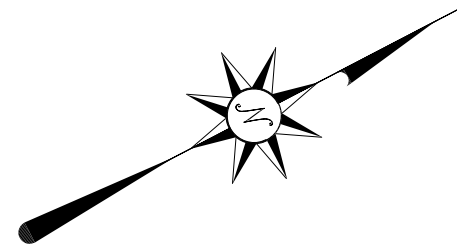
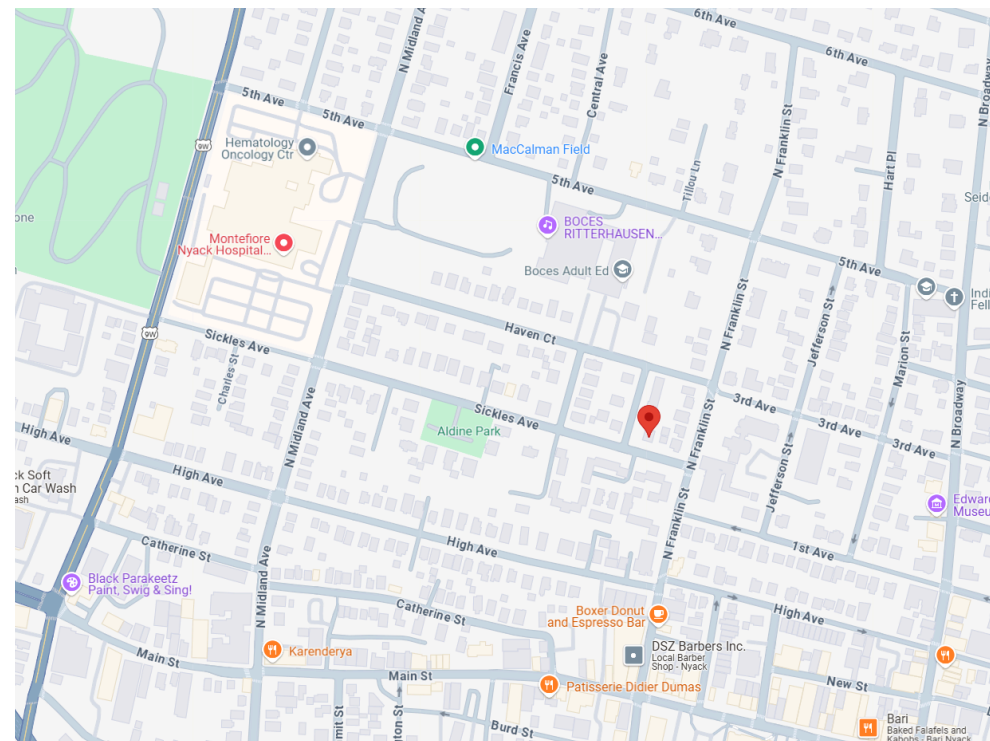


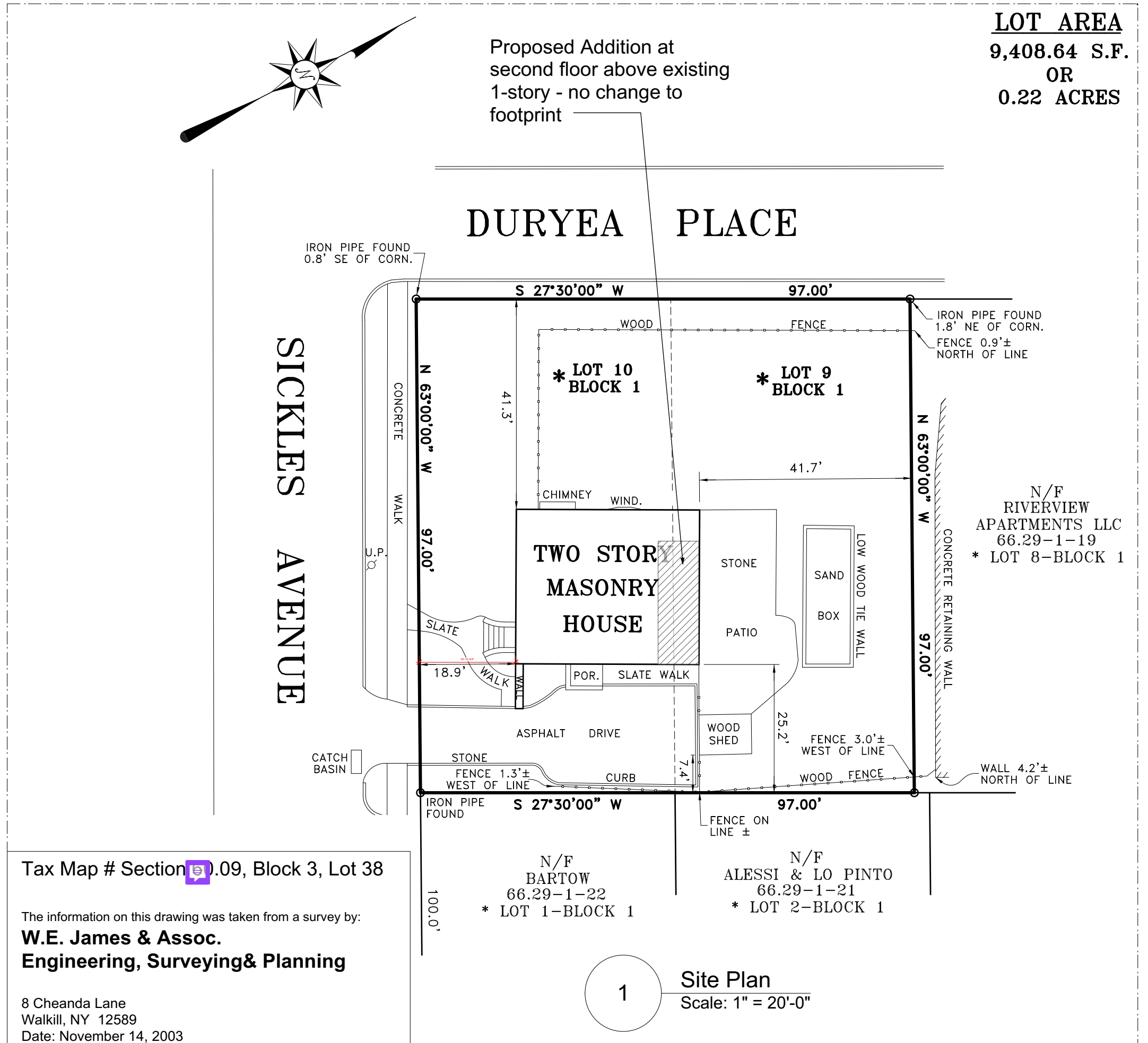
LIST OF DRAWINGS

- A-0.1 SITE INFORMATION
- A-0.2 GENERAL NOTES
- A-1.1 EXIST. FIRST FLOOR PLAN & PLUMBING
- A-2.1 SECOND FLOOR PLAN
- A-2.2 SECOND FLOOR LIGHTING & ELECTRIC
- A-3.1 ROOF PLAN
- A-4.1 WEST ELEVATION
- A-4.2 NORTH ELEVATION
- A-4.3 EAST ELEVATION
- A-5.1 WALL SECTION @ ADDITION

Vicinity Map



LOT AREA
9,408.64 S.F.
OR
0.22 ACRES



Tax Map # Section 09, Block 3, Lot 38

The information on this drawing was taken from a survey by:
W.E. James & Assoc.
Engineering, Surveying & Planning

8 Cheanda Lane
 Walkill, NY 12589
 Date: November 14, 2003

1 Site Plan
 Scale: 1" = 20'-0"

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Site Information



alterations and additions to
Streppa Residence
 6 Sickles Ave
 Nyack, NY 10960

date:
07/17/25
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drawing no.

A-0.1

GENERAL NOTES:

1. ALL CONSTRUCTION METHODS SHALL CONFORM TO VILLAGE OF NYACK BUILDING CODE, THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
2. ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. CONTRACTOR TO NOTIFY OWNER/ ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
3. UPGRADE EXISTING ELECTRICAL AS REQ'D, INCLUDING SERVICE, DEDICATED CIRCUITS, GFIC OUTLETS IN KITCHEN & BATHS, AS REQ'D TO MEET ALL APPLICABLE CODES AND SAFETY STANDARDS. ALL WORK TO BE PERFORMED BY A CONTRACTOR LICENSED IN ROCKLAND COUNTY.

DEMOLITION NOTES:

1. ALL EXISTING CONSTRUCTION TO REMAIN TO BE SHORED ADEQUATELY WITH TEMPORARY BRACING PRIOR TO ANY REMOVALS.
2. CONTRACTOR TO TAKE EXTREME CAUTION NOT TO DAMAGE ANY WORK TO REMAIN.
3. CONTRACTOR TO BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND CONSTRUCTION DEBRIS. DEBRIS, DUST AND DIRT TO BE KEPT TO A MINIMUM, AND TO BE CLEARED FROM SITE PERIODICALLY TO PREVENT EXCESSIVE ACCUMULATION.
4. AT AREAS TO RECEIVE NEW FINISH FLOORING, REMOVE ALL EXISTING FLOORING. REPAIR, LEVEL AND PREPARE SURFACE TO RECEIVE NEW FINISHES - TYPICAL.
5. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY UNFORESEEN STRUCTURAL CONDITIONS, THESE CONDITIONS TO BE REVIEWED BY ARCHITECT AND A STRUCTURAL ENGINEER IF NECESSARY TO DETERMINE ANY FURTHER ACTION REQUIRED.

WILKOWSKI ENGINEERING DESIGN CRITERIA:

DESIGN LOADS:

FLOOR LOADS per ASCE 7-10

- DEAD LOAD: 12 PSF - 2X10 JOIST AT 16" O.C., 3/4" SUBFLOOR & MISC.
- LIVE LOAD: 30 PSF - HABITABLE ATTICS & SLEEPING AREA
- 40 PSF - ALL OTHER AREAS EXCEPT STAIRS
- UNOCCUPIED ATTIC SPACE: 5 PSF DEAD LOAD + 20 PSF LIVE LOAD = 25 PSF

ROOF LOADS:

- DEAD LOAD: 20 PSF - 2x10S AT 16" O.C., 5/8" SHEATHING & SHINGLE ROOFING
- LIVE LOAD: 30 PSF

ASCE 7-10 DESIGN CRITERIA

ROOF SNOW LOADS:

- GROUND SNOW LOAD (Pg): 30 PSF
- FLAT ROOF SNOW LOAD (Pf): 21.0 PSF
- SNOW EXPOSURE FACTOR (Ce): 1.0
- SNOW LOAD IMPORTANCE FACTOR (Is): 1.0
- THERMAL FACTOR (Ct): 1.0

WIND LOADS:

- ULTIMATE DESIGN WIND SPEED (Vult): 115 MPH
- RISK CATEGORY: II
- WIND EXPOSURE CATEGORY: B
- INTERNAL PRESSURE COEFFICIENT: +/- 0.18

CONSTRUCTION NOTES:

1. ALL DIMENSIONS GIVEN ARE TO FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED.
2. PARTITIONS SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE FLUSH AND SMOOTH WITH EXISTING SURFACES U.O.N.
3. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
4. ALL FRAMING MEMBERS SHALL BE DOUGLAS FIR NO. 2 OR BETTER, SURFACE DRY WITH 19% MAX MOISTURE CONTENT. FB = 850 PSI MIN., FV- = 95 PSI, FC = 625 PSI, E = 1,600,000 PSI.
5. ALL FRAMING MEMBERS (LEDGERS, SILL PLATES, ETC.) THAT TIE NEW CONSTRUCTION INTO EXISTING ARE TO BE SECURED WITH 3/8" x 5" (MIN.) LAG BOLTS @ 16" O.C. MIN. INTO EXISTING HOUSE STRUCTURAL FRAMING (NOT SHEATHING ONLY).
6. INSTALL FIRE-BLOCKING WHEREEVER POSSIBLE IF EXISTING STRUCTURE IS BALLOON FRAMING THAT BECOMES EXPOSED AT SECOND FLOOR LEVEL.
7. ALL ENGINEERED FRAMING MEMBERS ARE TO BE AS MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL.
8. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY NOTED OR APPROVED BY THE ARCHITECT OR STRUCTURAL ENGINEER IN ADVANCE.
9. ALL **STRUCTURAL LUMBER** AND FASTENINGS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF TABLE 2304 OF THE IBC, LATEST EDITION.
10. **ROOF SHEATHING** SHALL BE 19/32" MIN. A.P.A. RATED SHEATHING 32/16 EXPOSURE I. LAY FACE GRAIN AT RIGHT ANGLE TO SUPPORTS. PROVIDE 1/8" SPACE BETWEEN SHEETS AT END AND SIDE JOINTS. SHEATHING SHALL BE CONTINUOUS OVER A MIN. OF TWO SPANS. PROVIDED 10D COMMON NAILS AT 6" OC ALONG SUPPORTED EDGES AND 12" OC ALONG INTERMEDIATE SUPPORTS. PROTECT ROOF SHEATHING FROM MOISTURE UNTIL ROOFING IS INSTALLED.
11. INSTALL NEW WINDOWS (to match existing) & DOORS AT NEW LOCATIONS AS SHOWN ON PLANS; PATCH & REPAIR EXISTING WALLS & EXTERIOR CLADDING AS REQ'D.
12. INSTALL NEW 5/8" G.W.B. @ ALL NEW INTERIOR WALLS & CEILINGS, U.O.N. PATCH, REPAIR AND/OR PREPARE ALL EXISTING CONSTRUCTION AT AREAS TO ACCEPT NEW, AND WHERE AFFECTED BY DEMOLITION AND CONSTRUCTION.
13. INSTALL FINISH FLOORING OVER 3/4" T&G PLYWOOD SUBFLOOR - TYP UON.
14. ALL NEW INTERIOR DOORS TO BE SOLID WOOD paneled doors TO MATCH EXISTING AS CLOSELY AS POSSIBLE. TRIM AND HARDWARE TO MATCH EXISTING, REVIEW WITH OWNER.
15. ALL INSTALLATION OF MATERIALS, DEVICES, APPLIANCES, FIXTURES, ETC. TO BE AS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS AND AS PER ALL APPLICABLE CODES.
16. PROVIDE VAPOR BARRIER AT EXTERIOR SIDE OF ALL NEW CONCRETE FOUNDATION WALLS CONTINUOUSLY FROM FOOTING TO TOP OF GRADE.

ENERGY NOTES:

1. THIS BUILDING DESIGN IS BY ACCEPTABLE PRACTICE AND SHALL COMPLY WITH THE NEW YORK STATE STRETCH ENERGY 2020 CONSERVATION CONSTRUCTION CODE.
2. ALL INSTALLATIONS AND MATERIALS SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE ENERGY CODE.
3. ALL NEW CONSTRUCTION TO ACHIEVE THE FOLLOWING MIN. INSULATION VALUES: HIGH DENSITY BATT IN WALLS = R-21 AND FLOORS = R-30; COMBINATION CLOSED CELL SPRAY FOAM/HIGH DENSITY BATT IN ROOF FRAMING = R-49 (R-38 if PLATE IS COMPLETELY COVERED).
4. WHEREEVER EXISTING FRAMING IS EXPOSED, INSTALL HIGH-DENSITY BATT INSULATION OR SPRAYED IN FOAM TO ACHIEVE HIGHEST R-VALUE POSSIBLE WITHIN EXISTING SPACE. FULLY SEAL ALL AIR PENETRATIONS
5. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED AND WEATHER-STRIPPED. ALL WINDOWS TO BE .27 U-VALUE OR LOWER WITH LOW E 2 ARGON INSULATED GLASS. ALL DOORS AND WINDOWS TO BE PELLA TO MATCH EXISTING, OR APPROVED EQUAL.
6. TO EXTENT POSSIBLE WITHIN SCOPE OF CONSTRUCTION AREA PROVIDE THERMAL ENVELOP WITH CONTINUOUS INSULATION AND AIR BARRIER AND SEAL ALL JOINTS, CORNERS, SILL PLATES, TOP PLATES AND PENETRATIONS PER SECTION R401 AND R402 OF THE ENERGY CODE.

MECHANICAL SYSTEMS (HVAC):

1. EXTEND EXISTING HVAC SYSTEM TO CONDITION NEW BEDROOM AND OFFICE. VERIFY INTEGRITY AND CAPACITY OF EXISTING HVAC, EXTEND AS REQ'D TO COVER NEW ALL WORK TO COMPLY WITH R403 OF THE ENERGY CODE. INSTALL ELECTRIC RADIANT FLOOR HEAT MATT (NUHEAT OR EQUAL) IN NEW TILE AT NEW BATHROOM FLOOR.

SMOKE DETECTOR NOTES:

1. PROVIDE SMOKE DETECTORS IN KITCHEN AND HALLWAYS AND BEDROOMS. SMOKE DETECTORS TO BE HARD-WIRED WITH BATTERY BACKUP, INTERCONNECTED AND INSTALLED PER MFR'S SPECIFICATIONS AND TO MEET ALL APPLICABLE CODES.
2. UNITS SHALL BE LOCATED ON OR NEAR THE CEILING. CEILING MOUNT - CLOSEST EDGE OF UNIT SHALL BE A MINIMUM OF 4" AWAY FROM ANY WALLS. WALL MOUNT - CLOSEST EDGE SHALL BE A MINIMUM OF 4" AWAY FROM THE CEILING.
3. PROVIDE CARBON MONOXIDE & SMOKE DETECTOR AS PER CODE SECTION 915.3.1.3 FCNYS - INSTALLED WITHIN EVERY SLEEPING AREA AND OUTSIDE OF WITHIN 10FT OF ALL SLEEPING AREAS.

1. Provide type of construction.
 2. Provide total work area sq. ft.
 3. Provide fastening schedule
 4. Provide wall bracing as may be applicable.
 5. Provide interior finishes flame spread and smoke index requirements.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD ^a	WIND DESIGN				SEISMIC DESIGN CATEGORY ^f	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP ^g	ICE BARRIER UNDERLAYMENT REQUIRED ^h	FLOOD HAZARDS ⁱ	AIR FREEZING INDEX ^j	MEAN ANNUAL TEMP ^k
	Speed ^d (mph)	Topographic effects ^e	Special wind region ^l	Windborne debris zone ^m		Weathering ^a	Frost line depth ^b	Termite ^c					
30 psf	115	NO	NO	NO	B	—	3'-6"	—	—	—	—	—	—

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General Notes



alterations and additions to
Streppa Residence
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date:
 07/17/25
 scale:
 as noted
 issue:

drawing no.

A-0.2

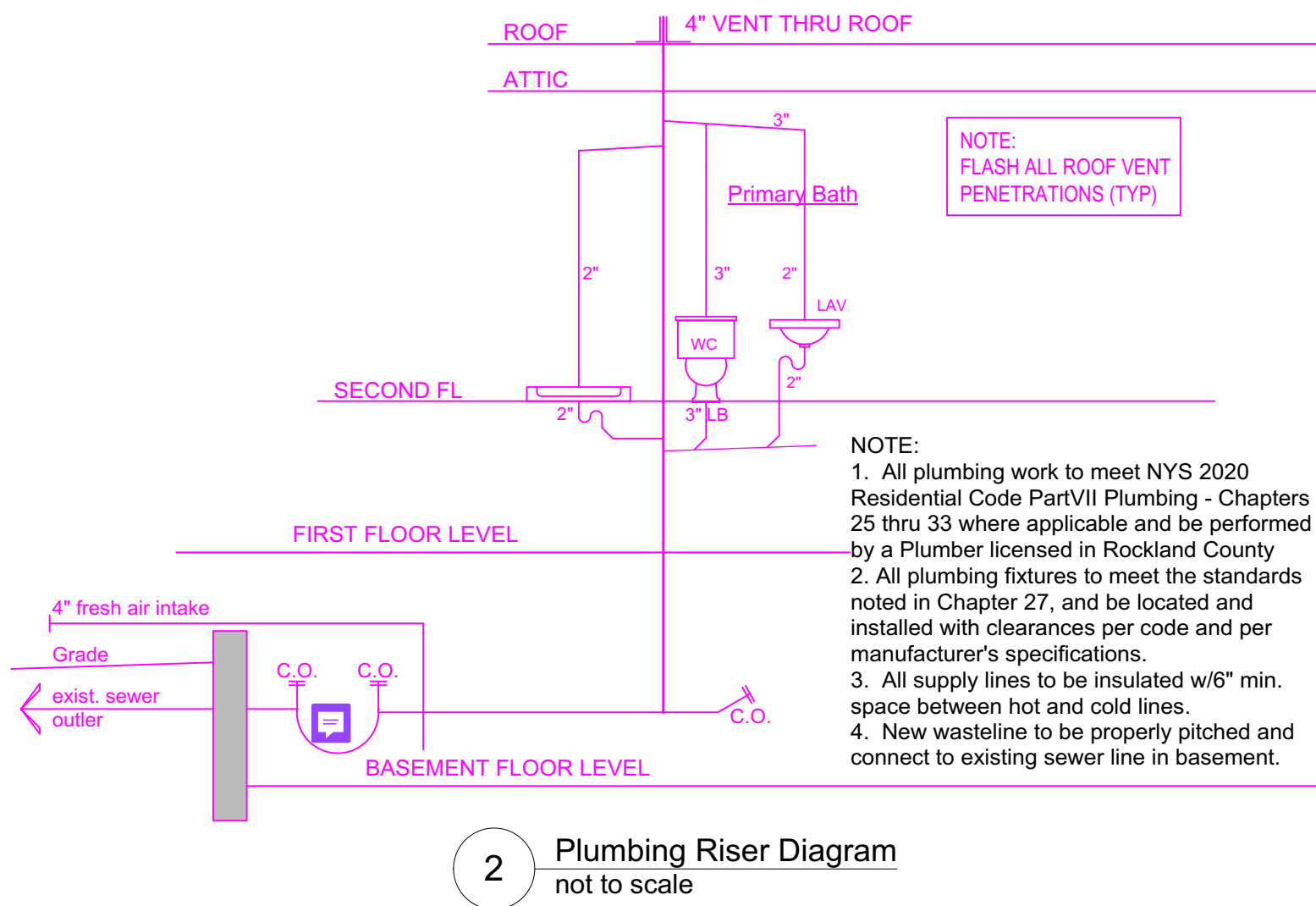
SCOPE OF WORK:

A - Ground Floor

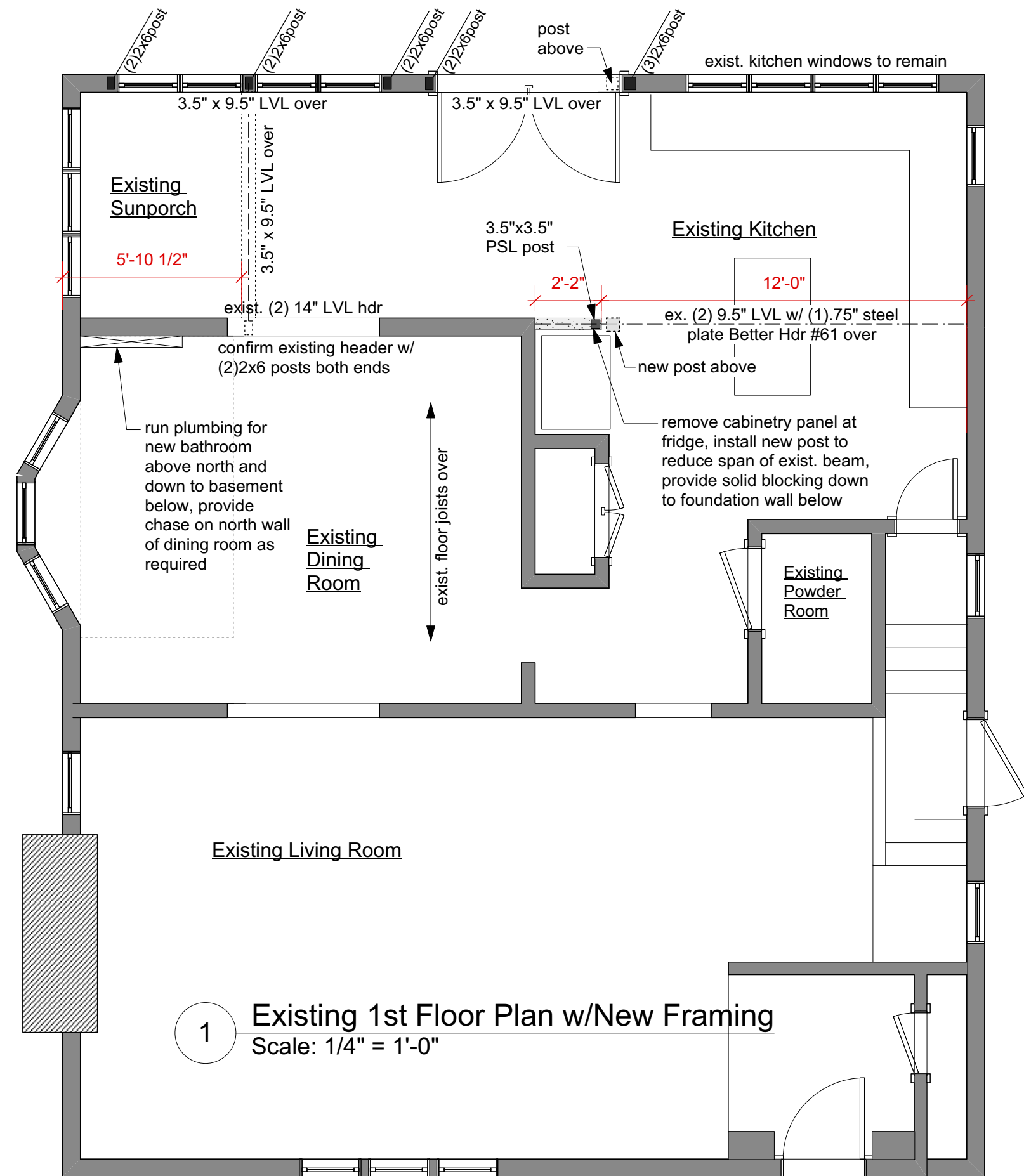
1. Relocate existing windows & french doors on north wall, install headers as shown.
2. Patch/repair/seal all exterior finishes, details to match existing. Re-install existing sconces to flank french doors in new location.

B - Second Floor Addition:

1. Remove decking and sleepers to extent req'd for new second floor addition - floor levels to align.
2. Remove roofing partially as required on north side to receive new framing for second floor addition. Patch/repair/install flashing at all intersections of existing/new.
3. Remove existing interior partitions as shown on plan for new bedroom.
4. Remove windows and door as shown, save for reuse, remove portion of existing exterior partition as shown.
5. Install new second floor addition - framing & headers as shown, including new primary bathroom.
6. Patch/repair all finishes to match existing. All interior and exterior trim and details to match existing.
7. Extend all mechanicals, plumbing and electric as shown for finished space.
8. Refer to General Notes and all drawings for additional information.



remove (4) windows and french doors on north wall, save and re-install as shown in swapped position. Install new headers as shown. Seal, patch & repair all finishes.



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First Floor Plan & Plumbing Riser Diagram



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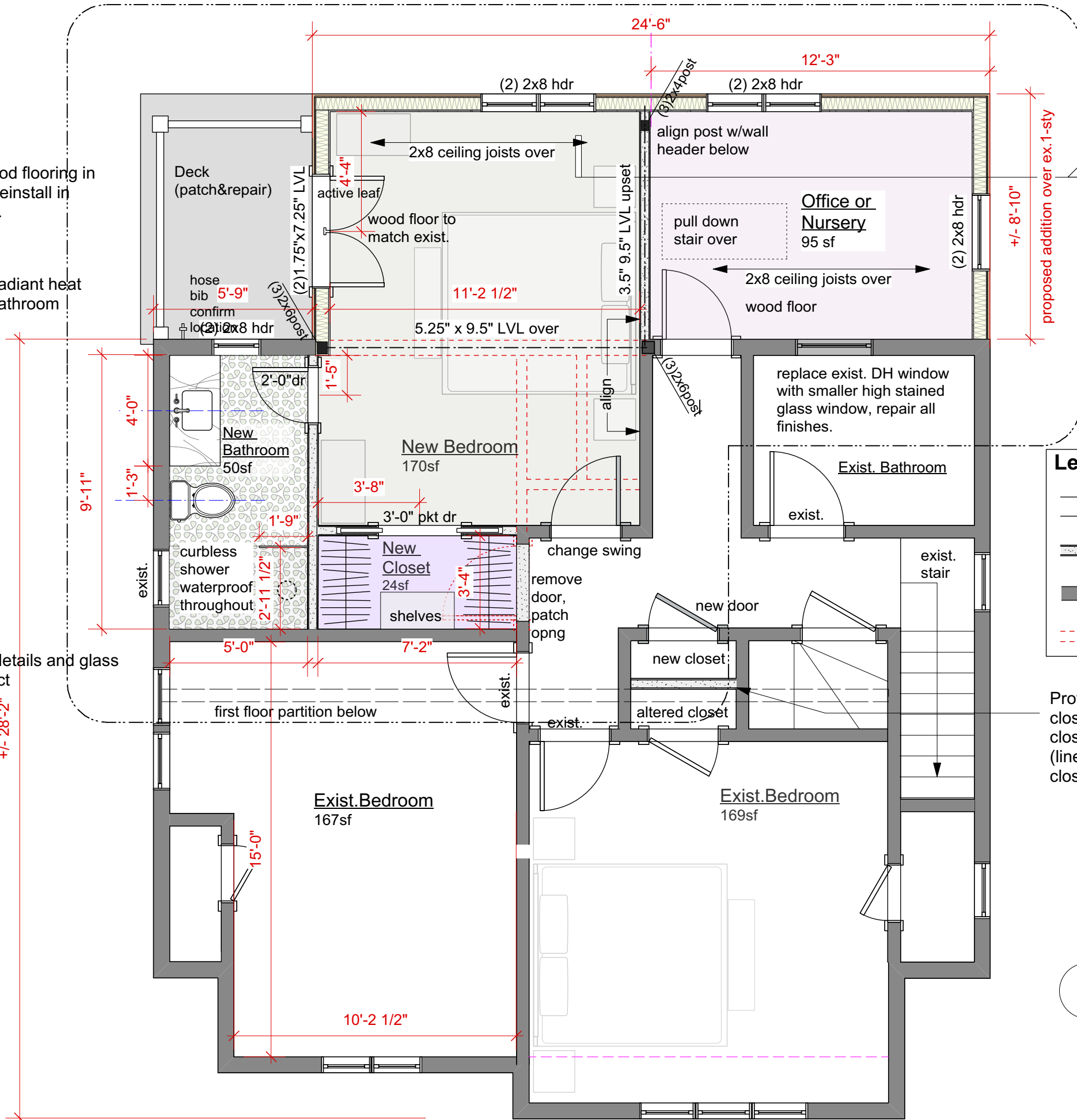
drawing no.

A-1.1

note: remove wood flooring in exist. bedroom, reinstall in Office if possible.

provide electric radiant heat in new primary bathroom

confirm shower details and glass in field w/Architect

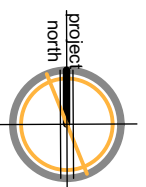


Legend

- exterior 2x6 partition
- interior 2x4 partition
- existing partition to remain
- exist. partition to be removed

Provide alternate price to divide existing closet and provide door (reuse removed closet door if possible) on hallway side (linen closet), install shelves in each closet

1 2nd Floor Plan
Scale: 1/4" = 1'-0"



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Second Floor Plan



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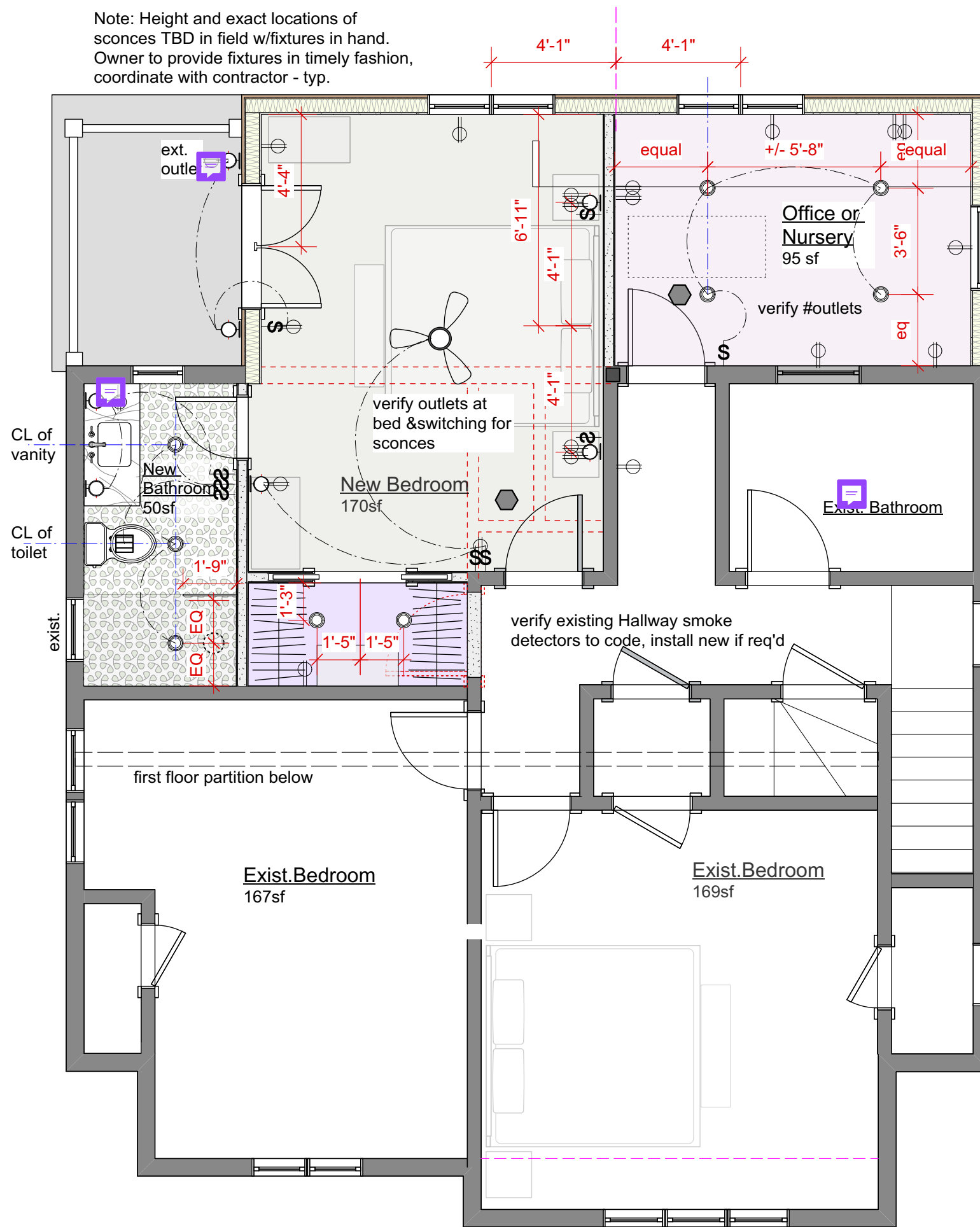
A-2.1

	DUPLEX OUTLET
	GROUND FAULT OUTLET
	SURFACE MOUNTED CLG FIXTURE
	LED RECESSED LIGHT
	REC 3 1/2" APERTURE DOWNLIGHT (PAR20/30 or LED)
	DECORATIVE CEILING FAN W/ LIGHT
	WALL SCONCE
	PENDANT FIXTURE
	CEILING EXHAUST FAN
	PHONE, TV, INTERNET HOOKUP
	SWITCH
	SMOKE DETECTOR
	LIGHT STRIPS FLOURESCENT
	EXTERIOR LIGHTING ON MOTION DETECTORS

General Lighting Notes:

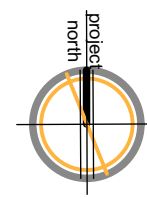
1. Review and confirm all lighting and switch locations in field upon completion of framing w/Owner prior to final installation. **All switches on dimmers.**
2. Install switches as close to door trim as possible to leave wall space for artwork - typical.
3. Outlets located below switches or sconces to be centered below - typical.
4. All bathroom fans to be on timers.
4. Owner to review ethernet/cable/fiber optics/audio locations in field w/contractor prior to any installations.
5. Provide LED lighting within all closets mounted on wall above door (unless otherwise noted on plans) activated by motion sensors as allowed per ny state electrical code.
6. All electrical work to conform to chapter 38 of the most recent residential building code, upgrade as req'd.

Note: Height and exact locations of sconces TBD in field w/fixtures in hand. Owner to provide fixtures in timely fashion, coordinate with contractor - typ.



A-5.1
 PROVIDE NEW BEDROOMS LIGHT AND VENTILATION REQUIREMENTS.

1 2nd Floor Electric & Lighting
 Scale: 1/4" = 1'-0"



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**Second Floor RCP
 Lighting & Electric**

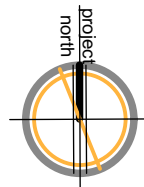
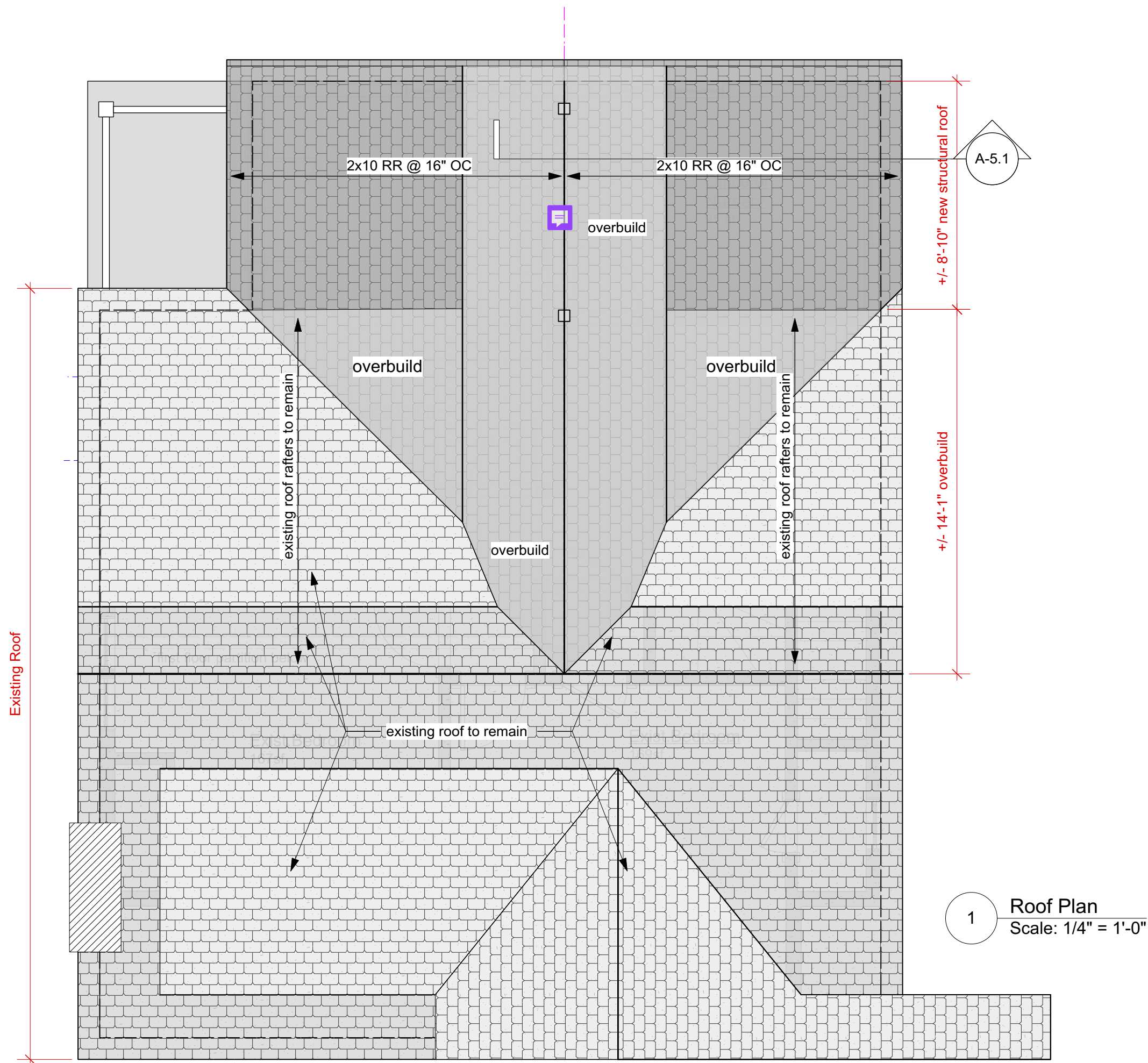


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A-2.2



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Roof Plan



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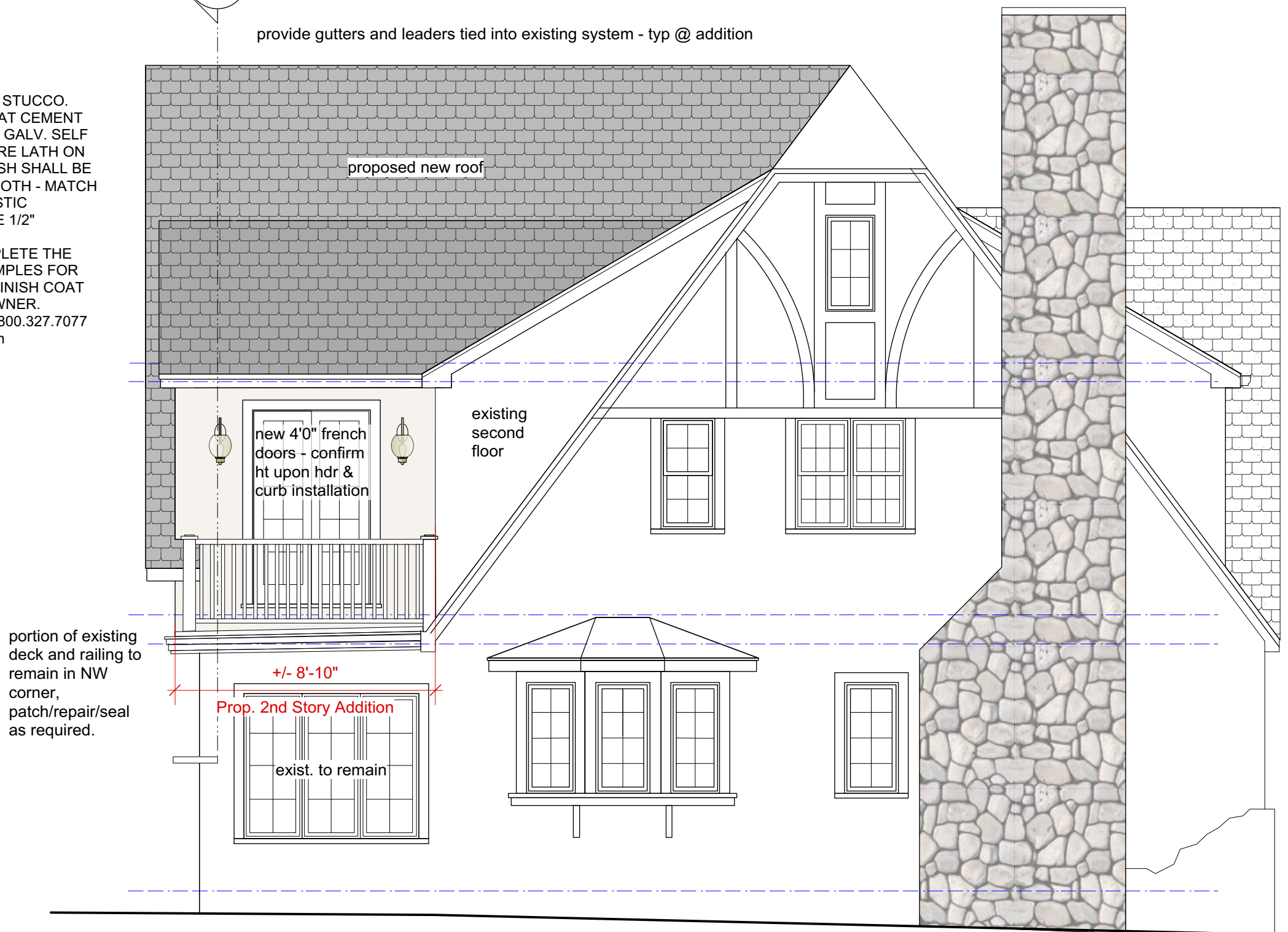
drawing no.

A-3.1

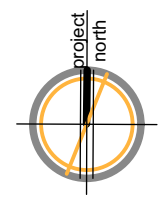
A-5.1

provide gutters and leaders tied into existing system - typ @ addition

EXTERIOR FINISH TO BE STUCCO. STUCCO SHALL BE 3 COAT CEMENT PLASTER SYSTEM OVER GALV. SELF FURRING EXPANDED WIRE LATH ON 30# BUILDING FELT. FINISH SHALL BE WITH WOOD FLOAT SMOOTH - MATCH EXISTING. INSTALL 'PLASTIC COMPONENTS' 'W' STYLE 1/2" CONTROL JOINTS & ALL ACCESSORIES TO COMPLETE THE JOB. SET UP 36"X36" SAMPLES FOR APPROVAL. COLOR OF FINISH COAT TO BE APPROVED BY OWNER. PLASTIC COMPONENTS 800.327.7077 www.plasticcomponents.com



1 West Elevation
Scale: 1/4" = 1'-0"



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West Elevation

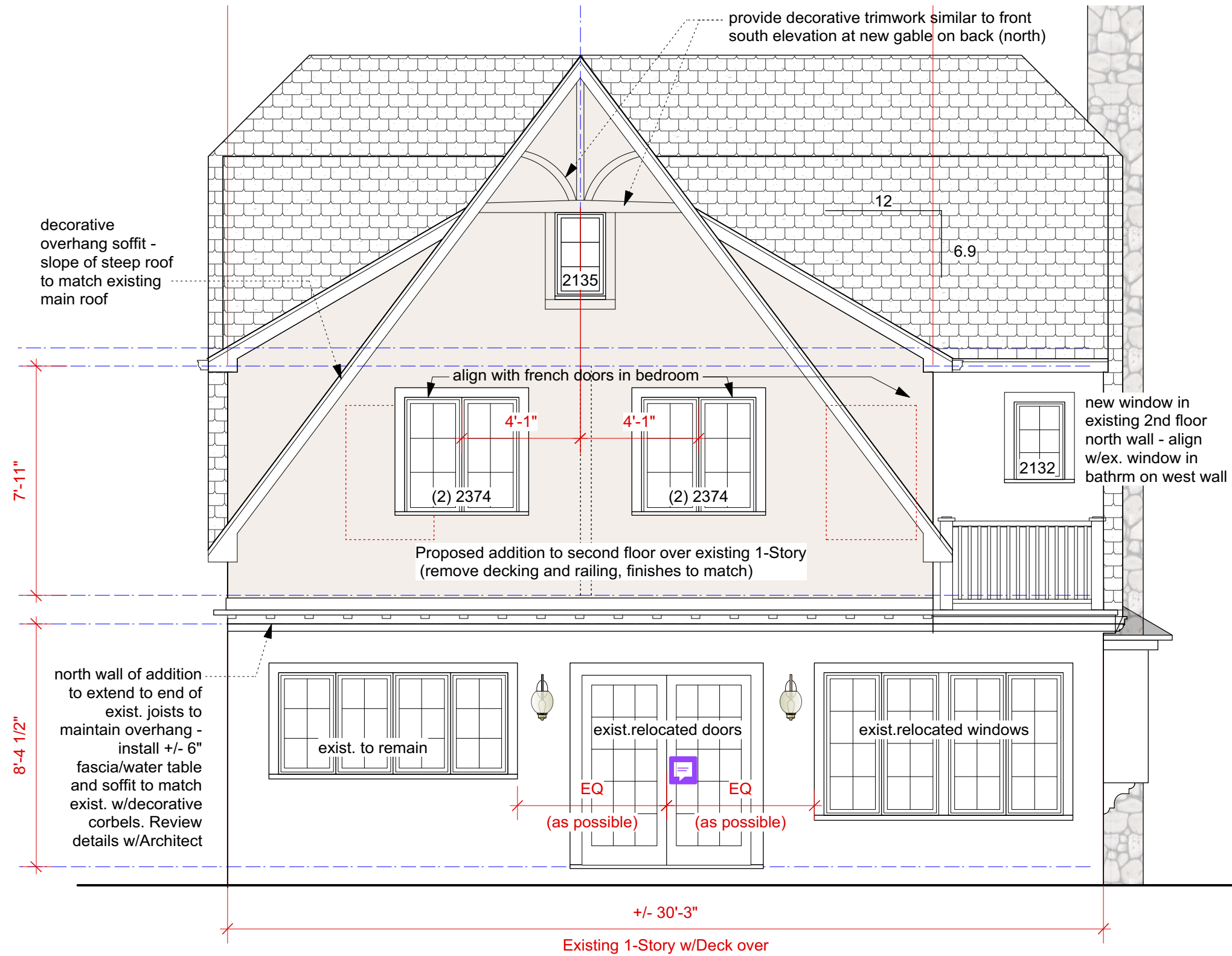


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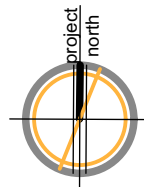
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drawing no.

A-4.1



1 North Elevation
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North Elevation

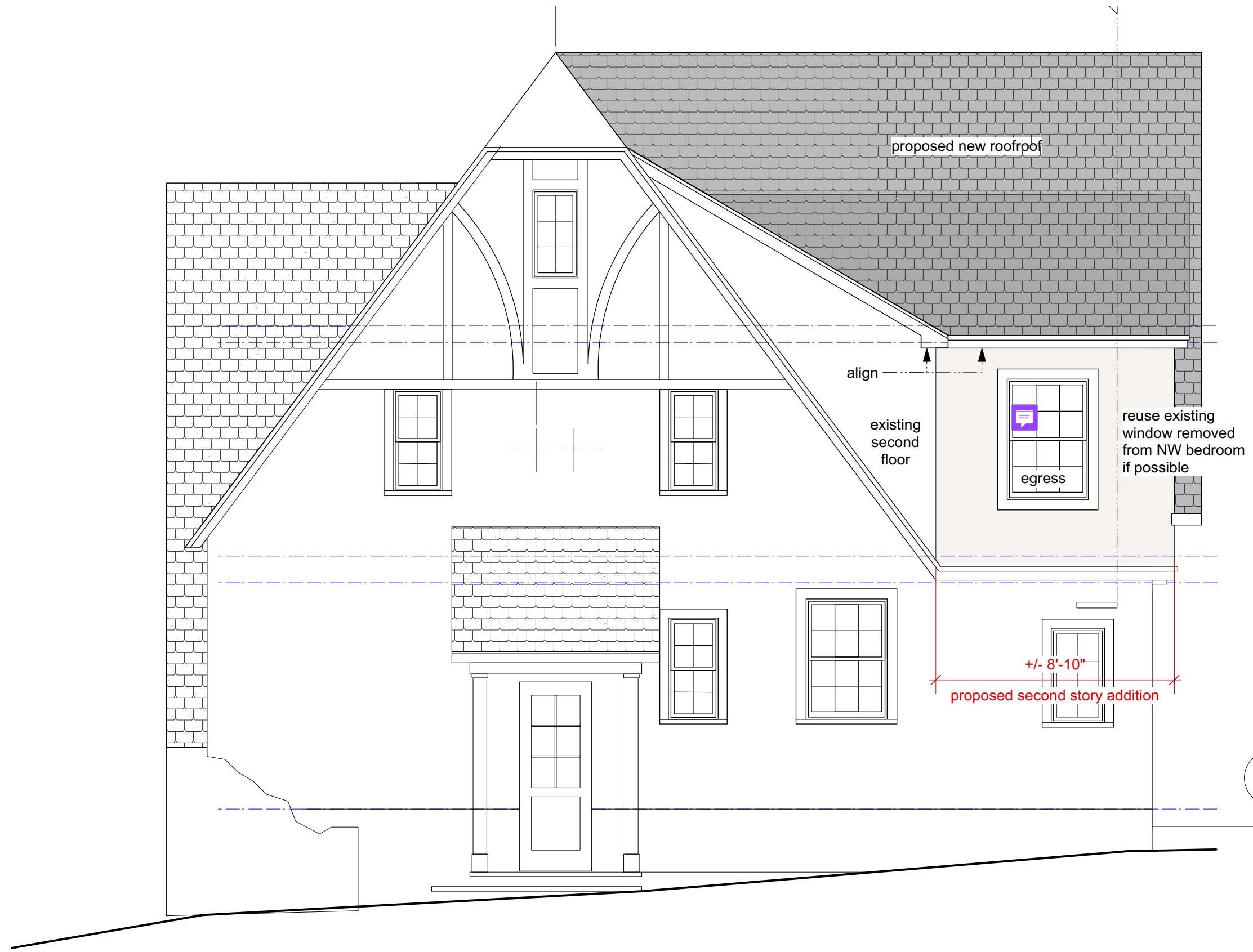


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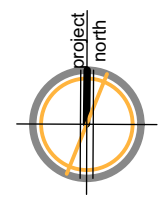
date:
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 issue:

drawing no.

A-4.2



1 East Elevation
Scale: 1/4" = 1'-0"



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East Elevation

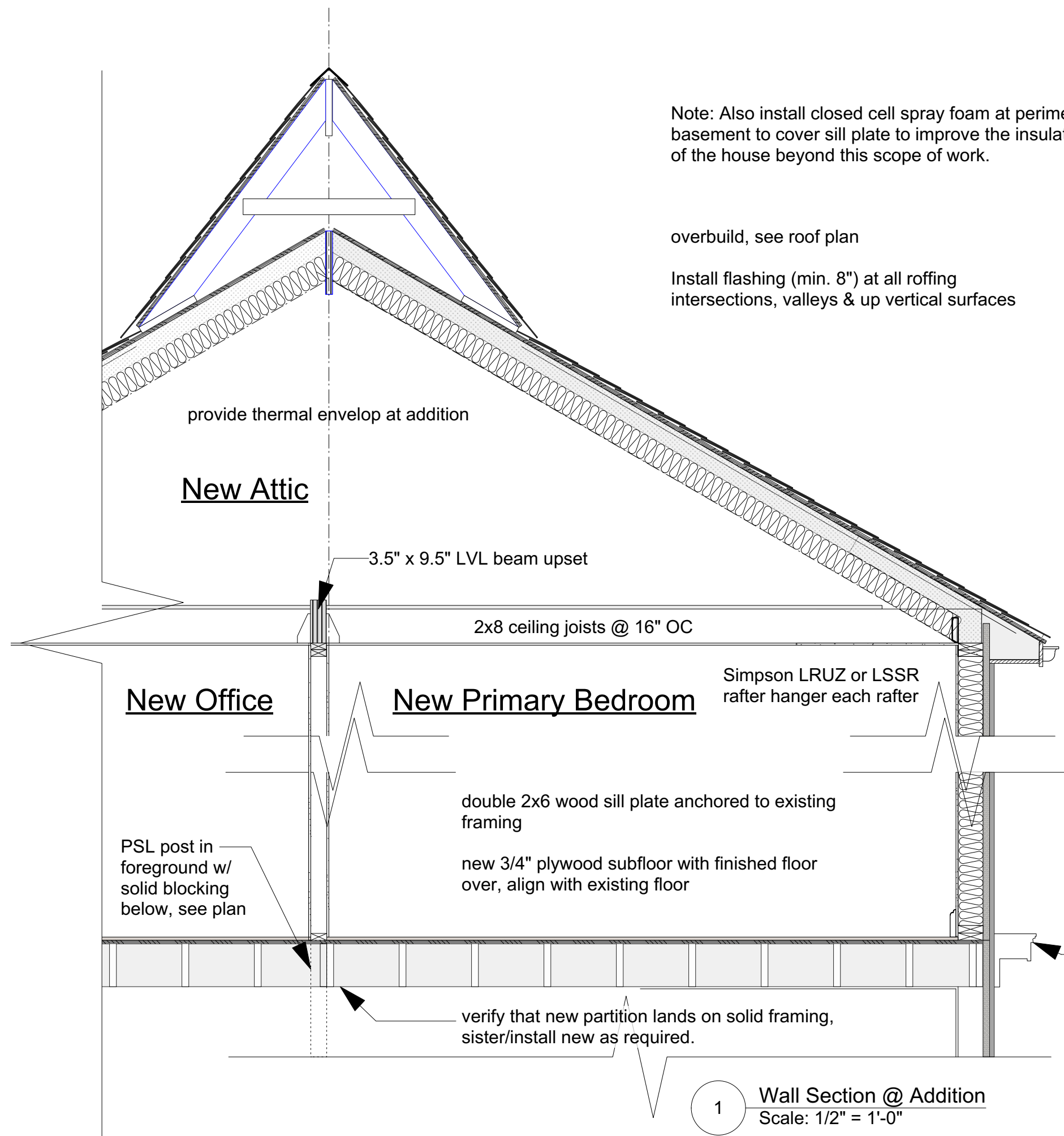


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A-4.3



Note: Also install closed cell spray foam at perimeter of basement to cover sill plate to improve the insulation value of the house beyond this scope of work.

overbuild, see roof plan

Install flashing (min. 8") at all roofing intersections, valleys & up vertical surfaces

provide thermal envelop at addition

New Attic

3.5" x 9.5" LVL beam upset

2x8 ceiling joists @ 16" OC

New Office

New Primary Bedroom

Simpson LRUZ or LSSR rafter hanger each rafter

double 2x6 wood sill plate anchored to existing framing

new 3/4" plywood subfloor with finished floor over, align with existing floor

PSL post in foreground w/ solid blocking below, see plan

verify that new partition lands on solid framing, sister/install new as required.

Timberline lifetime architectural shingle roofing to match existing over 15# building felt over 5/8" Zip System Roof Sheathing installed per manufacturer's specifications. Ice-shield as req'd to meet code.

(2) 2x6 top plate, align with adjacent roof

roof rafters @ 16"OC w/Simpson H2.5A ties w/combination of 4" closed-cell spray foam insulation (R-28), thermal break - no ventilation required, and 5.5" high-density batt or Rockwool insulation (R-21min) within RR to achieve **R-49** min.in roof space. Completely cover top plate with spray foam insulation.

1x fascia - Azek or equal - soffit and eave detail to match and align with existing adjacent roof. New gutters and leaders to provide positive drainage throughout tied into existing system.

2x6 wood studs @ 16"OC with R-21min. Rockwool or high-density batt insulation (cavities) and continuous 1" R-3 Zip Sheathing to be 1/2" plywd (outside face). Fasteners to be 8D nails @4" OC at panel perimeter w/ blocking at panel joints.

exterior stucco wall finish to match and blend with existing adjacent walls

All exterior detailing to match existing

Repair/reinstall existing soffit from steeply pitched main roof and continuous along exterior of wall at addition at removed roof deck, see elevations.

1 Wall Section @ Addition
Scale: 1/2" = 1'-0"

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Wall Section @ addition



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