



BULK TABLE	
OWNER OF RECORD	DANIEL JEAN-GILLES
PROPERTY ADDRESS	260 MAIN STREET
TAX LOT SECTION 65.36-2-21	
ZONE	DMU-2
ZONE	DIVIO-2

	REQUIRED	EXISTING	PROPOSED	NET CHANGE	
MIN. LOT AREA SF	-	7,195 SF	7,195 SF	NO CHANGE	
MIN. LOT WIDTH FT	-	41 FT	41 FT	NO CHANGE	
MIN. STREET FRONTAGE FT	25	44.98	44.98	NO CHANGE	
MIN. LOT DEPTH FT	-	-	-	NO CHANGE	
MIN. FRONT SETBACK FT	5(p)	4.3	4.3	NO CHANGE	
MIN. SIDE SETBACK (ONE) FT	(F)(K)	1.7	1.7	NO CHANGE	
MIN. SIDE SETBACK (BOTH) FT	(F)(K)	1.7	1.7	NO CHANGE	
MIN. REAR SETBACK FT	(G)(K)	0.3	0.3	NO CHANGE	
BUILDING HEIGHT (STORIES)	3	2	2	NO CHANGE	
BUILDING HEIGHT (FEET)	40FT	24'-8"	24'-8"	NO CHANGE	
MAX. BUILDING LENGTH FT	-	-	-	NO CHANGE	
MAX. FLOOR AREA RATIO	2.0	1.08	1.08	NO CHANGE	
MIN. OPEN USABLE SPACE (PER D.U.)	-	-	-	NO CHANGE	
MAX. DENSITY (DU/ACRE)	50	18.75	18.75	NO CHANGE	
MIN. DWELLING UNIT SIZE SFT	600 SF	400 SF	400 SF	NO CHANGE	
ACCESSORY BUILDINGS	NO ACCESSORY BUILDINGS				

(F) NONE REQUIRED, BUT IF PROVIDED A MINIMUM OF FIVE FEET IS REQUIRED.
(G) A REAR YARD IS NOT REQUIRED FOR THE FIRST STORY OR 17 FEET, WHICHEVER IS LESS, BUT THERE SHALL BE A FIFTEEN-FOOT MINIMUM UNDER OTHER CONDITIONS.

MINIMUM UNDER OTHER CONDITIONS.

(K) SIDE AND REAR YARDS THAT ARE ADJACENT TO RESIDENTIAL ZONES MUST HAVE A MINIMUM SETBACKS OF 15 FEET INCLUDING A LANDSCAPED BUFFER.

A LANDSCAPED BUFFER.
(P) IN ALL CASES THE BUILDING MUST BE SET BACK AT LEAST 10 FEET FROM THE CURBLINE.

#### **BUILDING CODE INFORMATION**

ALL CONSTRUCTION SHALL COMPLY WITH

- 2020 BUILDING CODE OF NEW YORK STATE
- 2017 NATIONAL ELECTRICAL CODE
   2020 ENERGY CONSERVATION CONSTRUCTION CODE AND
- STRETCH CODE OF NEW YORK STATE
- 2020 FUEL GAS CODE OF NEW YORK STATE
- 2020 MECHANICAL CODE OF NEW YORK STATE
- 2020 PLUMBING CODE OF NEW YORK STATE

SMOKE AND CARBON MONOXIDE PROTECTION
COMPLY WITH IBC

#### **ENERGY & BUILDING CODE COMPLIANCE**

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED REGISTERED ARCHITECT THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AS CURRENTLY IN EFFECT.

TAX MAP SECTION 65.36 BLOCK 2 LOT 21 VILLAGE OF NYACK

THE INFORMATION ON THIS DRAWING WAS TAKEN FROM A SURVEY FOR:

DANIEL JEAN-GILLES

DATED JANUARY 3, 2018

JAY A.GREENWELL, PLS SURVEYING - LAND PLANNING 85 LAFAYETTE AVENUE SUFFERN, NY 10901 PHONE: 845-357-0830

ZONE: DMU-2

EXISTING USE FIRST FLOOR: A-2 SECOND FLOOR: R-2 REAR: U

PROPOSED USE
FIRST FLOOR: M
SECOND FLOOR: R-2 (NO WORK THIS AREA)
REAR: S-2 & U (STORAGE & FUTURE TENANT PARKING, NOT PART OF THIS APPLICATION)

SEPARATION OF OCCUPANCIES
GROUP M AND GROUP R: 2-HR W/O SPRINKLERS, 1-HR W/ SPRINKLERS
GROUP M AND GROUP S/U: 2-HR W/O SPRINKLERS, 1-HR W/ SPRINKLERS

TYPE OF CONSTRUCTION FRONT: TYPE III REAR: TYPE III-B

# 260 MAIN STREET NEW RETAIL SPACE

### DANIEL JEAN-GILLES 260 N MAIN, LLC

86 THIRD AVENUE NYACK, NY 10960

## MAREN ROBERTSON

ARCHITECTURE

MAREN ROBERTSON ARCHITECT

58 Washington Street Nyack, NY 10960 Tel: 845-553-5525 marencr@yahoo.com

PERMIT APPLICATION

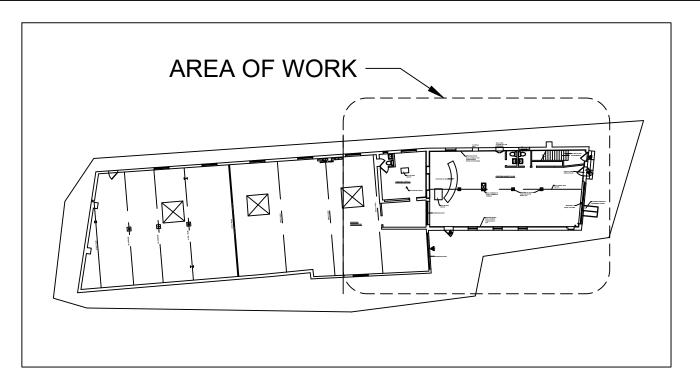
SITE PLAN
VICINITY PLAN

PROJECT NO. 2222
DRAWN BY

SCALE AS NOTE

DATE AUGUST 30, 2022 **A-0** 

8.30.22



SCALE: 1/32"=1'-0"

#### **ABBREVIATIONS**

CONC. DET. EQ. CONCRETE DETECTOR **EQUAL** EX'G **EXISTING** EXIST. **EXISTING** GWB MANUF. GYPSUM WALL BOARD MANUFACTURER

MAX. MAXIMUM MIN. MINIMUM PREP. REQ. SEL. PREPARE REQUIRED SELECTED TYP. TYPICAL WD. WOOD

#### **GENERAL NOTES**

- 1. DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
- 2. ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
- 3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.

### **260 MAIN STREET NEW RETAIL SPACE**

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TO 2ND FLOOR
APARTMENTS EXISTING WOOD WALL PANELS, TYP. THROUGHOUT FRONT OF BUILDING EX'G A/C UNIT— ABOVE DOOR EX'G FLOOR **EXISTING NIGHT CLUB** EX'G BAR W/ SINK **EXISTING OFFICE** EX'G STEEL RAIL EX'G WOOD POSTS EX'G CHIMNEY W/ WALL & MIRROR PANELS POST ON WOOD BASE, TYP. EXISTING SIDEWALK EX'G FLOOR EXISTING 4"Ø— STEEL COLUMN OVERHEAD DOOR EXISTING WOOD WALL PANELS THROUGHOUT, TYP. EXISTING WAREHOUSE OVERHEAD DOOR

A/C WALL UNIT

WALL FAN. CLOSED OFF ON

**EXTERIOR** 

EXISTING FIRST FLOOR PART PLAN - FRONT OF BUILDING

Scale: 1/4" = 1'-0"

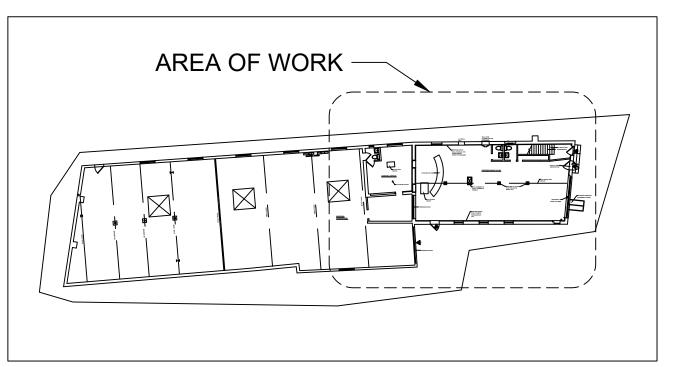
DRAWING TITLE **EXISTING FLOOR PLAN** 

8.30.22

PROJECT NO. DRAWN BY

PERMIT APPLICATION

DATE AUGUST 30, 2022



SCALE: 1/32"=1'-0"

#### **ABBREVIATIONS**

CONC. CONCRETE DETECTOR **EQUAL EXISTING** EX'G **EXISTING** EXIST.

GYPSUM WALL BOARD GWB MANUF. MANUFACTURER MAX. MAXIMUM MIN. MINIMUM PREPARE REQ. REQUIRED SEL. SELECTED TYP. WD. TYPICAL WOOD

WALL FAN. **CLOSED OFF ON EXTERIOR** 

#### **GENERAL NOTES**

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**CONSTRUCTION & DEMOLITION LEGEND** 

EXISTING TO REMAIN

— — EXISTING TO BE \_\_ \_\_ REMOVED

**NEW PARTITION** 

CONCRETE

EARTH

GRAVEL PLYWOOD

ROUGH WOOD

BLOCKING

## **260 MAIN STREET NEW RETAIL SPACE**

### DANIEL JEAN-GILLES 260 N MAIN, LLC

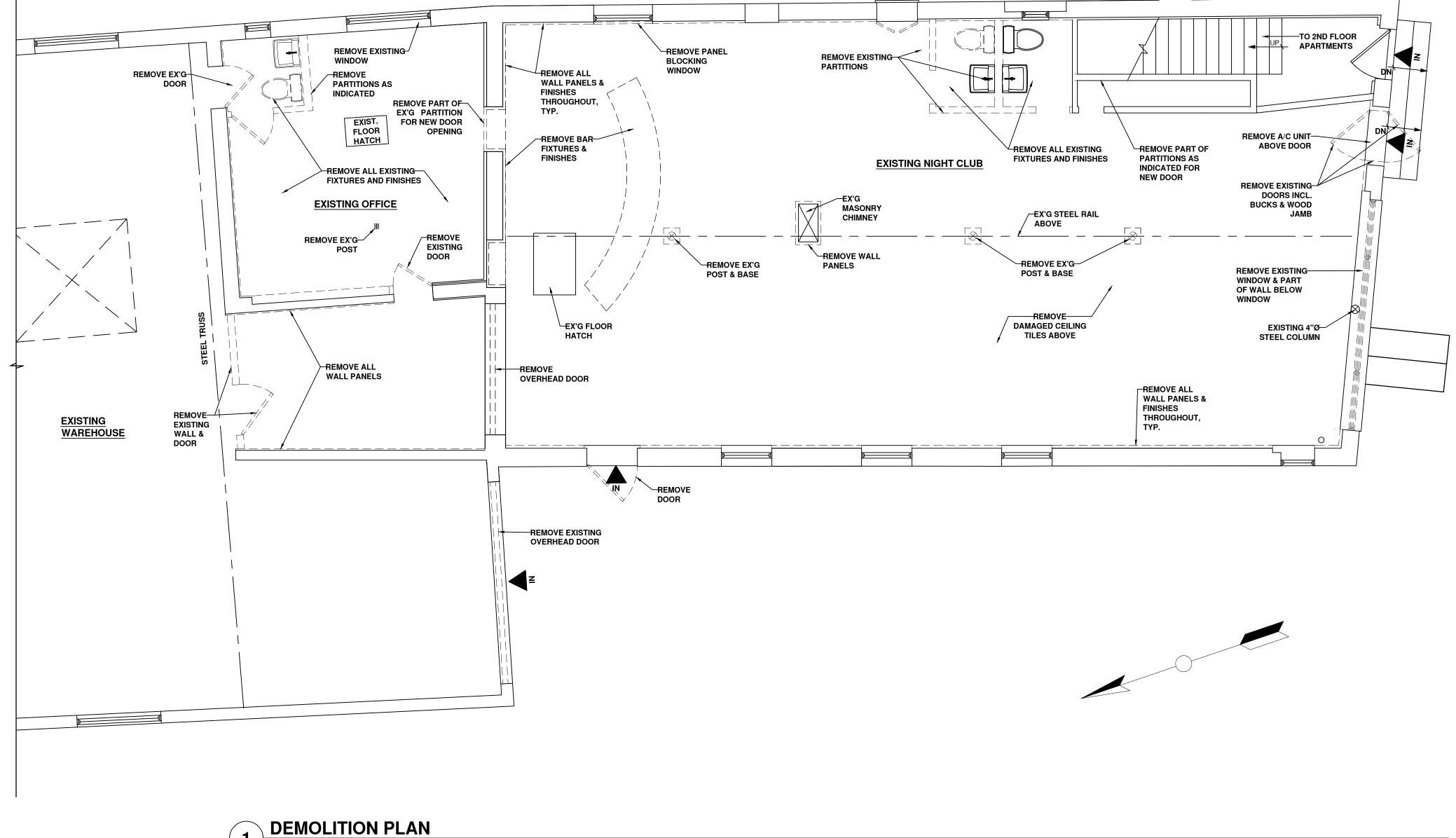
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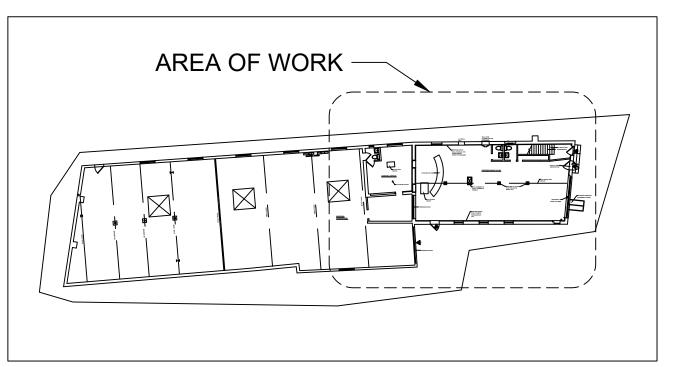
PERMIT APPLICATION

DRAWING TITLE **DEMOLITION PLAN** 

8.30.22

PROJECT NO. 2222 DRAWN BY

DATE AUGUST 30, 2022



SCALE: 1/32"=1'-0"

#### **ABBREVIATIONS**

CONC. CONCRETE DETECTOR **EQUAL EXISTING** EX'G EXIST. **EXISTING** 

GYPSUM WALL BOARD

GWB MANUF. MANUFACTURER MAX. MAXIMUM MIN. MINIMUM **PREPARE** REQ. **REQUIRED** SEL. SELECTED TYP. WD. TYPICAL WOOD

#### **GENERAL NOTES**

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- 2. ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A LOCAL BUILDING DEPARTMENT.
- 3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR

- BUILDING PERMIT HAS BEEN ISSUED BY THE
- IMMEDIATELY UPON DISCOVERY.

### **260 MAIN STREET NEW RETAIL SPACE CONSTRUCTION & DEMOLITION LEGEND** EXISTING TO REMAIN — — EXISTING TO BE

\_\_ \_\_ REMOVED

CONCRETE

EARTH

GRAVEL

PLYWOOD

ROUGH WOOD

DIRECTION OF TRAVEL

BLOCKING

EXISTING DECK TO BE DEMOLISHED

WALL MOUNTED EXIT SIGNAGE
ILLUMINATED SURFACE

**NEW PARTITION** 

### DANIEL JEAN-GILLES 260 N MAIN, LLC

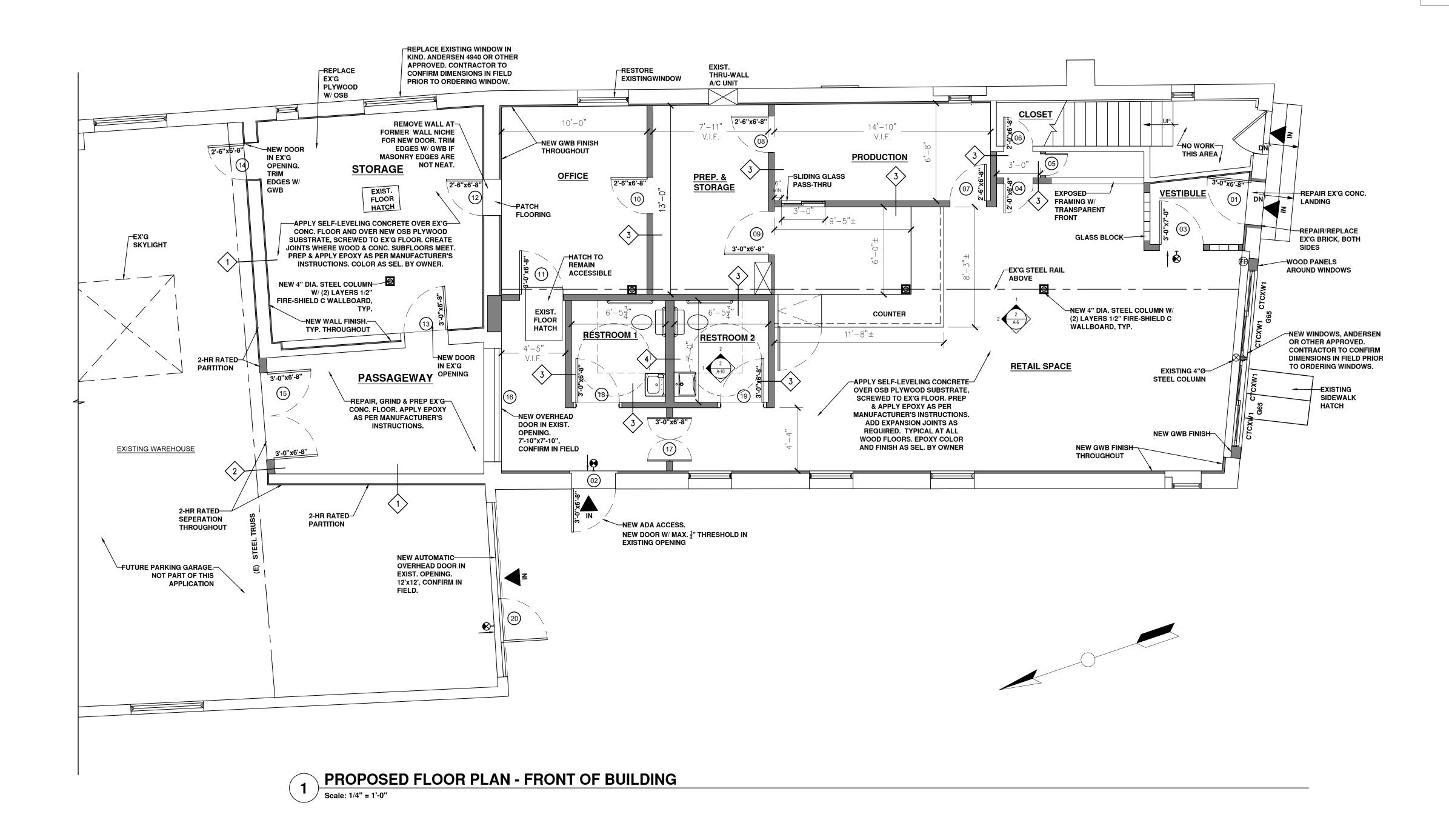
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PERMIT APPLICATION

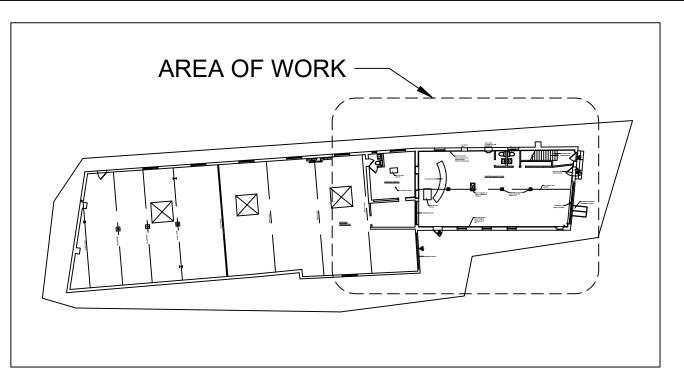
8.30.22

DRAWING TITLE PROPOSED FLOOR **PLAN** 

PROJECT NO. 2222 DRAWN BY

SCALE

AUGUST 30, 2022



SCALE: 1/32"=1'-0"

#### **ABBREVIATIONS**

CONC. CONCRETE DET. DETECTOR EQ. EQUAL EX'G EXISTING EXISTING

**GWB** GYPSUM WALL BOARD MANUF. MANUFACTURER MAX. MAXIMUM MIN. MINIMUM PREPARE REQ. REQUIRED SEL. SELECTED TYP. WD. TYPICAL WOOD

#### **GENERAL NOTES**

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### ELECTRICAL LEGEND

JB WALL SCONCE AS SEL. BY OWNER

SURFACE LIGHT FIXTURE

EXTERIOR GOOSENECK LIGHTS

WP AS SEL. BY OWNER

FAN EXHAUST FAN W/ LIGHT

← SINGLE POLE SWITCH

↔ 3-WAY SWITCH

OCCUPATION SENSOR

DUPLEX RECEPTACLE

GROUND FAULT GFCI INTERRUPTED

# 260 MAIN STREET NEW RETAIL SPACE

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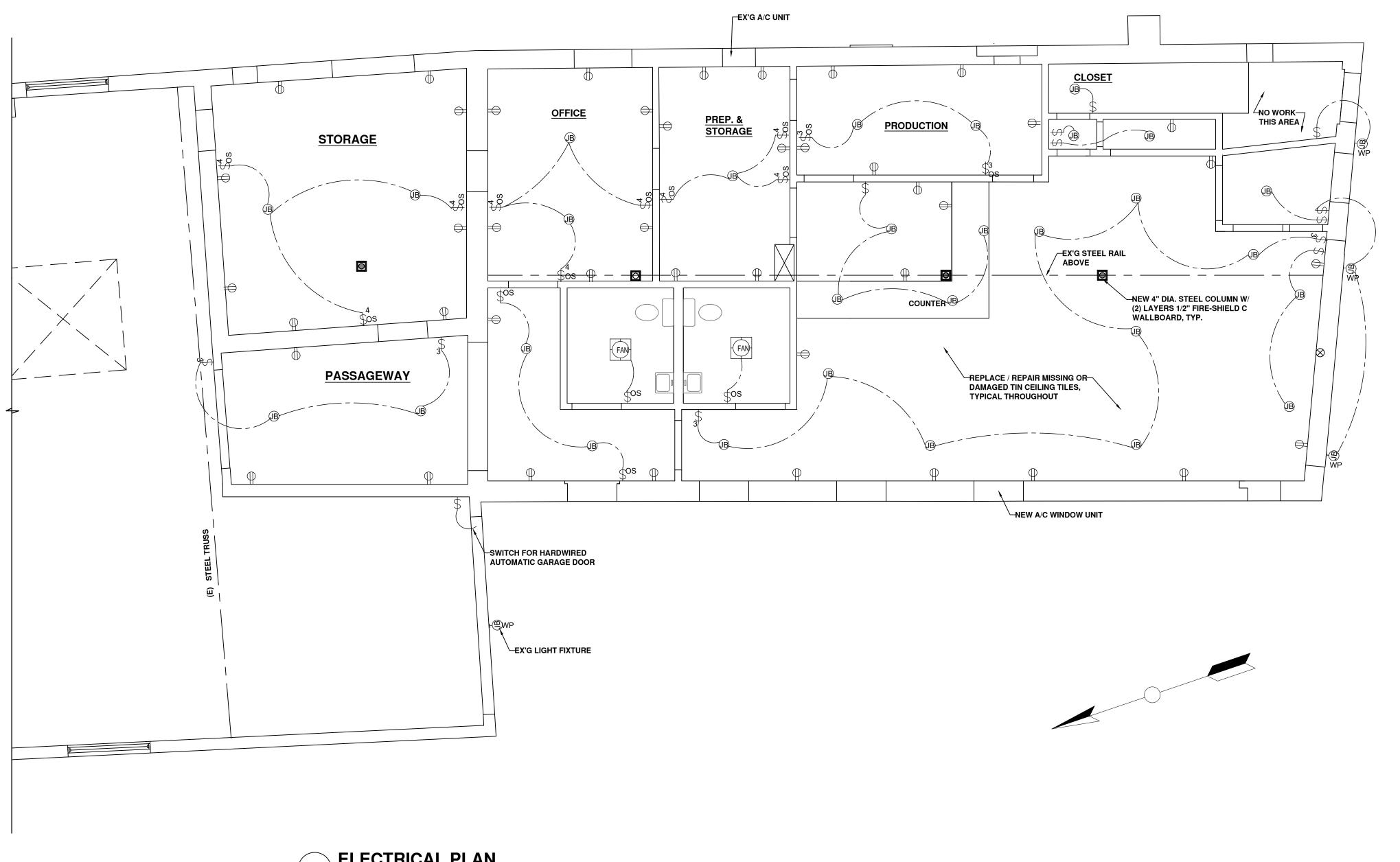
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1 ELECTRICAL PLAN
Scale: 1/4" = 1'-0"

PERMIT APPLICATION

8.30.22

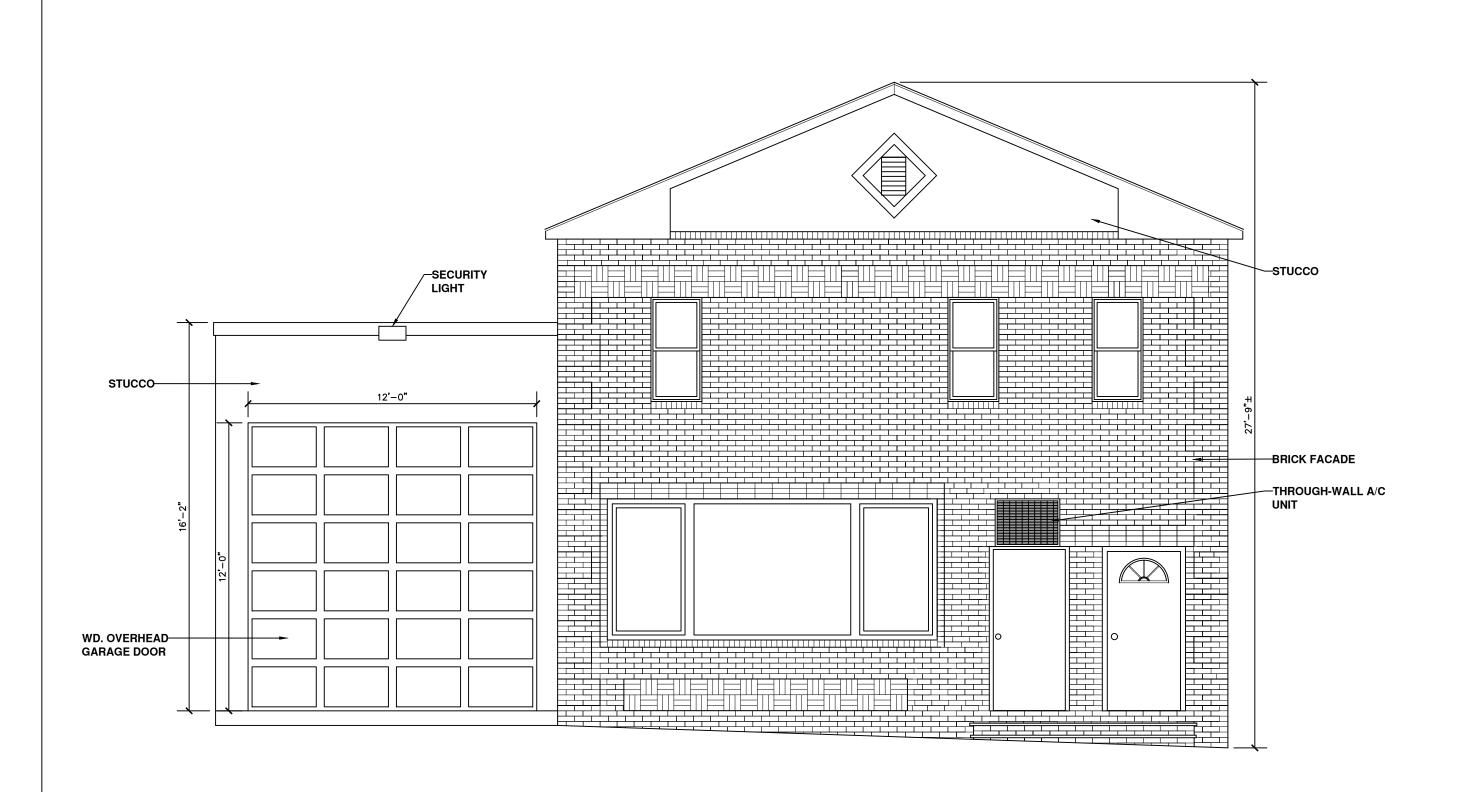
ELECTRICAL PLAN

PROJECT NO. 2222
DRAWN BY

SCALE

DATE AUGUST 30, 2022

AS NOTED



**EXISTING FRONT ELEVATION** 

Scale: 1/4" = 1'-0"

EX'G STUCCO EX'G SECURITY LIGHT INFILL OPENEING & CONTINUE BRICK PATTERN NEW 12'x12' GARAGE DOOR W/ PEDESTRIAN NEW STUD WALL W/ NEW DOOR BRICK FRAME ALONG-ENLARGED OPENING **PAINTED WOOD EXTERIOR FINISH** 

PROPOSED FRONT ELEVATION 2 | PROPUSE | Scale: 1/4" = 1'-0"

#### -EXISTING STRUCTURE EXISTING STRUCTURE EXISTING STRUCTURE –25 GA. 3 5/8" MTL. EXISTING STRUCTURE — 3-5/8" X2" MTL RUNNER SECURED TO STUDS @16" O.C. ~3-5/8" X2" MTL RUNNER SECURED TO STRUCTURE ABOVE MIN. 24" O.C. STRUCTURE ABOVE MIN. 24" O.C. -INSULATION (OPTIONAL) TWO (2) LAYERS TYPE "X" 5/8" - 3-5/8" MTL STUD TYP. 24" O.C. MAX GWB EACH SIDE TYP. SECURE ·· NON-COMBUSTIBLE —1/2" CEMENT BOARD OR TO STUDS PER UL DESIGN FURRING CHANNEL MOISTURE RESISTANT —1/2" MOLD RESISTANT GYP. BD. WHERE OCCURS -3-5/8" MTL STUD TYP. 24" O.C. MAX —CERAMIC TILE TO 42" −3" THERMAFIBER SOUND EX'G CMU WALL —TILE BACKER BOARD & CERAMIC TILE A.F.F. AS SELECTED BY ATTENUATING BATT INSULATION WHERE OCCURS 25" WIDE, CREASED TO FIT OWNER /3-5/8" x 2" MTL RUNNER SECURED TO FLOOR STRUCTURE MIN. 24" O.C. 6 1/8" CAVITY (OPTIONAL) -1/2" CEMENT BD. GYPSUM BOARD / 3-5/8" MTL RUNNER SECURED TO ∕25 GA. MTL. RUNNER FLOOR CONSTRUCTION MIN 24" O.C. TOP & BOTTOM BASE & FLOOR FINISH AS SELECTED BY OWNER BASE, WALL, & FLOOR FINISHES —BASE, WALL & FLOOR FINISHES AS SELECTED BY OWNER AS SELECTED BY OWNER FLOOR CONSTRUCTION BELOW FLOOR CONSTRUCTION BELOW FLOOR CONSTRUCTION BELOW 2HR PARTITION MTL STUD PARTITION NON-RATED PLUMBING WALL 2HR PARTITION UL No. U411 SCALE: 3/4" = 1'-0" SCALE: 3/4" = 1'-0" SCALE: 3/4" = 1'-0" NOTE: RE: UL DIRECTORY FOR COMPLETE INFORMATION, CONSTRUCT PER UL INSTRUCTIONS / GUIDELINES.

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PERMIT APPLICATION

DRAWING TITLE FRONT ELEVATION & **WALL TYPES** 

8.30.22

PROJECT NO. 2222 DRAWN BY

SCALE

AUGUST 30, 2022

