include *discharges* from conveyance systems (i.e. pipes, culverts, ditches, etc.) and overland flow;
- e. A description of the condition of all natural surface waterbodies located within, or immediately adjacent to, the property boundaries of the *construction site* which receive runoff from disturbed areas. This shall include identification of any *discharges* of sediment to the surface waterbody;
- f. Identification of all erosion and sediment control practices and pollution prevention measures that need repair or maintenance;
- g. Identification of all erosion and sediment control practices and pollution prevention measures that were not installed properly or are not functioning as designed and need to be reinstalled or replaced;
- h. Description and sketch of areas with active soil disturbance activity, areas that have been disturbed but are inactive at the time of the inspection, and areas that have been stabilized (temporary and/or final) since the last inspection;
- i. Current phase of construction of all post-construction stormwater management practices and identification of all construction that is not in conformance with the SWPPP and technical standards;
- j. Corrective action(s) that must be taken to install, repair, replace or maintain erosion and sediment control practices and pollution prevention measures; and to correct deficiencies identified with the construction of the post-construction stormwater management practice(s);
- k. Identification and status of all corrective actions that were required by previous inspection; and

- I. Digital photographs, with date stamp, that clearly show the condition of all practices that have been identified as needing corrective actions. The *qualified inspector* shall attach paper color copies of the digital photographs to the inspection report being maintained onsite within seven (7) calendar days of the date of the inspection. The *qualified inspector* shall also take digital photographs, with date stamp, that clearly show the condition of the practice(s) after the corrective action has been completed. The *qualified inspector* shall attach paper color copies of the digital photographs to the inspection report that documents the completion of the corrective action work within seven (7) calendar days of that inspection.
5. Within one business day of the completion of an inspection, the *qualified inspector* shall notify the *owner or operator* and appropriate contractor or subcontractor identified in Part III.A.6. of this permit of any corrective actions that need to be taken. The contractor or subcontractor shall begin implementing the corrective actions within one business day of this notification and shall complete the corrective actions in a reasonable time frame.
6. All inspection reports shall be signed by the *qualified inspector*. Pursuant to Part II.D.2. of this permit, the inspection reports shall be maintained on site with the SWPPP.

Part V. TERMINATION OF PERMIT COVERAGE

A. Termination of Permit Coverage

1. An *owner or operator* that is eligible to terminate coverage under this permit must submit a completed NOT form to the address in Part II.B.1 of this permit. The NOT form shall be one which is associated with this permit, signed in accordance with Part VII.H of this permit.
2. An *owner or operator* may terminate coverage when one or more the following conditions have been met:
 - a. Total project completion - All *construction activity* identified in the SWPPP has been completed; and all areas of disturbance have achieved *final stabilization*; and all temporary, structural erosion and sediment control measures have been removed; and all post-construction stormwater management practices have been constructed in conformance with the SWPPP and are operational;

- b. Planned shutdown with partial project completion - All soil disturbance activities have ceased; and all areas disturbed as of the project shutdown date have achieved *final stabilization*; and all temporary, structural erosion and sediment control measures have been removed; and all post-construction stormwater management practices required for the completed portion of the project have been constructed in conformance with the SWPPP and are operational;
 - c. A new *owner or operator* has obtained coverage under this permit in accordance with Part II.F. of this permit.
 - d. The *owner or operator* obtains coverage under an alternative SPDES general permit or an individual SPDES permit.
3. For *construction activities* meeting subdivision 2a. or 2b. of this Part, the *owner or operator* shall have the *qualified inspector* perform a final site inspection prior to submitting the NOT. The *qualified inspector* shall, by signing the “*Final Stabilization*” and “*Post-Construction Stormwater Management Practice certification statements*” on the NOT, certify that all the requirements in Part V.A.2.a. or b. of this permit have been achieved.
4. For *construction activities* that are subject to the requirements of a *regulated, traditional land use control MS4* and meet subdivision 2a. or 2b. of this Part, the *owner or operator* shall have the *regulated, traditional land use control MS4* sign the “*MS4 Acceptance*” statement on the NOT in accordance with the requirements in Part VII.H. of this permit. The *regulated, traditional land use control MS4* official, by signing this statement, has determined that it is acceptable for the *owner or operator* to submit the NOT in accordance with the requirements of this Part. The *regulated, traditional land use control MS4* can make this determination by performing a final site inspection themselves or by accepting the *qualified inspector’s* final site inspection certification(s) required in Part V.A.3. of this permit.
5. For *construction activities* that require post-construction stormwater management practices and meet subdivision 2a. of this Part, the *owner or operator* must, prior to submitting the NOT, ensure one of the following:
 - a. the post-construction stormwater management practice(s) and any right-of-way(s) needed to maintain such practice(s) have been deeded to the municipality in which the practice(s) is located,

- b. an executed maintenance agreement is in place with the municipality that will maintain the post-construction stormwater management practice(s),
- c. for post-construction stormwater management practices that are privately owned, the *owner or operator* has a mechanism in place that requires operation and maintenance of the practice(s) in accordance with the operation and maintenance plan, such as a deed covenant in the *owner or operator's* deed of record,
- d. for post-construction stormwater management practices that are owned by a public or private institution (e.g. school, university, hospital), government agency or authority, or public utility; the *owner or operator* has policy and procedures in place that ensures operation and maintenance of the practices in accordance with the operation and maintenance plan.

Part VI. REPORTING AND RETENTION RECORDS

A. Record Retention

The *owner or operator* shall retain a copy of the NOI, NOI Acknowledgment Letter, SWPPP, MS4 SWPPP Acceptance form and any inspection reports that were prepared in conjunction with this permit for a period of at least five (5) years from the date that the Department receives a complete NOT submitted in accordance with Part V. of this general permit.

B. Addresses

With the exception of the NOI, NOT, and MS4 SWPPP Acceptance form (which must be submitted to the address referenced in Part II.B.1 of this permit), all written correspondence requested by the Department, including individual permit applications, shall be sent to the address of the appropriate DOW Water (SPDES) Program contact at the Regional Office listed in Appendix F.

Part VII. STANDARD PERMIT CONDITIONS

A. Duty to Comply

The *owner or operator* must comply with all conditions of this permit. All contractors and subcontractors associated with the project must comply with the terms of the SWPPP. Any non-compliance with this permit constitutes a violation of the Clean Water

Act (CWA) and the ECL and is grounds for an enforcement action against the *owner or operator* and/or the contractor/subcontractor; permit revocation, suspension or modification; or denial of a permit renewal application. Upon a finding of significant non-compliance with this permit or the applicable SWPPP, the Department may order an immediate stop to all *construction activity* at the site until the non-compliance is remedied. The stop work order shall be in writing, shall describe the non-compliance in detail, and shall be sent to the *owner or operator*.

If any human remains or archaeological remains are encountered during excavation, the *owner or operator* must immediately cease, or cause to cease, all *construction activity* in the area of the remains and notify the appropriate Regional Water Engineer (RWE). *Construction activity* shall not resume until written permission to do so has been received from the RWE.

B. Continuation of the Expired General Permit

This permit expires five (5) years from the effective date. If a new general permit is not issued prior to the expiration of this general permit, an *owner or operator* with coverage under this permit may continue to operate and *discharge* in accordance with the terms and conditions of this general permit, if it is extended pursuant to the State Administrative Procedure Act and 6 NYCRR Part 621, until a new general permit is issued.

C. Enforcement

Failure of the *owner or operator*, its contractors, subcontractors, agents and/or assigns to strictly adhere to any of the permit requirements contained herein shall constitute a violation of this permit. There are substantial criminal, civil, and administrative penalties associated with violating the provisions of this permit. Fines of up to \$37,500 per day for each violation and imprisonment for up to fifteen (15) years may be assessed depending upon the nature and degree of the offense.

D. Need to Halt or Reduce Activity Not a Defense

It shall not be a defense for an *owner or operator* in an enforcement action that it would have been necessary to halt or reduce the *construction activity* in order to maintain compliance with the conditions of this permit.

E. Duty to Mitigate

The *owner or operator* and its contractors and subcontractors shall take all reasonable steps to *minimize* or prevent any *discharge* in violation of this permit which has a reasonable likelihood of adversely affecting human health or the environment.

F. Duty to Provide Information

The *owner or operator* shall furnish to the Department, within a reasonable specified time period of a written request, all documentation necessary to demonstrate eligibility and any information to determine compliance with this permit or to determine whether cause exists for modifying or revoking this permit, or suspending or denying coverage under this permit, in accordance with the terms and conditions of this permit. The NOI, SWPPP and inspection reports required by this permit are public documents that the *owner or operator* must make available for review and copying by any person within five (5) business days of the *owner or operator* receiving a written request by any such person to review these documents. Copying of documents will be done at the requester's expense.

G. Other Information

When the *owner or operator* becomes aware that they failed to submit any relevant facts, or submitted incorrect information in the NOI or in any of the documents required by this permit, or have made substantive revisions to the SWPPP (e.g. the scope of the project changes significantly, the type of post-construction stormwater management practice(s) changes, there is a reduction in the sizing of the post-construction stormwater management practice, or there is an increase in the disturbance area or *impervious area*), which were not reflected in the original NOI submitted to the Department, they shall promptly submit such facts or information to the Department using the contact information in Part II.A. of this permit. Failure of the *owner or operator* to correct or supplement any relevant facts within five (5) business days of becoming aware of the deficiency shall constitute a violation of this permit.

H. Signatory Requirements

1. All NOIs and NOTs shall be signed as follows:
 - a. For a corporation these forms shall be signed by a responsible corporate officer. For the purpose of this section, a responsible corporate officer means:

- (i) a president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision-making functions for the corporation; or
 - (ii) the manager of one or more manufacturing, production or operating facilities, provided the manager is authorized to make management decisions which govern the operation of the regulated facility including having the explicit or implicit duty of making major capital investment recommendations, and initiating and directing other comprehensive measures to assure long term environmental compliance with environmental laws and regulations; the manager can ensure that the necessary systems are established or actions taken to gather complete and accurate information for permit application requirements; and where authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures;
 - b. For a partnership or sole proprietorship these forms shall be signed by a general partner or the proprietor, respectively; or
 - c. For a municipality, State, Federal, or other public agency these forms shall be signed by either a principal executive officer or ranking elected official. For purposes of this section, a principal executive officer of a Federal agency includes:
 - (i) the chief executive officer of the agency, or
 - (ii) a senior executive officer having responsibility for the overall operations of a principal geographic unit of the agency (e.g., Regional Administrators of EPA).
2. The SWPPP and other information requested by the Department shall be signed by a person described in Part VII.H.1. of this permit or by a duly authorized representative of that person. A person is a duly authorized representative only if:
- a. The authorization is made in writing by a person described in Part VII.H.1. of this permit;
 - b. The authorization specifies either an individual or a position having responsibility for the overall operation of the regulated facility or activity, such as the position of plant manager, operator of a well or a well field,

superintendent, position of *equivalent* responsibility, or an individual or position having overall responsibility for environmental matters for the company. (A duly authorized representative may thus be either a named individual or any individual occupying a named position) and,

- c. The written authorization shall include the name, title and signature of the authorized representative and be attached to the SWPPP.
3. All inspection reports shall be signed by the *qualified inspector* that performs the inspection.
4. The MS4 SWPPP Acceptance form shall be signed by the principal executive officer or ranking elected official from the *regulated, traditional land use control MS4*, or by a duly authorized representative of that person.

It shall constitute a permit violation if an incorrect and/or improper signatory authorizes any required forms, SWPPP and/or inspection reports.

I. Property Rights

The issuance of this permit does not convey any property rights of any sort, nor any exclusive privileges, nor does it authorize any injury to private property nor any invasion of personal rights, nor any infringement of Federal, State or local laws or regulations. *Owners or operators* must obtain any applicable conveyances, easements, licenses and/or access to real property prior to *commencing construction activity*.

J. Severability

The provisions of this permit are severable, and if any provision of this permit, or the application of any provision of this permit to any circumstance, is held invalid, the application of such provision to other circumstances, and the remainder of this permit shall not be affected thereby.

K. Requirement to Obtain Coverage Under an Alternative Permit

1. The Department may require any owner or operator authorized by this permit to apply for and/or obtain either an individual SPDES permit or another SPDES general permit. When the Department requires any discharger authorized by a general permit to apply for an individual SPDES permit, it shall notify the discharger in writing that a permit application is required. This notice shall

include a brief statement of the reasons for this decision, an application form, a statement setting a time frame for the owner or operator to file the application for an individual SPDES permit, and a deadline, not sooner than 180 days from owner or operator receipt of the notification letter, whereby the authorization to discharge under this general permit shall be terminated. Applications must be submitted to the appropriate Permit Administrator at the Regional Office. The Department may grant additional time upon demonstration, to the satisfaction of the Department, that additional time to apply for an alternative authorization is necessary or where the Department has not provided a permit determination in accordance with Part 621 of this Title.

2. When an individual SPDES permit is issued to a discharger authorized to *discharge* under a general SPDES permit for the same *discharge(s)*, the general permit authorization for outfalls authorized under the individual SPDES permit is automatically terminated on the effective date of the individual permit unless termination is earlier in accordance with 6 NYCRR Part 750.

L. Proper Operation and Maintenance

The *owner or operator* shall at all times properly operate and maintain all facilities and systems of treatment and control (and related appurtenances) which are installed or used by the *owner or operator* to achieve compliance with the conditions of this permit and with the requirements of the SWPPP.

M. Inspection and Entry

The *owner or operator* shall allow an authorized representative of the Department, EPA, applicable county health department, or, in the case of a *construction site* which *discharges* through an *MS4*, an authorized representative of the *MS4* receiving the discharge, upon the presentation of credentials and other documents as may be required by law, to:

1. Enter upon the owner's or operator's premises where a regulated facility or activity is located or conducted or where records must be kept under the conditions of this permit;
2. Have access to and copy at reasonable times, any records that must be kept under the conditions of this permit; and

3. Inspect at reasonable times any facilities or equipment (including monitoring and control equipment), practices or operations regulated or required by this permit.
4. Sample or monitor at reasonable times, for purposes of assuring permit compliance or as otherwise authorized by the Act or ECL, any substances or parameters at any location.

N. Permit Actions

This permit may, at any time, be modified, suspended, revoked, or renewed by the Department in accordance with 6 NYCRR Part 621. The filing of a request by the *owner or operator* for a permit modification, revocation and reissuance, termination, a notification of planned changes or anticipated noncompliance does not limit, diminish and/or stay compliance with any terms of this permit.

O. Definitions

Definitions of key terms are included in Appendix A of this permit.

P. Re-Opener Clause

1. If there is evidence indicating potential or realized impacts on water quality due to any stormwater discharge associated with construction activity covered by this permit, the owner or operator of such discharge may be required to obtain an individual permit or alternative general permit in accordance with Part VII.K. of this permit or the permit may be modified to include different limitations and/or requirements.
2. Any Department initiated permit modification, suspension or revocation will be conducted in accordance with 6 NYCRR Part 621, 6 NYCRR 750-1.18, and 6 NYCRR 750-1.20.

Q. Penalties for Falsification of Forms and Reports

In accordance with 6NYCRR Part 750-2.4 and 750-2.5, any person who knowingly makes any false material statement, representation, or certification in any application, record, report or other document filed or required to be maintained under this permit, including reports of compliance or noncompliance shall, upon conviction, be punished in accordance with ECL §71-1933 and or Articles 175 and 210 of the New York State Penal Law.

R. Other Permits

Nothing in this permit relieves the *owner or operator* from a requirement to obtain any other permits required by law.

APPENDIX A – Acronyms and Definitions

Acronyms

APO – Agency Preservation Officer

BMP – Best Management Practice

CPESC – Certified Professional in Erosion and Sediment Control

Cpv – Channel Protection Volume

CWA – Clean Water Act (or the Federal Water Pollution Control Act, 33 U.S.C. §1251 et seq)

DOW – Division of Water

EAF – Environmental Assessment Form

ECL - Environmental Conservation Law

EPA – U. S. Environmental Protection Agency

HSG – Hydrologic Soil Group

MS4 – Municipal Separate Storm Sewer System

NOI – Notice of Intent

NOT – Notice of Termination

NPDES – National Pollutant Discharge Elimination System

OPRHP – Office of Parks, Recreation and Historic Places

Qf – Extreme Flood

Qp – Overbank Flood

RRv – Runoff Reduction Volume

RWE – Regional Water Engineer

SEQR – State Environmental Quality Review

SEQRA - State Environmental Quality Review Act

SHPA – State Historic Preservation Act

SPDES – State Pollutant Discharge Elimination System

SWPPP – Stormwater Pollution Prevention Plan

TMDL – Total Maximum Daily Load

UPA – Uniform Procedures Act

USDA – United States Department of Agriculture

WQv – Water Quality Volume

Definitions

All definitions in this section are solely for the purposes of this permit.

Agricultural Building – a structure designed and constructed to house farm implements, hay, grain, poultry, livestock or other horticultural products; excluding any structure designed, constructed or used, in whole or in part, for human habitation, as a place of employment where agricultural products are processed, treated or packaged, or as a place used by the public.

Agricultural Property – means the land for construction of a barn, *agricultural building*, silo, stockyard, pen or other structural practices identified in Table II in the “Agricultural Management Practices Catalog for Nonpoint Source Pollution in New York State” prepared by the Department in cooperation with agencies of New York Nonpoint Source Coordinating Committee (dated June 2007).

Alter Hydrology from Pre to Post-Development Conditions - means the post-development peak flow rate(s) has increased by more than 5% of the pre-developed condition for the design storm of interest (e.g. 10 yr and 100 yr).

Combined Sewer - means a sewer that is designed to collect and convey both “sewage” and “stormwater”.

Commence (Commencement of) Construction Activities - means the initial disturbance of soils associated with clearing, grading or excavation activities; or other construction related activities that disturb or expose soils such as demolition, stockpiling of fill material, and the initial installation of erosion and sediment control practices required in the SWPPP. See definition for “*Construction Activity(ies)*” also.

Construction Activity(ies) - means any clearing, grading, excavation, filling, demolition or stockpiling activities that result in soil disturbance. Clearing activities can include, but are not limited to, logging equipment operation, the cutting and skidding of trees, stump removal and/or brush root removal. Construction activity does not include routine maintenance that is performed to maintain the original line and grade, hydraulic capacity, or original purpose of a facility.

Construction Site – means the land area where *construction activity(ies)* will occur. See definition for “*Commence (Commencement of) Construction Activities*” and “*Larger Common Plan of Development or Sale*” also.

Dewatering – means the act of draining rainwater and/or groundwater from building foundations, vaults or excavations/trenches.

Direct Discharge (to a specific surface waterbody) - means that runoff flows from a *construction site* by overland flow and the first point of discharge is the specific surface waterbody, or runoff flows from a *construction site* to a separate storm sewer system

and the first point of discharge from the separate storm sewer system is the specific surface waterbody.

Discharge(s) - means any addition of any pollutant to waters of the State through an outlet or *point source*.

Embankment –means an earthen or rock slope that supports a road/highway.

Endangered or Threatened Species – see 6 NYCRR Part 182 of the Department’s rules and regulations for definition of terms and requirements.

Environmental Conservation Law (ECL) - means chapter 43-B of the Consolidated Laws of the State of New York, entitled the Environmental Conservation Law.

Equivalent (Equivalence) – means that the practice or measure meets all the performance, longevity, maintenance, and safety objectives of the technical standard and will provide an equal or greater degree of water quality protection.

Final Stabilization - means that all soil disturbance activities have ceased and a uniform, perennial vegetative cover with a density of eighty (80) percent over the entire pervious surface has been established; or other equivalent stabilization measures, such as permanent landscape mulches, rock rip-rap or washed/crushed stone have been applied on all disturbed areas that are not covered by permanent structures, concrete or pavement.

General SPDES permit - means a SPDES permit issued pursuant to 6 NYCRR Part 750-1.21 and Section 70-0117 of the ECL authorizing a category of discharges.

Groundwater(s) - means waters in the saturated zone. The saturated zone is a subsurface zone in which all the interstices are filled with water under pressure greater than that of the atmosphere. Although the zone may contain gas-filled interstices or interstices filled with fluids other than water, it is still considered saturated.

Historic Property – means any building, structure, site, object or district that is listed on the State or National Registers of Historic Places or is determined to be eligible for listing on the State or National Registers of Historic Places.

Impervious Area (Cover) - means all impermeable surfaces that cannot effectively infiltrate rainfall. This includes paved, concrete and gravel surfaces (i.e. parking lots, driveways, roads, runways and sidewalks); building rooftops and miscellaneous impermeable structures such as patios, pools, and sheds.

Infeasible – means not technologically possible, or not economically practicable and achievable in light of best industry practices.

Larger Common Plan of Development or Sale - means a contiguous area where multiple separate and distinct *construction activities* are occurring, or will occur, under one plan. The term “plan” in “larger common plan of development or sale” is broadly defined as any announcement or piece of documentation (including a sign, public notice or hearing, marketing plan, advertisement, drawing, permit application, State Environmental Quality Review Act (SEQRA) environmental assessment form or other documents, zoning request, computer design, etc.) or physical demarcation (including boundary signs, lot stakes, surveyor markings, etc.) indicating that *construction activities* may occur on a specific plot.

For discrete construction projects that are located within a larger common plan of development or sale that are at least 1/4 mile apart, each project can be treated as a separate plan of development or sale provided any interconnecting road, pipeline or utility project that is part of the same “common plan” is not concurrently being disturbed.

Minimize – means reduce and/or eliminate to the extent achievable using control measures (including best management practices) that are technologically available and economically practicable and achievable in light of best industry practices.

Municipal Separate Storm Sewer (MS4) - a conveyance or system of conveyances (including roads with drainage systems, municipal streets, catch basins, curbs, gutters, ditches, man-made channels, or storm drains):

- (i) Owned or operated by a State, city, town, borough, county, parish, district, association, or other public body (created by or pursuant to State law) having jurisdiction over disposal of sewage, industrial wastes, stormwater, or other wastes, including special districts under State law such as a sewer district, flood control district or drainage district, or similar entity, or an Indian tribe or an authorized Indian tribal organization, or a designated and approved management agency under section 208 of the CWA that discharges to surface waters of the State;
- (ii) Designed or used for collecting or conveying stormwater;
- (iii) Which is not a *combined sewer*, and
- (iv) Which is not part of a Publicly Owned Treatment Works (POTW) as defined at 40 CFR 122.2.

National Pollutant Discharge Elimination System (NPDES) - means the national system for the issuance of wastewater and stormwater permits under the Federal Water Pollution Control Act (Clean Water Act).

Natural Buffer –means an undisturbed area with natural cover running along a surface water (e.g. wetland, stream, river, lake, etc.).

New Development – means any land disturbance that does not meet the definition of Redevelopment Activity included in this appendix.

New York State Erosion and Sediment Control Certificate Program – a certificate program that establishes and maintains a process to identify and recognize individuals who are capable of developing, designing, inspecting and maintaining erosion and sediment control plans on projects that disturb soils in New York State. The certificate program is administered by the New York State Conservation District Employees Association.

NOI Acknowledgment Letter - means the letter that the Department sends to an owner or operator to acknowledge the Department's receipt and acceptance of a complete Notice of Intent. This letter documents the owner's or operator's authorization to discharge in accordance with the general permit for stormwater discharges from *construction activity*.

Nonpoint Source - means any source of water pollution or pollutants which is not a discrete conveyance or *point source* permitted pursuant to Title 7 or 8 of Article 17 of the Environmental Conservation Law (see ECL Section 17-1403).

Overbank –means flow events that exceed the capacity of the stream channel and spill out into the adjacent floodplain.

Owner or Operator - means the person, persons or legal entity which owns or leases the property on which the *construction activity* is occurring; an entity that has operational control over the construction plans and specifications, including the ability to make modifications to the plans and specifications; and/or an entity that has day-to-day operational control of those activities at a project that are necessary to ensure compliance with the permit conditions.

Performance Criteria – means the design criteria listed under the “Required Elements” sections in Chapters 5, 6 and 10 of the technical standard, New York State Stormwater Management Design Manual, dated January 2015. It does not include the Sizing Criteria (i.e. WQv, RRv, Cpv, Qp and Qf) in Part I.C.2. of the permit.

Point Source - means any discernible, confined and discrete conveyance, including but not limited to any pipe, ditch, channel, tunnel, conduit, well, discrete fissure, container, rolling stock, concentrated animal feeding operation, vessel or other floating craft, or landfill leachate collection system from which *pollutants* are or may be discharged.

Pollutant - means dredged spoil, filter backwash, solid waste, incinerator residue, sewage, garbage, sewage sludge, munitions, chemical wastes, biological materials, radioactive materials, heat, wrecked or discarded equipment, rock, sand and industrial, municipal, agricultural waste and ballast discharged into water; which may cause or might reasonably be expected to cause pollution of the waters of the state in contravention of the standards or guidance values adopted as provided in 6 NYCRR Parts 700 et seq .

Qualified Inspector - means a person that is knowledgeable in the principles and practices of erosion and sediment control, such as a licensed Professional Engineer, Certified Professional in Erosion and Sediment Control (CPESC), Registered Landscape Architect, New York State Erosion and Sediment Control Certificate Program holder or other Department endorsed individual(s).

It can also mean someone working under the direct supervision of, and at the same company as, the licensed Professional Engineer or Registered Landscape Architect, provided that person has training in the principles and practices of erosion and sediment control. Training in the principles and practices of erosion and sediment control means that the individual working under the direct supervision of the licensed Professional Engineer or Registered Landscape Architect has received four (4) hours of Department endorsed training in proper erosion and sediment control principles from a Soil and Water Conservation District, or other Department endorsed entity. After receiving the initial training, the individual working under the direct supervision of the licensed Professional Engineer or Registered Landscape Architect shall receive four (4) hours of training every three (3) years.

It can also mean a person that meets the *Qualified Professional* qualifications in addition to the *Qualified Inspector* qualifications.

Note: Inspections of any post-construction stormwater management practices that include structural components, such as a dam for an impoundment, shall be performed by a licensed Professional Engineer.

Qualified Professional - means a person that is knowledgeable in the principles and practices of stormwater management and treatment, such as a licensed Professional Engineer, Registered Landscape Architect or other Department endorsed individual(s). Individuals preparing SWPPPs that require the post-construction stormwater management practice component must have an understanding of the principles of hydrology, water quality management practice design, water quantity control design, and, in many cases, the principles of hydraulics. All components of the SWPPP that involve the practice of engineering, as defined by the NYS Education Law (see Article 145), shall be prepared by, or under the direct supervision of, a professional engineer licensed to practice in the State of New York.

Redevelopment Activity(ies) – means the disturbance and reconstruction of existing impervious area, including impervious areas that were removed from a project site within five (5) years of preliminary project plan submission to the local government (i.e. site plan, subdivision, etc.).

Regulated, Traditional Land Use Control MS4 - means a city, town or village with land use control authority that is authorized to discharge under New York State DEC's

SPDES General Permit For Stormwater Discharges from Municipal Separate Stormwater Sewer Systems (MS4s) or the City of New York's Individual SPDES Permit for their Municipal Separate Storm Sewer Systems (NY-0287890).

Routine Maintenance Activity - means *construction activity* that is performed to maintain the original line and grade, hydraulic capacity, or original purpose of a facility, including, but not limited to:

- Re-grading of gravel roads or parking lots,
- Cleaning and shaping of existing roadside ditches and culverts that maintains the approximate original line and grade, and hydraulic capacity of the ditch,
- Cleaning and shaping of existing roadside ditches that does not maintain the approximate original grade, hydraulic capacity and purpose of the ditch if the changes to the line and grade, hydraulic capacity or purpose of the ditch are installed to improve water quality and quantity controls (e.g. installing grass lined ditch),
- Placement of aggregate shoulder backing that stabilizes the transition between the road shoulder and the ditch or *embankment*,
- Full depth milling and filling of existing asphalt pavements, replacement of concrete pavement slabs, and similar work that does not expose soil or disturb the bottom six (6) inches of subbase material,
- Long-term use of equipment storage areas at or near highway maintenance facilities,
- Removal of sediment from the edge of the highway to restore a previously existing sheet-flow drainage connection from the highway surface to the highway ditch or *embankment*,
- Existing use of Canal Corp owned upland disposal sites for the canal, and
- Replacement of curbs, gutters, sidewalks and guide rail posts.

Site limitations – means site conditions that prevent the use of an infiltration technique and or infiltration of the total WQv. Typical site limitations include: seasonal high groundwater, shallow depth to bedrock, and soils with an infiltration rate less than 0.5 inches/hour. The existence of site limitations shall be confirmed and documented using actual field testing (i.e. test pits, soil borings, and infiltration test) or using information from the most current United States Department of Agriculture (USDA) Soil Survey for the County where the project is located.

Sizing Criteria – means the criteria included in Part I.C.2 of the permit that are used to size post-construction stormwater management control practices. The criteria include; Water Quality Volume (WQv), Runoff Reduction Volume (RRv), Channel Protection Volume (Cpv), *Overbank Flood* (Qp), and *Extreme Flood* (Qf).

State Pollutant Discharge Elimination System (SPDES) - means the system established pursuant to Article 17 of the ECL and 6 NYCRR Part 750 for issuance of permits authorizing discharges to the waters of the state.

Steep Slope – means land area designated on the current United States Department of Agriculture (“USDA”) Soil Survey as Soil Slope Phase “D”, (provided the map unit name is inclusive of slopes greater than 25%) , or Soil Slope Phase E or F, (regardless of the map unit name), or a combination of the three designations.

Streambank – as used in this permit, means the terrain alongside the bed of a creek or stream. The bank consists of the sides of the channel, between which the flow is confined.

Stormwater Pollution Prevention Plan (SWPPP) – means a project specific report, including construction drawings, that among other things: describes the construction activity(ies), identifies the potential sources of pollution at the *construction site*; describes and shows the stormwater controls that will be used to control the pollutants (i.e. erosion and sediment controls; for many projects, includes post-construction stormwater management controls); and identifies procedures the *owner or operator* will implement to comply with the terms and conditions of the permit. See Part III of the permit for a complete description of the information that must be included in the SWPPP.

Surface Waters of the State - shall be construed to include lakes, bays, sounds, ponds, impounding reservoirs, springs, rivers, streams, creeks, estuaries, marshes, inlets, canals, the Atlantic ocean within the territorial seas of the state of New York and all other bodies of surface water, natural or artificial, inland or coastal, fresh or salt, public or private (except those private waters that do not combine or effect a junction with natural surface waters), which are wholly or partially within or bordering the state or within its jurisdiction. Waters of the state are further defined in 6 NYCRR Parts 800 to 941.

Temporarily Ceased – means that an existing disturbed area will not be disturbed again within 14 calendar days of the previous soil disturbance.

Temporary Stabilization - means that exposed soil has been covered with material(s) as set forth in the technical standard, New York Standards and Specifications for Erosion and Sediment Control, to prevent the exposed soil from eroding. The materials can include, but are not limited to, mulch, seed and mulch, and erosion control mats (e.g. jute twisted yarn, excelsior wood fiber mats).

Total Maximum Daily Loads (TMDLs) - A TMDL is the sum of the allowable loads of a single pollutant from all contributing point and *nonpoint sources*. It is a calculation of the maximum amount of a pollutant that a waterbody can receive on a daily basis and still meet *water quality standards*, and an allocation of that amount to the pollutant's sources. A TMDL stipulates wasteload allocations (WLAs) for *point source* discharges, load allocations (LAs) for *nonpoint sources*, and a margin of safety (MOS).

Trained Contractor - means an employee from the contracting (construction) company, identified in Part III.A.6., that has received four (4) hours of Department endorsed

training in proper erosion and sediment control principles from a Soil and Water Conservation District, or other Department endorsed entity. After receiving the initial training, the *trained contractor* shall receive four (4) hours of training every three (3) years.

It can also mean an employee from the contracting (construction) company, identified in Part III.A.6., that meets the *qualified inspector* qualifications (e.g. licensed Professional Engineer, Certified Professional in Erosion and Sediment Control (CPESC), Registered Landscape Architect, New York State Erosion and Sediment Control Certificate Program holder, or someone working under the direct supervision of, and at the same company as, the licensed Professional Engineer or Registered Landscape Architect, provided they have received four (4) hours of Department endorsed training in proper erosion and sediment control principles from a Soil and Water Conservation District, or other Department endorsed entity).

The *trained contractor* is responsible for the day to day implementation of the SWPPP.

Uniform Procedures Act (UPA) Permit - means a permit required under 6 NYCRR Part 621 of the Environmental Conservation Law (ECL), Article 70.

Water Quality Standard - means such measures of purity or quality for any waters in relation to their reasonable and necessary use as promulgated in 6 NYCRR Part 700 et seq.

APPENDIX B – Required SWPPP Components by Project Type

Table 1
Construction Activities that Require the Preparation of a SWPPP That Only Includes Erosion and Sediment Controls

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| <p>The following construction activities that involve soil disturbances of one (1) or more acres of land, but less than five (5) acres:</p> <ul style="list-style-type: none">• Single family home <u>not</u> located in one of the watersheds listed in Appendix C or <u>not directly discharging</u> to one of the 303(d) segments listed in Appendix E• Single family residential subdivisions with 25% or less impervious cover at total site build-out and <u>not</u> located in one of the watersheds listed in Appendix C and <u>not</u> directly discharging to one of the 303(d) segments listed in Appendix E• Construction of a barn or other <i>agricultural building</i>, silo, stock yard or pen. |
| <p>The following construction activities that involve soil disturbances between five thousand (5000) square feet and one (1) acre of land:</p> <p>All construction activities located in the watersheds identified in Appendix D that involve soil disturbances between five thousand (5,000) square feet and one (1) acre of land.</p> |
| <p>The following construction activities that involve soil disturbances of one (1) or more acres of land:</p> <ul style="list-style-type: none">• Installation of underground, linear utilities; such as gas lines, fiber-optic cable, cable TV, electric, telephone, sewer mains, and water mains• Environmental enhancement projects, such as wetland mitigation projects, stormwater retrofits and stream restoration projects• Pond construction• Linear bike paths running through areas with vegetative cover, including bike paths surfaced with an impervious cover• Cross-country ski trails and walking/hiking trails• Sidewalk, bike path or walking path projects, surfaced with an impervious cover, that are not part of residential, commercial or institutional development;• Sidewalk, bike path or walking path projects, surfaced with an impervious cover, that include incidental shoulder or curb work along an existing highway to support construction of the sidewalk, bike path or walking path.• Slope stabilization projects• Slope flattening that changes the grade of the site, but does not significantly change the runoff characteristics |

Table 1 (Continued) CONSTRUCTION ACTIVITIES THAT REQUIRE THE PREPARATION OF A SWPPP THAT ONLY INCLUDES EROSION AND SEDIMENT CONTROLS

The following construction activities that involve soil disturbances of one (1) or more acres of land:

- Spoil areas that will be covered with vegetation
- Vegetated open space projects (i.e. recreational parks, lawns, meadows, fields, downhill ski trails) excluding projects that *alter hydrology from pre to post development* conditions,
- Athletic fields (natural grass) that do not include the construction or reconstruction of *impervious area* and do not *alter hydrology from pre to post development* conditions
- Demolition project where vegetation will be established, and no redevelopment is planned
- Overhead electric transmission line project that does not include the construction of permanent access roads or parking areas surfaced with *impervious cover*
- Structural practices as identified in Table II in the “Agricultural Management Practices Catalog for Nonpoint Source Pollution in New York State”, excluding projects that involve soil disturbances of greater than five acres and construction activities that include the construction or reconstruction of impervious area
- Temporary access roads, median crossovers, detour roads, lanes, or other temporary impervious areas that will be restored to pre-construction conditions once the construction activity is complete

Table 2
CONSTRUCTION ACTIVITIES THAT REQUIRE THE PREPARATION OF A SWPPP THAT INCLUDES
POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES

The following construction activities that involve soil disturbances of one (1) or more acres of land:

- Single family home located in one of the watersheds listed in Appendix C or *directly discharging* to one of the 303(d) segments listed in Appendix E
- Single family home that disturbs five (5) or more acres of land
- Single family residential subdivisions located in one of the watersheds listed in Appendix C or *directly discharging* to one of the 303(d) segments listed in Appendix E
- Single family residential subdivisions that involve soil disturbances of between one (1) and five (5) acres of land with greater than 25% impervious cover at total site build-out
- Single family residential subdivisions that involve soil disturbances of five (5) or more acres of land, and single family residential subdivisions that involve soil disturbances of less than five (5) acres that are part of a larger common plan of development or sale that will ultimately disturb five or more acres of land
- Multi-family residential developments; includes duplexes, townhomes, condominiums, senior housing complexes, apartment complexes, and mobile home parks
- Airports
- Amusement parks
- Breweries, cideries, and wineries, including establishments constructed on agricultural land
- Campgrounds
- Cemeteries that include the construction or reconstruction of impervious area (>5% of disturbed area) or *alter the hydrology from pre to post development* conditions
- Commercial developments
- Churches and other places of worship
- Construction of a barn or other *agricultural building* (e.g. silo) and structural practices as identified in Table II in the "Agricultural Management Practices Catalog for Nonpoint Source Pollution in New York State" that include the construction or reconstruction of *impervious area*, excluding projects that involve soil disturbances of less than five acres.
- Golf courses
- Institutional development; includes hospitals, prisons, schools and colleges
- Industrial facilities; includes industrial parks
- Landfills
- Municipal facilities; includes highway garages, transfer stations, office buildings, POTW's, water treatment plants, and water storage tanks
- Office complexes
- Playgrounds that include the construction or reconstruction of impervious area
- Sports complexes
- Racetracks; includes racetracks with earthen (dirt) surface
- Road construction or reconstruction, including roads constructed as part of the construction activities listed in Table 1

Table 2 (Continued)

CONSTRUCTION ACTIVITIES THAT REQUIRE THE PREPARATION OF A SWPPP THAT INCLUDES POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES

The following construction activities that involve soil disturbances of one (1) or more acres of land:

- Parking lot construction or reconstruction, including parking lots constructed as part of the construction activities listed in Table 1
- Athletic fields (natural grass) that include the construction or reconstruction of impervious area (>5% of disturbed area) or *alter the hydrology from pre to post development* conditions
- Athletic fields with artificial turf
- Permanent access roads, parking areas, substations, compressor stations and well drilling pads, surfaced with *impervious cover*, and constructed as part of an over-head electric transmission line project, wind-power project, cell tower project, oil or gas well drilling project, sewer or water main project or other linear utility project
- Sidewalk, bike path or walking path projects, surfaced with an impervious cover, that are part of a residential, commercial or institutional development
- Sidewalk, bike path or walking path projects, surfaced with an impervious cover, that are part of a highway construction or reconstruction project
- All other construction activities that include the construction or reconstruction of *impervious area* or *alter the hydrology from pre to post development* conditions, and are not listed in Table 1

APPENDIX C – Watersheds Requiring Enhanced Phosphorus Removal

Watersheds where *owners or operators* of construction activities identified in Table 2 of Appendix B must prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the Enhanced Phosphorus Removal Standards included in the technical standard, New York State Stormwater Management Design Manual (“Design Manual”).

- Entire New York City Watershed located east of the Hudson River - Figure 1
- Onondaga Lake Watershed - Figure 2
- Greenwood Lake Watershed -Figure 3
- Oscawana Lake Watershed – Figure 4
- Kinderhook Lake Watershed – Figure 5

Figure 1 - New York City Watershed East of the Hudson

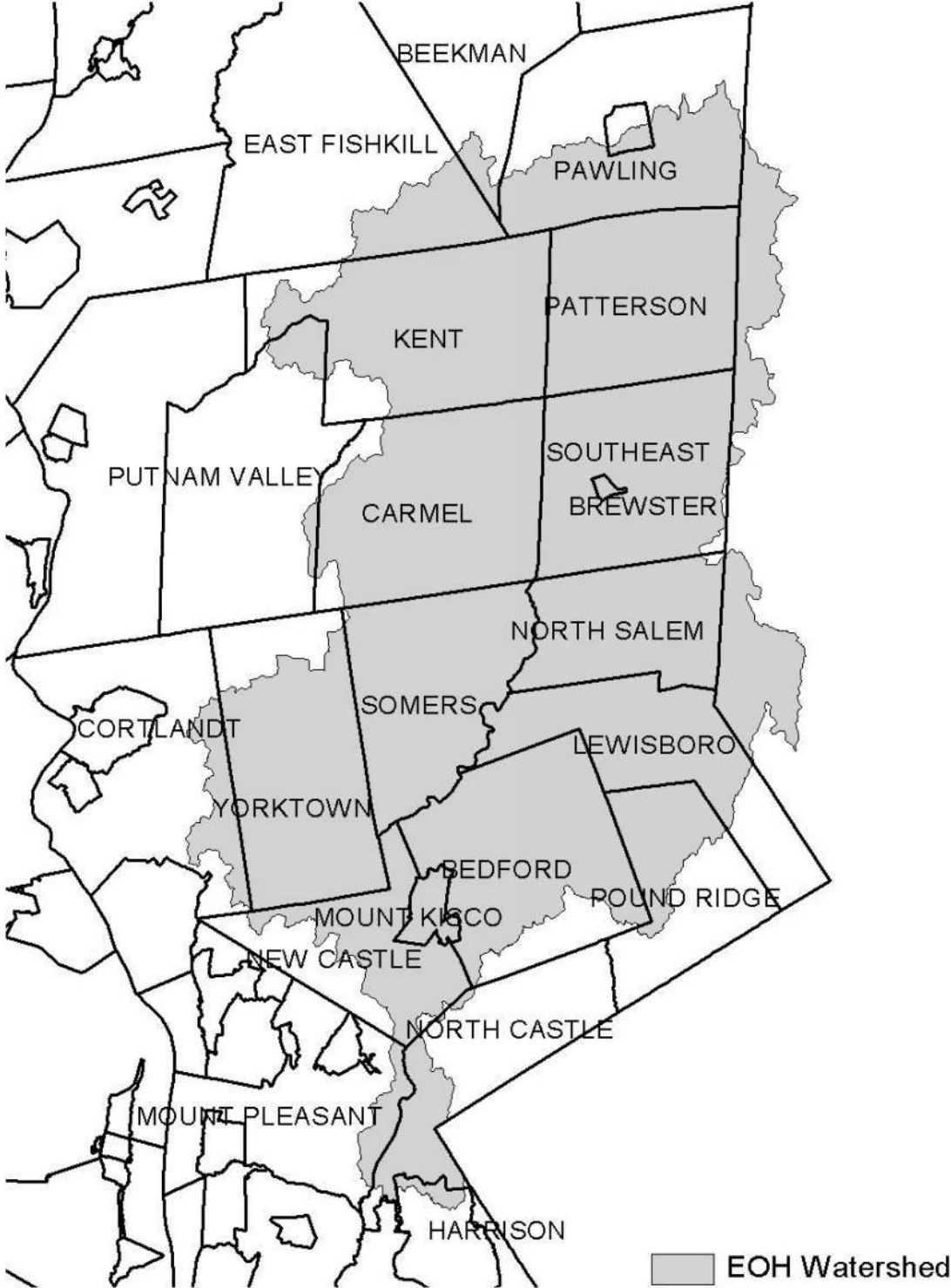


Figure 2 - Onondaga Lake Watershed



Figure 3 - Greenwood Lake Watershed



Figure 4 - Oscawana Lake Watershed

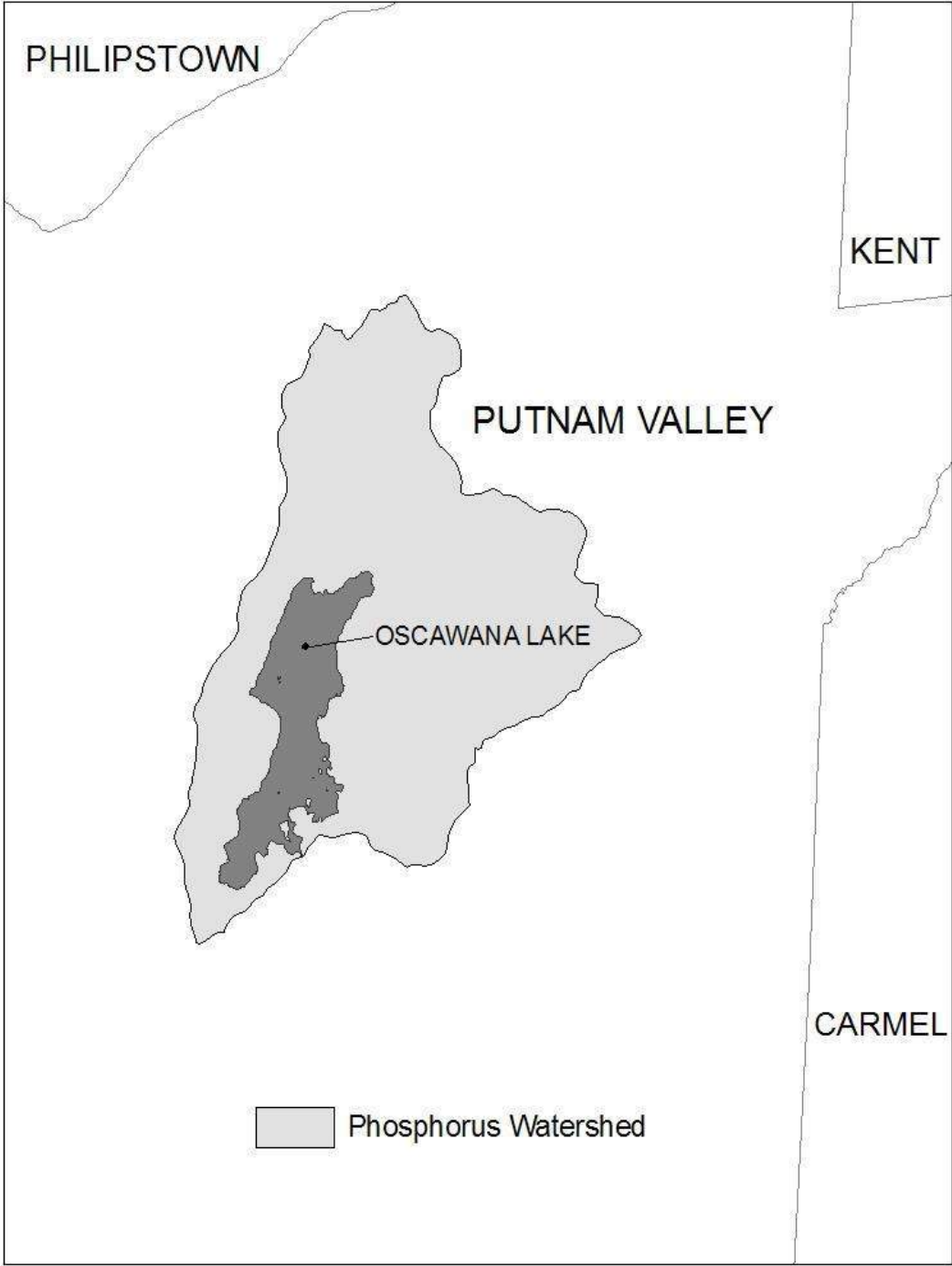
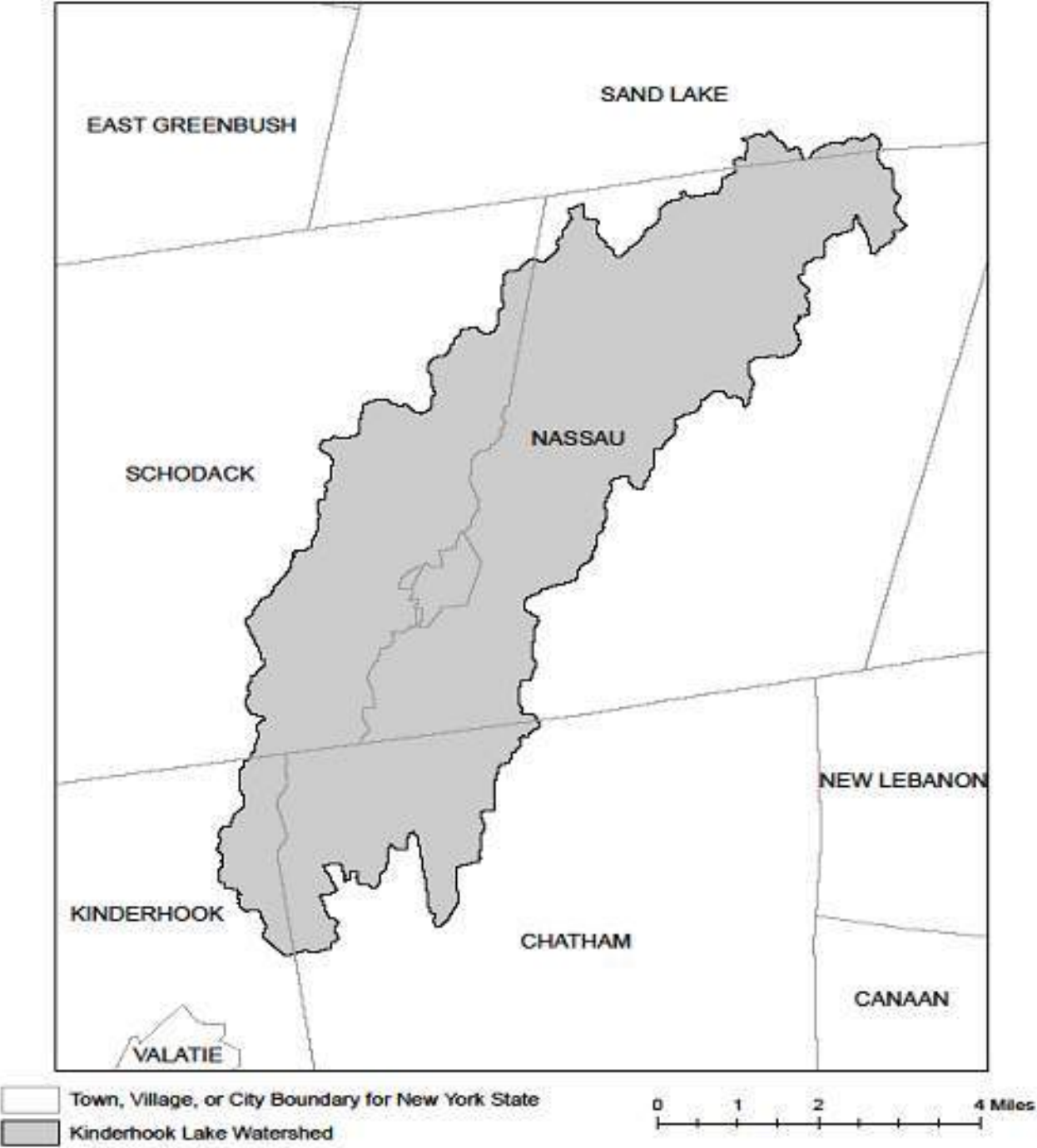


Figure 5 - Kinderhook Lake Watershed



APPENDIX D – Watersheds with Lower Disturbance Threshold

Watersheds where *owners or operators* of construction activities that involve soil disturbances between five thousand (5000) square feet and one (1) acre of land must obtain coverage under this permit.

Entire New York City Watershed that is located east of the Hudson River - See Figure 1 in Appendix C

APPENDIX E – 303(d) Segments Impaired by Construction Related Pollutant(s)

List of 303(d) segments impaired by pollutants related to *construction activity* (e.g. silt, sediment or nutrients). The list was developed using "The Final New York State 2016 Section 303(d) List of Impaired Waters Requiring a TMDL/Other Strategy" dated November 2016. *Owners or operators* of single family home and single family residential subdivisions with 25% or less total impervious cover at total site build-out that involve soil disturbances of one or more acres of land, but less than 5 acres, and *directly discharge* to one of the listed segments below shall prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the New York State Stormwater Management Design Manual ("Design Manual"), dated January 2015.

| COUNTY | WATERBODY | POLLUTANT |
|-------------|--|---------------|
| Albany | Ann Lee (Shakers) Pond, Stump Pond | Nutrients |
| Albany | Basic Creek Reservoir | Nutrients |
| Allegany | Amity Lake, Saunders Pond | Nutrients |
| Bronx | Long Island Sound, Bronx | Nutrients |
| Bronx | Van Cortlandt Lake | Nutrients |
| Broome | Fly Pond, Deer Lake, Sky Lake | Nutrients |
| Broome | Minor Tribs to Lower Susquehanna (north) | Nutrients |
| Broome | Whitney Point Lake/Reservoir | Nutrients |
| Cattaraugus | Allegheny River/Reservoir | Nutrients |
| Cattaraugus | Beaver (Alma) Lake | Nutrients |
| Cattaraugus | Case Lake | Nutrients |
| Cattaraugus | Linlyco/Club Pond | Nutrients |
| Cayuga | Duck Lake | Nutrients |
| Cayuga | Little Sodus Bay | Nutrients |
| Chautauqua | Bear Lake | Nutrients |
| Chautauqua | Chadakoin River and tribs | Nutrients |
| Chautauqua | Chautauqua Lake, North | Nutrients |
| Chautauqua | Chautauqua Lake, South | Nutrients |
| Chautauqua | Findley Lake | Nutrients |
| Chautauqua | Hulburt/Clymer Pond | Nutrients |
| Clinton | Great Chazy River, Lower, Main Stem | Silt/Sediment |
| Clinton | Lake Champlain, Main Lake, Middle | Nutrients |
| Clinton | Lake Champlain, Main Lake, North | Nutrients |
| Columbia | Kinderhook Lake | Nutrients |
| Columbia | Robinson Pond | Nutrients |
| Cortland | Dean Pond | Nutrients |

303(d) Segments Impaired by Construction Related Pollutant(s)

| | | |
|------------|---|---------------|
| Dutchess | Fall Kill and tribs | Nutrients |
| Dutchess | Hillside Lake | Nutrients |
| Dutchess | Wappingers Lake | Nutrients |
| Dutchess | Wappingers Lake | Silt/Sediment |
| Erie | Beeman Creek and tribs | Nutrients |
| Erie | Ellicott Creek, Lower, and tribs | Silt/Sediment |
| Erie | Ellicott Creek, Lower, and tribs | Nutrients |
| Erie | Green Lake | Nutrients |
| Erie | Little Sister Creek, Lower, and tribs | Nutrients |
| Erie | Murder Creek, Lower, and tribs | Nutrients |
| Erie | Rush Creek and tribs | Nutrients |
| Erie | Scajaquada Creek, Lower, and tribs | Nutrients |
| Erie | Scajaquada Creek, Middle, and tribs | Nutrients |
| Erie | Scajaquada Creek, Upper, and tribs | Nutrients |
| Erie | South Branch Smoke Cr, Lower, and tribs | Silt/Sediment |
| Erie | South Branch Smoke Cr, Lower, and tribs | Nutrients |
| Essex | Lake Champlain, Main Lake, South | Nutrients |
| Essex | Lake Champlain, South Lake | Nutrients |
| Essex | Willsboro Bay | Nutrients |
| Genesee | Bigelow Creek and tribs | Nutrients |
| Genesee | Black Creek, Middle, and minor tribs | Nutrients |
| Genesee | Black Creek, Upper, and minor tribs | Nutrients |
| Genesee | Bowen Brook and tribs | Nutrients |
| Genesee | LeRoy Reservoir | Nutrients |
| Genesee | Oak Orchard Cr, Upper, and tribs | Nutrients |
| Genesee | Tonawanda Creek, Middle, Main Stem | Nutrients |
| Greene | Schoharie Reservoir | Silt/Sediment |
| Greene | Sleepy Hollow Lake | Silt/Sediment |
| Herkimer | Steele Creek tribs | Silt/Sediment |
| Herkimer | Steele Creek tribs | Nutrients |
| Jefferson | Moon Lake | Nutrients |
| Kings | Hendrix Creek | Nutrients |
| Kings | Prospect Park Lake | Nutrients |
| Lewis | Mill Creek/South Branch, and tribs | Nutrients |
| Livingston | Christie Creek and tribs | Nutrients |
| Livingston | Conesus Lake | Nutrients |
| Livingston | Mill Creek and minor tribs | Silt/Sediment |
| Monroe | Black Creek, Lower, and minor tribs | Nutrients |
| Monroe | Buck Pond | Nutrients |
| Monroe | Cranberry Pond | Nutrients |

303(d) Segments Impaired by Construction Related Pollutant(s)

| | | |
|----------|--|---------------|
| Monroe | Lake Ontario Shoreline, Western | Nutrients |
| Monroe | Long Pond | Nutrients |
| Monroe | Mill Creek and tribs | Nutrients |
| Monroe | Mill Creek/Blue Pond Outlet and tribs | Nutrients |
| Monroe | Minor Tribs to Irondequoit Bay | Nutrients |
| Monroe | Rochester Embayment - East | Nutrients |
| Monroe | Rochester Embayment - West | Nutrients |
| Monroe | Shipbuilders Creek and tribs | Nutrients |
| Monroe | Thomas Creek/White Brook and tribs | Nutrients |
| Nassau | Beaver Lake | Nutrients |
| Nassau | Camaans Pond | Nutrients |
| Nassau | East Meadow Brook, Upper, and tribs | Silt/Sediment |
| Nassau | East Rockaway Channel | Nutrients |
| Nassau | Grant Park Pond | Nutrients |
| Nassau | Hempstead Bay | Nutrients |
| Nassau | Hempstead Lake | Nutrients |
| Nassau | Hewlett Bay | Nutrients |
| Nassau | Hog Island Channel | Nutrients |
| Nassau | Long Island Sound, Nassau County Waters | Nutrients |
| Nassau | Massapequa Creek and tribs | Nutrients |
| Nassau | Milburn/Parsonage Creeks, Upp, and tribs | Nutrients |
| Nassau | Reynolds Channel, west | Nutrients |
| Nassau | Tidal Tribs to Hempstead Bay | Nutrients |
| Nassau | Tribs (fresh) to East Bay | Nutrients |
| Nassau | Tribs (fresh) to East Bay | Silt/Sediment |
| Nassau | Tribs to Smith/Halls Ponds | Nutrients |
| Nassau | Woodmere Channel | Nutrients |
| New York | Harlem Meer | Nutrients |
| New York | The Lake in Central Park | Nutrients |
| Niagara | Bergholtz Creek and tribs | Nutrients |
| Niagara | Hyde Park Lake | Nutrients |
| Niagara | Lake Ontario Shoreline, Western | Nutrients |
| Niagara | Lake Ontario Shoreline, Western | Nutrients |
| Oneida | Ballou, Nail Creeks and tribs | Nutrients |
| Onondaga | Harbor Brook, Lower, and tribs | Nutrients |
| Onondaga | Ley Creek and tribs | Nutrients |
| Onondaga | Minor Tribs to Onondaga Lake | Nutrients |
| Onondaga | Ninemile Creek, Lower, and tribs | Nutrients |
| Onondaga | Onondaga Creek, Lower, and tribs | Nutrients |
| Onondaga | Onondaga Creek, Middle, and tribs | Nutrients |

303(d) Segments Impaired by Construction Related Pollutant(s)

| | | |
|------------|--|---------------|
| Onondaga | Onondaga Lake, northern end | Nutrients |
| Onondaga | Onondaga Lake, southern end | Nutrients |
| Ontario | Great Brook and minor tribs | Silt/Sediment |
| Ontario | Great Brook and minor tribs | Nutrients |
| Ontario | Hemlock Lake Outlet and minor tribs | Nutrients |
| Ontario | Honeoye Lake | Nutrients |
| Orange | Greenwood Lake | Nutrients |
| Orange | Monhagen Brook and tribs | Nutrients |
| Orange | Orange Lake | Nutrients |
| Orleans | Lake Ontario Shoreline, Western | Nutrients |
| Orleans | Lake Ontario Shoreline, Western | Nutrients |
| Oswego | Lake Neatahwanta | Nutrients |
| Oswego | Pleasant Lake | Nutrients |
| Putnam | Bog Brook Reservoir | Nutrients |
| Putnam | Boyd Corners Reservoir | Nutrients |
| Putnam | Croton Falls Reservoir | Nutrients |
| Putnam | Diverting Reservoir | Nutrients |
| Putnam | East Branch Reservoir | Nutrients |
| Putnam | Lake Carmel | Nutrients |
| Putnam | Middle Branch Reservoir | Nutrients |
| Putnam | Oscawana Lake | Nutrients |
| Putnam | Palmer Lake | Nutrients |
| Putnam | West Branch Reservoir | Nutrients |
| Queens | Bergen Basin | Nutrients |
| Queens | Flushing Creek/Bay | Nutrients |
| Queens | Jamaica Bay, Eastern, and tribs (Queens) | Nutrients |
| Queens | Kissena Lake | Nutrients |
| Queens | Meadow Lake | Nutrients |
| Queens | Willow Lake | Nutrients |
| Rensselaer | Nassau Lake | Nutrients |
| Rensselaer | Snyders Lake | Nutrients |
| Richmond | Grasmere Lake/Bradys Pond | Nutrients |
| Rockland | Congers Lake, Swartout Lake | Nutrients |
| Rockland | Rockland Lake | Nutrients |
| Saratoga | Ballston Lake | Nutrients |
| Saratoga | Dwaas Kill and tribs | Silt/Sediment |
| Saratoga | Dwaas Kill and tribs | Nutrients |
| Saratoga | Lake Lonely | Nutrients |
| Saratoga | Round Lake | Nutrients |
| Saratoga | Tribs to Lake Lonely | Nutrients |

303(d) Segments Impaired by Construction Related Pollutant(s)

| | | |
|-------------|---|---------------|
| Schenectady | Collins Lake | Nutrients |
| Schenectady | Duane Lake | Nutrients |
| Schenectady | Mariaville Lake | Nutrients |
| Schoharie | Engleville Pond | Nutrients |
| Schoharie | Summit Lake | Nutrients |
| Seneca | Reeder Creek and tribs | Nutrients |
| St.Lawrence | Black Lake Outlet/Black Lake | Nutrients |
| St.Lawrence | Fish Creek and minor tribs | Nutrients |
| Steuben | Smith Pond | Nutrients |
| Suffolk | Agawam Lake | Nutrients |
| Suffolk | Big/Little Fresh Ponds | Nutrients |
| Suffolk | Canaan Lake | Silt/Sediment |
| Suffolk | Canaan Lake | Nutrients |
| Suffolk | Flanders Bay, West/Lower Sawmill Creek | Nutrients |
| Suffolk | Fresh Pond | Nutrients |
| Suffolk | Great South Bay, East | Nutrients |
| Suffolk | Great South Bay, Middle | Nutrients |
| Suffolk | Great South Bay, West | Nutrients |
| Suffolk | Lake Ronkonkoma | Nutrients |
| Suffolk | Long Island Sound, Suffolk County, West | Nutrients |
| Suffolk | Mattituck (Marratooka) Pond | Nutrients |
| Suffolk | Meetinghouse/Terrys Creeks and tribs | Nutrients |
| Suffolk | Mill and Seven Ponds | Nutrients |
| Suffolk | Millers Pond | Nutrients |
| Suffolk | Moriches Bay, East | Nutrients |
| Suffolk | Moriches Bay, West | Nutrients |
| Suffolk | Peconic River, Lower, and tidal tribs | Nutrients |
| Suffolk | Quantuck Bay | Nutrients |
| Suffolk | Shinnecock Bay and Inlet | Nutrients |
| Suffolk | Tidal tribs to West Moriches Bay | Nutrients |
| Sullivan | Bodine, Montgomery Lakes | Nutrients |
| Sullivan | Davies Lake | Nutrients |
| Sullivan | Evens Lake | Nutrients |
| Sullivan | Pleasure Lake | Nutrients |
| Tompkins | Cayuga Lake, Southern End | Nutrients |
| Tompkins | Cayuga Lake, Southern End | Silt/Sediment |
| Tompkins | Owasco Inlet, Upper, and tribs | Nutrients |
| Ulster | Ashokan Reservoir | Silt/Sediment |
| Ulster | Esopus Creek, Upper, and minor tribs | Silt/Sediment |
| Warren | Hague Brook and tribs | Silt/Sediment |

303(d) Segments Impaired by Construction Related Pollutant(s)

| | | |
|-------------|--|---------------|
| Warren | Huddle/Finkle Brooks and tribs | Silt/Sediment |
| Warren | Indian Brook and tribs | Silt/Sediment |
| Warren | Lake George | Silt/Sediment |
| Warren | Tribs to L.George, Village of L George | Silt/Sediment |
| Washington | Cossayuna Lake | Nutrients |
| Washington | Lake Champlain, South Bay | Nutrients |
| Washington | Tribs to L.George, East Shore | Silt/Sediment |
| Washington | Wood Cr/Champlain Canal and minor tribs | Nutrients |
| Wayne | Port Bay | Nutrients |
| Westchester | Amawalk Reservoir | Nutrients |
| Westchester | Blind Brook, Upper, and tribs | Silt/Sediment |
| Westchester | Cross River Reservoir | Nutrients |
| Westchester | Lake Katonah | Nutrients |
| Westchester | Lake Lincolndale | Nutrients |
| Westchester | Lake Meahagh | Nutrients |
| Westchester | Lake Mohegan | Nutrients |
| Westchester | Lake Shenorock | Nutrients |
| Westchester | Long Island Sound, Westchester (East) | Nutrients |
| Westchester | Mamaroneck River, Lower | Silt/Sediment |
| Westchester | Mamaroneck River, Upper, and minor tribs | Silt/Sediment |
| Westchester | Muscoot/Upper New Croton Reservoir | Nutrients |
| Westchester | New Croton Reservoir | Nutrients |
| Westchester | Peach Lake | Nutrients |
| Westchester | Reservoir No.1 (Lake Isle) | Nutrients |
| Westchester | Saw Mill River, Lower, and tribs | Nutrients |
| Westchester | Saw Mill River, Middle, and tribs | Nutrients |
| Westchester | Sheldrake River and tribs | Silt/Sediment |
| Westchester | Sheldrake River and tribs | Nutrients |
| Westchester | Silver Lake | Nutrients |
| Westchester | Teatown Lake | Nutrients |
| Westchester | Titicus Reservoir | Nutrients |
| Westchester | Truesdale Lake | Nutrients |
| Westchester | Wallace Pond | Nutrients |
| Wyoming | Java Lake | Nutrients |
| Wyoming | Silver Lake | Nutrients |

APPENDIX F – List of NYS DEC Regional Offices

| <u>Region</u> | <u>COVERING THE FOLLOWING COUNTIES:</u> | <u>DIVISION OF ENVIRONMENTAL PERMITS (DEP) PERMIT ADMINISTRATORS</u> | <u>DIVISION OF WATER (DOW) WATER (SPDES) PROGRAM</u> |
|---------------|--|--|--|
| 1 | NASSAU AND SUFFOLK | 50 CIRCLE ROAD STONY BROOK, NY 11790 TEL. (631) 444-0365 | 50 CIRCLE ROAD STONY BROOK, NY 11790-3409 TEL. (631) 444-0405 |
| 2 | BRONX, KINGS, NEW YORK, QUEENS AND RICHMOND | 1 HUNTERS POINT PLAZA, 47-40 21ST ST. LONG ISLAND CITY, NY 11101-5407 TEL. (718) 482-4997 | 1 HUNTERS POINT PLAZA, 47-40 21ST ST. LONG ISLAND CITY, NY 11101-5407 TEL. (718) 482-4933 |
| 3 | DUTCHESS, ORANGE, PUTNAM, ROCKLAND, SULLIVAN, ULSTER AND WESTCHESTER | 21 SOUTH PUTT CORNERS ROAD NEW PALTZ, NY 12561-1696 TEL. (845) 256-3059 | 100 HILLSIDE AVENUE, SUITE 1W WHITE PLAINS, NY 10603 TEL. (914) 428 - 2505 |
| 4 | ALBANY, COLUMBIA, DELAWARE, GREENE, MONTGOMERY, OTSEGO, RENSSELAER, SCHENECTADY AND SCHOHARIE | 1150 NORTH WESTCOTT ROAD SCHENECTADY, NY 12306-2014 TEL. (518) 357-2069 | 1130 NORTH WESTCOTT ROAD SCHENECTADY, NY 12306-2014 TEL. (518) 357-2045 |
| 5 | CLINTON, ESSEX, FRANKLIN, FULTON, HAMILTON, SARATOGA, WARREN AND WASHINGTON | 1115 STATE ROUTE 86, Po Box 296 RAY BROOK, NY 12977-0296 TEL. (518) 897-1234 | 232 GOLF COURSE ROAD WARRENSBURG, NY 12885-1172 TEL. (518) 623-1200 |
| 6 | HERKIMER, JEFFERSON, LEWIS, ONEIDA AND ST. LAWRENCE | STATE OFFICE BUILDING 317 WASHINGTON STREET WATERTOWN, NY 13601-3787 TEL. (315) 785-2245 | STATE OFFICE BUILDING 207 GENESEE STREET UTICA, NY 13501-2885 TEL. (315) 793-2554 |
| 7 | BROOME, CAYUGA, CHENANGO, CORTLAND, MADISON, ONONDAGA, OSWEGO, TIOGA AND TOMPKINS | 615 ERIE BLVD. WEST SYRACUSE, NY 13204-2400 TEL. (315) 426-7438 | 615 ERIE BLVD. WEST SYRACUSE, NY 13204-2400 TEL. (315) 426-7500 |
| 8 | CHEMUNG, GENESEE, LIVINGSTON, MONROE, ONTARIO, ORLEANS, SCHUYLER, SENECA, STEUBEN, WAYNE AND YATES | 6274 EAST AVON-LIMA ROADAVON, NY 14414-9519 TEL. (585) 226-2466 | 6274 EAST AVON-LIMA RD. AVON, NY 14414-9519 TEL. (585) 226-2466 |
| 9 | ALLEGANY, CATTARAUGUS, CHAUTAUQUA, ERIE, NIAGARA AND WYOMING | 270 MICHIGAN AVENUE BUFFALO, NY 14203-2999 TEL. (716) 851-7165 | 270 MICHIGAN AVENUE BUFFALO, NY 14203-2999 TEL. (716) 851-7070 |