

PROPOSED COMBINED LOT INFORMATION:

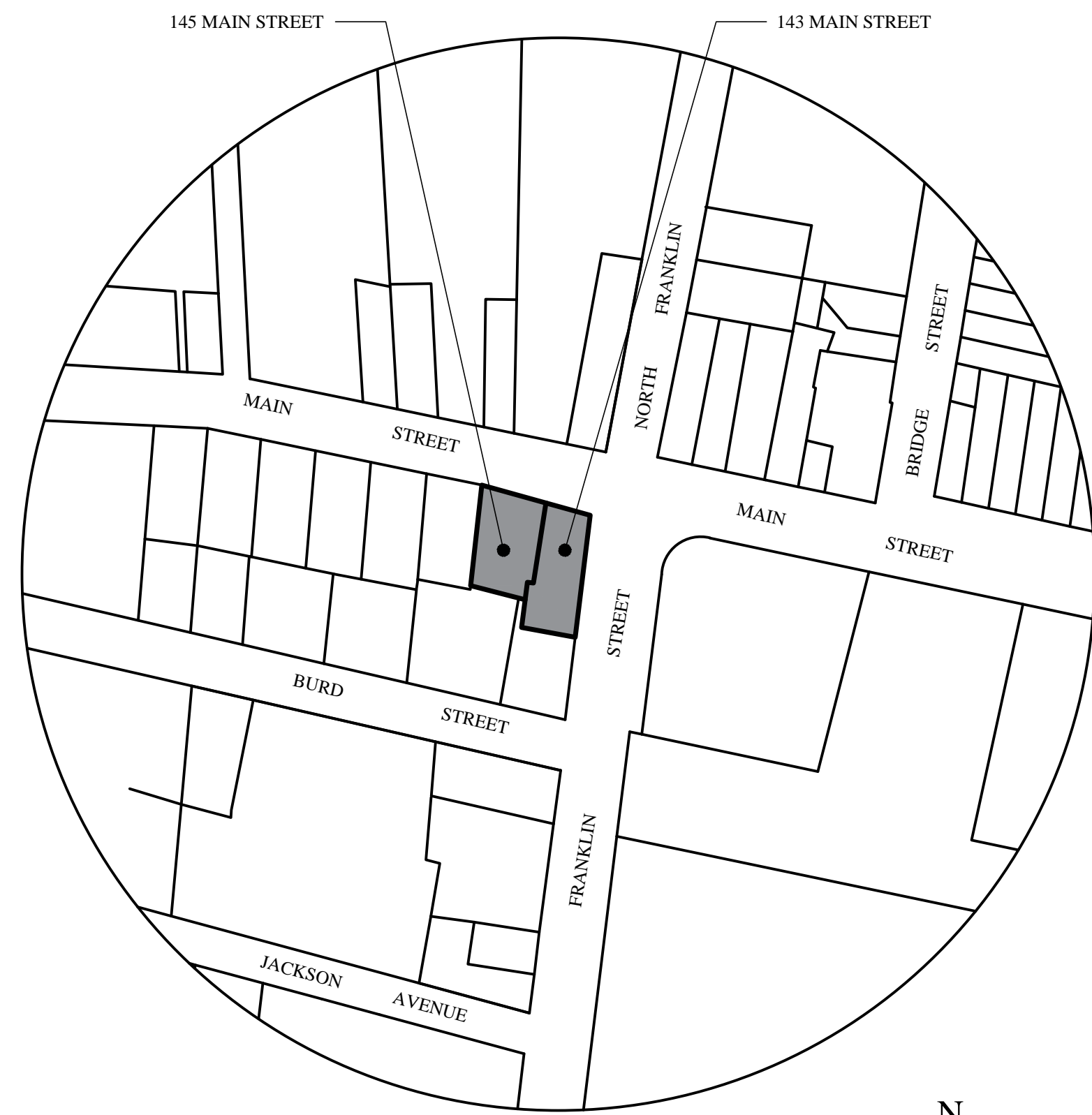
LOCATION: VILLAGE OF NYACK
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NY

LOT AREA: 6,583.81 SQFT OR 0.1554 ACRES

ZONING INFORMATION

TAX LOT: 66.37-2-13 & 66.37-2-14

ZONING DISTRICT: DMU-1
DOWNTOWN MIXED USE-1



B VICINITY MAP
SCALE: 1" = 100'

FAR CALCULATIONS

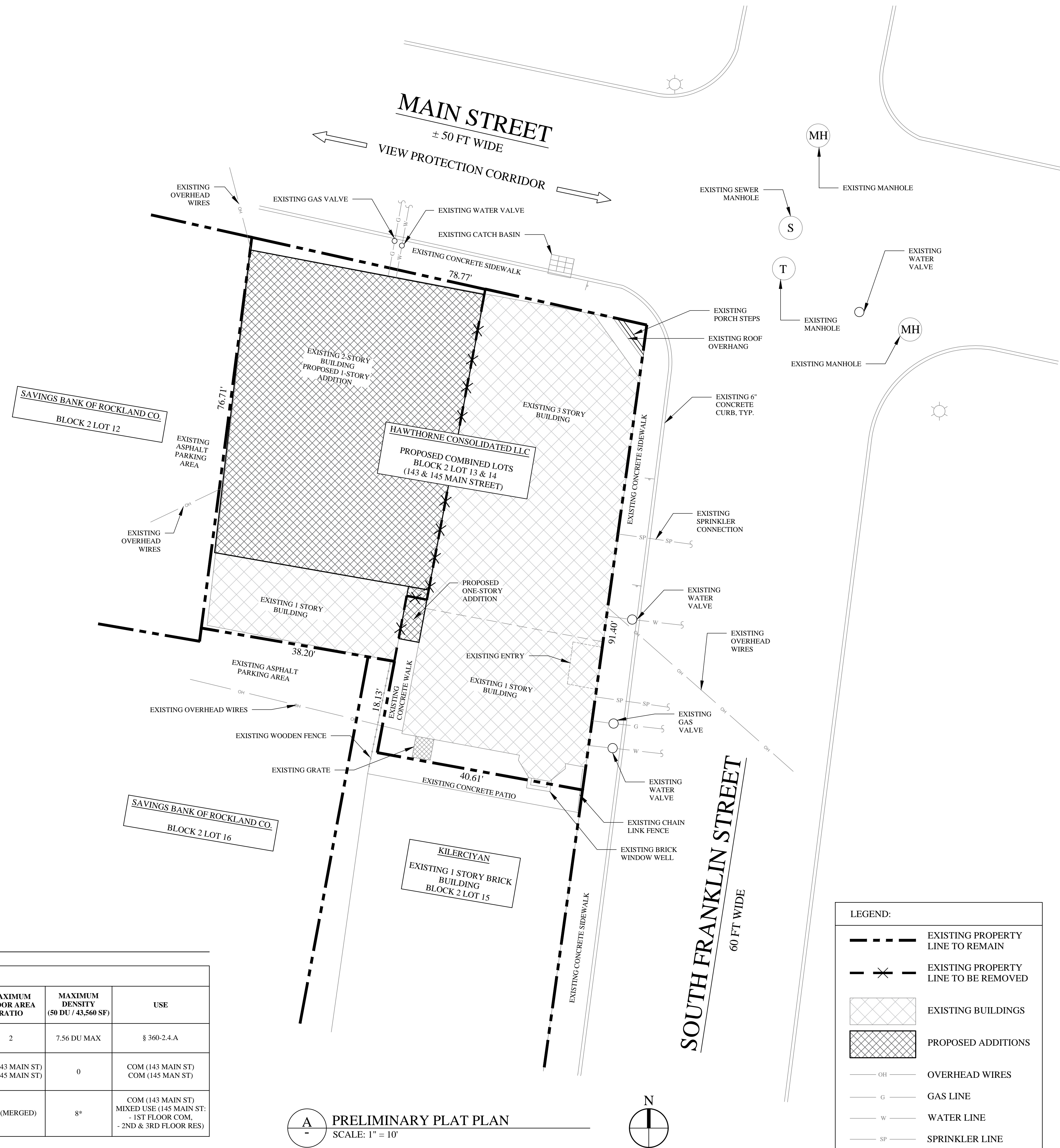
FAR CALCULATIONS		
	143 MAIN STREET	145 MAIN STREET
1ST FLOOR	2,910 SF (EXIST) + 38 SF (ADDITION)	3,127 SF (EXIST)
2ND FLOOR	1,750 SF (EXIST)	2,054 (EXIST) + 551 SF (ADDITION)
3RD FLOOR	1,792 SF (EXIST)	0 SF (EXIST) 2,605 SF (ADDITION)
TOTAL	6,490 SF	8,337 SF
TOTAL (MERGED LOTS)	6,490 + 8,337 = 14,827 SF	
FAR (MERGED LOTS)	14,827 / 6,584 = 2.25*	

* 1,646 SQ FT OF GREEN ROOF PROPOSED = 0.25 FAR BONUS (REFER TO 360-4.14)

BULK REGULATIONS

BULK REGULATIONS - ZONING OF VILLAGE OF NYACK, NEW YORK DMU-1 (DOWNTOWN MIXED USE DISTRICT)										
	MINIMUM LOT AREA (SQ FT)	MINIMUM STREET FRONTAGE (FT)	MINIMUM FRONT SETBACK (FT)	MINIMUM SIDE SETBACK	MINIMUM REAR SETBACK	BUILDING HEIGHT (STORIES)	BUILDING HEIGHT (FT)	MAXIMUM FLOOR AREA RATIO	MAXIMUM DENSITY (50 DU / 43,560 SF)	USE
REQUIRED	-	-	-	(f)	N/A (CORNER LOT)	3 MAX	40	2	7.56 DU MAX	§ 360-2.4.A
EXISTING	3,286 (143 MAIN ST) 3,298 (145 MAIN ST)	32.17 (143 MAIN ST) 46.60 (145 MAIN ST)	0	0	N/A	3 (143 MAIN ST) 2 (145 MAIN ST)	39'-10" (143 MAIN ST) 25'-8" (145 MAIN ST)	1.96 (143 MAIN ST) 1.56 (145 MAIN ST)	0	COM (143 MAIN ST) COM (145 MAIN ST)
PROPOSED	6,584 (MERGED)	78.77 (MERGED)	0	0 (15' SETBACK PROVIDED ABOVE 1ST FLOOR)	N/A	3	39'-10"	2.25 (MERGED)	8*	COM (143 MAIN ST) MIXED USE (145 MAIN ST) - 1ST FLOOR COM. - 2ND & 3RD FLOOR RES)

(f) NONE REQUIRED, BUT IF PROVIDED A MINIMUM OF FIVE FEET IS REQUIRED.
* 10% DENSITY BONUS (REFER TO 120-1 (2))



A PRELIMINARY PLAT PLAN
SCALE: 1" = 10'

LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- EXISTING PROPERTY LINE TO BE REMOVED
- EXISTING BUILDINGS
- PROPOSED ADDITIONS
- OVERHEAD WIRES
- GAS LINE
- WATER LINE
- SPRINKLER LINE

REVISIONS:

NO.	DATE	DESCRIPTION

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

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PROJECT:
143-145 MAIN STREET
NYACK, NY

PRELIMINARY PLAT PLAN

SEAL AND SIGNATURE:



DOMINICK R. PILLA, P.E., R.A.
NY P.E. 074213-1 NY R.A. 027028-1

ISSUE: FOR PLANNING BOARD
DATE: 1/3/2022
PROJECT NO.: 19-088
DRAWN/CHK BY: JB/DT/DRP
SCALE: AS NOTED
DWG NO.:

C-100.00