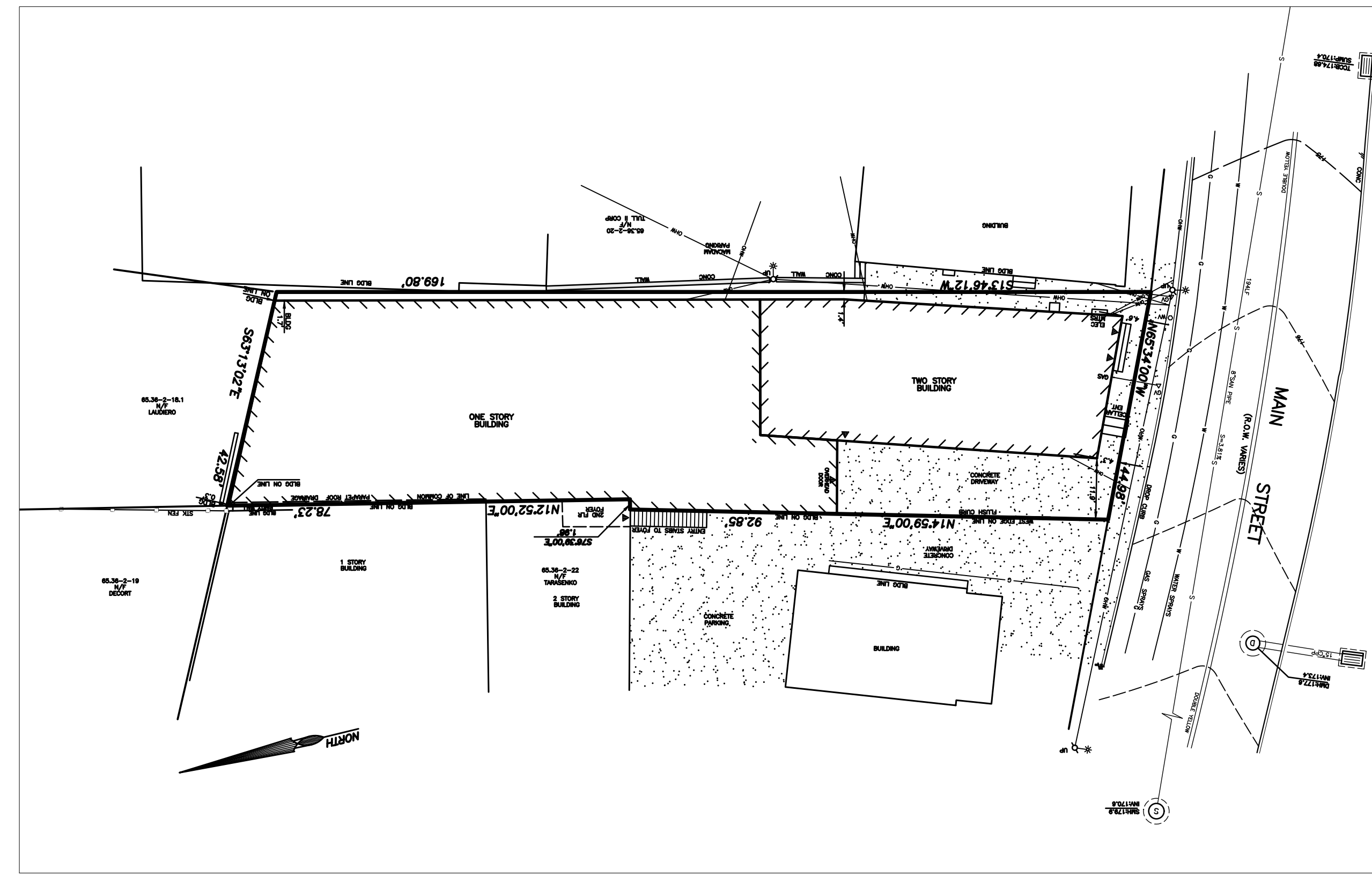


1 VICINITY MAP  
A-0 N.T.S.



2 SITE PLAN  
A-0 1" = 20'

**260 MAIN STREET  
NEW RETAIL SPACE**

**DANIEL JEAN-GILLES  
260 N MAIN, LLC**

86 THIRD AVENUE  
NYACK, NY 10960

**MAREN ROBERTSON  
ARCHITECTURE**

MAREN ROBERTSON ARCHITECT

58 Washington Street  
Nyack, NY 10960  
Tel: 845-553-5525  
marenr@yahoo.com

BULK TABLE				
OWNER OF RECORD	DANIEL JEAN-GILLES			
PROPERTY ADDRESS	260 MAIN STREET			
TAX LOT SECTION	65.36-2-21			
ZONE	DMU-2			
	REQUIRED	EXISTING	PROPOSED	NET CHANGE
MIN. LOT AREA SF	-	7,195 SF	7,195 SF	NO CHANGE
MIN. LOT WIDTH FT	-	41 FT	41 FT	NO CHANGE
MIN. STREET FRONTAGE FT	25	44.98	44.98	NO CHANGE
MIN. LOT DEPTH FT	-	-	-	NO CHANGE
MIN. FRONT SETBACK FT	5(p)	4.3	4.3	NO CHANGE
MIN. SIDE SETBACK (ONE) FT	(F)(K)	1.7	1.7	NO CHANGE
MIN. SIDE SETBACK (BOTH) FT	(F)(K)	1.7	1.7	NO CHANGE
MIN. REAR SETBACK FT	(G)(K)	0.3	0.3	NO CHANGE
BUILDING HEIGHT (STORIES)	3	2	2	NO CHANGE
BUILDING HEIGHT (FEET)	40FT	24'-8"	24'-8"	NO CHANGE
MAX. BUILDING LENGTH FT	-	-	-	NO CHANGE
MAX. FLOOR AREA RATIO	2.0	1.08	1.08	NO CHANGE
MIN. OPEN USABLE SPACE (PER D.U.)	-	-	-	NO CHANGE
MAX. DENSITY (DU/ACRE)	50	18.75	18.75	NO CHANGE
MIN. DWELLING UNIT SIZE SFT	600 SF	400 SF	400 SF	NO CHANGE
ACCESSORY BUILDINGS	NO ACCESSORY BUILDINGS			

(F) NONE REQUIRED, BUT IF PROVIDED A MINIMUM OF FIVE FEET IS REQUIRED.  
 (G) A REAR YARD IS NOT REQUIRED FOR THE FIRST STORY OR 17 FEET, WHICHEVER IS LESS, BUT THERE SHALL BE A FIFTEEN-FOOT MINIMUM UNDER OTHER CONDITIONS.  
 (K) SIDE AND REAR YARDS THAT ARE ADJACENT TO RESIDENTIAL ZONES MUST HAVE A MINIMUM SETBACKS OF 15 FEET INCLUDING A LANDSCAPED BUFFER.  
 (P) IN ALL CASES THE BUILDING MUST BE SET BACK AT LEAST 10 FEET FROM THE CURBLINE.

**BUILDING CODE INFORMATION**

- ALL CONSTRUCTION SHALL COMPLY WITH
- 2020 BUILDING CODE OF NEW YORK STATE
  - 2017 NATIONAL ELECTRICAL CODE
  - 2020 ENERGY CONSERVATION CONSTRUCTION CODE AND STRETCH CODE OF NEW YORK STATE
  - 2020 FUEL GAS CODE OF NEW YORK STATE
  - 2020 MECHANICAL CODE OF NEW YORK STATE
  - 2020 PLUMBING CODE OF NEW YORK STATE

**SMOKE AND CARBON MONOXIDE PROTECTION**

COMPLY WITH IBC

**ENERGY & BUILDING CODE COMPLIANCE**

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED REGISTERED ARCHITECT THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AS CURRENTLY IN EFFECT.

TAX MAP SECTION 65.36 BLOCK 2 LOT 21  
VILLAGE OF NYACK

THE INFORMATION ON THIS DRAWING WAS TAKEN FROM A SURVEY FOR:  
DANIEL JEAN-GILLES  
DATED JANUARY 3, 2018

JAY A. GREENWELL, PLS  
SURVEYING - LAND PLANNING  
85 LAFAYETTE AVENUE  
SUFFERN, NY 10901  
PHONE: 845-357-0830

ZONE: DMU-2

EXISTING USE  
FIRST FLOOR: A-2  
SECOND FLOOR: R-2  
REAR: U

PROPOSED USE  
FIRST FLOOR: M  
SECOND FLOOR: R-2 (NO WORK THIS AREA)  
REAR: S-2 & U (STORAGE & FUTURE TENANT PARKING, NOT PART OF THIS APPLICATION)

SEPARATION OF OCCUPANCIES  
GROUP M AND GROUP R: 2-HR W/O SPRINKLERS, 1-HR W/ SPRINKLERS  
GROUP M AND GROUP S/U: 2-HR W/O SPRINKLERS, 1-HR W/ SPRINKLERS

TYPE OF CONSTRUCTION  
FRONT: TYPE III  
REAR: TYPE III-B

PERMIT APPLICATION 8.30.22

DRAWING TITLE  
**SITE PLAN  
VICINITY PLAN**

PROJECT NO. 2222  
DRAWN BY MCR  
SCALE AS NOTED  
DATE AUGUST 30, 2022

**A-0**

**260 MAIN STREET  
NEW RETAIL SPACE**

**DANIEL JEAN-GILLES  
260 N MAIN, LLC**

86 THIRD AVENUE  
NYACK, NY 10960

**MAREN ROBERTSON  
ARCHITECTURE**

MAREN ROBERTSON ARCHITECT

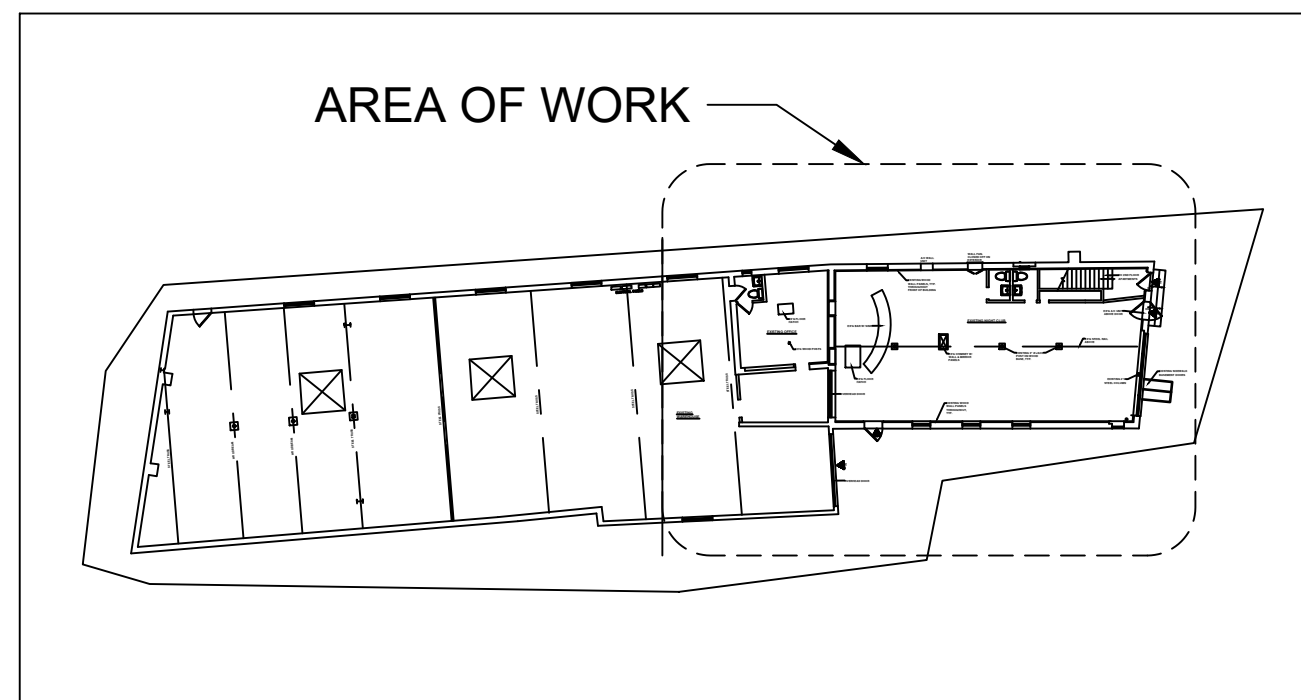
58 Washington Street  
Nyack, NY 10960  
Tel: 845-553-5525  
marencr@yahoo.com

PERMIT APPLICATION 8.30.22

DRAWING TITLE  
**EXISTING FLOOR PLAN**

PROJECT NO. 2222  
DRAWN BY MCR  
SCALE AS NOTED  
DATE AUGUST 30, 2022

**A-1**



**KEY PLAN**

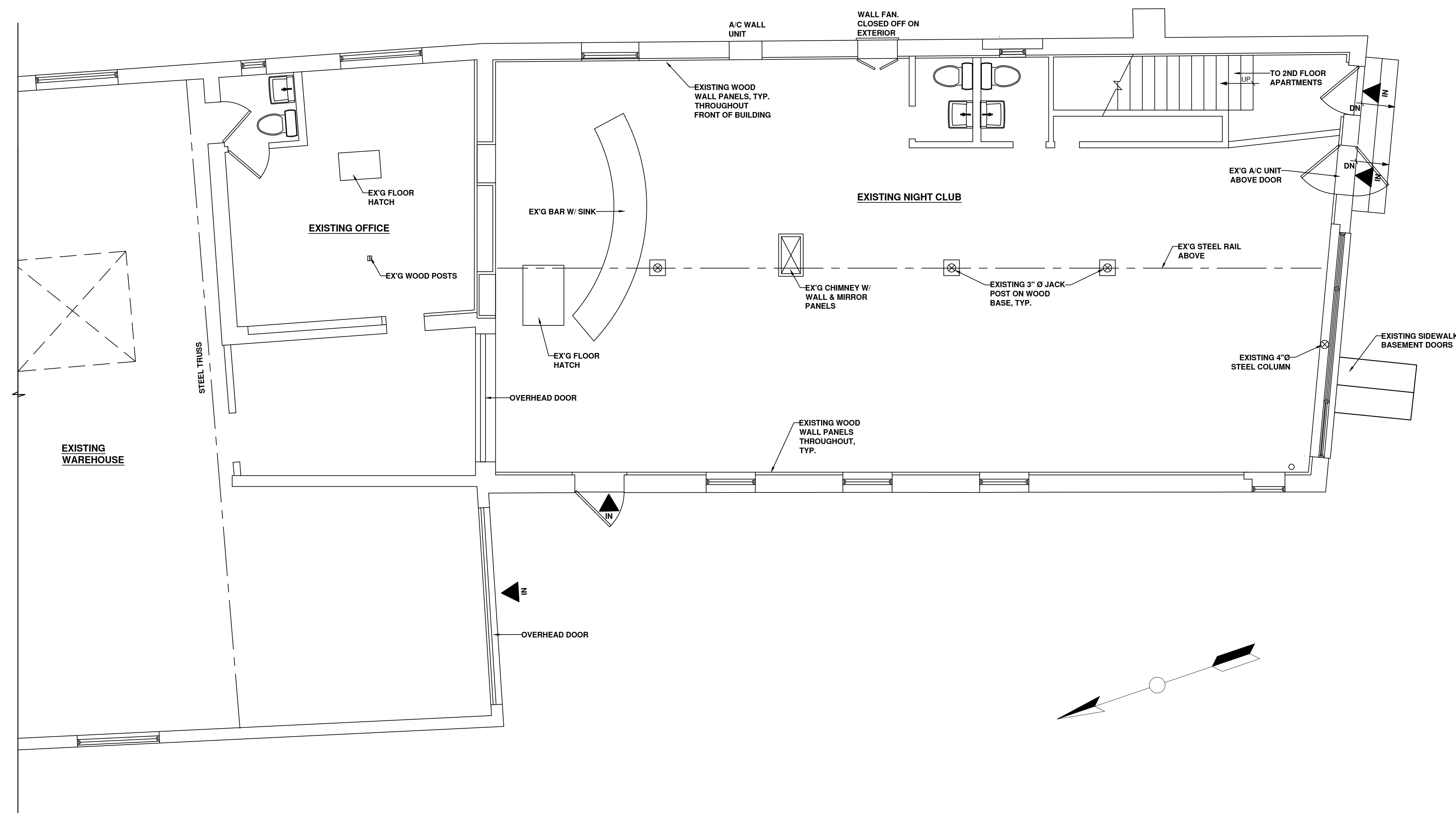
SCALE: 1/32"=1'-0"

**ABBREVIATIONS**

CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
GWB	GYPSUM WALL BOARD
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

**GENERAL NOTES**

- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.



**1 EXISTING FIRST FLOOR PART PLAN - FRONT OF BUILDING**  
Scale: 1/4" = 1'-0"

PERMIT APPLICATION 8.30.22

DRAWING TITLE  
**EXISTING FLOOR PLAN**

PROJECT NO. 2222  
DRAWN BY MCR  
SCALE AS NOTED  
DATE AUGUST 30, 2022

**A-1**

**260 MAIN STREET  
NEW RETAIL SPACE**

**DANIEL JEAN-GILLES  
260 N MAIN, LLC**

86 THIRD AVENUE  
NYACK, NY 10960

**MAREN ROBERTSON**  
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

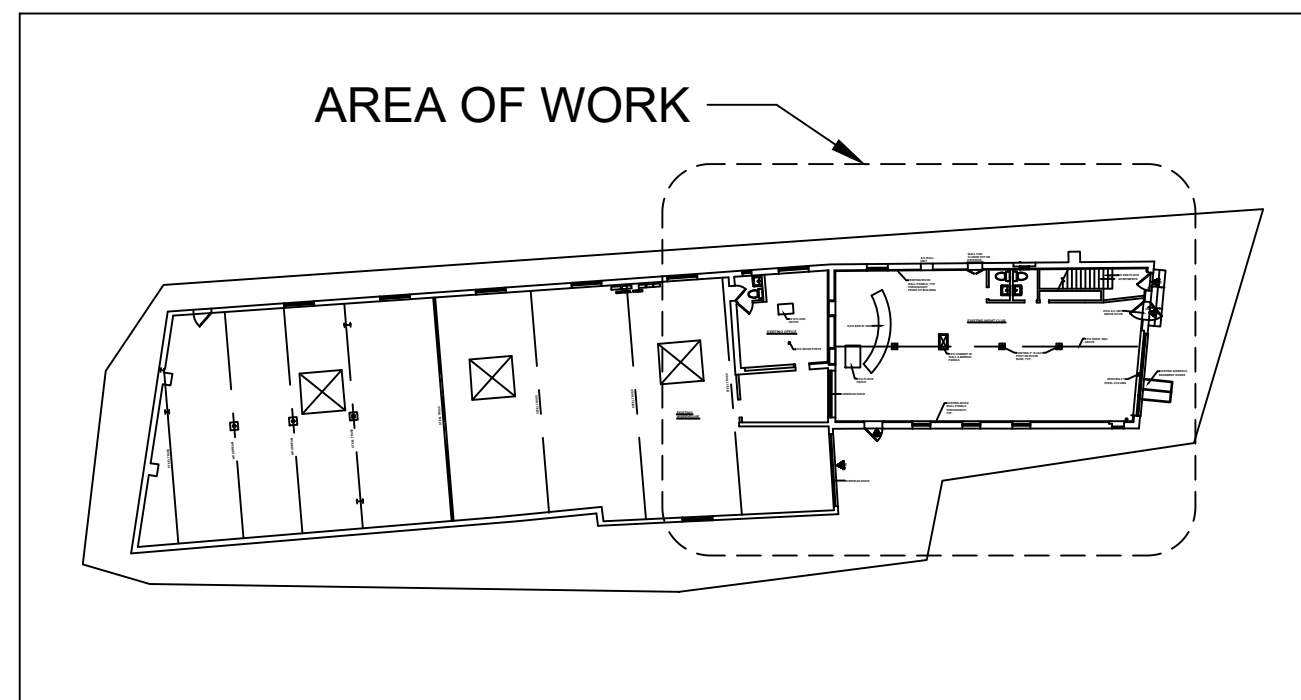
58 Washington Street  
Nyack, NY 10960  
Tel: 845-553-5525  
marenr@yahoo.com

PERMIT APPLICATION 8.30.22

DRAWING TITLE  
**DEMOLITION PLAN**

PROJECT NO. 2222  
DRAWN BY MCR  
SCALE AS NOTED  
DATE AUGUST 30, 2022

**A-2**



**KEY PLAN**

SCALE: 1/32"=1'-0"

**ABBREVIATIONS**

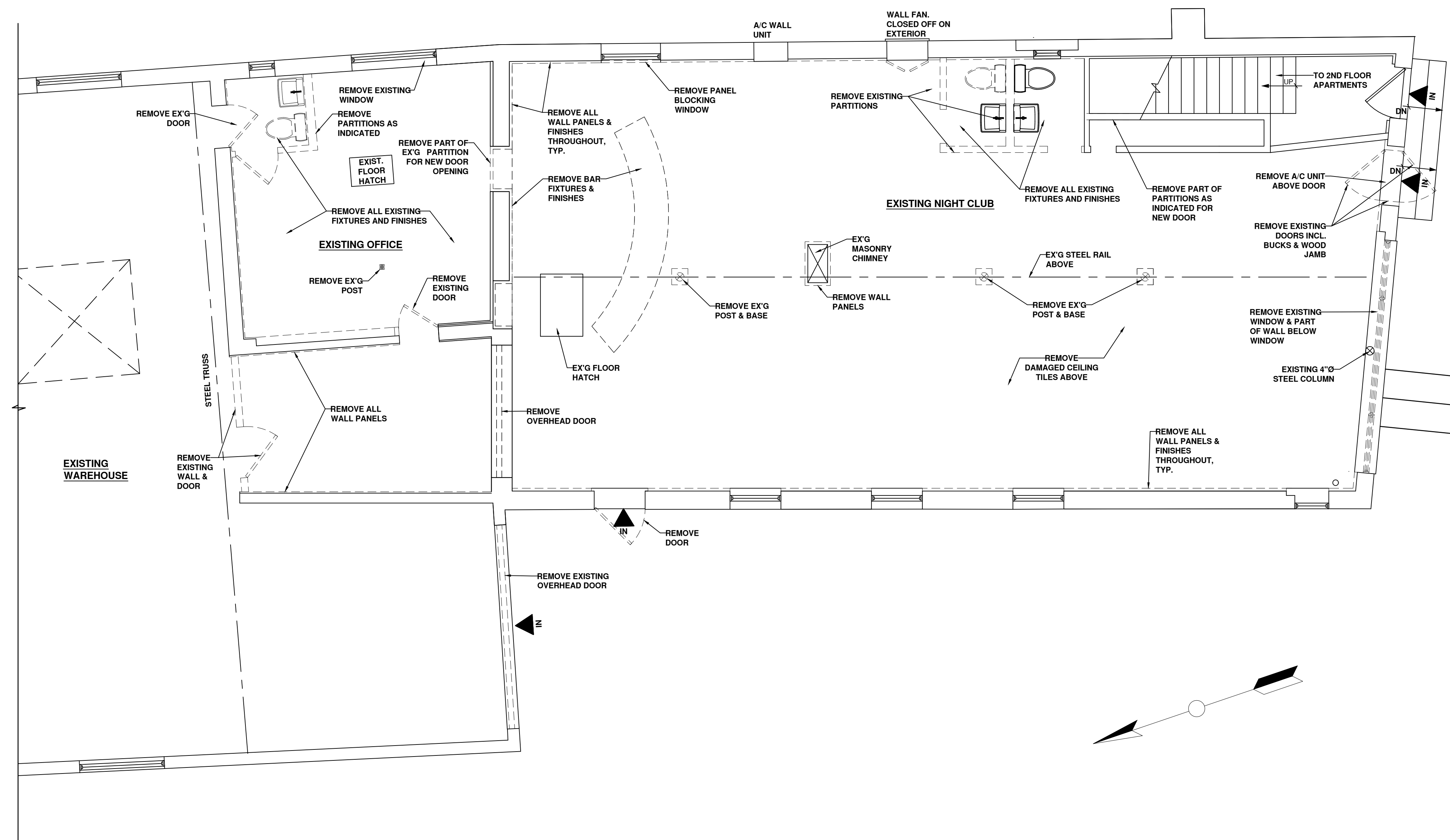
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
GWB	GYPSUM WALL BOARD
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

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**CONSTRUCTION & DEMOLITION LEGEND**

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING DECK TO BE DEMOLISHED
	NEW PARTITION
	CONCRETE
	EARTH
	GRAVEL
	PLYWOOD
	ROUGH WOOD
	BLOCKING



**1 DEMOLITION PLAN**  
Scale: 1/4" = 1'-0"

PERMIT APPLICATION 8.30.22

DRAWING TITLE  
**DEMOLITION PLAN**

PROJECT NO. 2222  
DRAWN BY MCR  
SCALE AS NOTED  
DATE AUGUST 30, 2022

**A-2**

**260 MAIN STREET  
NEW RETAIL SPACE**

**DANIEL JEAN-GILLES  
260 N MAIN, LLC**

86 THIRD AVENUE  
NYACK, NY 10960

**MAREN ROBERTSON  
ARCHITECTURE**

MAREN ROBERTSON ARCHITECT

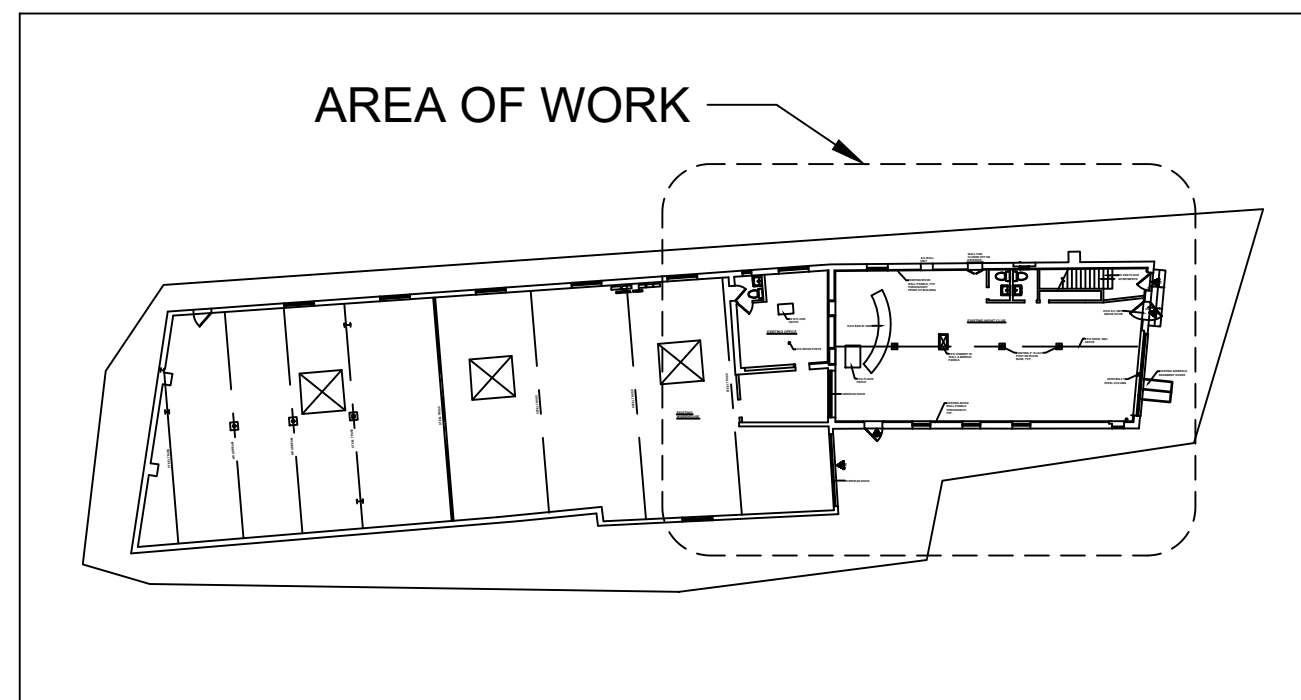
58 Washington Street  
Nyack, NY 10960  
Tel: 845-553-5525  
marencr@yahoo.com

PERMIT APPLICATION 8.30.22

DRAWING TITLE  
**PROPOSED FLOOR  
PLAN**

PROJECT NO. 2222  
DRAWN BY MCR  
SCALE AS NOTED  
DATE AUGUST 30, 2022

**A-3**



**KEY PLAN**

SCALE: 1/32"=1'-0"

**ABBREVIATIONS**

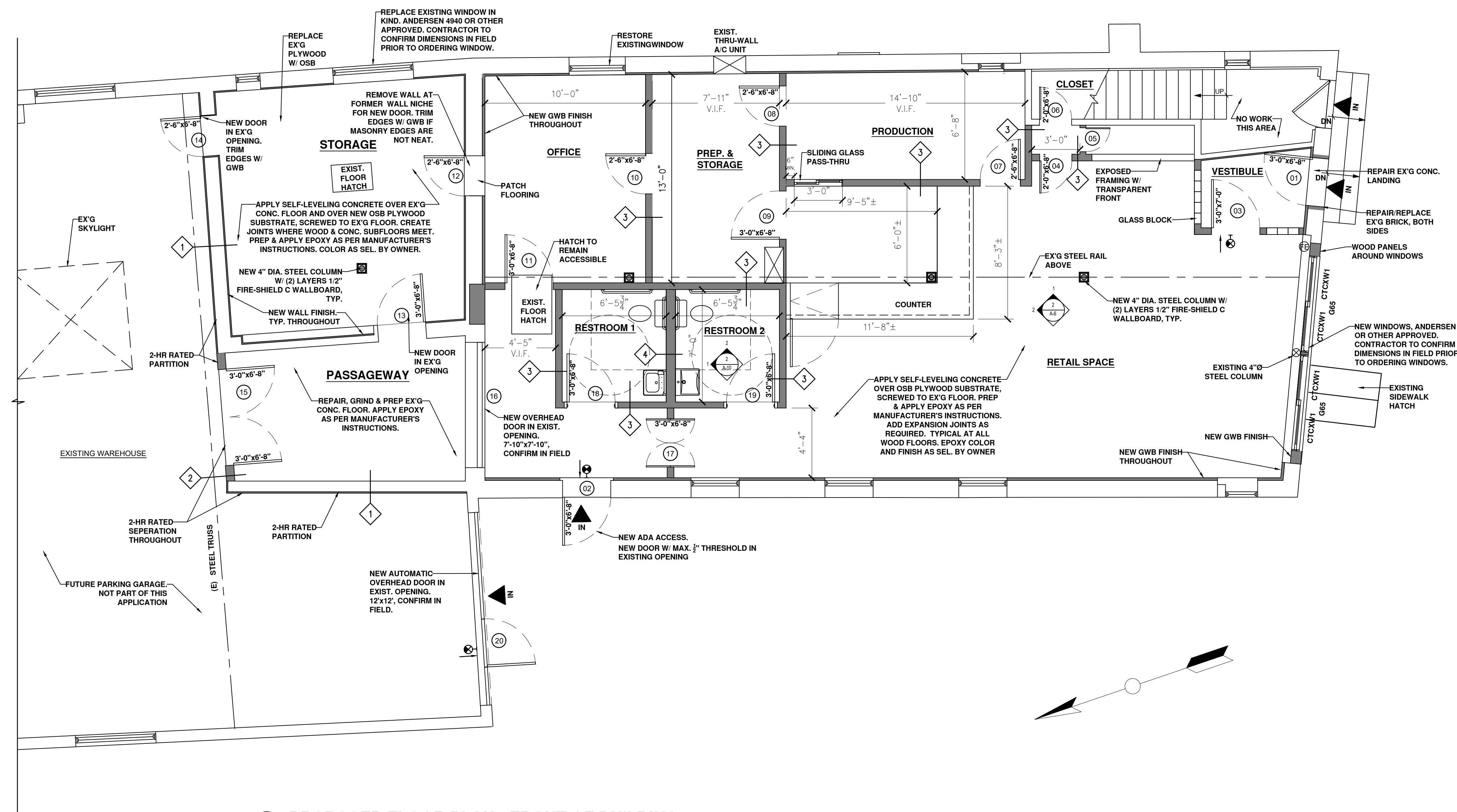
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
GWB	GYPSON WALL BOARD
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

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**CONSTRUCTION & DEMOLITION LEGEND**

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING DECK TO BE DEMOLISHED
	NEW PARTITION
	CONCRETE
	EARTH
	GRAVEL
	PLYWOOD
	ROUGH WOOD
	BLOCKING
	WALL MOUNTED EXIT SIGNAGE ILLUMINATED SURFACE DIRECTION OF TRAVEL



**1 PROPOSED FLOOR PLAN - FRONT OF BUILDING**

Scale: 1/4" = 1'-0"

PERMIT APPLICATION 8.30.22

DRAWING TITLE  
**PROPOSED FLOOR  
PLAN**

PROJECT NO. 2222  
DRAWN BY MCR  
SCALE AS NOTED  
DATE AUGUST 30, 2022

**A-3**

**260 MAIN STREET  
NEW RETAIL SPACE**

**DANIEL JEAN-GILLES  
260 N MAIN, LLC**

86 THIRD AVENUE  
NYACK, NY 10960

**MAREN ROBERTSON**  
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

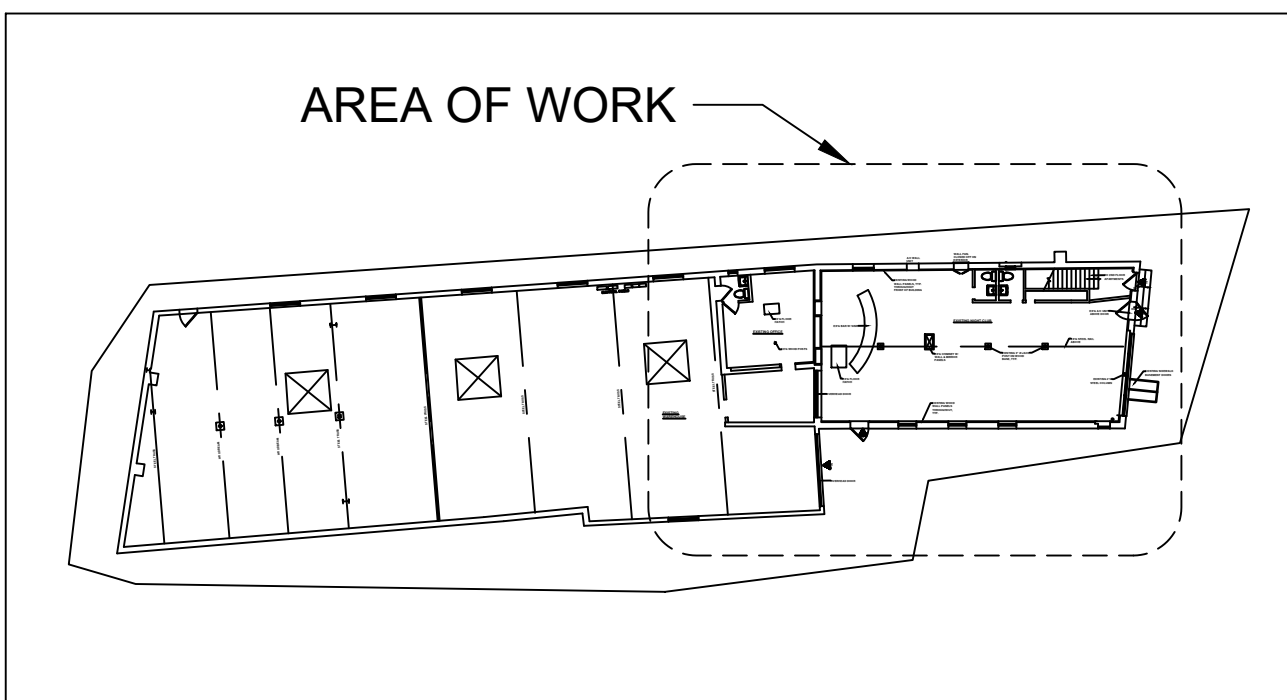
58 Washington Street  
Nyack, NY 10960  
Tel: 845-553-5525  
marenr@yahoo.com

PERMIT APPLICATION 8.30.22

DRAWING TITLE  
**ELECTRICAL PLAN**

PROJECT NO. 2222  
DRAWN BY MCR  
SCALE AS NOTED  
DATE AUGUST 30, 2022

**A-4**



**KEY PLAN**

SCALE: 1/32"=1'-0"

**ABBREVIATIONS**

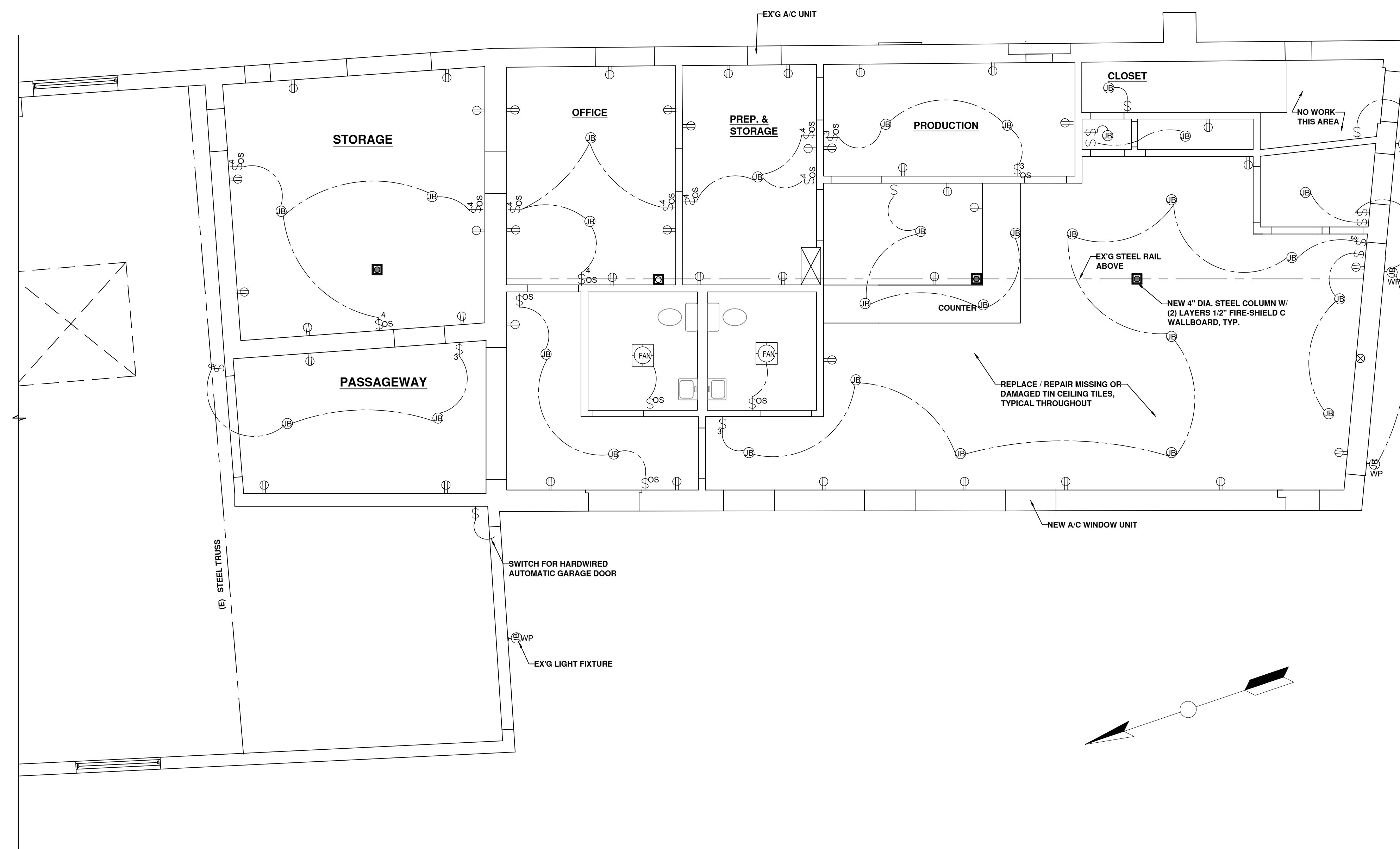
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
GWB	GYPSUM WALL BOARD
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
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**ELECTRICAL LEGEND**

	WALL SCONCE AS SEL. BY OWNER
	SURFACE LIGHT FIXTURE
	EXTERIOR GOOSENECK LIGHTS AS SEL. BY OWNER
	EXHAUST FAN W/ LIGHT
	SINGLE POLE SWITCH
	3-WAY SWITCH
	OCCUPATION SENSOR
	DUPLEX RECEPTACLE
	GROUND FAULT INTERRUPTED



**1 ELECTRICAL PLAN**

Scale: 1/4" = 1'-0"

PERMIT APPLICATION 8.30.22

DRAWING TITLE  
**ELECTRICAL PLAN**

PROJECT NO. 2222  
DRAWN BY MCR  
SCALE AS NOTED  
DATE AUGUST 30, 2022

**A-4**

**260 MAIN STREET  
NEW RETAIL SPACE**

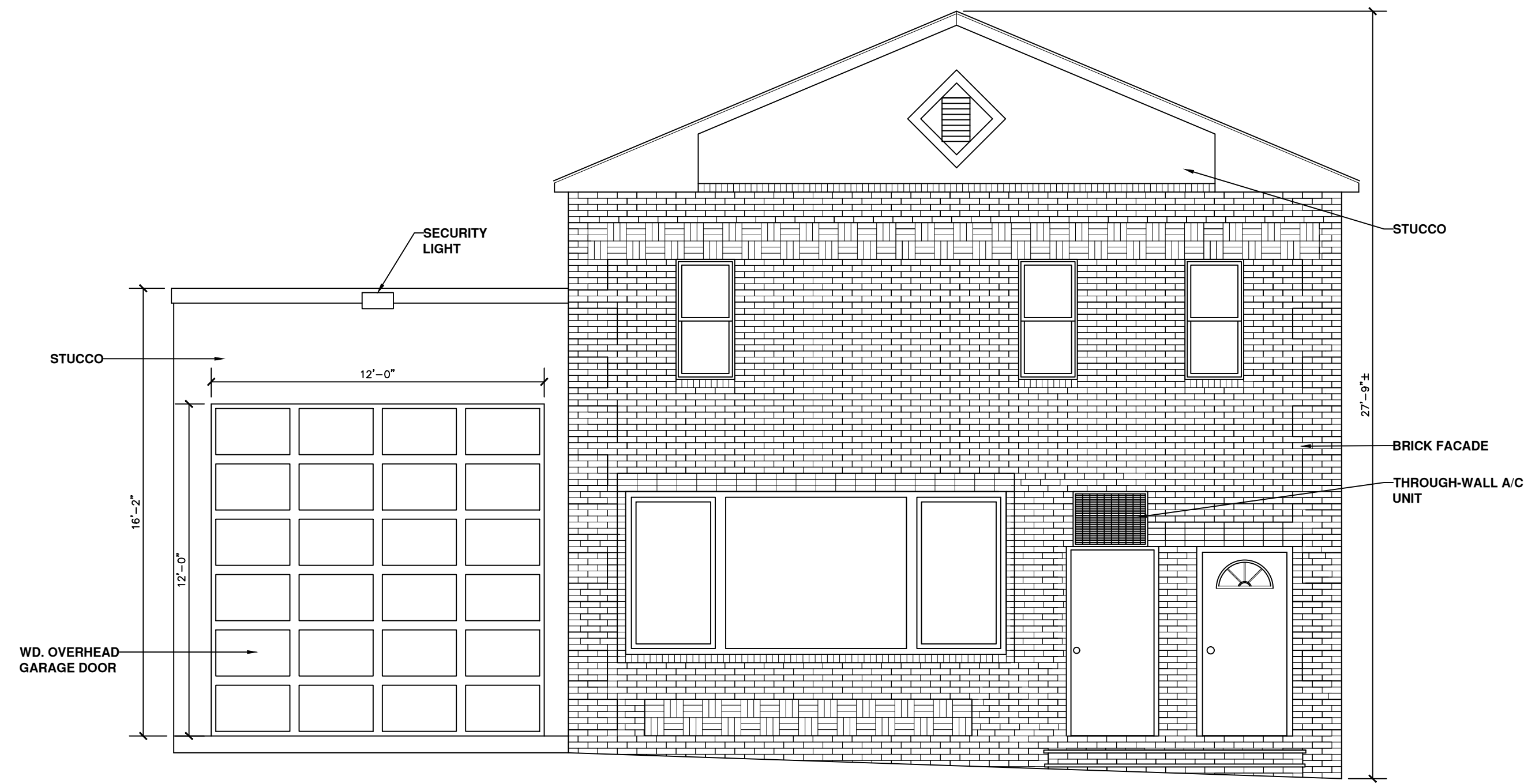
**DANIEL JEAN-GILLES  
260 N MAIN, LLC**

86 THIRD AVENUE  
NYACK, NY 10960

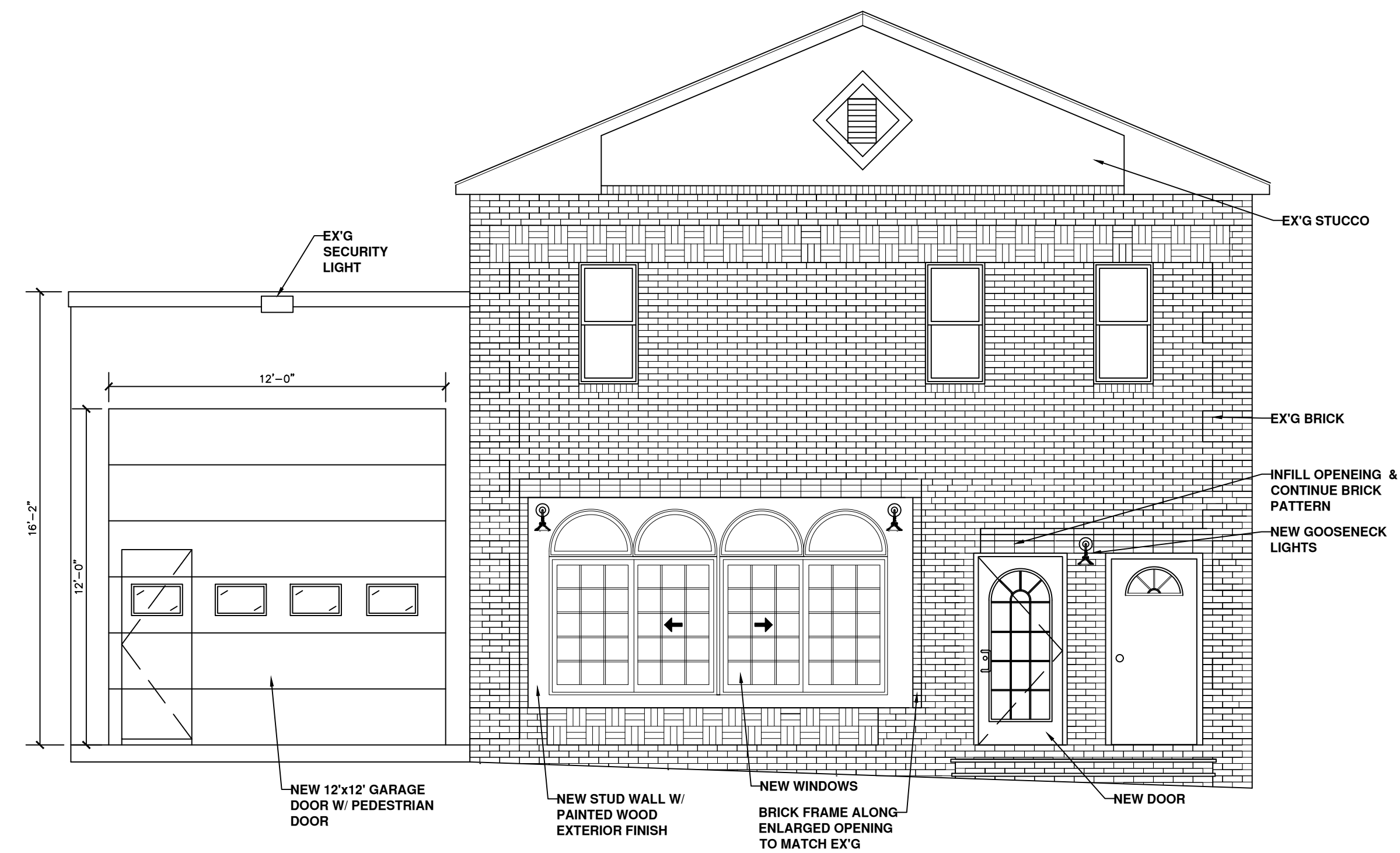
**MAREN ROBERTSON  
ARCHITECTURE**

MAREN ROBERTSON ARCHITECT

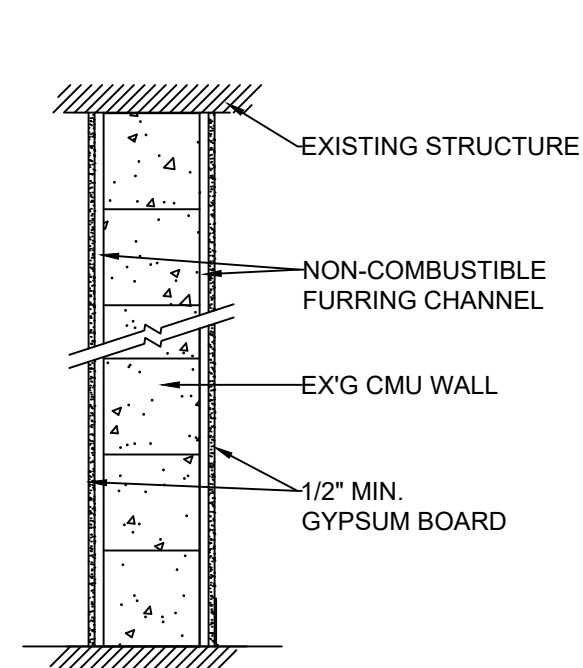
58 Washington Street  
Nyack, NY 10960  
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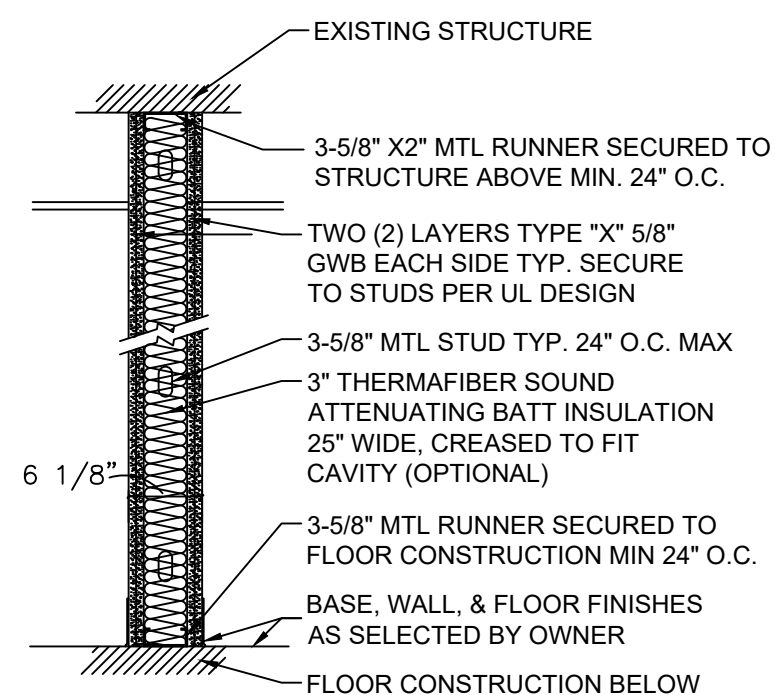
**1 EXISTING FRONT ELEVATION**  
Scale: 1/4" = 1'-0"



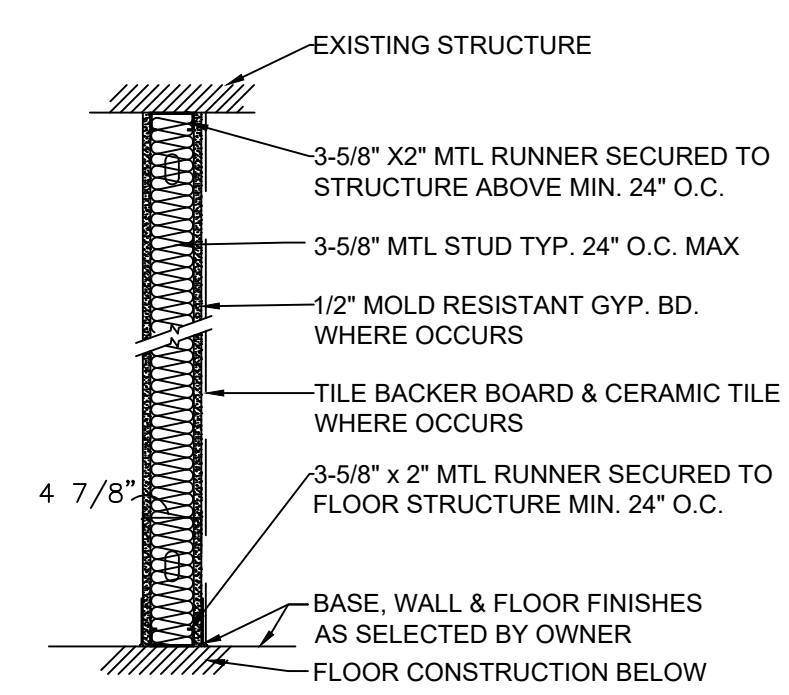
**2 PROPOSED FRONT ELEVATION**  
Scale: 1/4" = 1'-0"



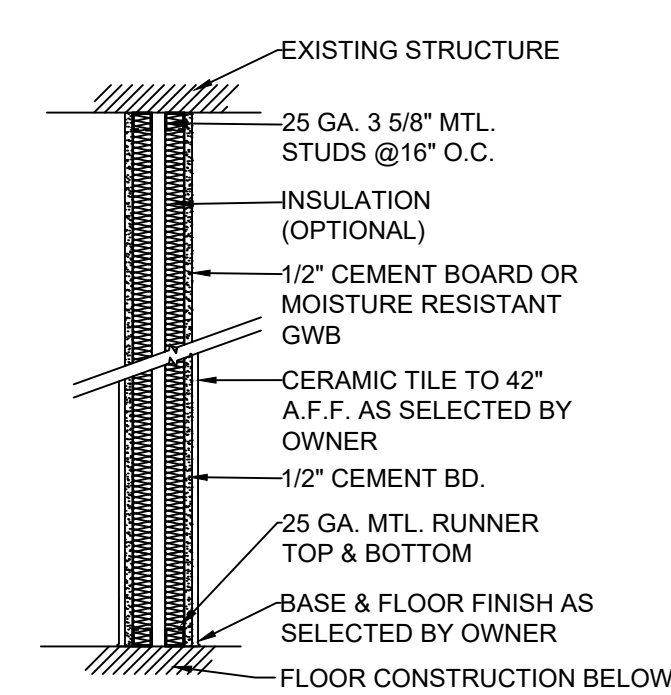
**1 2HR PARTITION**  
SCALE: 3/4" = 1'-0"



**2 2HR PARTITION UL No. U411**  
SCALE: 3/4" = 1'-0"  
NOTE: RE: UL DIRECTORY FOR COMPLETE INFORMATION, CONSTRUCT PER UL INSTRUCTIONS / GUIDELINES.



**3 MTL STUD PARTITION NON-RATED**  
SCALE: 3/4" = 1'-0"



**4 PLUMBING WALL**  
SCALE: 3/4" = 1'-0"

**3 WALL TYPES**  
Scale: 3/4" = 1'-0"

PERMIT APPLICATION 8.30.22

DRAWING TITLE  
**FRONT ELEVATION &  
WALL TYPES**

PROJECT NO. 2222  
DRAWN BY MCR  
SCALE AS NOTED  
DATE AUGUST 30, 2022

**A-5**