



Form and payment must be received before the first day of the month prior to the month in which the Applicant wishes to be heard by the Board. After form and payment are received, Town Staff will contact you to arrange a meeting date.

Applicant Information

Name of Requestor: Seagate 15 LLC		Date of Request:
Mailing Address (City, State, Zip) 6016 Roseland Dr		
Phone: 202-257-2498	Email:	
Dewey Beach Address: 15 Chicago		
Property Map: 20.14	Parcel: 282.00	Unit:

Nature of Request

Zoning District of Property: PR	Your Interest in the Property:
Municipal Code Reference:	
<p>Special Exception</p> <p>Variance</p> <p>TO BE CONSTRUCTED/PLACED IN 20 FOOT SETBACK: First floor screen porch construction, second story deck construction, placement of hot tub</p> <p>Appeal of Decision of Town Building Official</p> <p>Special Yard Exception</p>	
Attach Supporting Documents (Request Description, Reason, etc)	Attach Plot Plan/Sketches:

Handwritten signature and date:
11/17/2023



Town of Dewey Beach
Town Hall

Board of Adjustment Hearing Request Form - 2

Payment Information

Board of Adjustment Application Fee:

500

USD

paid via check 1054

Applicant Signature

Date:

STAFF USE ONLY

Town Clerk Signature:

Michelle Bausch

Date Application Received:

10/4/2023

Decision of the Board:

Case Number:

CONSTRUCTION NOTES :

A. General

- These drawings not to be scaled, follow dimensions. All dimensions to be verified in the field prior to construction, if discrepancies occur, contact Hastings Associates LLC.
- These plans are of typical details. All work must meet the international one- and two-family residential code 2012, 2009 I.E.C.C., and/or any local codes that apply, per section R105.B, it shall be the duty of every person who performs work for the installation or repair of building, structure, electrical, gas, mechanical or plumbing systems for which this code is applicable, to comply with this code.
- Design criteria per section R301 use group R-4 - type 5B

roof live load (psf)	SEE ENG. NOTES
roof snow load (psf)	SEE ENG. NOTES
floor (live load)	
living (psf)	SEE ENG. NOTES
sleeping (psf)	SEE ENG. NOTES
deck (psf)	SEE ENG. NOTES
wind speed (MPH)	SEE ENG. NOTES
seismic condition by zone	0
subject to damage from:	
weathering	severe
decay	yes
winter design temp. for heating facilities	15
radon-resistant construction	no
- The contractor shall verify all existing conditions and dimensions before starting work. Notify foreman of any discrepancies or conditions requiring details other than those shown prior to starting work or ordering materials.
- Windows & door units have been called out by nomenclature. Contractor and/or salesperson to verify all window and door rough openings prior to placing order. In the event of questions or mis-alignment of units, contact designer prior to commencement of construction. If error occurs with units after ordering, designer will not be responsible. Windows and doors to be installed per manufacturer's installation requirements.
- Windows noted on plans are Anderson 400 TLTWASH units.
- Provide 50 cfm exhaust fans in windowless restrooms per R303.4.
- All hazardous locations to have safety glazing to meet R308.4.
- Attached garages to be constructed per R309.
- All egress exits to meet sections R311.
- All landings, stairways and handrails per R312. R312.6.3 Handrail grip size. The handgrip portion of handrails with a circular cross section shall have a diameter of 1 1/4 inches minimum to 2 inches maximum. Other handrail shapes that provide an equivalent grasping surface are permissible. Edges shall have a minimum radius of 1/8 inch.
- Smoke detectors to be installed per section R314.1.
- Contractor to provide flood venting where required by local building and FEMA codes when enclosed area is below base flood elevation. Contractor to defer to Smart Vent for proper installation, "200 sq. ft. per 1 sq. ft. of enclosed area". Installation per manufacturer's warranted instructions.
- All plumbing, HVAC, equipment & electrical equipment to meet base flood elevation requirements.

B. Carpentry

- Minimum nailing shall conform to table 602.3, unless greater nailing is noted on drawings. Stagger nailing and/or bolting as required to prevent splitting wood members. replace any split members.
- All lumber used as structural framing shall be spt no.1, no.2 or better, having an Fb>275 psi as defined in the latest edition of "national design specification" published by American Forest & Paper Association. LVL members shall have a modulus of elasticity not less than 1,800,000 psi or greater as noted on drawings.
- All exterior steel bolts, straps & clips shall be hot dipped galvanized.
- The contractor shall provide nailing, bolting, framing clips & hangers necessary to erect a rigid framework of sufficient strength to resist design vertical & lateral forces required by international one & two family dwelling code, 2012 edition. floor framing per R502, wall framing per R602, roof framing per R602.
- All posts & columns within the house shall be placed directly over foundations or beams below & shall align with posts of lower floors. Posts shall rest on solid timber between floor joists or extend through floors to beams below. Timber below post shall be at least as large as the cross section of the post or beam above. When using built up posts, select lumber that minimizes the number of knots & avoid knots in the same locations. Use cement coated nails when joining members of built up posts. All internal load bearing walls (slw) are to have continuous solid blocking at 4'-0" on center vertically between the studs. The blocking shall be the same material and cross section as the studs. All wood in contact with concrete or masonry shall be pressure treated.
- Locate double joist under all walls that run parallel with joist layout.
- All exterior walls dimensioned 6" and all interior walls dimensioned 3 1/2" unless otherwise noted.
- All load bearing window & door headers to be 2-2 x 10 unless otherwise noted.
- All multiple vl beams shall be spiked together before loading, using methods as recommended by the manufacturer.
- Prefabricated wood-l beams are to be installed & stiffened in accordance with the manufacturer's specifications.
- Wood trusses to comply with truss plate institute (TPI) "design specifications for metal plate connected wood trusses" (latest edition). All trusses shall be erected and installed per manufacture specifications. Truss manufacturer to provide sealed shop drawings as needed for permits.
- If structure is being built to maximum roof height, contractor shall provide maximum height elevation report, taken at the time of framing construction, to confirm height of ridges prior to continuing with construction. Elevation report must be forwarded to Hastings Associates, LLC during framing of project to confirm proper height of structure. Hastings Associates, LLC will not be responsible for any roof structure exceeding maximum height requirements post construction if elevation report was not received and verified during framing construction.

C. Concrete

- Comply with American Concrete Institute ACI 301 "specification for structural concrete for buildings" (latest edition) Concrete compressive strength at 28 days shall be minimum 3500 psi. All concrete shall be air-entrained astm c260 admixture. Concrete shall not be placed in water or on frozen ground. Finishes shall be smoothed & hard trowel inside & under covered areas & light broom finish on sidewalks & driveways in direction of slopes. Use radius edger at walks & exposed edges.
- Reinforcing bars shall conform to ASTM A615, grade 60
- Welded wire fabric shall conform to ASTM A185 & be provided in flat sheets. Grade shall be reinforced #4 w/4" x 4" w/4" wwf. reinforcing shall be supported & located 1" from the top of slab.
- Foundation design is based on shallow spread footings bearing on suitable natural soil with a minimum bearing capacity of not less than 2500 psf. Footing to meet sections R403, foundation walls per R404, and waterproofing & dampproofing per R406.
- concrete floors on ground to meet section R506.

D. Structural Steel

- Comply with American Institute of Steel Construction (AISC) "Specifications for the Design, Fabrication, and Erection of Structural Steel for Buildings" (latest edition) steel shapes & plates A-36; steel pipe: ASTM A53, type E or S, grade B. fasteners: ASTM A325N anchor bolts: ASTM A307. structural tubing to conform to ASTM 500, grade B. primer paint: fabricators standard rust inhibiting primer. punch holes in all steel beams (both flanges & web) for bolting of wood blocking (9/16" dia. holes at 24" o/c, staggered plus (2) at 3" from each end)

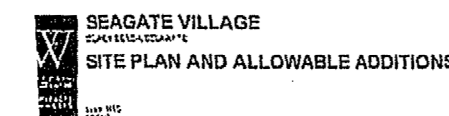
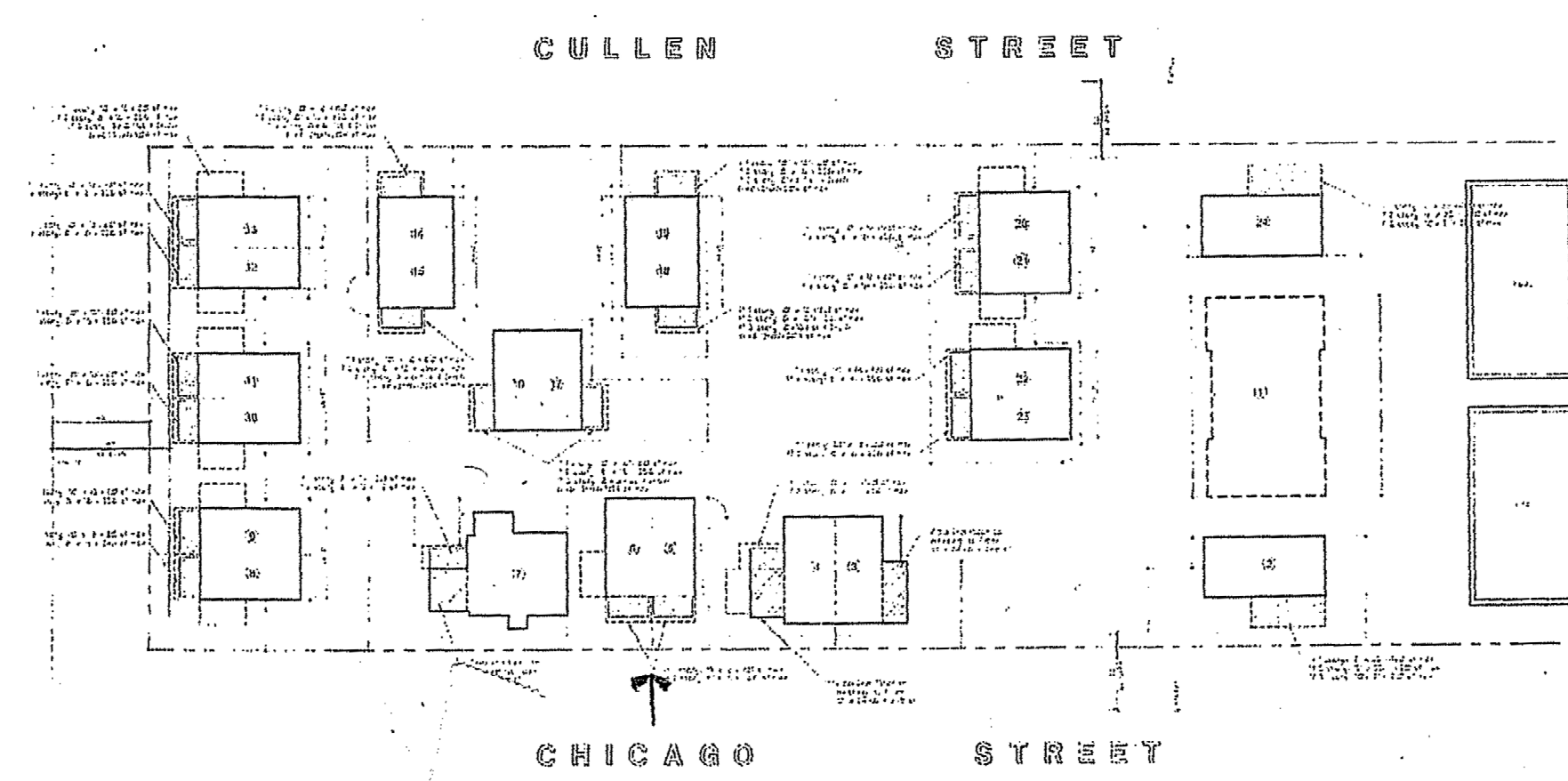
E. Masonry

- Masonry construction shall conform to R606 or ACI 530.1. all concrete masonry units shall be ASTM C90, grade, type 1. Mortar shall conform to ASTM C270, type M or S, where indicated, grout course solid with a high slump mix in accordance with ASTM C476.

PROPOSED RENOVATION FOR MR. & MRS. JEREMY LONDON CHICAGO STREET, SEAGATE UNITS 13 & 15 DEWEY BEACH, DE



INDEX		
Rev.	Sheet	Contents
	1	COVER SHEET
	2	FRONT/ RIGHT ELEVATION
	3	FOUNDATION PLAN
	4	FIRST FLOOR PLAN
	5	SECOND FLOOR FRAMING PLAN
	6	SECOND FLOOR PLAN
	7	THIRD FLOOR FRAMING PLAN
	8	THIRD FLOOR PLAN
	9	ROOF FRAMING PLAN
	10	SECTIONS
	11	FIRST FLOOR ELECTRICAL PLAN
	12	SECOND/ THRD ELECTRICAL PL.



Disclaimers:
 Truss manufacturers are always required to furnish formal layout for the final approval prior to building trusses. This practice is very typical. Hastings Associates LLC would PREFER to approve final layout; however, which ever party approves the layout, ie, the framer, Mr. Contractor or a Supplier, in the event there is a discrepancy in the field to the Truss when they arrive at the job site, the entity who "signed off" the formal Truss layout will be held solely liable to repair the error!
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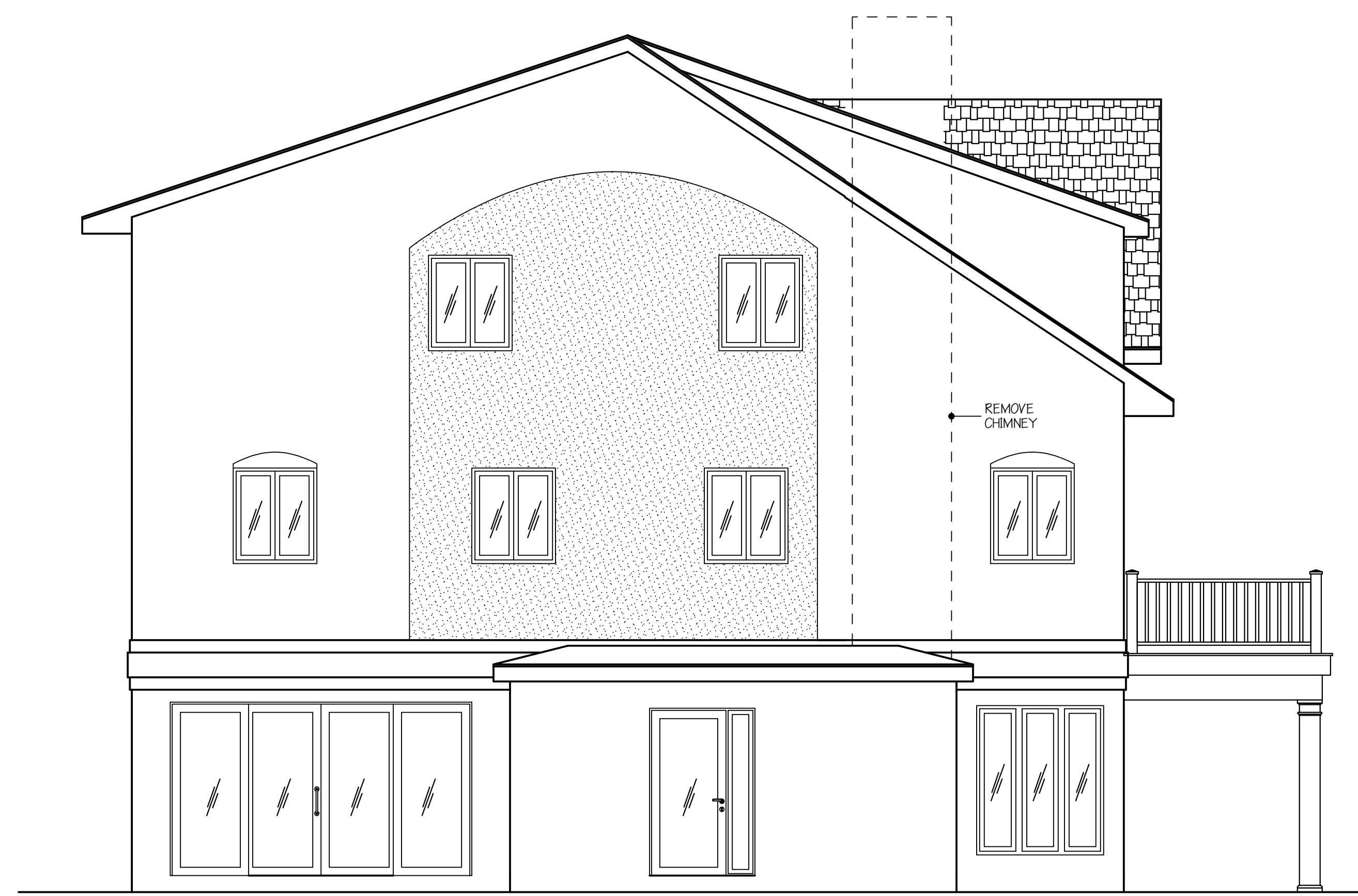
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IMPORTANT	DISCLAIMERS (PLEASE READ)	*IMPORTANT*
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<p>✳ Notice to Contractors and/or framing contractors: If this project is a renovation there may be the need for specific attention when construction begins. PLEASE make sure any/all references of existing framing are field confirmed and they reflect what is called out on the drawings. IF there is a discrepancy, PLEASE contact Hastings office immediately for advisement. This discrepancy may drastically impact a beam structure or joist for the new design. If an issue with this design occurs once framing is in place due to a discrepancy that was not addressed, and there is a need to modify those issues which would result in an additional cost, Hastings WILL NOT be responsible for the cost of the repair or modifying the construction if notice was never given of the discrepancy between the drawings EXISTING. FIELD measurements of the structure!!!!!!!!!!!!!!!!!!!!</p>		

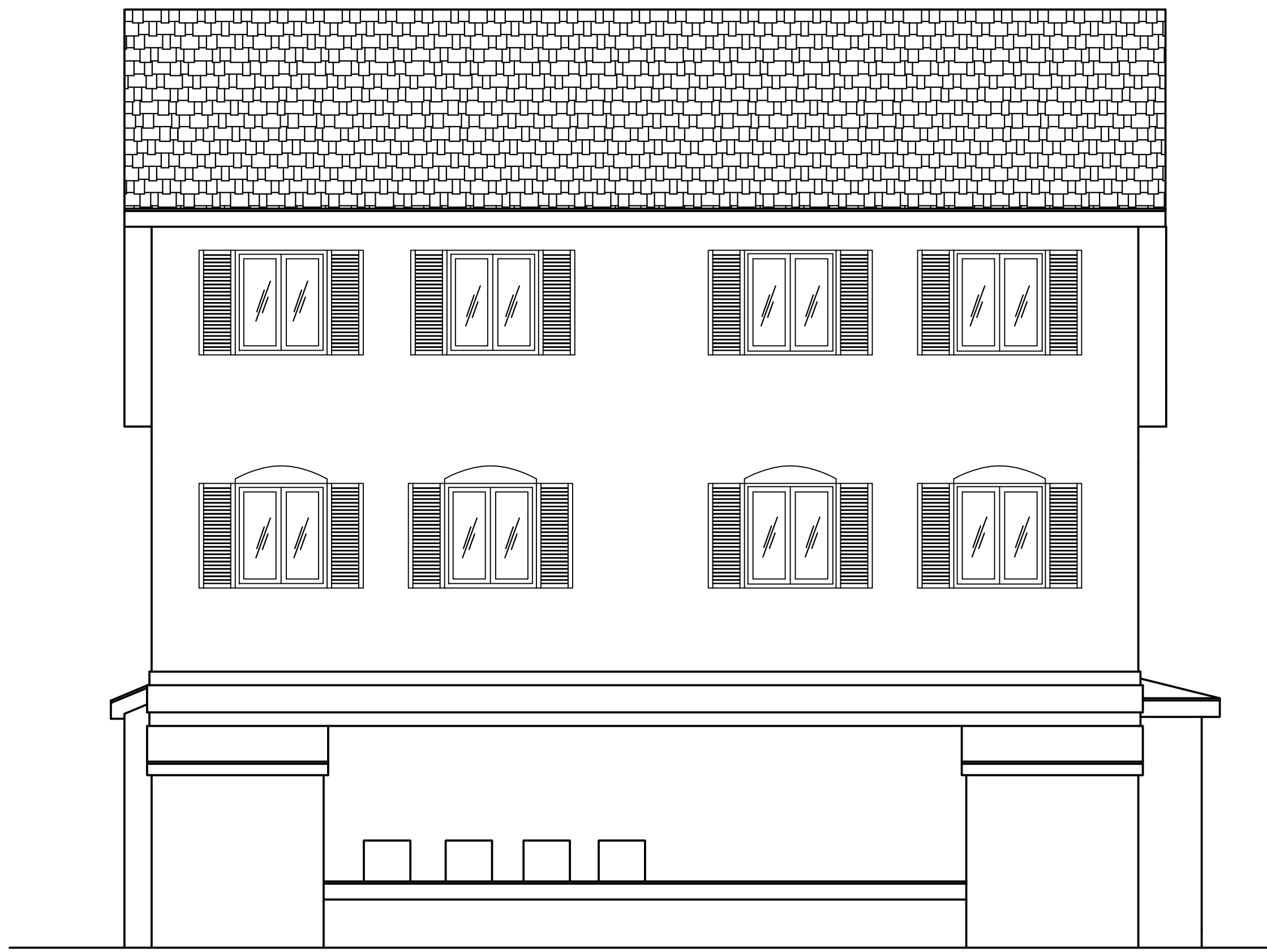
COVER SHEET REVISIONS 9.15.22 STAIR, BEDROOM CHANGE	PROPOSED RESIDENCE FOR: MR. & MRS. JEREMY LONDON CHICAGO STREET - SEAGATE UNITS 13 & 15 DEWEY BEACH, DE	DATE: JAN. 22 SCALE: 1/4"=1'-0" SQ. FT.: AS NOTED FILE: 41020 LOUDON DRAWN BY: B.K.S. CHECKED BY: SHEET: 1 of 12	RESIDENTIAL DESIGN GROUP Hastings ASSOCIATES, LLC 102 Central Avenue Ocean View, DE 19970 Phone: (302) 537-5700 Fax: (302) 537-0434
PILOTTOWN ENGINEERING		RESIDENTIAL DESIGN GROUP A.I.B.D.	



REAR ELEVATION



RIGHT SIDE ELEVATION



FRONT ELEVATION

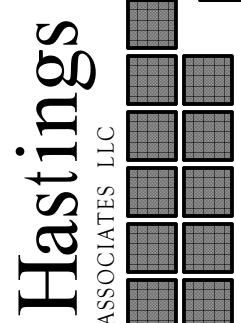



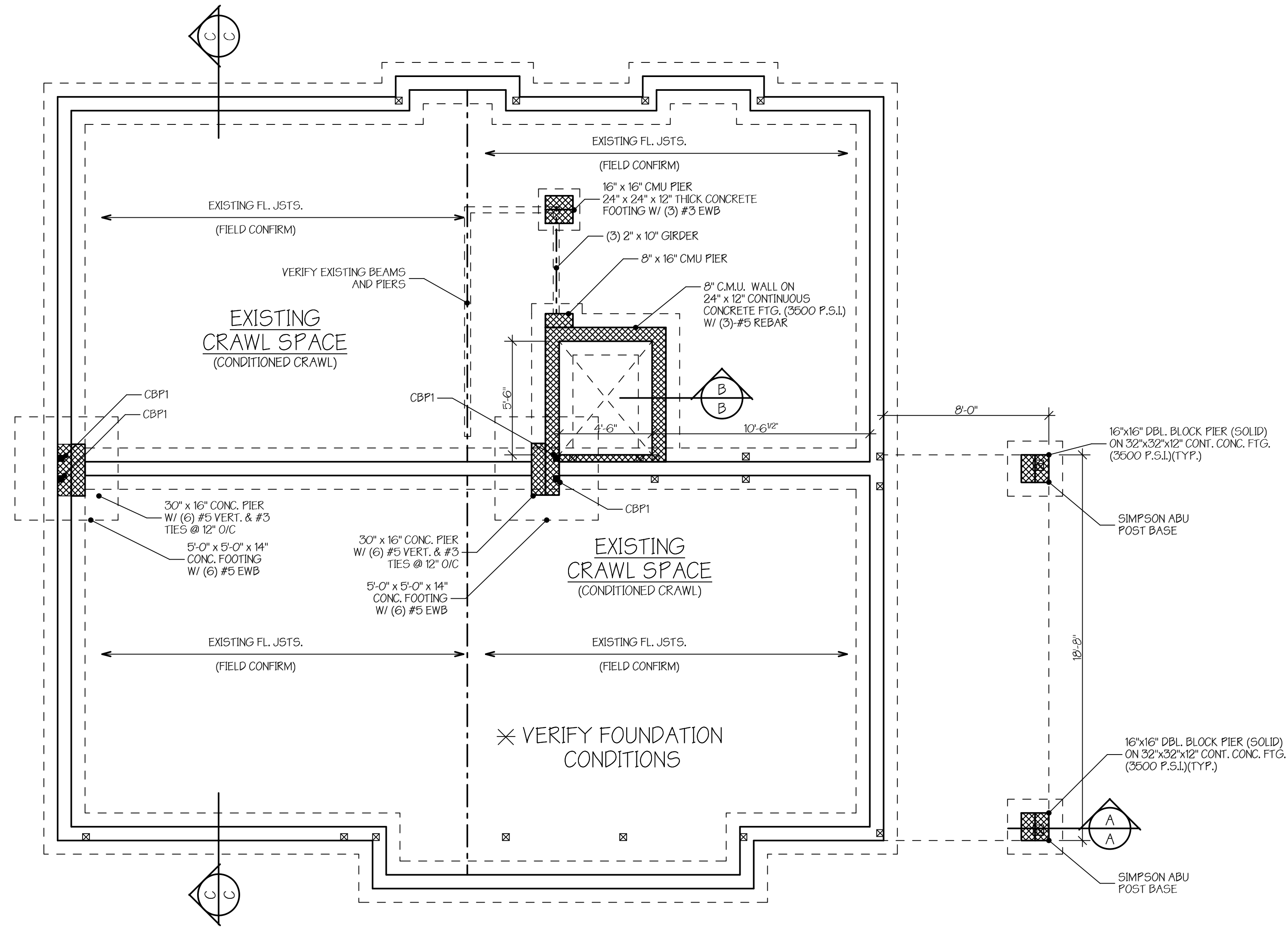
LEFT SIDE ELEVATION

NOTE:
CONTRACTOR TO INSPECT EXISTING DRIVIT FINISH.
WEST UNIT HAS MUCH MORE CHANGES TO WINDOW AND
DOOR UNITS, CONSIDER WEST UNIT NEW DRIVIT FINISH.
EAST UNIT SHALL BE INSPECTED, MATCH TO EXISTING
FINISH WHERE ANY WINDOW CHANGES OCCUR!

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		RESIDENTIAL DESIGN GROUP A.I.B.D. 102 Central Avenue Ocean View, DE 19970 Phone: (302) 337-5700 Fax: (302) 337-0434	
		SEAL:	
PROPOSED RESIDENCE FOR: MR. & MRS. JEREMY LONDON CHICAGO STREET - SEAGATE UNITS 13 & 15 DEWEY BEACH, DE		DATE: JAN. 22' SCALE: 1/4"=1'-0" SQ. FT.: AS NOTED FILE: 41020 LOUDON DRAWN BY: B.K.S. CHECKED BY: SHEET: 2 of 12	
FRONT/RIGHT ELEVATION REVISIONS 9.15.22 STAIR, BEDROOM CHANGE		Hastings Associates, LLC hereby reserves its common law copyright and other property rights in these plans, ideas, and designs. These plans, ideas, and designs are not to be reproduced, changed, or copied in any manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission from Hastings Associates, LLC. Consistent therewith, without first obtaining the express written permission from Hastings Associates, LLC, no person other than Hastings Associates, LLC may use these plans, ideas, and designs for any purpose other than in connection with this specific project. Written dimensions on these drawings shall have precedence over scale dimensions. Contractor shall verify and be responsible for all dimensions and conditions of the job and Hastings Associates, LLC must be notified in writing of any variation from these dimensions, conditions, and specifications shown by these drawings. All construction shall be in accordance with the International Residential Building Code (IRBC) and state and local codes.	



FOUNDATION PLAN

CBP1 = 3/4" x 12" x 12" STEEL COLUMN BASE PLATE (GALV.) W/ (4) 3/4" DIA. ANCHOR BOLTS

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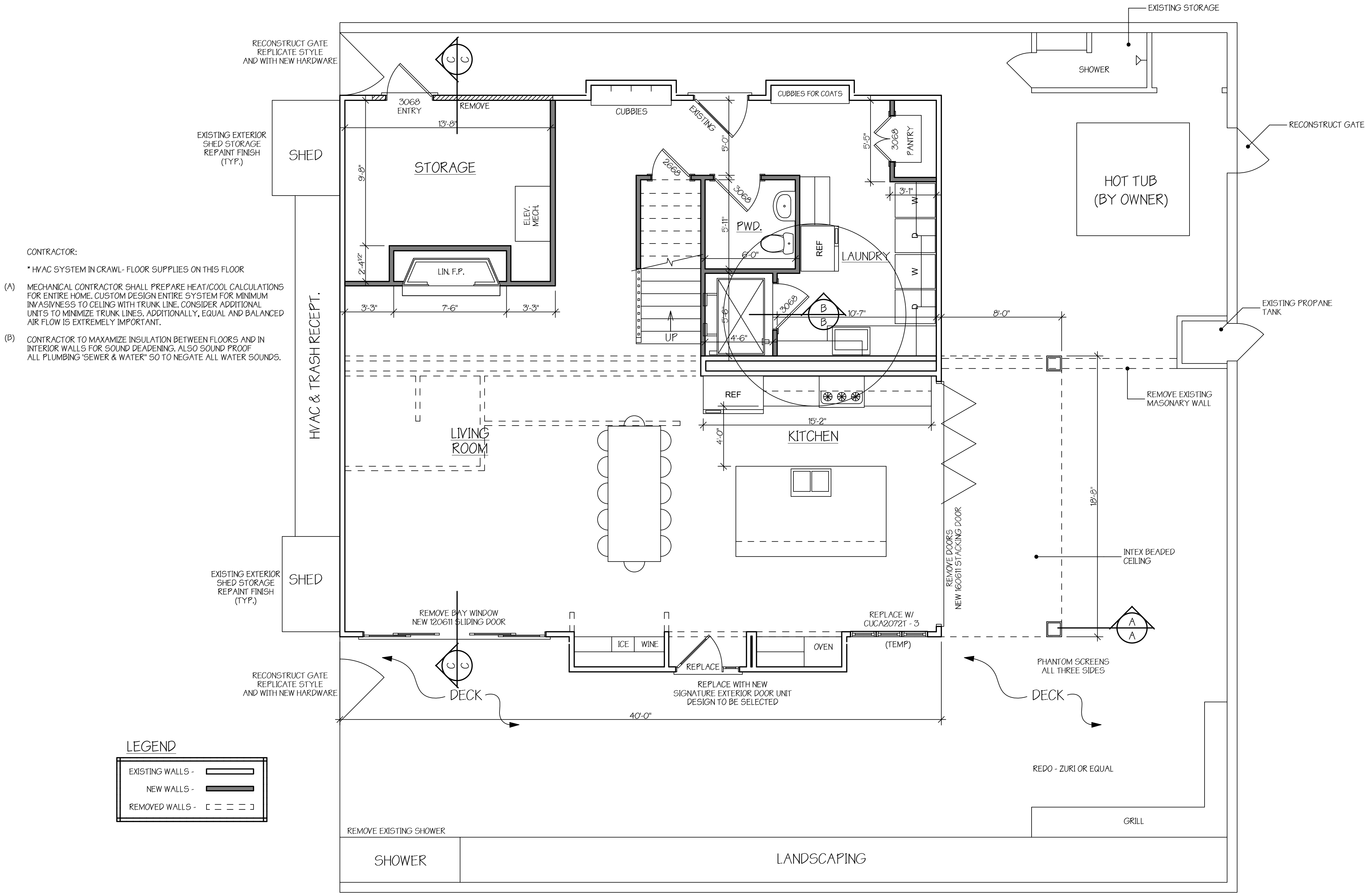
DATE:	JAN. 22
SCALE:	1/4" = 1'-0"
SQ. FT.:	AS NOTED
FILE:	41020 LOUDON
DRAWN BY:	B.K.S.
CHECKED BY:	
SHEET:	3 of 12

PROPOSED RESIDENCE FOR:
 MR. & MRS. JEREMY LONDON
 CHICAGO STREET - SEAGATE
 UNITS 13 & 15
 DEWEY BEACH, DE



RESIDENTIAL DESIGN GROUP
 A.I.B.D.
 102 Central Avenue
 Ocean View, DE 19970
 Phone: (302) 337-5700
 Fax: (302) 337-0434

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- CONTRACTOR:
 * HVAC SYSTEM IN CRAWL- FLOOR SUPPLIES ON THIS FLOOR
- (A) MECHANICAL CONTRACTOR SHALL PREPARE HEAT/COOL CALCULATIONS FOR ENTIRE HOME. CUSTOM DESIGN ENTIRE SYSTEM FOR MINIMUM INVASIVENESS TO CEILING WITH TRUNK LINE. CONSIDER ADDITIONAL UNITS TO MINIMIZE TRUNK LINES. ADDITIONALLY, EQUAL AND BALANCED AIR FLOW IS EXTREMELY IMPORTANT.
 - (B) CONTRACTOR TO MAXIMIZE INSULATION BETWEEN FLOORS AND IN INTERIOR WALLS FOR SOUND DEADENING. ALSO SOUND PROOF ALL PLUMBING 'SEWER & WATER' SO TO NEGATE ALL WATER SOUNDS.

LEGEND

EXISTING WALLS -	
NEW WALLS -	
REMOVED WALLS -	

****NOTE:**
 NO STRUCTURAL CHANGE MAY OCCUR TO THESE DRAWINGS WITHOUT PRIOR CONSENT FROM HASTINGS ASSOCIATES LLC AND THE ENGINEER OF RECORD. IF CONTRACTOR MAKES CHANGES WITHOUT CONSENT, THEN THESE DRAWINGS BECOME NULLIVOID AND ANY STRUCTURAL ISSUES THAT OCCUR BECOME THE SOLE RESPONSIBILITY OF THE CONTRACTOR!!

FIRST FLOOR PLAN
 LIVING AREA - 1367 SQ. FT.
 STORAGE - 140 SQ. FT.

NOTE: ALL NEW WINDOWS TO BE MARVIN TO MATCH THE EXISTING TO MATCH OTHER UNIT

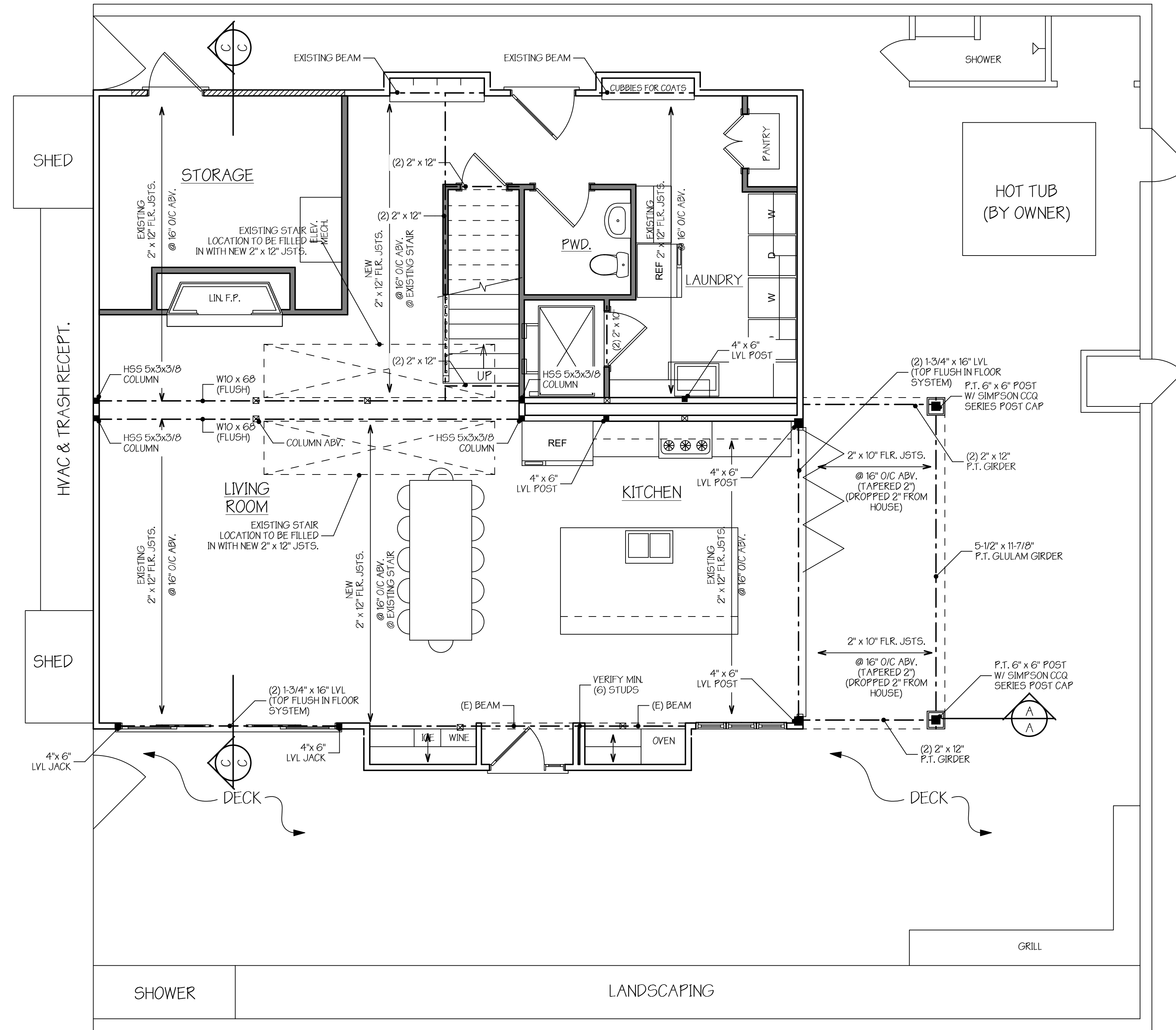
****NOTE:**
 ALL NEW WINDOWS TO BE MARVIN TO MATCH THE EXISTING
 ALL WINDOWS TO BE SET @ 6'-10" UNLESS OTHERWISE NOTED!
 WINDOW FALL PROTECTION REQUIRED PER CODE SECTION 312.2 - CODE REQUIRES A FALL PROTECTION DEVICE FOR WINDOWS THAT HAVE WINDOW SILLS IN DWELLINGS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE GRADE; INSIDE, SILL LESS THAN 24" NEED LOCK OUT PINS.

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 Hastings ASSOCIATES LLC	RESIDENTIAL DESIGN GROUP A.I.B.D. 102 Central Avenue Ocean View, DE 19970 Phone: (302) 337-5700 Fax: (302) 337-0434	 PILOTTOWN ENGINEERING	PROPOSED RESIDENCE FOR: MR. & MRS. JEREMY LONDON CHICAGO STREET - SEAGATE UNITS 13 & 15 DEWEY BEACH, DE
FIRST FLOOR PLAN		REVISIONS 9.15.22 STAIR, BEDROOM CHANGE	
DATE:	JAN. 22	SCALE:	1/4"=1'-0"
SQ. FT.:	AS NOTED	FILE:	41020
DRAWN BY:	LOUDON	CHECKED BY:	B.K.S.
SHEET:	4 of 12	Hastings Associates, LLC hereby reserves its common law copyright and other property rights in these plans, ideas, and designs. These plans, ideas, and designs are not to be reproduced, changed, or copied in any manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission from Hastings Associates, LLC. Consistent therewith, without first obtaining the express written permission from Hastings Associates, LLC, no person other than Hastings Associates, LLC may use these plans, ideas, and designs for any purpose other than in connection with this specific project. Written dimensions on these drawings shall have precedence over scale dimensions. Contractor shall verify and be responsible for all dimensions and conditions of the job and Hastings Associates, LLC must be notified in writing of any variation from these dimensions, conditions, and specifications shown by these drawings. All construction shall be in accordance with the International Residential Building Code (IRBC) and state and local codes.	




SECOND FLOOR
FRAMING PLAN

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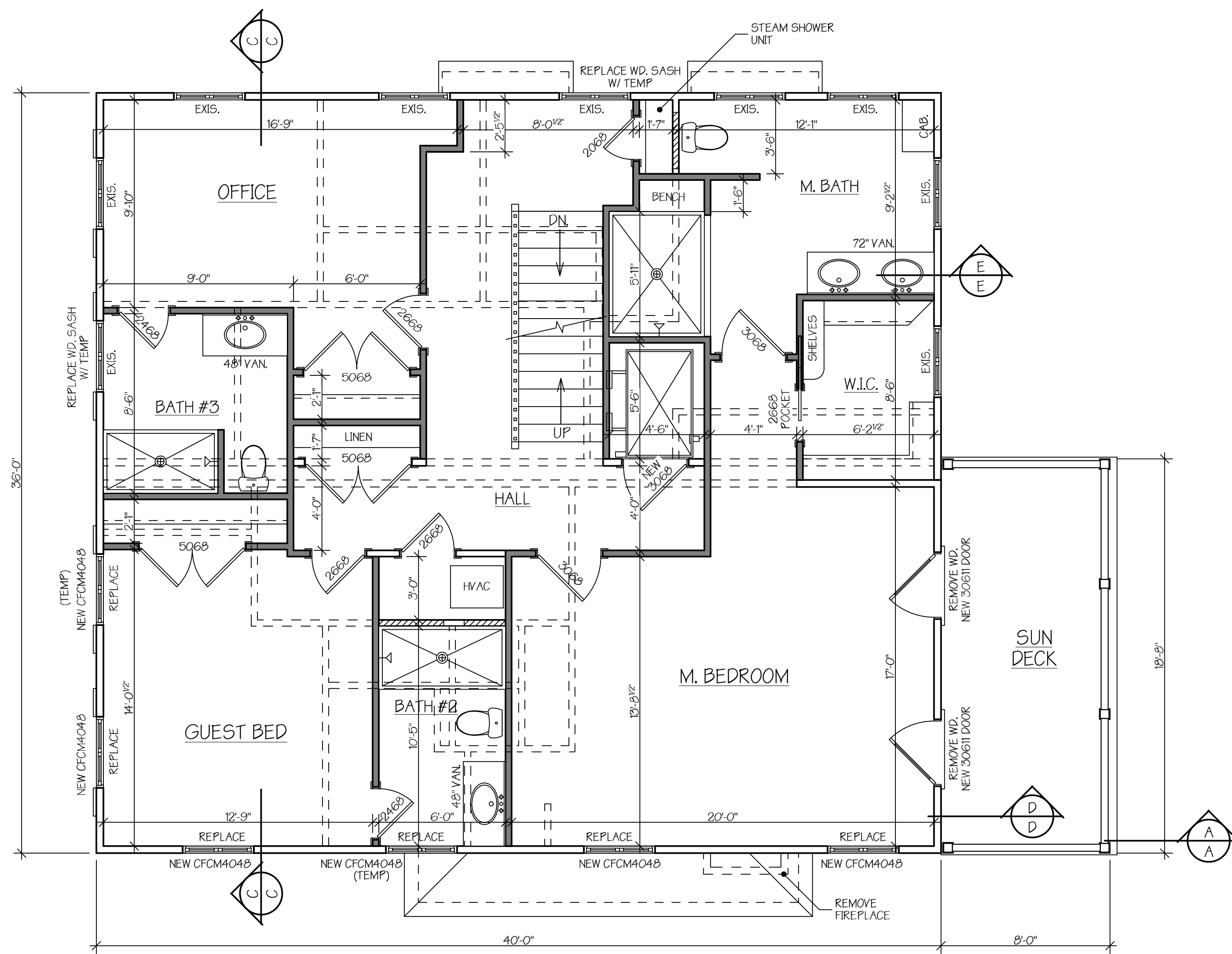
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SECOND FLOOR FRAMING PLAN	REVISIONS 9.15.22 STAIR, BEDROOM CHANGE	DATE: JAN. 22	SCALE: 1/4" = 1'-0"
SQ. FT.: AS NOTED	FILE: 41020 LOUDON	FILE: 41020 LOUDON	SQ. FT.: AS NOTED
DRAWN BY: B.K.S.	CHECKED BY:	DRAWN BY: B.K.S.	CHECKED BY:
SHEET: 5 of 12	SHEET:	SHEET:	SHEET:

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NOTE: ALL NEW WINDOWS TO BE SET @ 7'-4" HDR. HGT. (TO MATCH OTHER UNIT)

LEGEND	
EXISTING WALLS -	
NEW WALLS -	
REMOVED WALLS -	

****NOTE:**
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SECOND FLOOR PLAN

LIVING AREA - 1453 SQ. FT.
SUN DECK - 140 SQ. FT.

NOTE: ALL NEW WINDOWS TO BE MARVIN TO MATCH OTHER UNIT

***NOTE:**
ALL NEW WINDOWS TO BE MARVIN TO MATCH THE EXISTING MARVIN.
ALL WINDOWS TO BE SET @ 6'-10" TO MATCH THE EXISTING MARVIN WINDOWS.
WINDOW FALL PROTECTION REQUIRED PER CODE SECTION 312.2 - CODE REQUIRES A FALL PROTECTION DEVICE FOR WINDOWS THAT HAVE WINDOW SILLS IN DWELLINGS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE GRADE; INSIDE, SILL LESS THAN 24" NEED LOCK OUT PINS.

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SECOND FLOOR PLAN	
REVISIONS	9.15.22 STAIR, BEDROOM CHANGE
DATE:	JAN. 22
SCALE:	1/4"=1'-0"
SQ. FT.:	AS NOTED
FILE:	41020 LOUDON
DRAWN BY:	B.K.S.
CHECKED BY:	
SHEET:	6 of 12

PROPOSED RESIDENCE FOR:
MR. & MRS. JEREMY LONDON
CHICAGO STREET - SEAGATE
UNITS 13 & 15
DEWEY BEACH, DE



Hastings ASSOCIATES, LLC
RESIDENTIAL DESIGN GROUP
A.I.B.D.
102 Central Avenue
Ocean View, DE 19970
Phone: (302) 337-5700
Fax: (302) 337-0434

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STRUCTURAL NOTES

- PILOTTOWN ENGINEERING HAS DESIGNED ONLY THE STRUCTURAL ELEMENTS REPRESENTED ON THESE DRAWINGS. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL DRAWINGS AND SPECIFICATIONS CONTAINED HEREIN. PILOTTOWN ENGINEERING ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED CHANGES TO THESE DRAWINGS.
- ANY ADDITIONAL CONSTRUCTION ADMINISTRATION SERVICES OR CHANGES TO THE PLANS WILL BE PAID FOR BY THE CONTRACTOR. UNLESS SPECIFICALLY APPROVED, ALL REQUESTED CHANGES IN WORK BY THE CONTRACTOR ARE CONSIDERED TO BE COMPLETED AT NO ADDITIONAL COST AND ARE SUBJECT TO THE APPROVAL OF THE DESIGN TEAM AND OWNER.
- ALL STRUCTURAL INFORMATION HAS BEEN PREPARED IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE AS WELL AS ALL REFERENCED STANDARDS CONTAINED THEREIN.
- DESIGN LOADS FOR THE PROJECT ARE LISTED AS FOLLOWS:
 - FLOOR LIVE LOAD: 40 psf
 - FLOOR DEAD LOAD: 15 psf
 - ROOF LIVE LOAD: 30 psf
 - ROOF DEAD LOAD: 20 psf
- SNOW LOAD DATA FOR THE PROJECT IS LISTED AS FOLLOWS:
 - P_g = 20 psf
 - I = 1.0
 - C_t = 1.1
 - C_e = 1.0
 - P_f = 20 psf
- LATERAL WIND LOAD DATA FOR THE PROJECT IS LISTED AS FOLLOWS:
 - V_{ult} = 130 mph
 - V_{ASD} = 101 mph
 - Risk Category = II
 - Exposure Category = C
 - Internal Pressure Coefficient = +/- 0.18

FOUNDATIONS

- BOTTOM OF FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR CONTROLLED COMPACTED FILL CAPABLE OF SAFELY SUPPORTING 2000 PSF.
- ALL SOILS SUPPORTING FOOTINGS AND SLABS SHOULD BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY OR AS DETERMINED BY A REGISTERED GEOTECHNICAL ENGINEER.
- BOTTOM OF ALL FOOTINGS SUBJECTED TO FREEZE THAW CONDITIONS SHALL BE A MINIMUM 2 FEET BELOW FINISH GRADE OR TOP OF SLAB ELEVATION WHICHEVER IS LOWER.

CONCRETE

- ALL CONCRETE SHALL BE READY-MIX AND HAVE THE FOLLOWING CHARACTERISTICS:

SLABS ON GRADE
A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS. A MINIMUM OF 520 LBS. OF CEMENT PER CUBIC YARD. SLUMP (AT POINT OF CONCRETE PLACEMENT) SHALL BE 3-INCH MINIMUM AND 5-INCH MAXIMUM.

FOOTINGS AND FOUNDATION WALLS
A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. A MINIMUM OF 520 LBS. OF CEMENT PER CUBIC YARD. SLUMP (AT POINT OF CONCRETE PLACEMENT) SHALL BE 3-INCH MINIMUM AND 5-INCH MAXIMUM.
- ALL CONCRETE EXPOSED TO EXTERIOR CONDITIONS SHALL HAVE CHARACTERISTICS IN ACCORDANCE WITH ACI BUILDING CODE (ACI 318) AND THE 2012 INTERNATIONAL BUILDING CODE
- ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS:
 - ACI BUILDING CODE (ACI 318),
 - THE ACI DETAILING MANUAL (SP-66)
 - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).
- ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A615 GRADE 60. LAP ALL BARS MINIMUM 48 BAR DIAMETERS UNLESS OTHERWISE NOTED.
- CONCRETE SHALL ACHIEVE A MINIMUM OF 70 PERCENT OF THE DESIGN STRENGTH PRIOR TO STEEL ERECTION. WRITTEN CONFIRMATION OF THIS STRENGTH SHOULD BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO THE COMMENCEMENT OF STEEL ERECTION.

STEEL

- ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC CODE. ALL STRUCTURAL STEEL WIDE FLANGE (W) SHAPES SHALL BE ASTM A992 GRADE 50 (V50). ALL STRUCTURAL STEEL S, M, AND HP SHAPES SHALL BE ASTM A572 GRADE 50 (V50). ALL OTHER STRUCTURAL STEEL SHALL BE ASTM A36 UNLESS OTHERWISE NOTED.
- ALL STEEL RECTANGULAR/SQUARE HOLLOW STRUCTURAL SECTIONS SHALL BE ASTM A500 GRADE B, FY=46 KSI.
- ALL STEEL SHALL BE THOROUGHLY CLEANED IN ACCORDANCE WITH SSPC- SP3 AND HAVE A SHOP COAT OF RUST INHIBITIVE PAINT.
- ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED, AS DESCRIBED IN "LATEST EDITION OF THE AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE", AWS D1.1, TO PERFORM THE TYPE OF WORK REQUIRED.
- ALL BOLTS USED FOR THE ANCHORAGE TO CONCRETE AS SPECIFIED ON THE DRAWINGS SHALL CONFORM TO ASTM F1554.
- ALL STEEL WELDING RODS SHALL BE AS FOLLOWS:
 - E70XX FOR STEEL CONNECTIONS

- STEEL FABRICATOR IS SOLELY RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR FOR THE PURPOSE OF SURVEYING AND VERIFICATION OF EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO THE LOCATION, ELEVATION, AND DIMENSIONS OF WALLS AND FRAMING THAT EXIST AT THE TIME OF THE STEEL ERECTION.
- ALL EXPOSED STEEL SHALL BE HOT DIP GALVANIZED. ANY POINTS OF WELDING SHALL BE TOUCHED UP IN THE FIELD WITH A ZINC-RICH PAINT BY THE STEEL ERECTOR.

TIMBER

- ALL STRUCTURAL TIMBER FRAMING, WALLS, BLOCKING, ETC SHALL BE HEM FIR #2 MINIMUM, STRESS GRADE LUMBER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:

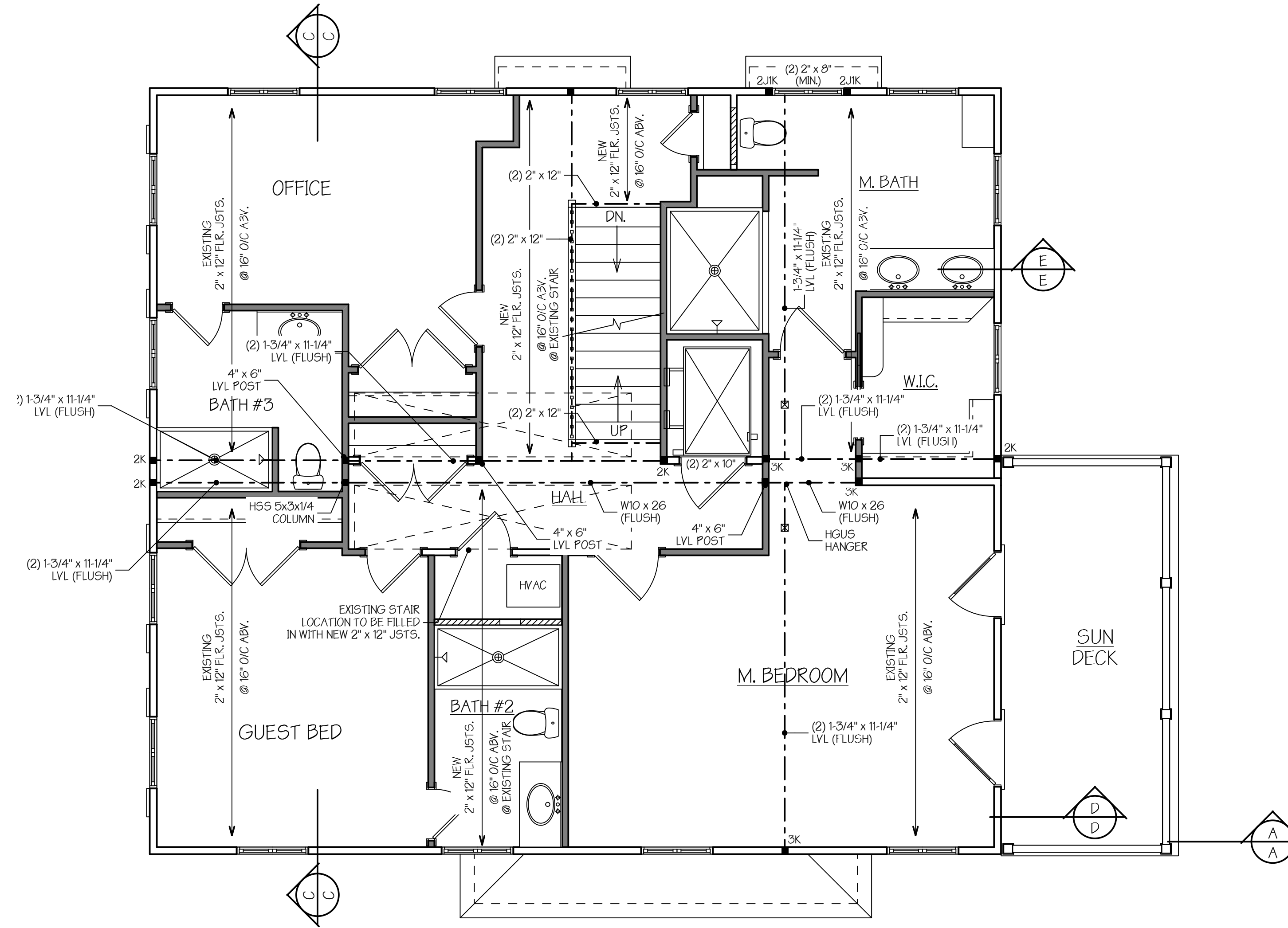
F_b = 850 PSI F_v = 150 PSI E = 1,300,000 PSI

ALL STRUCTURAL TIMBER MUST BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL".
- ALL EXTERIOR TIMBER FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE (SYP) #1 MINIMUM, STRESS GRADE LUMBER. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:

F_b = 1000 PSI F_v = 175 PSI E = 1,600,000 PSI
- ALL GLUE-LAMINATED BEAMS SHALL BE CONSTRUCTED OF SOUTHERN YELLOW PINE, DOUGLAS FIR OR APPROVED EQUAL, CONFORMING TO AITC 117-84 "STANDARD SPECIFICATION FOR STRUCTURAL GLUE-LAMINATED TIMBER OF SOFTWOOD SPECIES". THE MINIMUM ALLOWABLE PROPERTIES FOR GLUE-LAMINATED BEAMS ARE AS FOLLOWS:

F_b = 2400 PSI F_v = 265 PSI E = 1,800,000 PSI.
- ALL MICRO-LAM BEAMS (LVL) SHALL BE AS ENGINEERED AND MANUFACTURED BY WEYERHAEUSER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES FOR MICRO-LAM BEAMS ARE AS FOLLOWS:

F_b = 2600 PSI F_v = 285 PSI E = 1,900,000 PSI.
- ALL TIMBER AND TIMBER CONSTRUCTION SHALL COMPLY WITH LATEST EDITIONS OF THE FOLLOWING STANDARDS:
 - AMERICAN INSTITUTE OF TIMBER CONSTRUCTION: TIMBER CONSTRUCTION MANUAL.
 - AMERICAN WOOD COUNCIL: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS).
 - AMERICAN PLYWOOD ASSOCIATION: PLYWOOD DESIGN SPECIFICATION.
 - AMERICAN WOOD-PRESERVERS ASSOCIATION STANDARDS.
- DESIGN, FABRICATION, AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING TRUSS PLATE INSTITUTE (TPI) STANDARDS:
 - THE NATIONAL DESIGN STANDARD FOR METAL-PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, TPI 1.
 - RECOMMENDED DESIGN SPECIFICATION FOR TEMPORARY BRACING OF METAL PLATE CONNECTED WOOD TRUSSES, DSB-89.
 - GUIDE TO GOOD PRACTICE FOR INSTALLING, RESTRAINING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, BCSI.
- ALL TIMBER CONNECTIONS SHALL BE MADE USING PREFABRICATED CONNECTORS. TOE-NAILING IS NOT PERMITTED. SUBMIT MANUFACTURER'S DATA FOR REVIEW. FASTENERS SHALL BE AS MANUFACTURED BY SIMPSON STRONGTIE OR APPROVED EQUAL.
- PROVIDE POST CAPS AND BASES AT ALL WOOD POSTS BY SIMPSON STRONGTIE OR APPROVED EQUAL.
- PROVIDE A MINIMUM OF (2) STUDS FOR ALL HEADERS AND BEAMS UNLESS NOTED OTHERWISE.
- ALL EXPOSED FASTENERS AND CONNECTIONS TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
- PROVIDE MINIMUM CONTINUOUS SOLID BLOCKING OR CROSS-BRIDGING LINES AT 8'-0" O/C MAX SPACING FOR ALL
 - WOOD JOISTS
 - WOOD RAFTERS
 - PROVIDE A MINIMUM OF ONE LINE OF BLOCKING OR CROSS BRIDGING FOR ALL SPANS.
- TREATED LUMBER SHALL BE PROVIDED AT ALL LOCATIONS WHERE LUMBER IS IN CONTACT WITH CONCRETE AND MASONRY FOUNDATION WALLS OR AT EXTERIOR OF BUILDING.
- SHEATHING FOR WALLS SHALL BE 1/2" THICK 32/16 SPAN RATING APA WOOD SHEATHING, EXPOSURE 1. ALL SHEATHING SHALL BE PLACED HORIZONTALLY AND SECURED IN ACCORDANCE WITH THE SHEAR WALL SCHEDULE SHOWN ON THE STRUCTURAL DRAWINGS. ALL JOINTS IN SHEATHING SHALL BE STAGGERED.
- SHEATHING FOR FLOORS SHALL BE 3/4" THICK 20" SPAN RATING APA FLOOR SHEATHING, EXPOSURE 1. ALL JOINTS IN SHEATHING SHALL BE STAGGERED. ALL EDGES IN FLOOR SHEATHING SHALL BE TONGUE & GROOVE. NAILING SHALL COMPLY WITH APA REQUIREMENTS FOR PLYWOOD FLOOR DIAPHRAGMS.
- SHEATHING FOR ROOFS SHALL BE 1/2" THICK 32/16 SPAN RATING APA PLYWOOD SHEATHING, EXPOSURE 1. ALL JOINTS IN SHEATHING SHALL BE STAGGERED. FOR ROOF SHEATHING, USE PANEL CLIPS OR LUMBER BLOCKED EDGE SUPPORTS AS RECOMMENDED BY APA. NAILING SHALL COMPLY WITH APA REQUIREMENTS FOR PLYWOOD ROOF DIAPHRAGMS.
- PROVIDE (2) SIMPSON SDWS SCREWS AT 16" o/c OR EQUAL FOR DECK LEDGERS TO RIM BOARD UNLESS NOTED OTHERWISE. PROVIDE SIMPSON DTT2Z-SDS2.5 DECK-TO-HOUSE LATERAL CONNECTION WITHIN 24" FROM EACH END OF DECK.



THIRD FLOOR FRAMING PLAN

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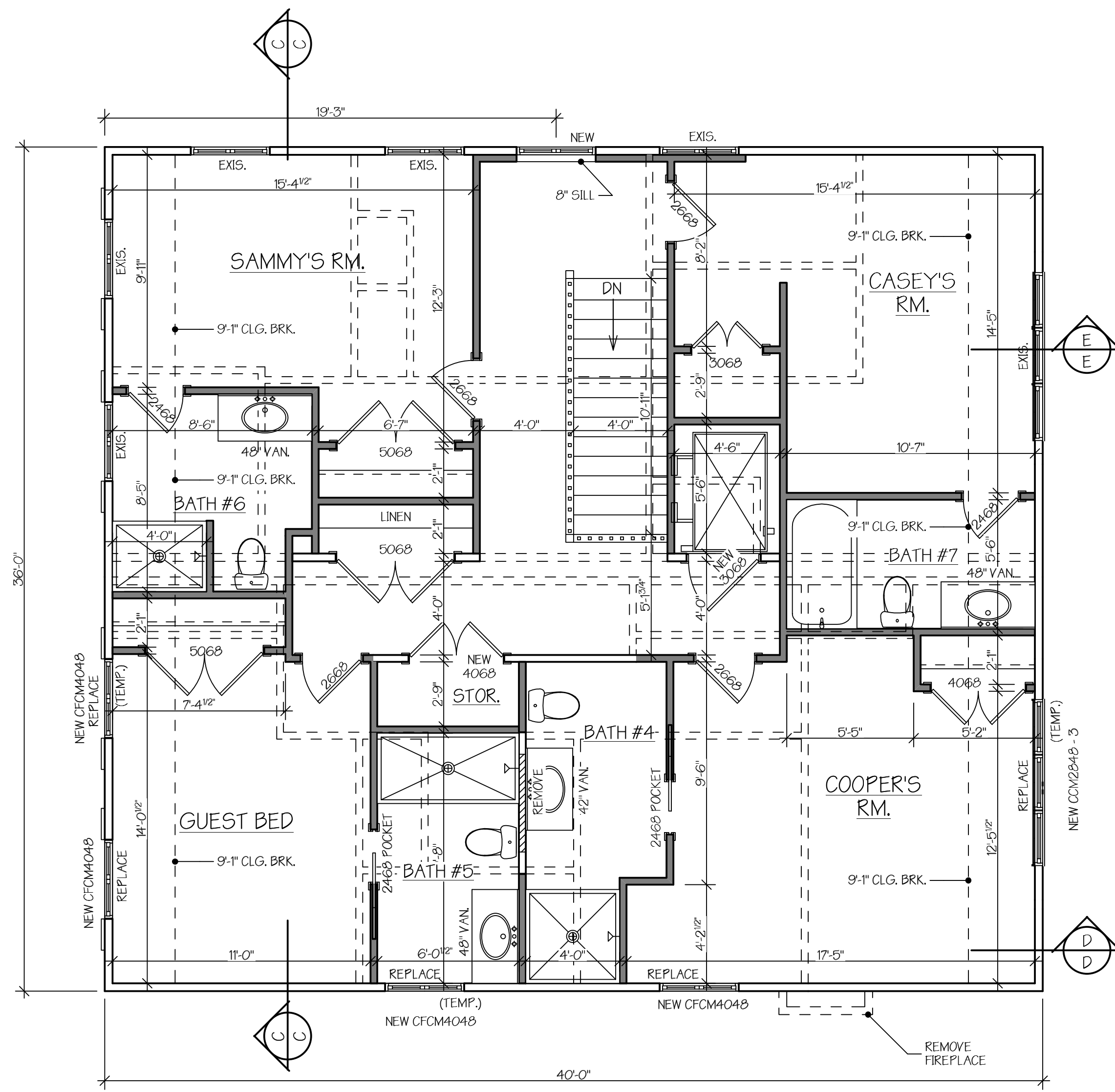
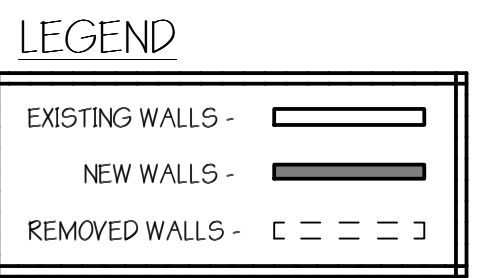
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<p>RESIDENTIAL DESIGN GROUP A.I.B.D. 102 Central Avenue Ocean View, DE 19970 Phone: (302) 337-5700 Fax: (302) 337-0434</p>	
<p>PROPOSED RESIDENCE FOR: MR. & MRS. JEREMY LONDON CHICAGO STREET SEAGATE UNITS 13 & 15 DEWEY BEACH, DE</p>	
<p>THIRD FLOOR FRAMING PLAN</p>	
<p>REVISIONS 9.15.22 STAIR, BEDROOM CHANGE</p>	
DATE:	JAN. 22
SCALE:	1/4"=1'-0"
SQ. FT.:	AS NOTED
FILE:	41020 LOUDON
DRAWN BY:	B.K.S.
CHECKED BY:	
SHEET:	7 of 12

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THIRD FLOOR PLAN
LIVING AREA - 1453 SQ. FT.

NOTE: ALL NEW WINDOWS TO BE MARVIN TO MATCH OTHER UNIT

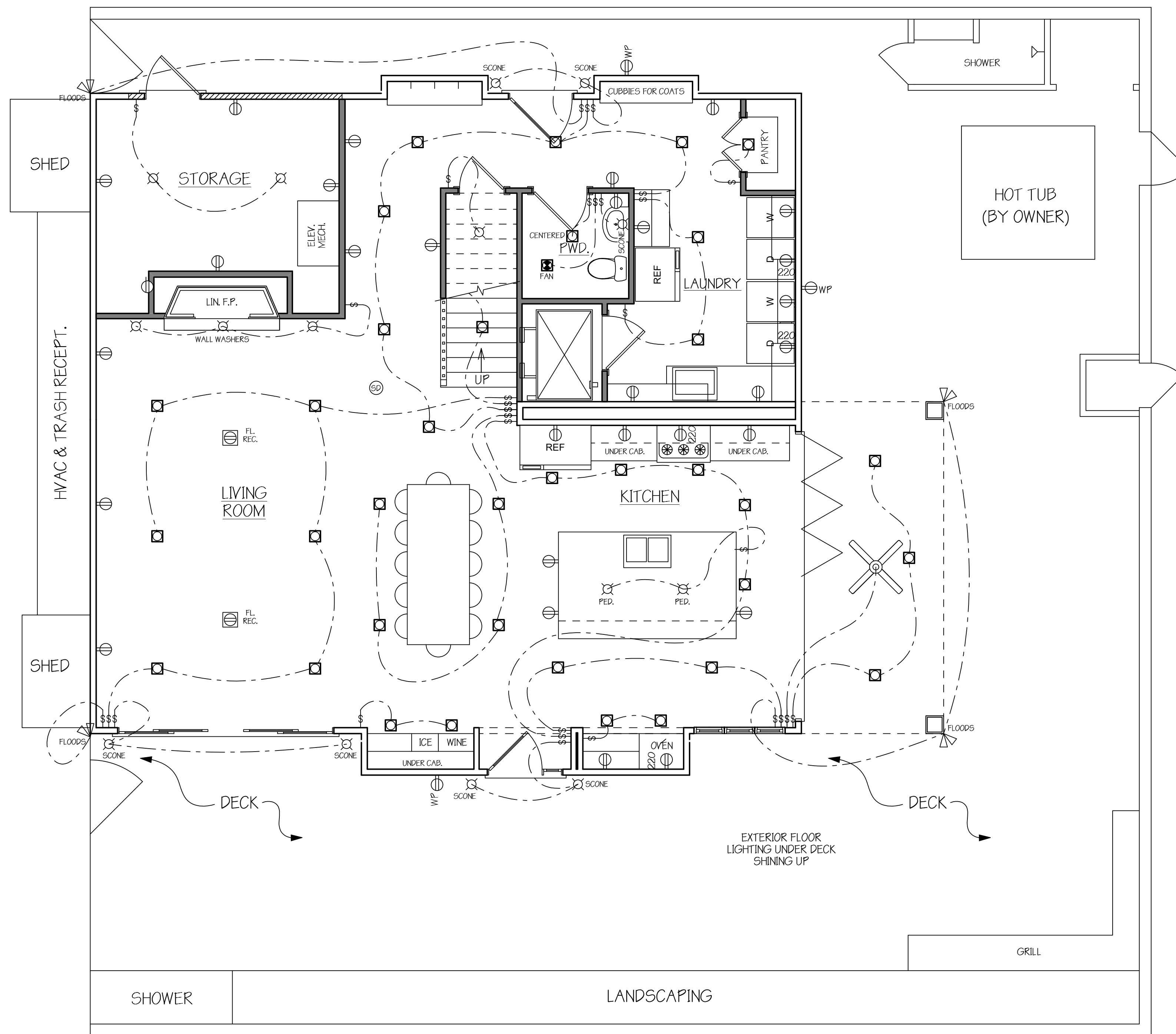
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	 PILOTTOWN ENGINEERING
PROPOSED RESIDENCE FOR: MR. & MRS. JEREMY LONDON CHICAGO STREET - SEAGATE UNITS 13 & 15 DEWEY BEACH, DE	SEAL:
THIRD FLOOR PLAN	DATE: JAN. 22
REVISIONS 9.15.22 STAIR, BEDROOM CHANGE	SCALE: 1/4"=1'-0"
SQ. FT.: AS NOTED	FILE: 41020 LOUDON
DRAWN BY: B.K.S.	SHEET: 8 of 12
CHECKED BY:	

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FIRST FLOOR ELECTRICAL PLAN

Electrician:

This electrical plan is to serve as a guide for you and the owner. Delaware State Electrical Codes set precedent; design and decorative features come secondary. It is advised that the electrician and the owner walk through the house and mark all receptacles, switches, lights, etc; making sure there will be no changes occurring that interferes with the decorative fixtures and furniture, or retain Hastings Associates, LLC has prepared this plan for your guidance and bidding purposes. Final installation and acceptance is owner's responsibility.

LEGEND	
	- SWITCH
	- DUPLEX RECEPTACLE
	- SURFACE FIXTURE
	- RECESSED FIXTURE
	- FAN / LIGHT
	- FLUORESCENT FIXTURE
	- FLOOD LIGHTS
	- TELEVISION
	- TELEPHONE
	- SMOKE DETECTOR
	- PADDLE FAN WIRE FOR SPEED CONTROL & LIGHT

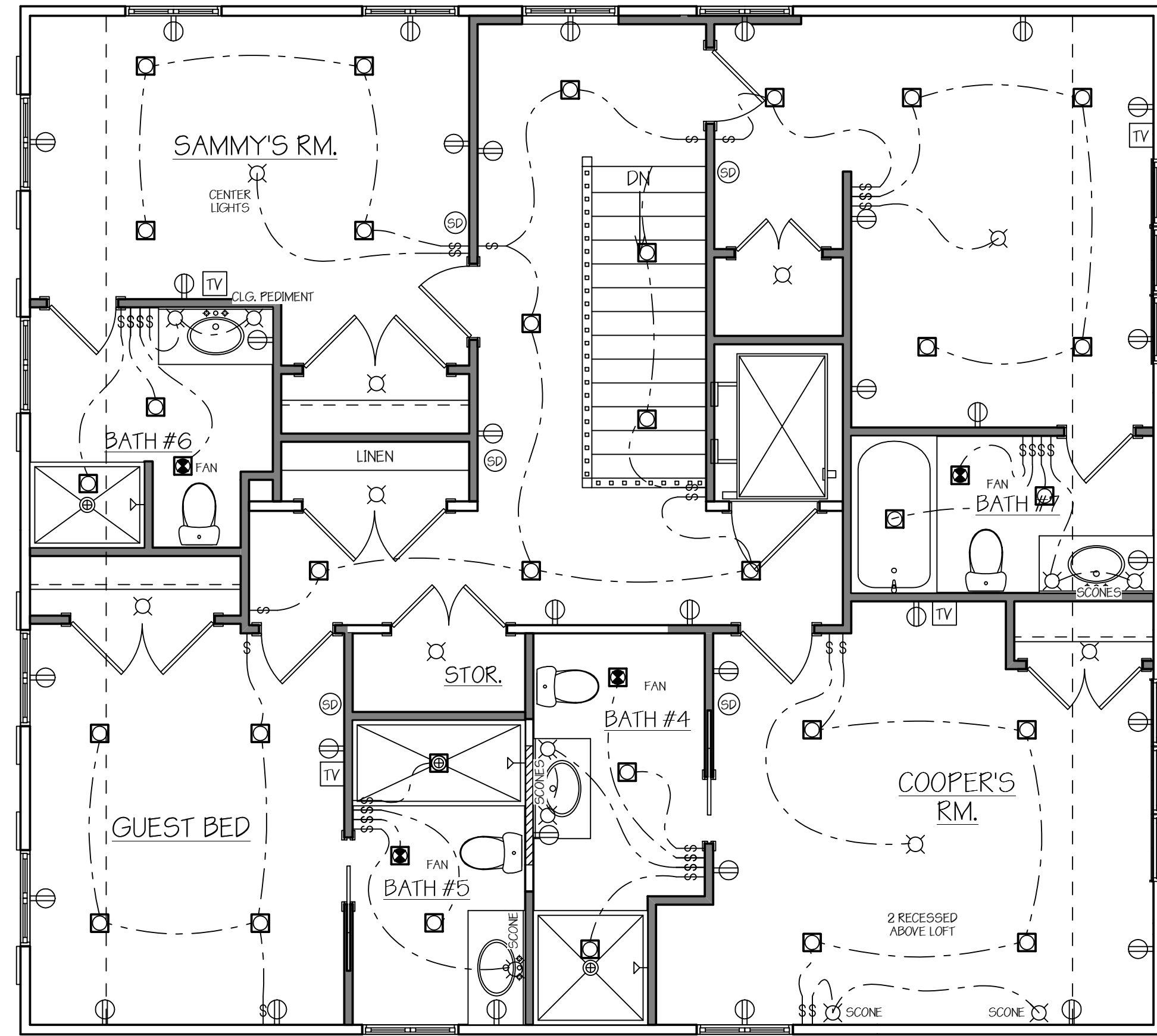
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 Hastings ASSOCIATES, LLC	RESIDENTIAL DESIGN GROUP	A.I.B.D.
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 PILOTTOWN ENGINEERING		
PROPOSED RESIDENCE FOR: MR. & MRS. JEREMY LONDON CHICAGO STREET - SEAGATE UNITS 13 & 15 DEWEY BEACH, DE		
FIRST FLOOR ELECTRICAL PLAN		
REVISIONS 9.15.22 STAIR, BEDROOM CHANGE		
DATE:	JAN. 22'	
SCALE:	1/4"=1'-0"	
SQ. FT.:	AS NOTED	
FILE:	41020 LOUDON	
DRAWN BY:	B.K.S.	
CHECKED BY:		
SHEET:	11 of 12	

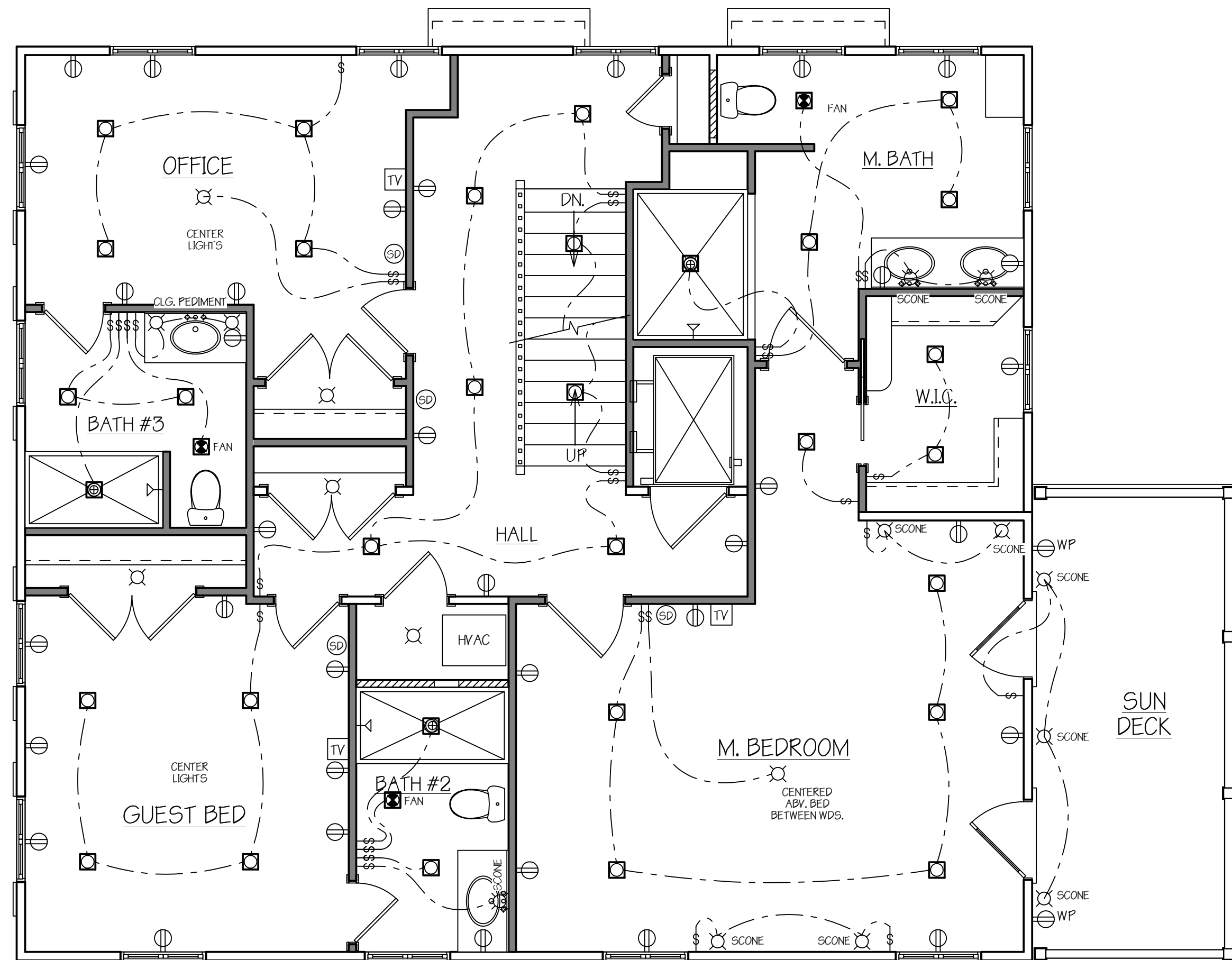
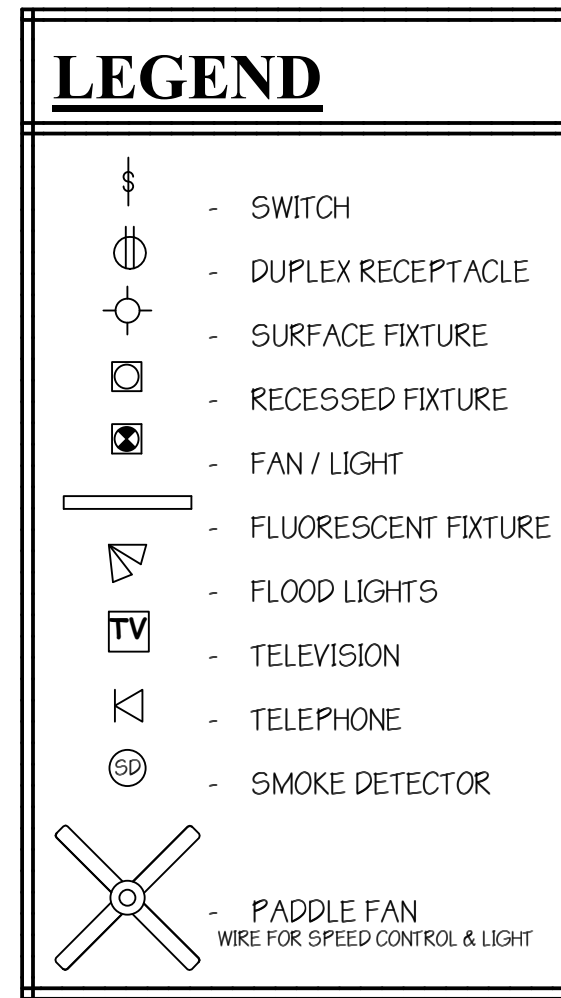
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OUTLETS ABV. AND BELOW LOFT

THIRD FLOOR ELECTRICAL PLAN

JAMB SWITCHES FOR ALL CLOSETS

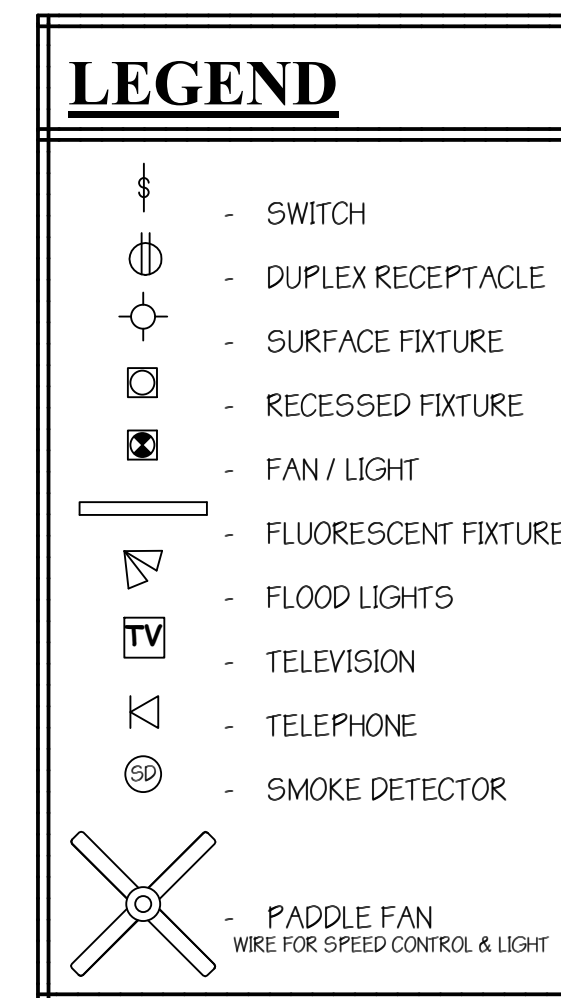


JAMB SWITCHES FOR ALL CLOSETS

SECOND FLOOR ELECTRICAL PLAN

Electrician:

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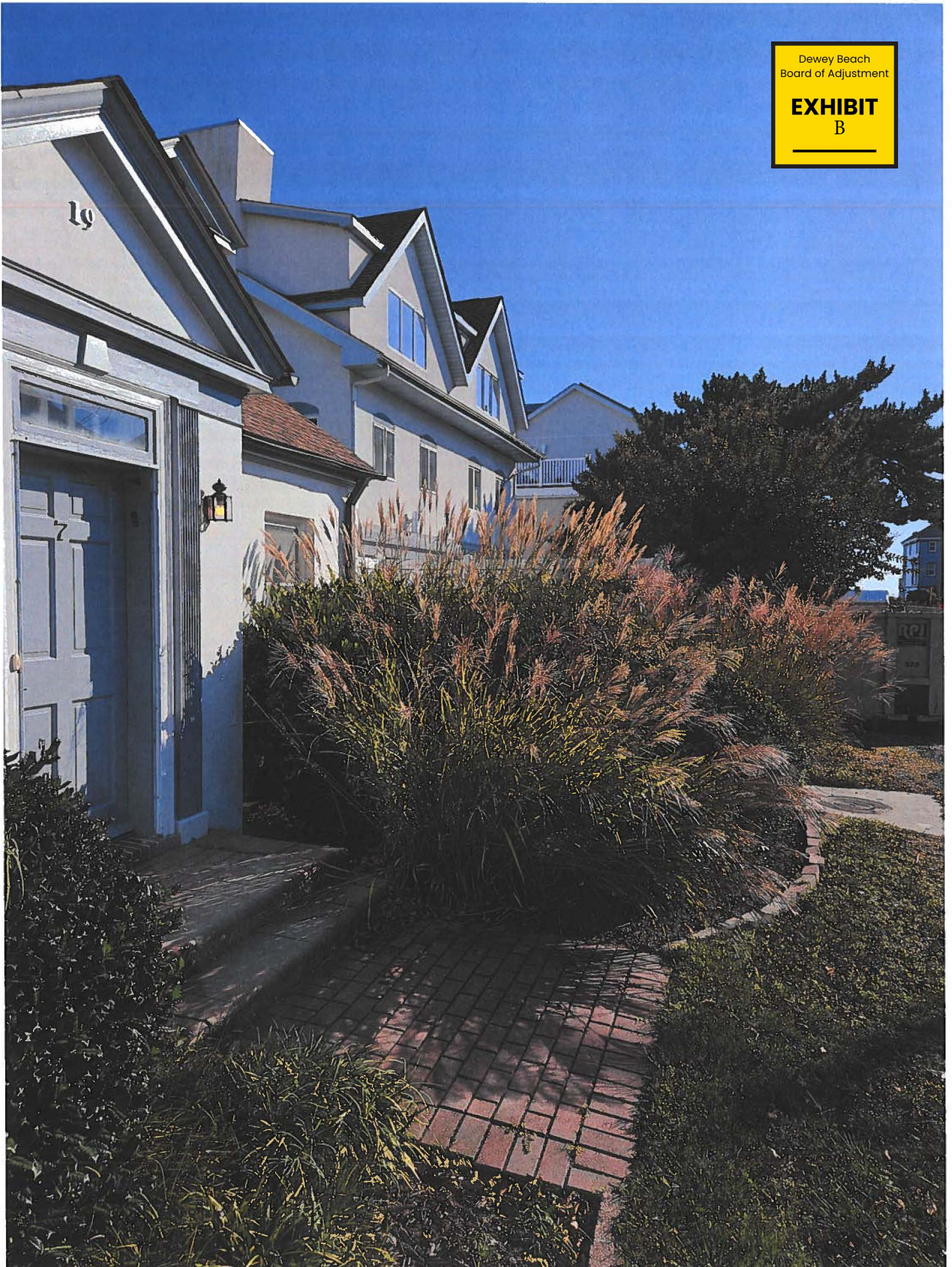
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PROPOSED RESIDENCE FOR: MR. & MRS. JEREMY LONDON CHICAGO STREET - SEAGATE UNITS 13 & 15 DEWEY BEACH, DE		PILOTTOWN ENGINEERING	RESIDENTIAL DESIGN GROUP A.I.B.D. 102 Central Avenue Ocean View, DE 19970 Phone: (302) 537-5700 Fax: (302) 537-0434
SECONDD/THIRD ELECTRICAL PLAN	REVISIONS 9.15.22 STAIR, BEDROOM CHANGE		
DATE: JAN. 22	SCALE: 1/4"=1'-0"		
SQ. FT.: AS NOTED	FILE: 41020 LOUDON		
DRAWN BY: B.K.S.	CHECKED BY:		
SHEET: 12 OF 12			

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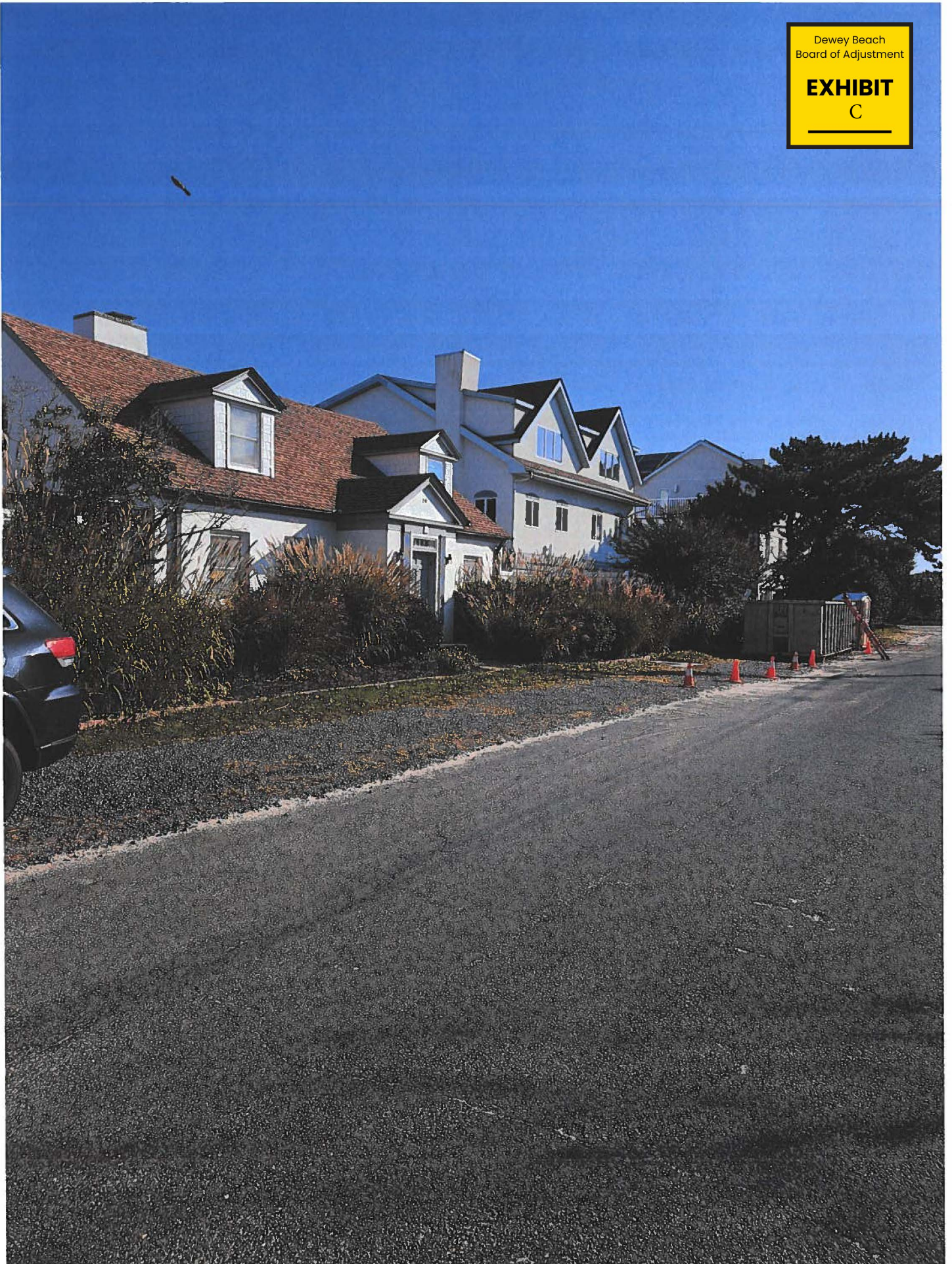
Dewey Beach
Board of Adjustment

EXHIBIT
B

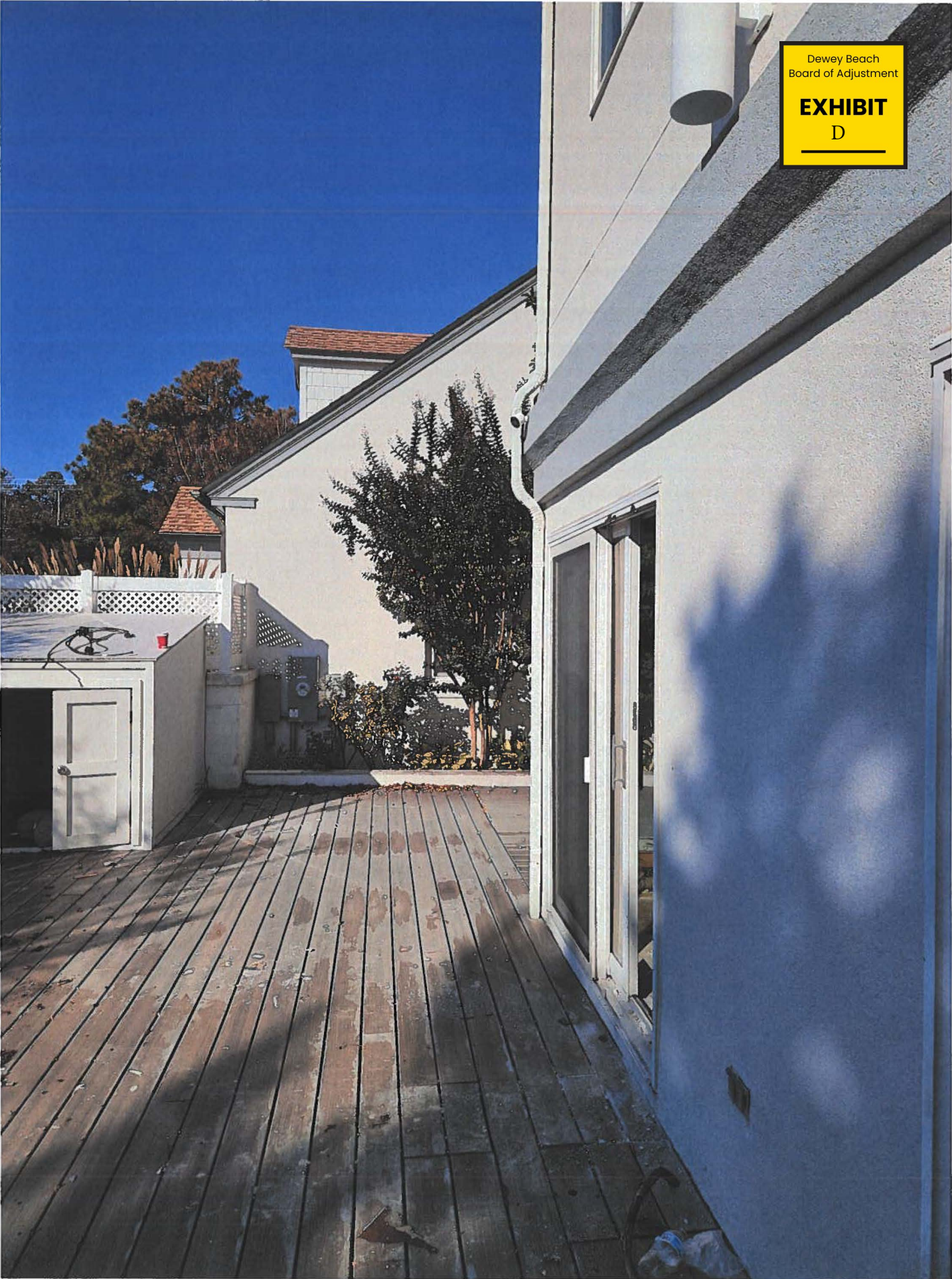


Dewey Beach
Board of Adjustment

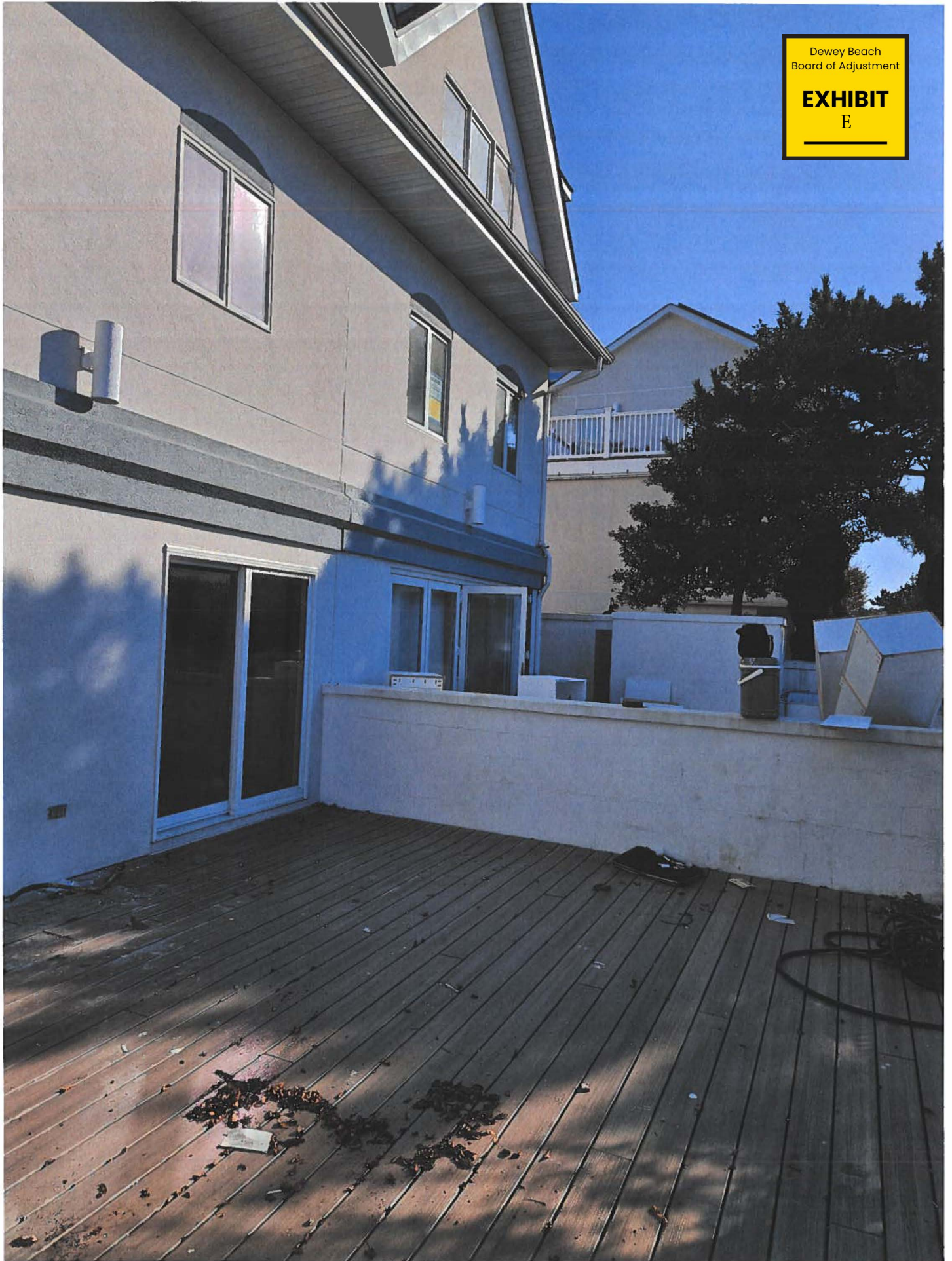
EXHIBIT
C



Dewey Beach
Board of Adjustment
EXHIBIT
D

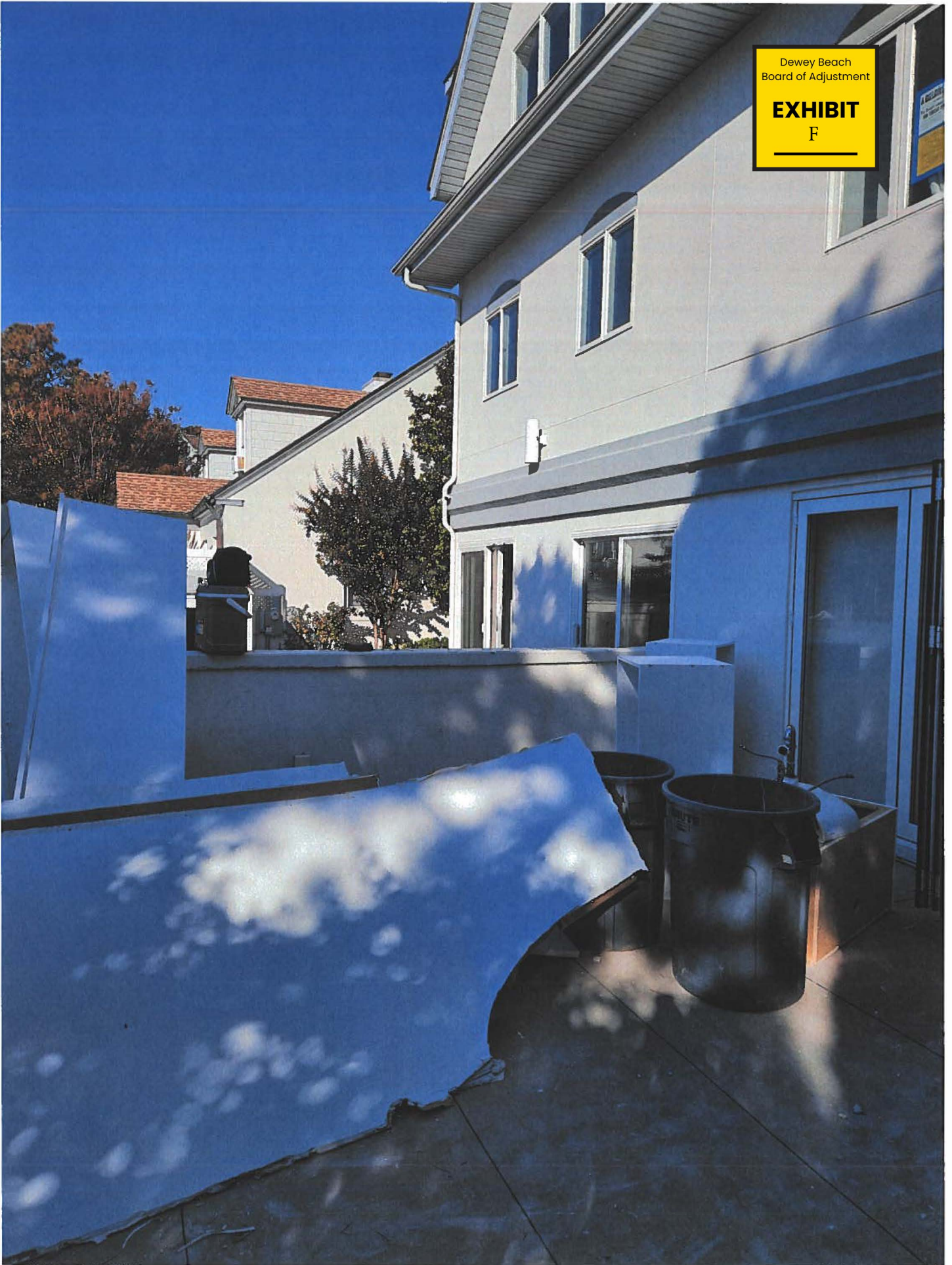


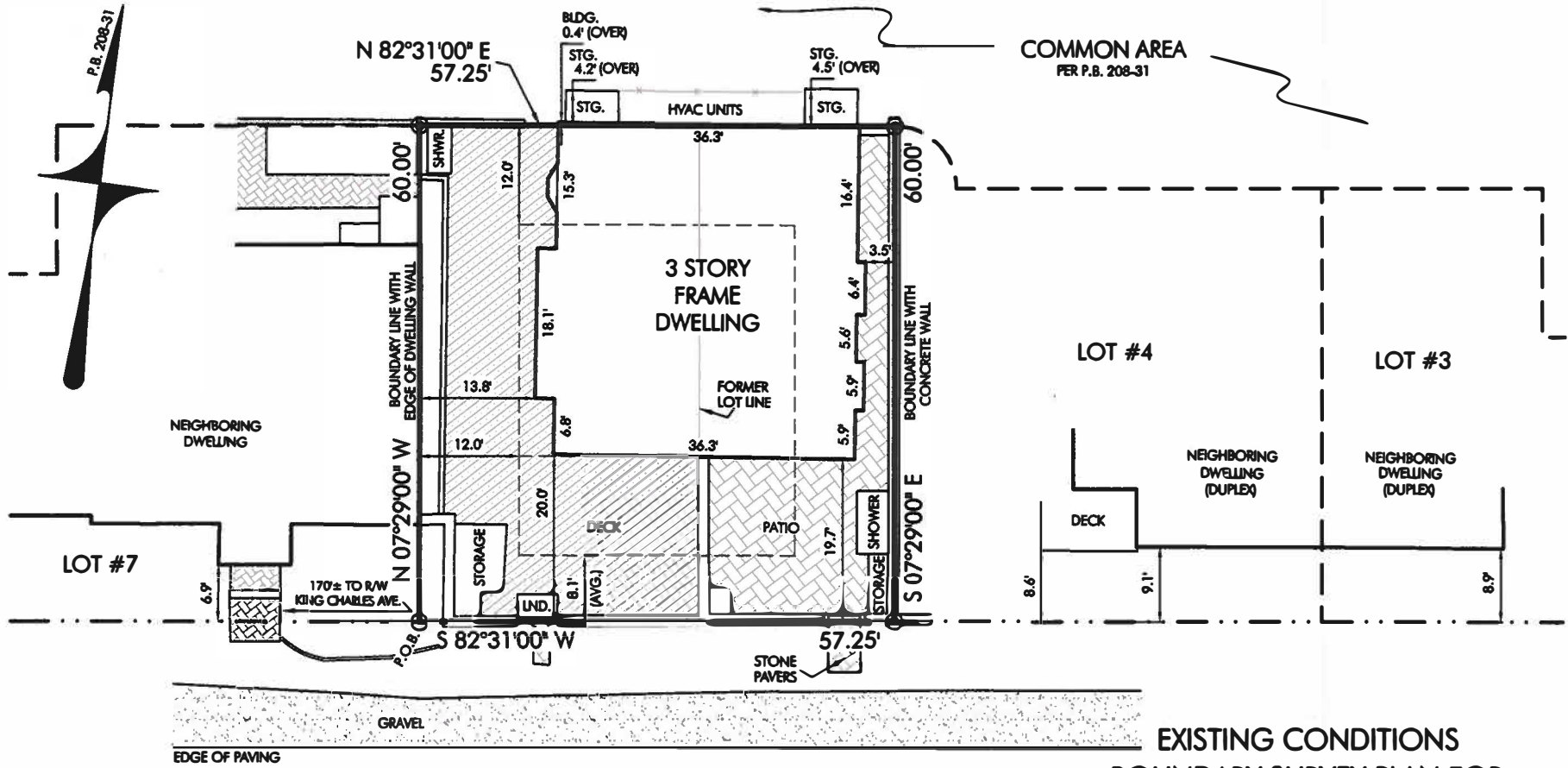
Dewey Beach
Board of Adjustment
EXHIBIT
E



Dewey Beach
Board of Adjustment

EXHIBIT
F





CHICAGO STREET
SETBACK TABLE (9/21/2023)
AVERAGE = 8.1'

PARCEL T.M.#	LOT #	TYPE OF STRUCTURE	DISTANCE TO CHICAGO STREET
3-34-20.14-280.00	3	BUILDING WALL	8.9'
3-34-20.14-281.00	4	DECK	8.6'
3-34-20.14-284.00	7	BUILDING WALL	6.9'

CHICAGO STREET (50' R/W)

- LEGEND:**
- ⊙ POINT IN CONCRETE WALL
 - POINT

**EXISTING CONDITIONS
BOUNDARY SURVEY PLAN FOR
SEA GATE 5, LLC.**

13 & 15 CHICAGO STREET
LOTS #5 & #6 OF "SEA GATE VILLAGE" SUBDIVISION
TOWN OF DEWEY BEACH
LEWES & REHOBOTH HUNDRED SUSSEX COUNTY
STATE OF DELAWARE
SEPTEMBER 21, 2023 SCALE: 1" = 20'

NOTES:
ALL RESTRICTIONS MUST BE VERIFIED BY THE OWNER, GENERAL CONTRACTOR AND/OR THE DESIGNER. PLEASE CONTACT THE TOWN OF DEWEY BEACH TO VERIFY.
THIS DRAWING DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF WETLANDS, UTILITIES, RIGHT-OF-WAYS OR EASEMENTS IN REFERENCE TO OR LOCATED ON THIS PROPERTY.
NO TITLE SEARCH PROVIDED OR STIPULATED.
SURVEY CLASS: SUBURBAN



Prepared by:
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Surveying & Precision Measurement

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