



Form and payment must be received before the first day of the month prior to the month in which the Applicant wishes to be heard by the Board. After form and payment are received, Town Staff will contact you to arrange a meeting date.

### Applicant Information

|  |                                    |                       |
|--|------------------------------------|-----------------------|
| Name of Requestor:<br><i>Mystic Harbour Corporation -</i>  |                                    | Date of Request:      |
| Mailing Address (City, State, Zip)<br><i>9919 Stephen Decatur Highway, West Ocean City, Md 21842</i> |                                    |                       |
| Phone:<br><i>410-726-8789</i>  | Email:<br><i>Jburbage@bwdc.com</i> |                       |
| Dewey Beach Address:   |                                    |                       |
| Property Map:<br><i>334 20.18</i>  | Parcel:<br><i>147.01</i>           | Unit:<br><i>1-2-3</i> |

### Nature of Request

|   |                                |
|---|--------------------------------|
| Zoning District of Property:  | Your Interest in the Property: |
| Municipal Code Reference:   |                                |
| <input type="checkbox"/> Special Exception  |                                |
| <input checked="" type="checkbox"/> Variance <i>allow the 6 bedroom residential unit to be converted to 2 residential units being 3 bedrooms each</i> |                                |
| <input type="checkbox"/> Appeal of Decision of Town Building Official   |                                |
| <input type="checkbox"/> Special Yard Exception   |                                |
| Attach Supporting Documents (Request Description, Reason, etc)  | Attach Plot Plan/Sketches :    |



### Payment Information

Board of Adjustment Application Fee:

500

USD

*paid via check 2080*

Applicant Signature

Date:

### STAFF USE ONLY

Town Clerk Signature:

*Mrs. Bauer*

Date Application Received:

*10/4/2023*

Decision of the Board:

Case Number:



Document# 2023000018227 BK: 5912 PG: 313  
 Recorder of Deeds, Alexandra Reed Baker On 5/25/2023 at 1:41:43 PM Sussex County, DE  
 Consideration: \$2,400,000.00 County/Town: \$36,000.00 State: \$60,000.00 Total: \$96,000.00  
 Doc Surcharge Paid Town: DEWEY BEACH

Tax Number: 3-34 20.18 147.01 Unit 1, 2 and 3  
 PREPARED BY & RETURN TO:  
 Tunnell & Raysor, P.A.  
 323 Rehoboth Avenue  
 Suite E  
 Rehoboth Beach, DE 19971  
 File No. AS13033/HED

NO TITLE SEARCH REQUESTED  
 NO TITLE SEARCH PERFORMED  
 NO TITLE GUARANTEE  
 DEED PREPARATION ONLY

**THIS DEED**, made this 24th day of May, 2023,

- BETWEEN -

**BELLEVUE SUITES, LLC, A DELAWARE LIMITED LIABILITY COMPANY**, of 6754 Seashore Highway, Bridgeville, DE 19933, party of the first part,

- AND -

**MYSTIC HARBOUR CORPORATION, A MARYLAND CORPORATION**, of 9919 Stephen Decatur Highway, West Ocean City, MD 21842, as sole owner, party of the second part.

**WITNESSETH:** That the said party of the first part, for and in consideration of the sum of **ONE DOLLAR (\$1.00)**, lawful money of the United States of America, the receipt whereof is hereby acknowledged, hereby grants and conveys unto the party of the second part, and its heirs and assigns, in fee simple, the following described lands, situate, lying and being in Sussex County, State of Delaware:

**ALL** those certain Units known as **UNIT NO. 1, UNIT NO. 2 and UNIT NO. 3**, in the Condominium known as **BELLEVUE SANDS BUSINESS CONDOMINIUM**, situate lying and being in the Town of Dewey Beach, Lewes and Rehoboth Hundred, Sussex County and State of Delaware, being more particularly bounded and described in the Declaration of Jolly Jumper Amusements, Inc., a corporation of the State of Delaware, dated December 30, 2002, and recorded in the Office of the Recorder of Deeds, Georgetown, Sussex County, Delaware, in Deed Book 2788, Page 5, and the Declaration



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Doc Surcharge Paid

Plan recorded in the Office of the Recorder of Deeds, Sussex County, Delaware, in Plot Book 77, Page 305 (the "Declaration Plan"), all pursuant to the provisions of the Unit Property Act of the State of Delaware, Title 25, Section 2201, et. seq. of the Delaware Code, said property being subject to a Code of Regulations of record in the Office of the Recorder of Deeds aforesaid, in Deed Book 2788, Page 20, ("The Code of Regulations").

**TOGETHER** with a proportionate undivided interest totaling 100% in the Common Elements of the said BELLEVUE SANDS BUSINESS CONDOMINIUM, as said Common Elements are more particularly bounded and described in the aforesaid Declaration and Declaration Plan as amended. THE PERCENTAGE OF COMMON ELEMENTS HEREIN CONVEYED IS SUBJECT TO REDUCTION AS PROVIDED FOR IN THE DECLARATION.

**AND TOGETHER** with the license, right and privilege in common with all other present and future owners of all units in the BELLEVUE SANDS BUSINESS CONDOMINIUM to use the roadways or rights of way delineated on the Declaration Plan of BELLEVUE SANDS BUSINESS CONDOMINIUM, as well as all future roadway or rights of way submitted by any supplement, amendment, modification or reversion to the Declaration and Declaration Plan.

**AND TOGETHER** with all other rights, title, interest and privileges provided for or created by the said Unit Property Act (25 Del. C. Section 2201, et. seq.) for and in the owners of property made subject to the provisions of the said Act.

**SUBJECT HOWEVER,** to the following covenants, conditions and restrictions:

(1) The Grantees, for themselves, their heirs, personal representatives, successors and assigns, by the acceptance of the Deed, covenant and agree to pay such charges for the maintenance of, repairs to, replacement of and expenses in connection with the Common Elements as may be assessed from time to time by the council in accordance with the Unit Property Act of Delaware (Chapter 22 of Title 25 of the Delaware Code) and further covenant and agree that the unit conveyed by this deed shall be subject to a charge for all amounts so assessed; and that except insofar as Sections 2236 and 2237 of Title 25 of the Delaware Code Article X, Section 2(e) of the Code of Regulations may relieve a subsequent unit owner of liability for prior unpaid assessments, this covenant shall run with and bind the land or unit hereby conveyed and all subsequent owners thereof.

(2) The Grantees, for themselves, their heirs, personal representatives, successors and assigns, by acceptance of this Deed become members of the BELLEVUE SANDS BUSINESS CONDOMINIUM ASSOCIATION to be comprised of the owners of all units in the Condominium.

(3) The Grantees, acknowledge, by the acceptance of this Deed, that pursuant to the Unit Property Act and the Condominium documents, referred to above, that the interest in the common elements which has been assigned to the above unit in the Declaration may



Document# 2023000018227 BK: 5912 PG: 315

Recorder of Deeds, Alexandra Reed Baker On 5/25/2023 at 1:41:43 PM Sussex County, DE

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not be separated from the Unit to which such interest pertains and the said interest shall be deemed to be conveyed or encumbered by the Grantees, even though such interest in the common elements is not expressly referred to a subsequent deed, mortgage or other instrument conveying title to the unit.

Unless the context shall indicate otherwise or unless otherwise defined, the terms used herein shall have the meanings ascribed to them in the Declaration and the Code of Regulations. However, if such definitions should be in conflict with the definition of such terms in the Unit Property Act, then the definition in the Unit Property Act shall control.

BEING the same lands conveyed to Bellevue Suites, LLC, a Delaware limited liability company from Jolly Jumper Amusements, Inc., "Now Known As" Bellevue Sands, Inc., a Delaware Corporation, by Deed dated January 31, 2019, recorded in the Office of the Recorder of Deeds in and for Sussex County, Delaware, on February 4, 2019, in Deed Book 5012, Page 23.

ALSO BEING the same lands conveyed to Bellevue Suites, LLC, a Delaware limited liability company from Bellevue Sands, Inc., a Delaware Corporation, by Deed dated January 31, 2019, recorded in the Office of the Recorder of Deeds in and for Sussex County, Delaware, on February 4, 2019, in Deed Book 5012, Page 27.

Per Plot Book 44, Page 24 of Bellevue Sands Condominium Phase 1 Now Oceans Reach dated March 26, 1990, 10 parking spaces are allotted for the 3 three Units of Bellevue Sands Business Condominium located behind "Oceans Reach Condominium".

**SUBJECT** to any and all restrictions, reservations, conditions, easements and agreements of record in the Office of the Recorder of Deeds in and for Sussex County, Delaware.

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Recorder of Deeds, Alexandra Reed Baker On 5/25/2023 at 1:41:43 PM Sussex County, DE

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IN WITNESS WHEREOF, the said Bellevue Suites, LLC, a Delaware limited liability company, has caused its name to be hereunto set under seal by Jesse Vanderwende and Taylor Vanderwende, Members of Bellevue Suites, LLC, a Delaware limited liability company, the day and year first above written.

**BELLEVUE SUITES, LLC, A  
DELAWARE LIMITED LIABILITY  
COMPANY**

  
\_\_\_\_\_  
Witness

By:  (SEAL)  
Jesse Vanderwende, Member

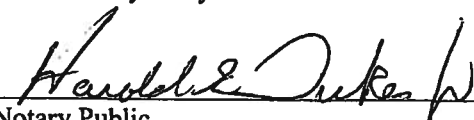
By:  (SEAL)  
Taylor Vanderwende, Member

STATE OF DELAWARE, COUNTY OF SUSSEX: to-wit

BE IT REMEMBERED, that on this 24th day of May, A.D. 2023, personally appeared before me, the Subscriber, a Notary Public in and for the State and County aforesaid, Jesse Vanderwende and Taylor Vanderwende, Members of Bellevue Suites, LLC, a Delaware limited liability company, party to this Indenture, known to me personally to be such, and acknowledged this Indenture to be their act and deed and the act and deed of said limited liability company; that the signature of the Member is in his/her own proper handwriting and by their authority to act; and that the act of signing, sealing, acknowledging and delivering the said Indenture was first duly authorized by a resolution of the limited liability company.

GIVEN under my Hand and Seal of Office the day and year aforesaid.

HAROLD E. DUKES, JR.  
ATTORNEY AT LAW WITH  
POWER TO ACT AS NOTARY PUBLIC  
PER 29 DEL. C SEC 4323 (A) 3

  
\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_



Dewey Beach  
Board of Adjustment  
**EXHIBIT**  
B

RECORDED  
MAR 28 PM 2:55  
RECORDER OF DEEDS  
SUSSEX COUNTY

" AMENDED DECLARATION PLAN "

FORMERLY

" BELLEVUE SANDS CONDOMINIUM "  
PHASE 1

NOW

" OCEANS REACH "

BALTIMORE HUNDRED - SUSSEX CO.  
DELAWARE

A CONDOMINIUM PROJECT UNDER DE. UNIT PROPERTY ACT 25  
DE. CODE 2201 ET SEQ

THIS AMENDED DECLARATION PLAN AMENDS THE DECLARATION PLAN OF BELLEVUE SANDS CONDOMINIUM, PHASE 1, WHICH IS OF RECORD IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR SUSSEX COUNTY, AT GEORGETOWN, DELAWARE, IN PLOT BOOK 35, PAGE 61, ET SEQ.

STATE OF DELAWARE -  
COUNTY OF SUSSEX  
SWORN TO AND SUBSCRIBED  
BEFORE ME THIS 28<sup>th</sup> DAY  
OF MARCH, 1990.

*Victor H. Cannon*  
NOTARY PUBLIC

Approved for Conformance  
with Dewey Beach Zoning  
Regulations.

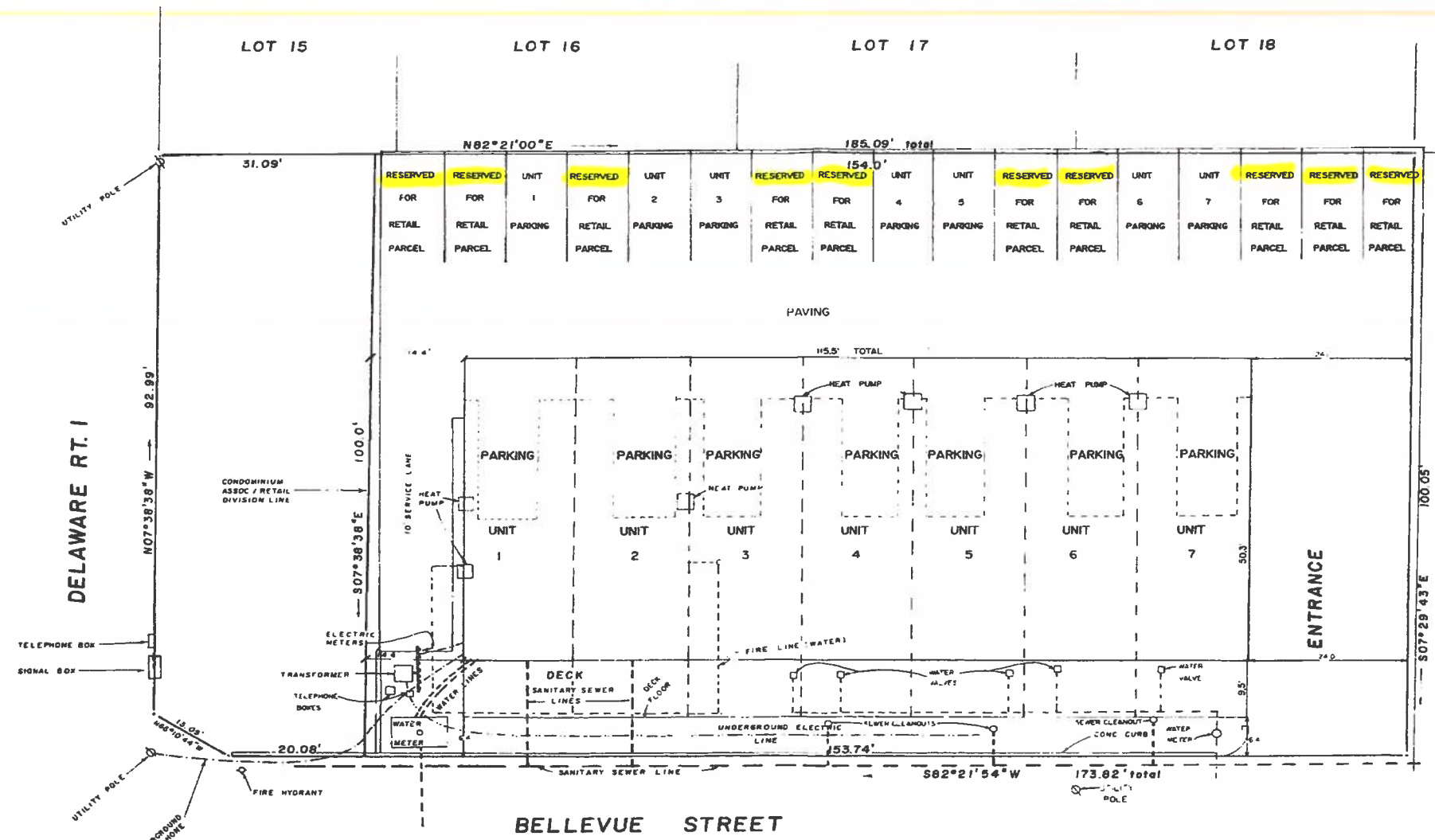
*Justin*  
3/28/90

THIS IS TO CERTIFY THAT THIS DECLARATION PLAN FULLY AND ACCURATELY SHOWS THE PROPERTY, THE LOCATION OF THE BUILDINGS THEREON, THE BUILDINGS AND LAYOUT OF THE FLOORS OF THE BUILDINGS INCLUDING THE UNITS AND COMMON ELEMENTS, AND SETS FORTH THE NAME WHICH THE PROPERTY WILL BE KNOWN AND THE UNIT DESIGNATION FOR EACH UNIT THEREON.

*John Harold Plummer*  
REGISTERED PROFESSIONAL SURVEYOR  
No. 8013  
MAR 26 1990  
RE #603

PRINTED  
MAR 26 '90

|  |  |
|--|--|
| <br>SURVEYORS, PLANNERS, CONSULTING ENGINEERS<br>ROUTE 1, BOX 17-B, 160 ATLANTIC AVENUE<br>OCEAN VIEW, DELAWARE 19970<br>TELEPHONE (302) 538-2268 | DRAWN BY: P.M.Y.<br>F.S. 8-77 51-39<br>T.M. 3-34-2018-147-148<br>DATE: 3/23/90 |
|  | REVISIONS  |
| <b>OCEANS REACH</b><br><b>A CONDOMINIUM</b><br>LEWES 8 REMOBOTH HUNDRED<br>SUSSEX COUNT DELAWARE   | SCALE: NTS<br><b>LR - 27</b><br>DRAWING NO.                                    |
| <b>TITLE SHEET</b>   | <b>17585</b><br>PROJECT NO.<br><b>1 OF 7</b><br>SHEET NO.                      |



**LOCATION SURVEY**  
 BELLEVUE SANDS CONDOMINIUM  
 UNITS 1 & 2 PHASE I  
 LOTS 11, 12, 13, & PART OF 14 BLOCK 38  
 REHOBOTH BY THE SEA LANDS

AREA 18,460 sq. ft. ± total

- NOTE:
1. THE EXISTING UTILITIES SHOWN FROM BEST AVAILABLE RECORDS AND THEIR LOCATIONS SHOULD BE CONSIDERED APPROXIMATE.
  2. ALL UTILITIES ARE COMMON ELEMENTS.
  3. "MISS UTILITY" SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION FOR EXACT LOCATIONS OF ALL UTILITIES.

NO VIOLATION OF SETBACK REQUIREMENTS EXIST AS OF THE DATE OF THIS DRAWING.



**H&M TECH INC.**  
 SURVEYORS, PLANNERS, CONSULTING ENGINEERS  
 ROUTE 1, BOX 17-B • 48 ATLANTIC AVENUE  
 OCEAN VIEW, DELAWARE 19970  
 TELEPHONE 003 535-2506

**OCEANS REACH A CONDOMINIUM**  
 LEWES 8 REHOBOTH HUNDRED  
 SUSSEX COUNTY, DELAWARE

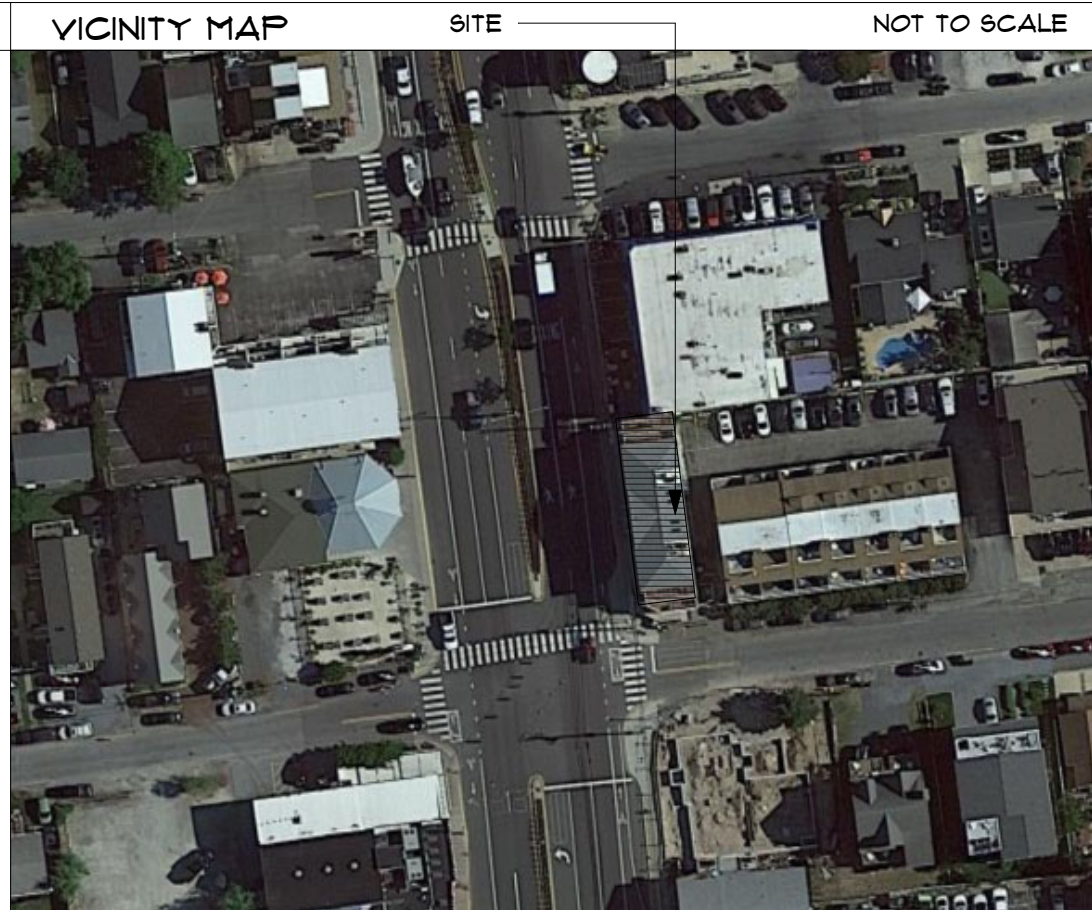
**LOCATION SURVEY**

|                       |
|-----------------------|
| DRAWN BY: WFC         |
| F.B. 8-7751-39        |
| T.M. 3-34-2018-147-48 |
| DATE: 3-23-90         |
| REVISIONS             |
| SCALE: 1" = 10'       |
| <b>LR-27</b>          |
| DRAWING NO.           |
| <b>17585</b>          |
| PROJECT NO.           |
| <b>2 OF 7</b>         |
| SHEET NO.             |

| ARCHITECTURAL SYMBOLS |                          |  |   |
|-----------------------|--------------------------|--|---|
| ROOM NAME<br>101      | ROOM NAME<br>ROOM NUMBER |  | SECTION   |
| 101                   | DOOR NUMBER OF TYPE      |  | DETAIL  |
|                       | REVISION                 |  | FIRE EXTINGUISHER<br>SEE IBC 906 FOR PLACEMENT REQUIREMENTS |
|                       | WINDOW TYPE              |  | EXIT SIGNAGE  |
|                       | WALL TYPE                |  | EMERGENCY LIGHTING  |
|                       | BUILDING ELEVATION       |  | INTERIOR ELEVATION  |

| MATERIAL SYMBOLS |                          |  |                     |
|------------------|--------------------------|--|---------------------|
|                  | EARTH                    |  | WOOD BLOCKING       |
|                  | GRAVEL                   |  | PLYWOOD             |
|                  | CONCRETE                 |  | STUD PARTITION      |
|                  | CONCRETE MASONRY UNIT    |  | GLASS - SMALL SCALE |
|                  | BRICK                    |  | BATT INSULATION     |
|                  | CAST STONE               |  | RIGID INSULATION    |
|                  | STEEL - LARGE SCALE      |  | CERAMIC TILE        |
|                  | ALL METALS - SMALL SCALE |  | PLASTER OR STUCCO   |
|                  | SHINGLES                 |  | PARTICLE BOARD      |
|                  | WOOD - FINISH            |  |                     |

| ABBREVIATIONS |  |
|---------------|--|
| AB            | ANCHOR BOLT                            |
| ADA           | AMERICAN W/ DISABILITIES ACT           |
| AFB           | ABOVE FINISHED FLOOR                   |
| ALUM          | ALUMINUM                               |
| ASB           | ABOVE SUBFLOOR                         |
| BLDG          | BUILDING                               |
| BLK           | BLOCK                                  |
| BLKG          | BLOCKING                               |
| BLW           | BELOW                                  |
| BOT           | BOTTOM                                 |
| BP            | BEARING POINT                          |
| CAB           | CABINET                                |
| CF            | CUBIC FEET                             |
| CFM           | CUBIC FEET PER MINUTE                  |
| CIRC          | CIRCLE                                 |
| CJ            | CONTROL JOINT                          |
| CL            | CLOSET                                 |
| CLG           | CEILING                                |
| CLR           | CLEAR                                  |
| CMU           | CONCRETE MASONRY UNIT                  |
| COL           | COLUMN                                 |
| CONC          | CONCRETE                               |
| CONST         | CONSTRUCTION                           |
| CONT          | CONTINUOUS                             |
| CONTR         | CONTRACTOR                             |
| CORR          | CORRUGATED                             |
| CTR           | CENTER                                 |
| CY            | CUBIC YARD                             |
| DET           | DETAIL                                 |
| DF            | DRINKING FOUNTAIN                      |
| DIA           | DIAMETER                               |
| DIM           | DIMENSION                              |
| DL            | DEAD LOAD                              |
| DO            | DITTO                                  |
| DS            | DOWNSPOUT                              |
| DW            | DISHWASHER                             |
| DWG           | DRAWING                                |
| DWGS          | DRAWINGS                               |
| E             | EAST                                   |
| EA            | EACH                                   |
| EIPB          | EXT. INSUL. & FINISH SYSTEM            |
| EJ            | EXPANSION JOINT                        |
| ELEC          | ELECTRICAL                             |
| ELEV          | ELEVATION                              |
| ENCL          | ENCLOSURE                              |
| EPB           | EXPANDED POLYSTYRENE                   |
| EQ            | EQUAL                                  |
| EXH           | EXHAUST                                |
| EXIST         | EXISTING                               |
| EXP           | EXPANSION                              |
| EXT           | EXTERIOR                               |
| FBD           | FIBERBOARD                             |
| FBO           | FURNISHED BY OTHERS                    |
| FD            | FLOOR DRAIN                            |
| FE            | FIRE EXTINGUISHER                      |
| FF            | FINISHED FLOOR                         |
| FG            | FIBERGLASS                             |
| FLR           | FLOOR                                  |
| FND           | FOUNDATION                             |
| FOC           | FACE OF CONCRETE                       |
| FOF           | FACE OF FINISH                         |
| FOM           | FACE OF MASONRY                        |
| FOS           | FACE OF STUD                           |
| FT            | FEET/FOOT                              |
| FTG           | FOOTING                                |
| FV            | FIELD VERIFY                           |
| GA            | GAUGE                                  |
| GALV          | GALVANIZED                             |
| GC            | GENERAL CONTRACT(OR)                   |
| GLB           | GLUE LAMINATED BEAM                    |
| GPM           | GALLONS PER MINUTE                     |
| GRD           | GRADE                                  |
| GYP BD        | GYPBUM                                 |
| HC            | HOLLOW CORE                            |
| HCP           | HANDICAPPED                            |
| HDW           | HARDWARE                               |
| HM            | HOLLOW METAL                           |
| HOR           | HORIZONTAL                             |
| HR            | HOUR                                   |
| HVAC          | HEATING/VENTILATION & AIR CONDITIONING |
| HWH           | HOT WATER HEATER                       |
| ID            | INSIDE DIAMETER                        |
| IN            | INCH/INCHES                            |
| INSUL         | INSULATION                             |
| INT           | INTERIOR                               |
| JBS           | JOIST                                  |
| JT            | JOINT                                  |
| L.H.          | LEFT HAND                              |
| L.L.          | LIVE LOAD                              |
| LAM           | LAMINATED                              |
| LAV           | LAVATORY                               |
| LSB           | POUNDS                                 |
| LN            | LINEN                                  |
| LLH           | LONG LEG HORIZONTAL                    |
| LLV           | LONG LEG VERTICAL                      |
| LTL           | LINTEL                                 |
| LVL           | LAMINATED VENEER LUMBER                |
| LW            | LIGHTWEIGHT                            |
| MAS           | MASONRY                                |
| MAX           | MAXIMUM                                |
| MECH          | MECHANICAL                             |
| MFR           | MANUFACTURER                           |
| MIN           | MINIMUM                                |
| MISC          | MISCELLANEOUS                          |
| MO            | MASONRY OPENING                        |
| MTL           | METAL                                  |
| N             | NORTH                                  |
| NC            | NOT IN CONTRACT                        |
| NO            | NUMBER                                 |
| NOM           | NOMINAL                                |
| NR            | NOT REQUIRED                           |
| NTS           | NOT TO SCALE                           |
| OA            | OUTSIDE AIR                            |
| OC            | ON CENTER                              |
| OD            | OUTSIDE DIAMETER                       |
| OH            | OVERHEAD                               |
| OPNG          | OPENING                                |
| OPP           | OPPOSITE                               |
| OSB           | ORIENTED STRAND BOARD                  |
| OZ            | OUNCE                                  |
| P.L.          | PROPERTY LINE                          |
| PAR           | PARALLEL                               |
| PBD           | PARTICLE BOARD                         |
| PCF           | POUNDS PER CUBIC FOOT                  |
| PL            | PLATE                                  |
| PLF           | POUNDS PER LINEAR FOOT                 |
| PR            | PAIR                                   |
| PREFAB        | PREFABRICATED                          |
| PSF           | POUNDS PER SQUARE FOOT                 |
| PSI           | POUNDS PER SQUARE INCH                 |
| PSL           | PARALLEL STRAND LUMBER                 |
| PT            | PRESSURE TREATED                       |
| PVC           | POLYVINYL CHLORIDE                     |
| PVMT          | PAVEMENT                               |
| PW            | PLYWOOD                                |
| R             | RADIUS/RISER                           |
| RA            | RETURN AIR                             |
| RAD           | RADIUS                                 |
| RB            | RESILIENT BASE                         |
| RBR           | RUBBER                                 |
| RCP           | REFLECTED CEILING PLAN                 |
| RD            | ROOF DRAIN                             |
| REC           | RECESSED                               |
| RECPT         | RECEPTACLE                             |
| REF           | REFERENCE                              |
| REFR          | REFRIGERATOR                           |
| REG           | REGISTER                               |
| REINF         | REINFORCED REINFORCING                 |
| REINF         | REINFORCED                             |
| REL           | RELOCATE                               |
| REM           | REMOVABLE                              |
| RECOM         | RECOMMENDED                            |
| REQ           | REQUIRED                               |
| REQD          | REQUIRED                               |
| RESIL         | RESILIENT                              |
| REV           | REVISION/REVISED                       |
| RM            | ROOM                                   |
| RO            | ROUGH OPENING                          |
| RTD           | RATED                                  |
| RTG           | RATING                                 |
| RWL           | RAIN WATER LEADER                      |
| S             | SOUTH                                  |
| SC            | SOLID CORE                             |
| SD            | STORM DRAIN                            |
| SEC           | SECTION                                |
| SF            | SQUARE FEET/FOOT                       |
| SHT           | SHEET                                  |
| SIM           | SIMILAR                                |
| SPEC          | SPECIFICATION                          |
| SS            | STAINLESS STEEL                        |
| STAT          | THERMOSTAT                             |
| STD           | STANDARD                               |
| STOR          | STORAGE                                |
| STRUCT        | STRUCTURAL                             |
| SUP           | SUPPLY                                 |
| SUS           | SUSPENDED                              |
| SYM           | SYMMETRICAL                            |
| SYS           | SYSTEM                                 |
| T             | TREAD                                  |
| T&B           | TOP AND BOTTOM                         |
| T&G           | TONGUE AND GROOVE                      |
| T.B.          | TOP OF BEAM                            |
| T.BAR         | TOWEL BAR                              |
| T.M.E         | TO MATCH EXISTING                      |
| T.O.          | TOP OF                                 |
| T.O.C         | TOP OF CURB                            |
| T.O.L         | TOP OF LINTEL                          |
| T.O.SL        | TOP OF SLAB                            |
| T.O.STL       | TOP OF STEEL                           |
| T.O.W         | TOP OF WALL                            |
| TEL           | TELEPHONE                              |
| THK           | THICKNESS                              |
| THRU          | THROUGH                                |
| TV            | TELEVISION                             |
| TYP           | TYPICAL                                |
| U.C.          | UNDERCUT DOOR 1" U.N.O                 |
| U.N.O         | UNLESS NOTED OTHERWISE                 |
| V.P.S.        | VENEER PLASTER SYSTEM                  |
| V.T.          | VINYL TILE                             |
| V.W.C.        | VINYL WALL COVERING                    |
| V.W.M.        | VERIFY WITH MANUFACTURER               |
| VAR           | VARIES                                 |
| VCT           | VINYL COMPOSITION TILE                 |
| VERT.         | VERTICAL                               |
| VEST.         | VESTIBULE                              |
| VIN           | VINYL                                  |
| VOL           | VOLUME                                 |
| W             | WEST                                   |
| W.B.          | WOOD BASE                              |
| W.C.          | WATER CLOSET                           |
| W.H.          | WATER HEATER                           |
| W.I.          | WROUGHT IRON                           |
| W.I.C.        | WALK IN CLOSET                         |
| W/            | WITH                                   |
| W/O           | WITHOUT                                |
| WD.           | WOOD                                   |
| WUM           | WELDED WIRE MESH                       |
| X.P.S.        | EXTRUDED POLYSTYRENE                   |



# HALEY APARTMENTS

23 BELLEVUE ST  
DEWEY BEACH, DE

DRAWINGS ISSUED FOR  
BUILDING PERMIT: 08.21.2023

## PROJECT TEAM

**OWNER:**  
BLUE WATER DEVELOPMENT CORP.  
9919 STEPHEN DECATUR HIGHWAY  
OCEAN CITY, MARYLAND 21842  
P: 410.213.1900  
CONTACT: JACK BURBAGE

**ARCHITECT:**  
FISHER ARCHITECTURE, LLC  
542 RIVERSIDE DRIVE  
SALISBURY, MD 21801  
P: 410.742.0238  
CONTACT: HEATHER MORRISON

**STRUCTURAL ENGINEER:**  
PILOTTOWN ENGINEERING  
17505 NASSAU COMMONS BLVD.  
UNIT 3 LEWES, DE 19558  
P: 302.103.1110  
CONTACT: JIM BAKER

## TABLE OF CONTENTS

| SHEET NUMBER | COVER SHEET | SHEET NAME              |
|--------------|-------------|-------------------------|
| GS-01        |             | COVER SHEET             |
| A-101        |             | FIRST FLOOR PLAN        |
| A-102        |             | SECOND FLOOR PLAN       |
| A-103        |             | THIRD FLOOR PLAN        |
| A-501        |             | SCHEDULE AND ASSEMBLIES |
| EG-101       |             | EGRESS PLANS            |

## BUILDING CODE SUMMARY

- JURISDICTION DEWEY BEACH, SUSSEX COUNTY, DE
- APPLICABLE CODES:
  - 2021 INTERNATIONAL EXISTING BUILDING CODE
  - 2019 INTERNATIONAL MECHANICAL CODE
  - 2019 INTERNATIONAL PLUMBING CODE
  - 2018 INTERNATIONAL ENERGY CONSERVATION CODE
  - 2014 NFPA 10 NATIONAL ELECTRIC CODE (NEC)
  - 2021 NFPA 101 LIFE SAFETY CODE
  - 2021 DELAWARE STATE FIRE PREVENTION REGULATIONS
  - ZONING CODE OF TOWN OF DEWEY BEACH, DE
- BUILDING USE AND OCCUPANCY (IBC 309)
  - USE GROUP: M (MERCANTILE) AND R-2 (RESIDENTIAL) - EXISTING USES
- TYPE OF CONSTRUCTION (IBC 601)
  - TYPE V-B
- BUILDING HEIGHT & AREA (IBC TABLE 504.3, 504.4 & 506.2)



| BUILDING HEIGHT, STORIES | PERMITTED PER IBC                  | PER ZONING  | PROVIDED  |
|--------------------------|------------------------------------|-------------|---|
| 1 STORY (M)              | 1 STORY (M)                        | 32 FEET     | 1 STORY (M)   |
| 3 STORIES (R-2)          | 3 STORIES (R-2)                    | 32 FEET     | 2 STORIES (R-2)   |
| BUILDING HEIGHT, FEET    | 40 FEET (M & R-2)                  | 32 FEET     | 35 FEET (EXISTING)  |
| BUILDING AREA            | 9,000 S.F. (M)<br>1,000 S.F. (R-2) | 18,000 S.F. | 2,181 S.F. (FIRST FLOOR)<br>1,816 S.F. (SECOND FLOOR)<br>1,558 S.F. (THIRD FLOOR) |

- FIRE PROTECTION SYSTEM:
  - AN AUTOMATIC FIRE PROTECTION SYSTEM IS (NOT) REQUIRED AND WILL NOT BE PROVIDED.
- OCCUPANT LOAD (IBC 1004.1.2)

| FIRST FLOOR          | PERMITTED PER IBC     | PER ZONING | PROVIDED |
|----------------------|-----------------------|------------|----------|
| COMMERCIAL 1         | 1,036 S.F. / 30 GROSS | 37         | PERSONS  |
| COMMERCIAL 2         | 968 S.F. / 30 GROSS   | 32         | PERSONS  |
| TOTAL OCCUPANCY LOAD |                       | 69         | PEOPLE   |

| RESIDENTIAL          | PERMITTED PER IBC      | PER ZONING | PROVIDED |
|----------------------|------------------------|------------|----------|
| RESIDENTIAL          | 1,161 S.F. / 200 GROSS | 9          | PERSONS  |
| TOTAL OCCUPANCY LOAD |                        | 9          | PEOPLE   |

| THIRD FLOOR          | PERMITTED PER IBC      | PER ZONING | PROVIDED |
|----------------------|------------------------|------------|----------|
| RESIDENTIAL          | 1,442 S.F. / 200 GROSS | 1          | PERSONS  |
| TOTAL OCCUPANCY LOAD |                        | 1          | PEOPLE   |

- LENGTH OF ACCESS TRAVEL:
  - GROUP M WITH A SPRINKLER SYSTEM MAXIMUM TRAVEL DISTANCE = 250'-0"
  - ACTUAL MAXIMUM LENGTH OF TRAVEL = 53'-9"
- LENGTH OF ACCESS TRAVEL:
  - GROUP R-2 WITH A SPRINKLER SYSTEM MAXIMUM TRAVEL DISTANCE = 250'-0"
  - ACTUAL MAXIMUM LENGTH OF TRAVEL = 60'-3"

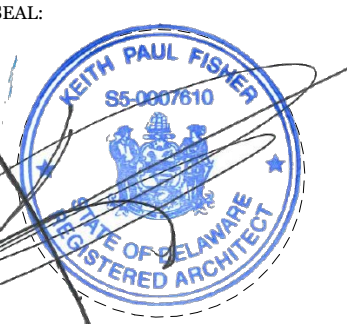
## MINIMUM EGRESS WIDTH PER OCCUPANT:

| FIRST FLOOR  | AT DOORS     | OCCUPANTS | REQUIRED | PROVIDED       |
|--------------|--------------|-----------|----------|----------------|
| COMMERCIAL 1 | AT DOORS     | 31 PEOPLE | 32"      | 36" (EXISTING) |
| COMMERCIAL 1 | AT CORRIDORS | 31 PEOPLE | 44"      | N/A            |
| COMMERCIAL 2 | AT DOORS     | 32 PEOPLE | 32"      | 36" (EXISTING) |
| COMMERCIAL 2 | AT CORRIDORS | 32 PEOPLE | 44"      | N/A            |

| SECOND        | AT DOORS      | OCCUPANTS | REQUIRED | PROVIDED       |
|---------------|---------------|-----------|----------|----------------|
| RESIDENTIAL 1 | AT DOORS      | 9 PEOPLE  | 32"      | 36"            |
| RESIDENTIAL 1 | AT STAIRWELLS | 9 PEOPLE  | 36"      | 36" (EXISTING) |

| THIRD FLOOR   | AT DOORS      | OCCUPANTS | REQUIRED | PROVIDED       |
|---------------|---------------|-----------|----------|----------------|
| RESIDENTIAL 2 | AT DOORS      | 1 PEOPLE  | 32"      | 36"            |
| RESIDENTIAL 2 | AT STAIRWELLS | 1 PEOPLE  | 36"      | 36" (EXISTING) |

- ALL BUILDING MATERIALS AND CONSTRUCTION METHODS TO BE IN ACCORDANCE WITH IBC AND APPLICABLE OSHA REQUIREMENTS.
- PROVIDE FIRE EXTINGUISHERS PER LOCATION(S) ON PLAN AND PER LOCAL CODES. AT MINIMUM (1) FIRE EXTINGUISHER TO BE PROVIDED FOR EVERY 3,000 S.F. AND NOT MORE THAN 75 FEET FROM THE FURTHEST OCCUPANT. PORTABLE FIRE EXTINGUISHERS SHALL BE SELECTED, INSTALLED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH NFPA 10, STANDARDS FOR PORTABLE FIRE EXTINGUISHERS. GENERAL CONTRACTOR TO VERIFY WITH LOCAL FIRE MARSHAL THE NUMBER AND LOCATIONS OF PROPOSED FIRE EXTINGUISHERS ARE COMPLIANT. FIRE MARSHAL TO HAVE FINAL APPROVAL AND AUTHORITY.



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EXPIRATION NO.: 01.31.2022

CONSULTANTS:

HALEY APARTMENTS  
23 BELLEVUE ST  
DEWEY BEACH, DE

## SHEET INFO:

## COVER SHEET

| REV | DATE       | DESCRIPTION      |
|-----|------------|------------------|
| 1   | 2023.08.21 | ISSUE FOR PERMIT |

DATE: 2023.07.27  
PROJECT NO: 2023075  
SCALE: 1/2" = 1'-0"  
FROM: MGR: Designer  
DRAWN BY: Author  
SHEET NUMBER:

GS-01

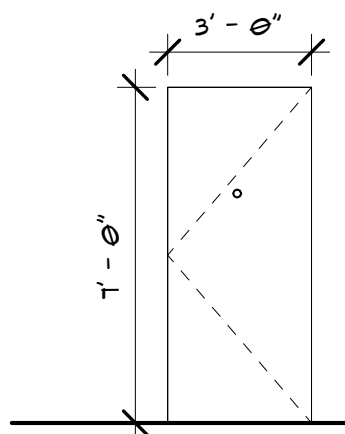






| DOOR TAG | DOOR TYPE | TO ROOM    | FROM ROOM   | DOOR    |         |       |          |        |              | FRAME  |         | HW SET  | ENERGY COMPLIANCE |         | FIRE RATING | KEYNOTES |      |
|----------|-----------|------------|-------------|---------|---------|-------|----------|--------|--------------|--------|---------|---------|-------------------|---------|-------------|----------|------|
|          |           |            |             | SIZE    |         |       | MATERIAL | FINISH | MATERIAL     | FINISH | DETAILS |         | U-FACTOR          | S.H.G.C |             |          |      |
|          |           |            |             | WIDTH   | HEIGHT  | THICK |          |        |              |        | HEAD    |         |                   |         |             |          | JAMB |
| 101      | A         | EX KITCHEN | EX STAIR    | 3' - 0" | 1' - 0" | 2"    | WOOD     | PAINT  | HOLLOW METAL | PAINT  | 4/A-501 | 5/A-501 | 1                 |         |             | 60 MIN   |      |
| 102      | A         | EX STAIR   | NEW KITCHEN | 3' - 0" | 1' - 0" | 2"    | WOOD     | PAINT  | HOLLOW METAL | PAINT  | 4/A-501 | 5/A-501 | 1                 |         |             | 60 MIN   |      |

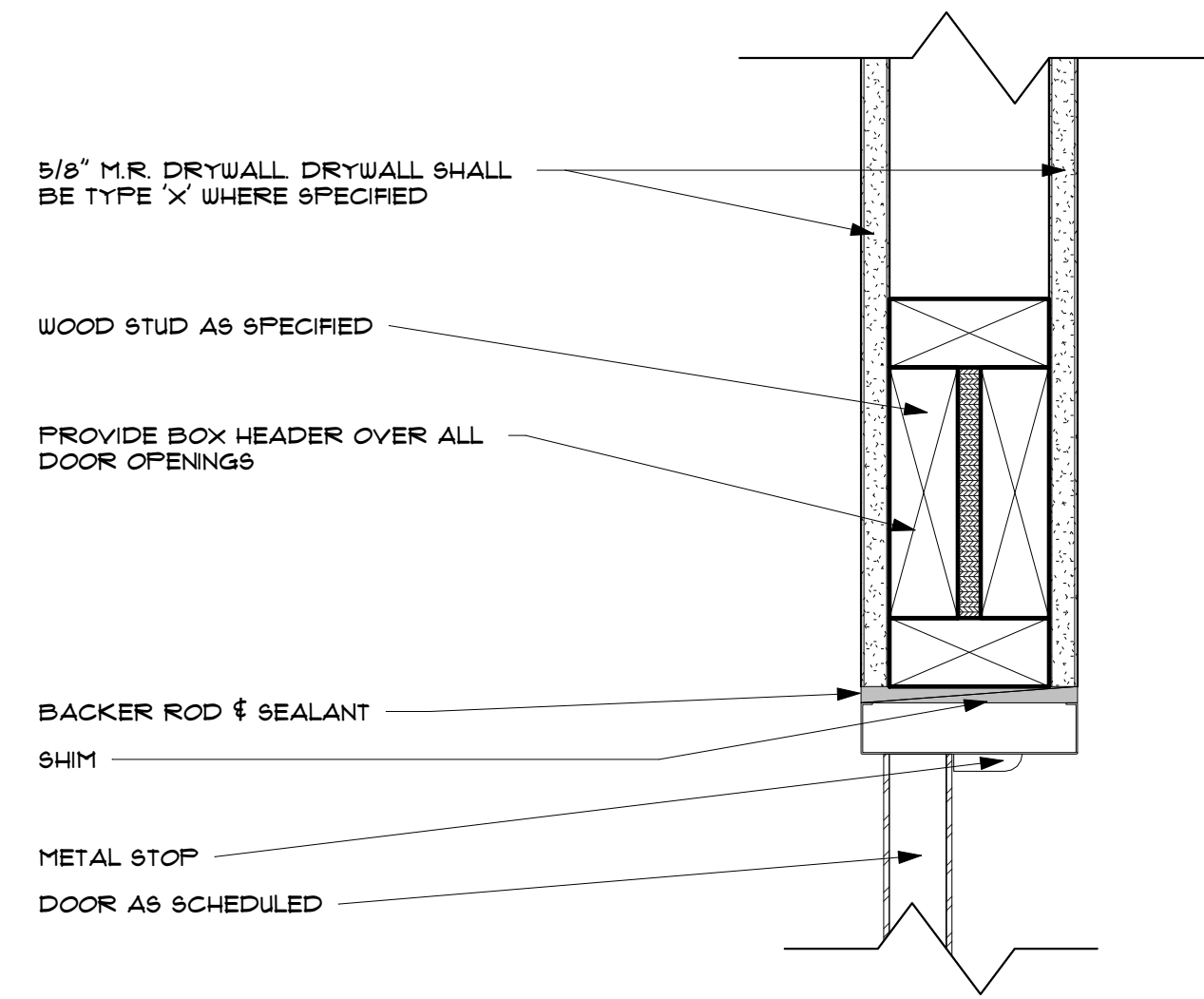
### DOOR TYPES



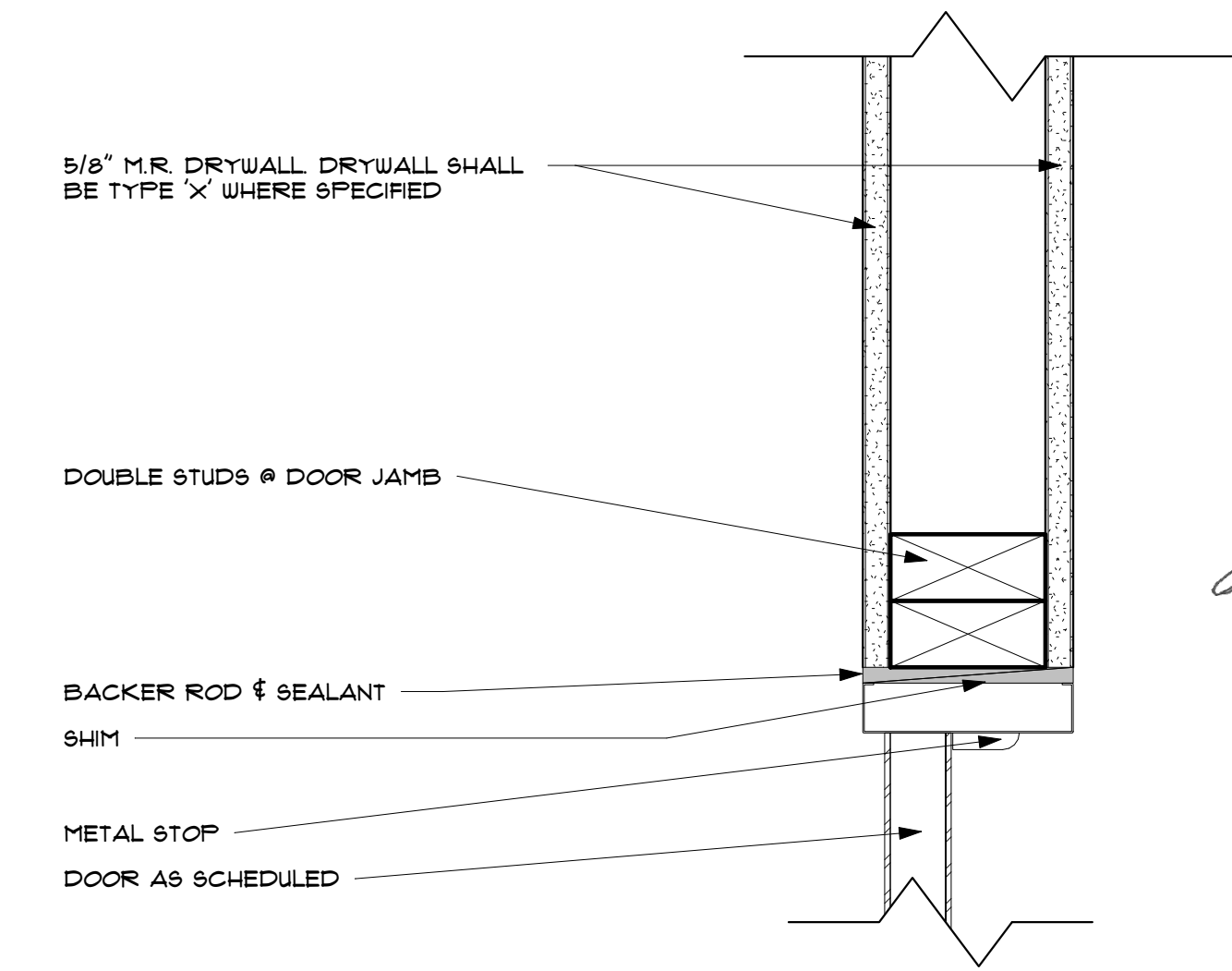
SINGLE FLUSH SOLID CORE WOOD DOOR W/ VIEWER, HOLLOW METAL FRAME, FINISH: PAINT

#### HARDWARE SET

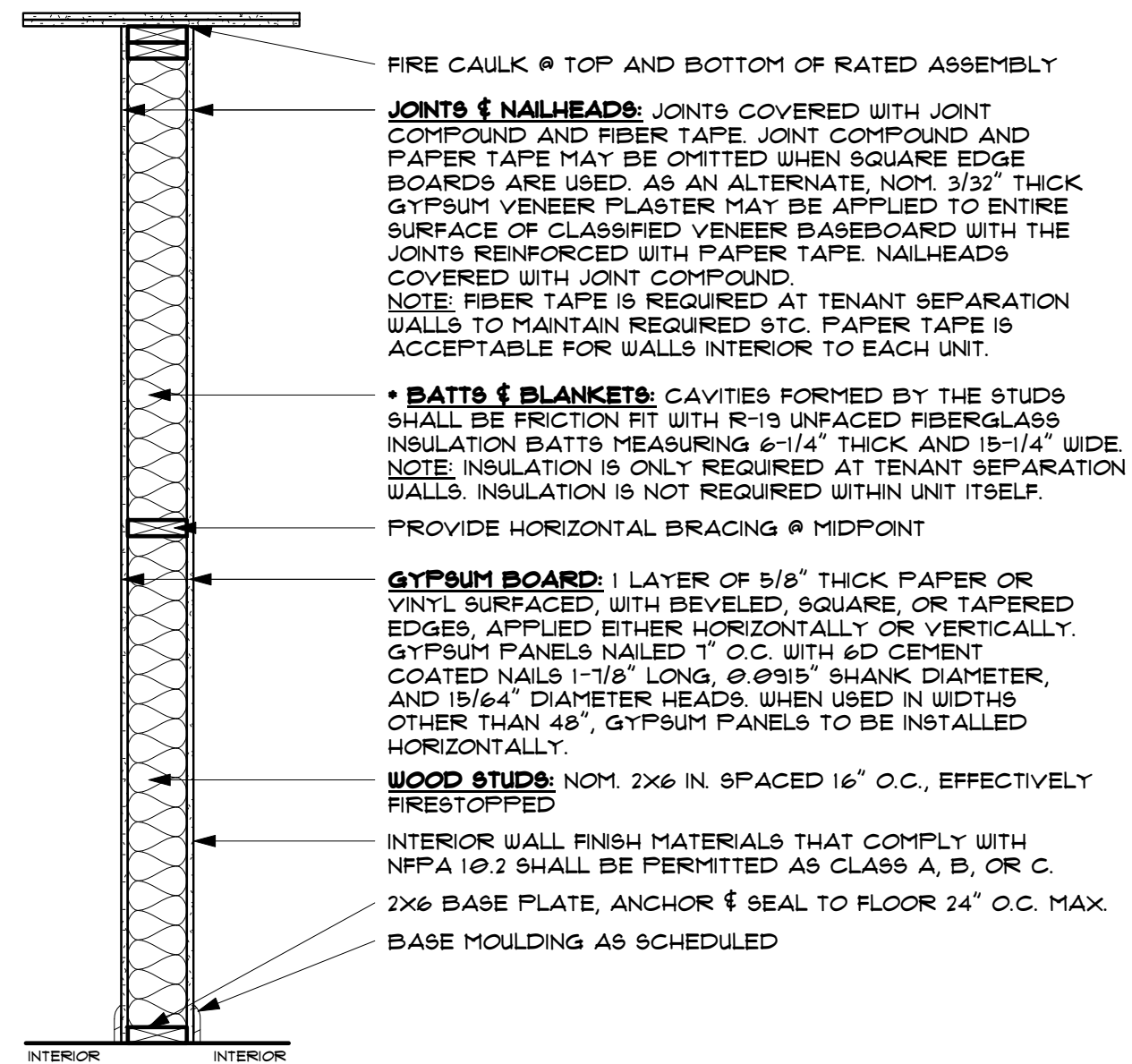
- 3 HINGES
- 1 ENTRY LOCK
- 1 DEADBOLT
- 1 SURFACE CLOSER
- 1 THRESHOLD
- 1 GASKETING
- 1 SWEEP
- 1 DOOR GUARD
- 1 VIEWER



4 INTERIOR DOOR HEAD DETAIL @ WOOD STUD WALL  
3" = 1'-0"

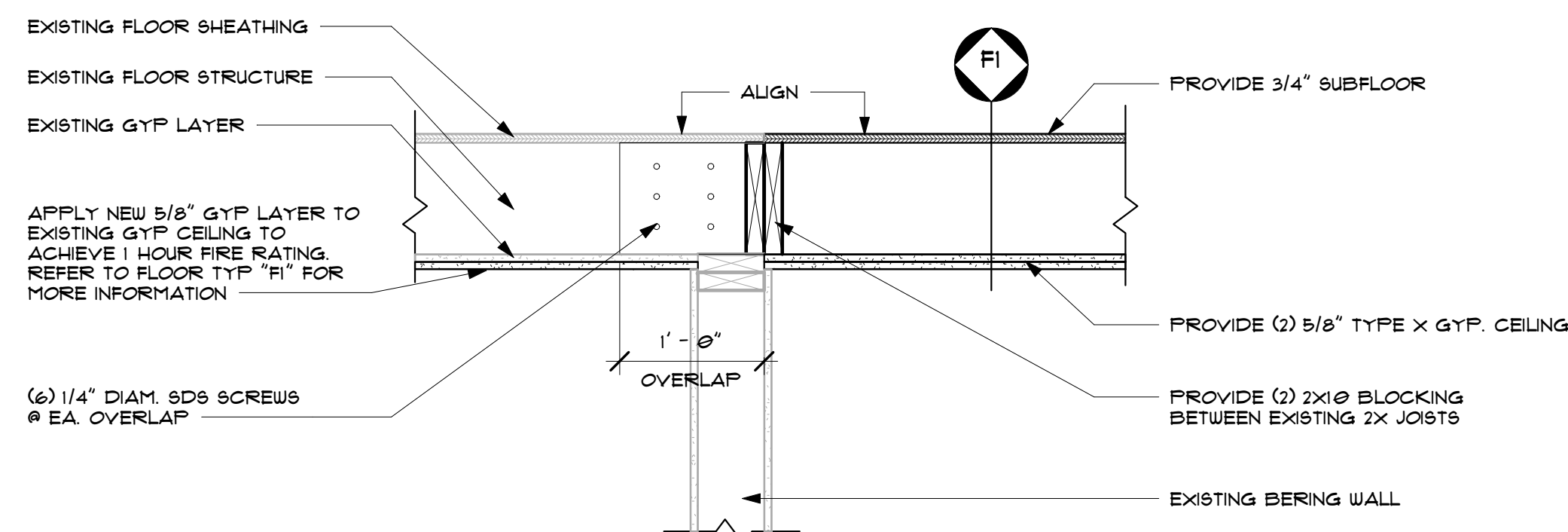


5 INTERIOR DOOR JAMB DETAIL @ WOOD STUD WALL  
3" = 1'-0"

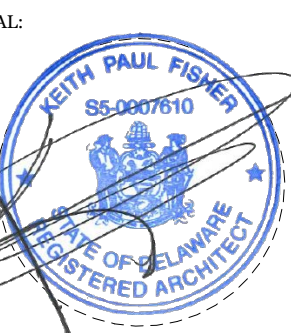


1 CORRIDOR/TENANT SEPARATION WALL - U305  
SCALE: 3/4" = 1'-0" 1 HOUR RATED

F1 FLOOR/CEILING ASSEMBLY - WD 2X JOIST - GA-FC-5406  
SCALE: 3/4" = 1'-0" 1 HR RATED



2 THIRD FLOOR INFILL DETAIL  
SCALE: 1" = 1'-0"



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CONSULTANTS:

HALEY APARTMENTS  
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DELUER BEACH, DE

SHEET INFO:

SCHEDULE AND ASSEMBLIES

| REV | DATE       | DESCRIPTION      |
|-----|------------|------------------|
| 1   | 2023.08.21 | ISSUE FOR PERMIT |
| 2   | 2023.07.27 |                  |

PROJECT NO. 5023075  
SCALE: As indicated  
DRAWN BY: Author

SHEET NUMBER:  
**A-501**

