



Town of Dewey Beach
Town Hall

UPDATED - SUBMITTED BY HAL DUKES
1/3/24, klb

Board of Adjustment Hearing Request Form - 1

Form and payment must be received before the first day of the month **prior** to the month in which the Applicant wishes to be heard by the Board. After form and payment are received, Town Staff will contact you to arrange a meeting date.

Applicant Information

Name of Requestor: Jennifer & Kevin Hartman		Date of Request: 11/28/23
Mailing Address (City, State, Zip) 210 Summit Avenue, Shillington PA 19607		
Phone: 610-334-8875	Email: Jenniferdhartman@outlook.com	
Dewey Beach Address: 2000 Bayard Avenue, Dewey Beach, DE 19971		
Property Map: 3-34	Parcel: 20.14-7.00	Unit: 2000

Nature of Request

Zoning District of Property: RR	Your Interest in the Property: Owners fee simple
Municipal Code Reference: Chapter 185 - Zoning Article IX. Nonconformities 185-59 Damage or destruction of nonconforming use or building (Amended 1-11-201 by Ord. No. 710)	

Special Exception

Variance

Request for hardship due to substandard lot with flooding issues and foundation damage. Request to build standard house off flood plane to match the other neighbors in the neighbors in regards in size and usage. *The first floor is grandfatered, but the second floor and third floor are new and need a variance for the set backs*

Appeal of Decision of Town Building Official

Special Yard Exception

Attach Supporting Documents (Request Description, Reason, etc)

Attach Plot Plan/Sketches:



Town of Dewey Beach
Town Hall

Payment Information

Board of Adjustment Application Fee:

DocuSigned by:
Applicant Signature

Jennifer Hartman

DF57AE2AC9EE45A...

DocuSigned by:

Kevin Hartman

126E42069AC44F8...

Date:

11/28/2023

STAFF USE ONLY

Town Clerk Signature:

Date Application Received:

Decision of the Board:

Case Number:

SUPPORTING DOCUMENTATION – EXHIBIT LIST

- A. Structural Engineering Assessment of Existing Foundation
- B-G. Photos of Current Conditions
- H. Building Plans & Elevations
- I. Elevation Certificate
- J. Proposed Conditions Survey
- K. Letters of Support



August 11, 2023

Kevin Hartman
200 Bayard Ave.
Dewey Beach, DE 19971

Re: Structural engineering assessment of existing foundations
200 Bayard Ave., Dewey Beach, DE 19971
JBA Project Number: MI2316

Dear Mr. Hartman:

As requested, on August 4, 2023, we made a site visit and met with you at the above-captioned location in order to review existing foundation conditions. Based on our visual site observations of the exposed and accessible conditions described below, the following is a summary of our observations, conclusions and recommendations.

General Building Description

This is a one-story single-family residence built over a shallow crawlspace with a sand floor (refer to Photo 1). Construction type consists of 8 inch concrete masonry unit (CMU) foundation walls supporting a wood-framed superstructure. First floor joists consist of wood 2x10s spaced at 16 inches on center. The joists span side to side and are supported at the mid-line of the house by a multi-ply 2x wood beam which is supported by three 14 to 16 inch square CMU piers.

Based on our observations from the interior of the crawlspace, the piers are supported by 18 to 20 inch square by 1 inch +/- thick layers of concrete placed on the sand subgrade (refer to Photo 2). Based on conversations with you, we understand that the perimeter foundation walls bear on shallow concrete strip footings – not piles. We understand that the home was built in the 1960s.

Interior finishes were present at the first floor level of the home and, as a result, the wood superstructure was not visible for review.



Photo 1: 200 Bayard Ave.



Photo 2: Crawlspace pier bearing on 1" thick concrete slab (red arrow) on sand subgrade.

Observations

The first floor framing of the home is not level and has deflected downward at the interior. JBA measured floor deformations of 1 3/8" and 1 5/8" over a 6 foot level at the time of the site visit. This deflection appears to have been caused by settlement of the three interior masonry piers due to the lack adequate foundations below these elements.

We observed cracking and shifting of the 8 inch CMU foundation walls around the crawlspace flood vents (refer to Photos 3 and 4). These conditions appear to have been caused by settlement of the perimeter strip footings over time. We also understand that cracks have occurred in interior wall and ceiling finishes over time that you have repaired when they appear.

The site grades surrounding the home appear to be lower than the neighboring lots and, based on discussions with you, we understand that the area is prone to high water and flooding. Wet conditions and standing water were observed in the crawlspace.



Photo 3: Cracked and displaced CMU at the foundation walls around flood vents.



Photo 4: Cracked CMU at the interior corner at rear of home.

Conclusions and Recommendations

Based on the aforementioned conditions, it is our professional engineering opinion that the existing shallow foundations and subgrade conditions are not adequate to support the weight of the existing home without settlement and deformation. The interior crawlspace CMU piers that support the central portion of the home are not supported by adequate foundations – these elements were not engineered or properly sized to support the applied loads.

Based on our site observations, as well as our discussions with you regarding the reoccurring repairs to interior finishes, we believe the foundations are in peril of additional settlement and deformation that will cause further damage to the home.

We understand that you are considering the construction of a new three-story home on this site. We do not believe that the existing shallow foundations and subgrade conditions are adequate to support the additional load associated with the new structure. We recommend that the existing foundations be removed and a new foundation system - likely timber piles and reinforced concrete grade beams – be installed.

Please note that these observations and recommendations were based on reasonable engineering assumptions made regarding only the visible and accessible existing conditions. No exploratory demolition or other quantitative testing program was undertaken to verify the conclusions noted herein.

Should you need any additional information or clarification, please feel free to contact our office.

Very truly yours,

JOSEPH BARBATO ASSOCIATES, LLC



Michael H. Sheer, P.E., S.E.

MHS/mhs

MI2316 LR 2023-08-11



EXHIBIT

B



EXHIBIT

C



PERMIT REQUIRED
May 11, 2021 - Sept 11, 2021
TIME: 8:00 AM - 5:00 PM
PAY BY APP
Download
4012

PARALLEL
PARKING
ONLY

QUIET!
RESIDENTIAL AREA
Loud Noise
and Disorderly Behavior
Prohibited
Violators Will be
Prosecuted

EXHIBIT

D



6:19

Dewey Beach
Board of Adjustment

Dewey B
October 29, 20

EXHIBIT
E



LIVE ▾



EXHIBIT
F



EXHIBIT

G



Hartman Custom Home

BUILDING DATA:

UNIT 2000 BAYARD AVENUE CONDOS
 WESTERN HALF LOT #16
 3-34-20.14-7.00
 TOWN OF DEWEY BEACH
 SUSSEX COUNTY, DELAWARE

Consulting Structural Engineer:
 Pilottown Engineering
 17585 Nassau Commons Blvd., Unit 3
 Lewes, DE 19958
 (302) 448-2000

APPLICABLE BUILDING CODE:

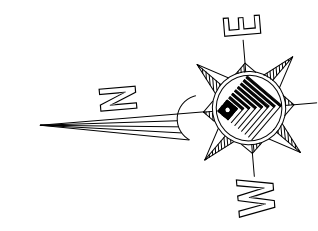
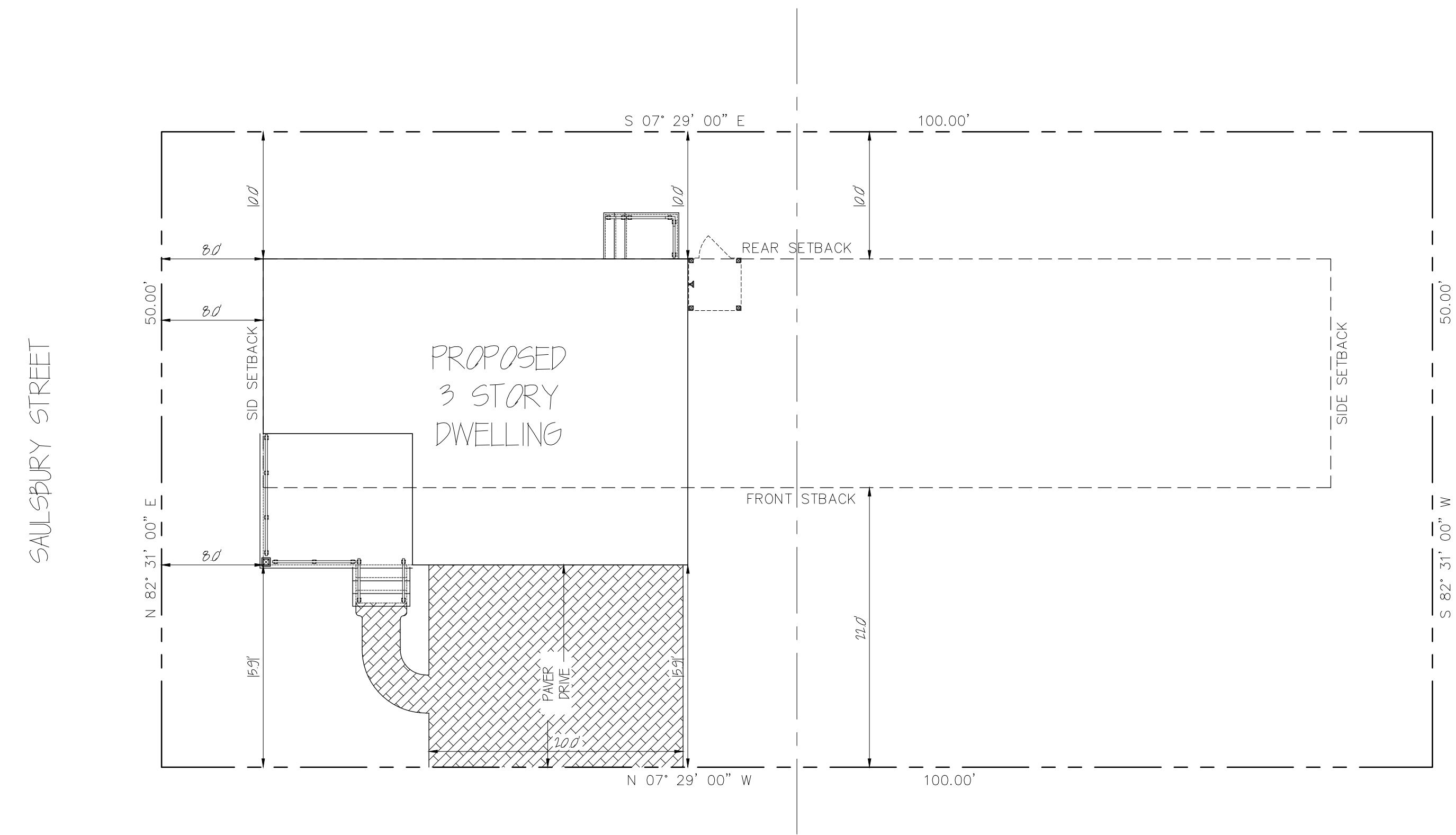
IRC 2018

DRAWING INDEX:

- C COVER SHEET
- A1 PILING/FOUNDATION & GROUND FLOOR PLANS
- A2 FIRST & SECOND FLOOR PLANS
- A3 SECTIONS
- A4 ELEVATIONS
- A5 ELEVATIONS

- S1 GROUND & FIRST FLOOR FRAMING PLANS
- S2 SECOND FLOOR & ROOF FRAMING PLANS
- S3 STRUCTURAL DETAILS
- S4 STRUCTURAL DETAILS

- E1 ELECTRIC/LIGHTING PLANS



BAYARD AVENUE

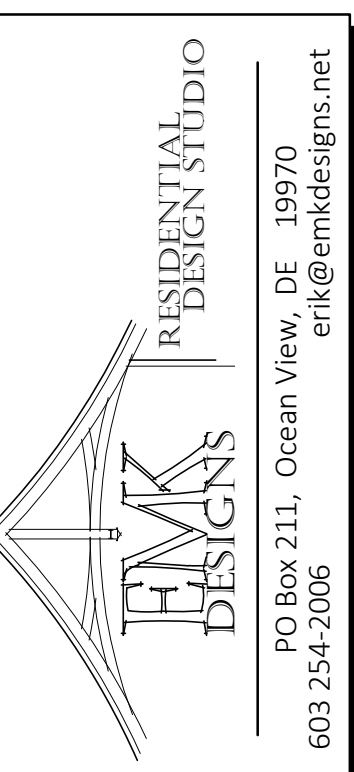
SITE LAYOUT

SCALE: 1" = 1'-0"

THIS SITE PLAN IS FOR ARCHITECTURAL REFERENCE ONLY. THIS PLAN WAS NOT PREPARED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF DELAWARE. THIS SURVEY WAS CONDUCTED BY TRUE NORTH LAND SURVEYING, DATED 07-22-2022.



UPDATED DOCUMENT AT APPLICANT'S
 REQUEST
 1/16/2024



Structural design plans	09.13.2023
Updated plans	09.17.2023
Updated plans	09.28.2023
Updated plans	09.30.2023
Updated plans	10.26.2023
No. Revision	Date
01	12.18.2023
Revisions per client selections	

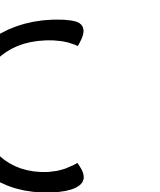
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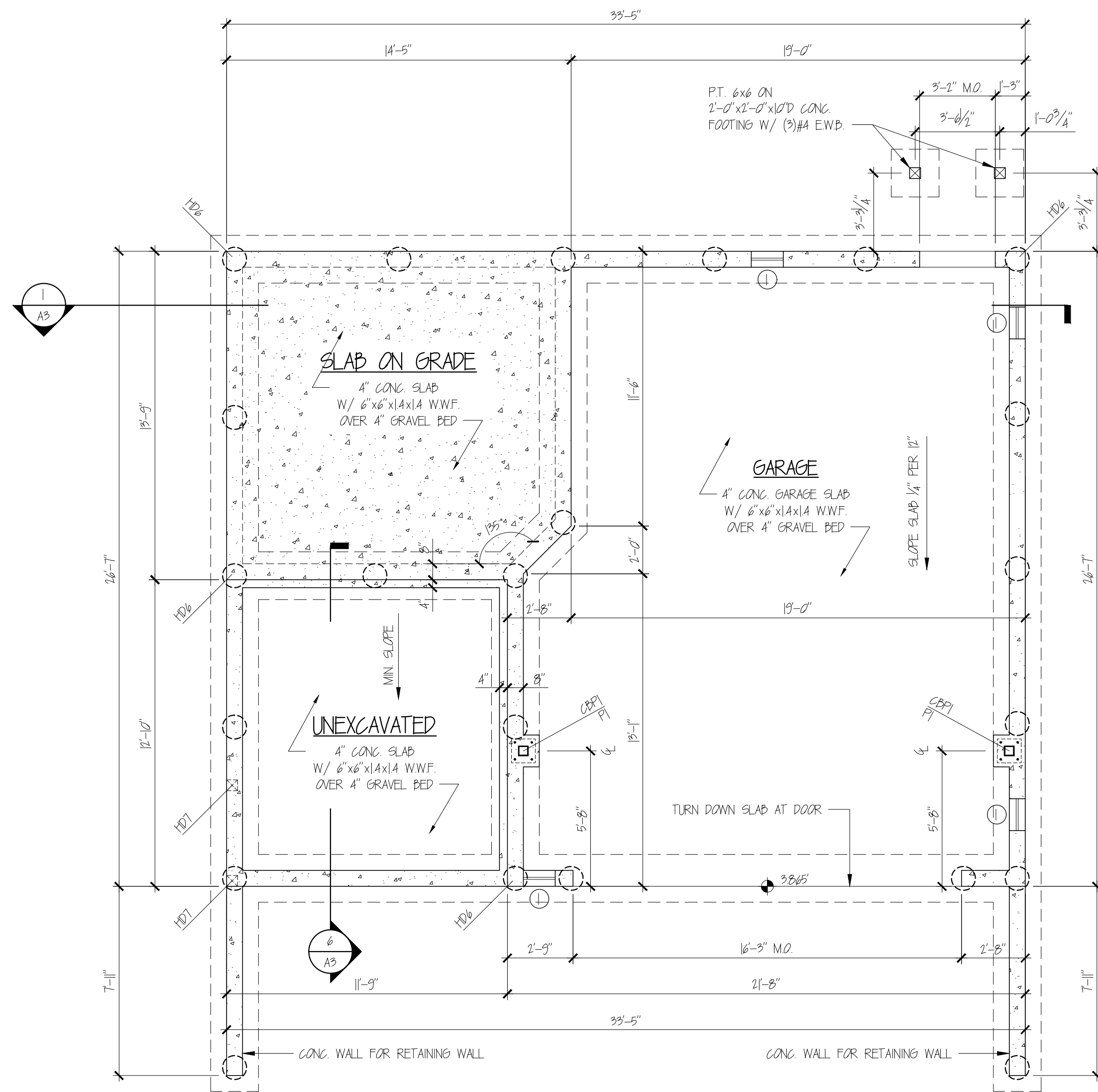
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Hartman Custom Home

Unit 2000, Bayard Ave. Condos
 Dewey Beach, DE 19971
 Sussex County, Delaware

#012023





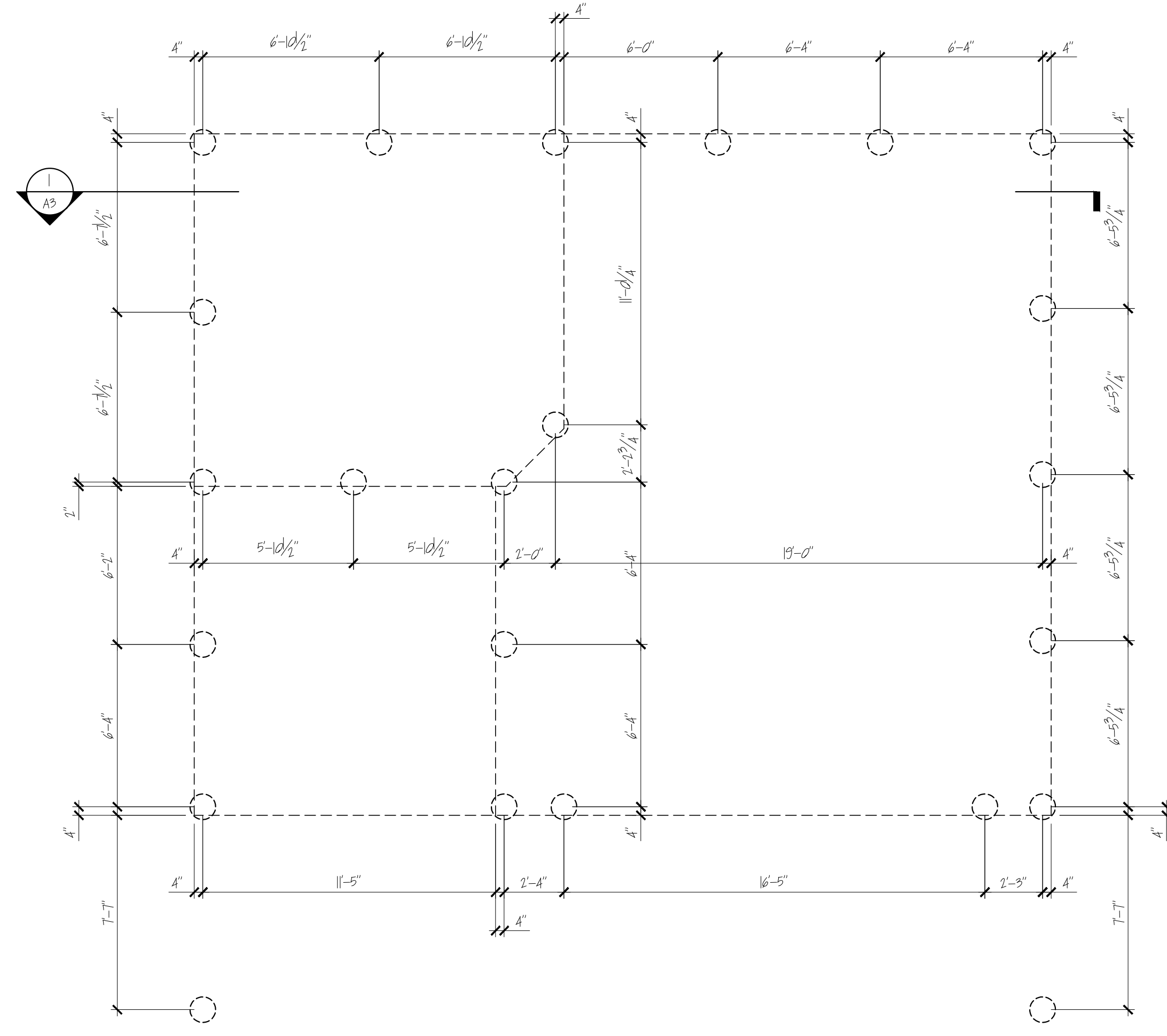
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

- CEPT = 3/8" x 12" x 12" STEEL COLUMN BASE PLATE W/ (4) 3/8" DIA ANCHOR BOLTS ON 3" (MIN) NON-SHRINKING GROUT
- PI = 16"x16" CONCRETE PIER W/ (4) #5 VERT. & #3 TIES @ 8" o.c.
- YDW = SIMPSON HDA-S0515 HOLD-DOWN W/ 3/8" DIA ANCHOR BOLT
- YDT = SIMPSON ABU POST BASE W/ 3/8" DIA ANCHOR BOLT

FLOOD VENTING:
1/2" x 1/4" x 8" R.O. FOR 'SMART VENT'
PER 1209 RC, R212.2.1
EACH VENT = 200 SF FREE OPENING
1) 480 SF GARAGE UNCONDITIONED SPACE
4 VENTS = 800 SF FLOOD VENTING
'SMART VENT' FLOOD VENT 1542-512

WINDOW SCHEDULE				
MARK	DESIGNATION	QUAN	MFR MODEL #	NOTES
A	1'-9" x 4'-0" CSMT	1	CNA	
B	(2) 3'-5" x 4'-9" 3/8" FIXED	2		TEMPERED GLASS UNIT PER RC R302A
C	3'-0" x 4'-9" 3/8" FIXED	2		TEMPERED GLASS UNIT PER RC R302A
D	2'-8" x 5'-0" CSMT	1	CXB	TEMPERED GLASS UNIT PER RC R302A
E	(2) 3'-0" x 2'-0" ANN	2	(3)AR	
F	2'-8" x 6'-0" CSMT	1	CXB	TEMPERED GLASS UNIT PER RC R302A
G	1'-9" x 5'-0" CSMT	1	CNB	
H	2'-0" x 6'-0" CSMT	1	CL6	TEMPERED GLASS UNIT PER RC R302A
J	(2) 3'-5" x 7'-4" 3/8" FIXED	2		TEMPERED GLASS UNIT PER RC R302A
K	3'-0" x 7'-4" 3/8" FIXED	2		TEMPERED GLASS UNIT PER RC R302A
L	(2) 3'-0" x 5'-5" CSMT	1	CXN55	TEMPERED GLASS UNIT PER RC R302A
M	2'-0" x 4'-0" CSMT	1	CLA	TEMPERED GLASS UNIT PER RC R302A

NOTE: WINDOWS BASED ON 'ANDERSEN 400 SERIES NEW CONSTRUCTION WINDOWS UNLESS NOTED OTHERWISE. MANUFACTURER CAN BE SUBSTITUTED WITH DESIGNER'S/OWNER'S APPROVAL.



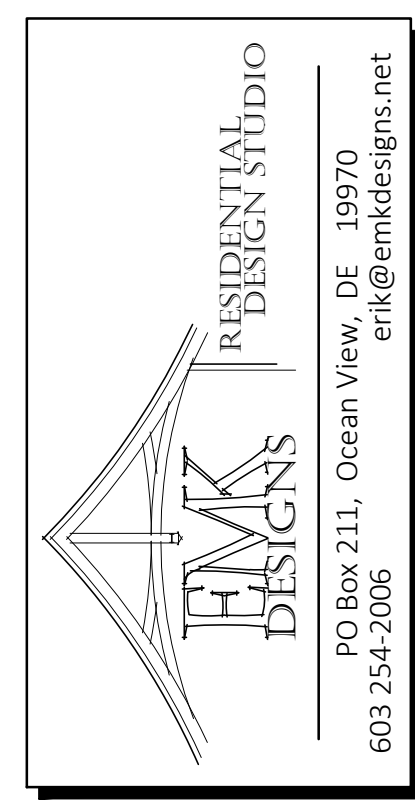
PILE PLAN
SCALE: 1/4" = 1'-0"

EXTERIOR DOOR SCHEDULE				
MARK	DESIGNATION	QUAN	MFR MODEL #	NOTES
1	16'-0" x 8'-0" GARAGE DOOR	1		
2	3'-6" x 8'-8" SOLID CORE FULL LITE	1		THERMATRU
3	2'-8" x 8'-8" SOLID CORE	2		THERMATRU
4	8'-0" x 8'-0" SLIDING GLASS DOOR	3	FW66020	'ANDERSEN 400
5	16'-0" x 8'-0" SLIDING GLASS DOOR	1	FW66020	'ANDERSEN 400
6	2'-6" x 8'-0" SOLID CORE	1		THERMATRU
7	2'-8" x 8'-0" SOLID CORE FULL LITE	1		'ANDERSEN 400
8	2'-8" x 8'-0" SOLID CORE FULL LITE FIXED	1		'ANDERSEN 400

NOTE:

INTERIOR DOOR SCHEDULE				
MARK	DESIGNATION	QUAN	MFR MODEL #	NOTES
9	2'-4" x 6'-8"	2		
10	2'-4" x 8'-0"	2		
11	2'-4" x 8'-0" POCKET	1		
12	2'-8" x 8'-0"	4		
13	(2) 3'-8" x 8'-0" BYPASS	2		

NOTE:



No.	Revision	Date
01	Revisions per client selections	12.18.2023

Structural design plans
Updated plans
Updated plans
Updated plans
Updated plans

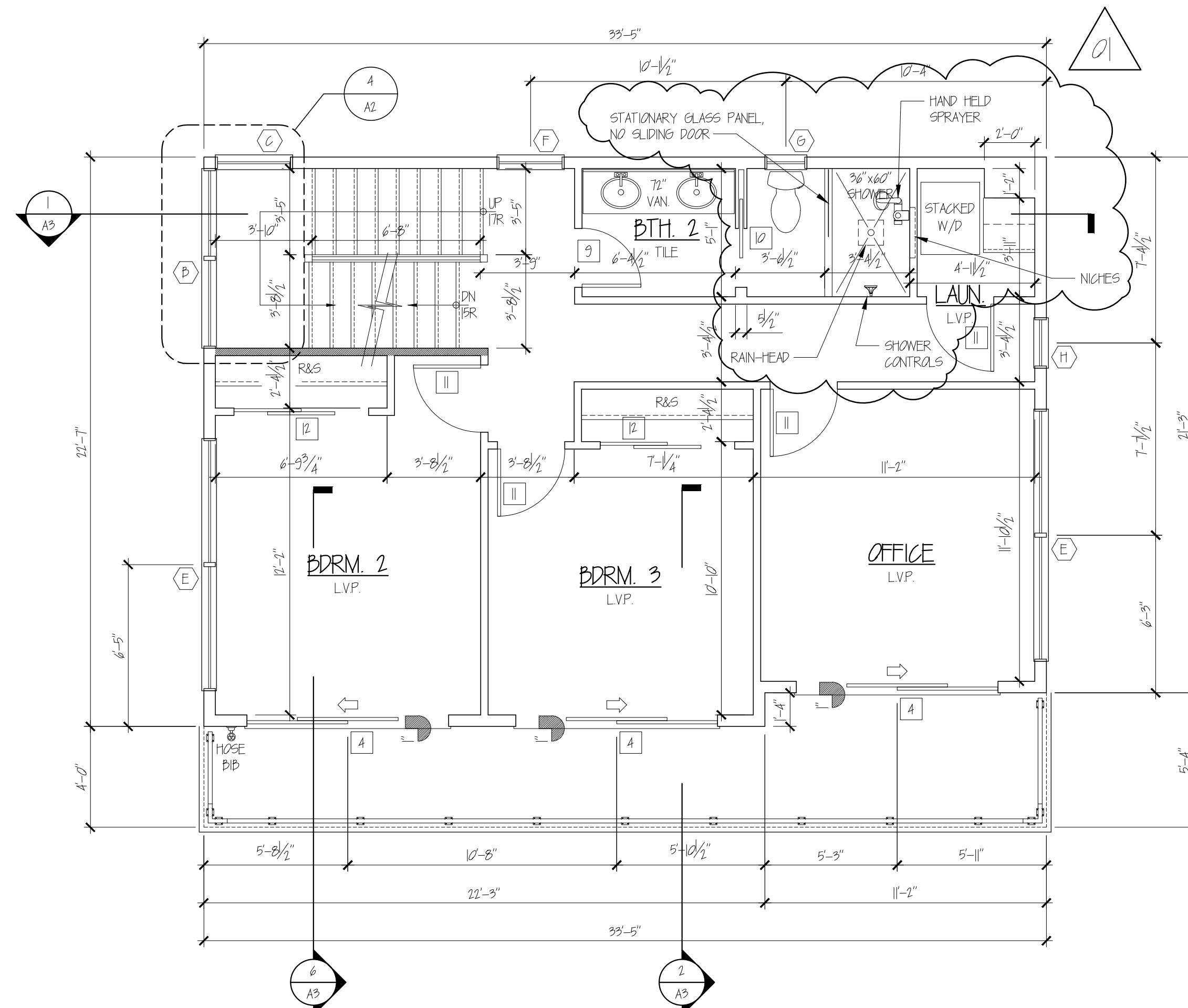
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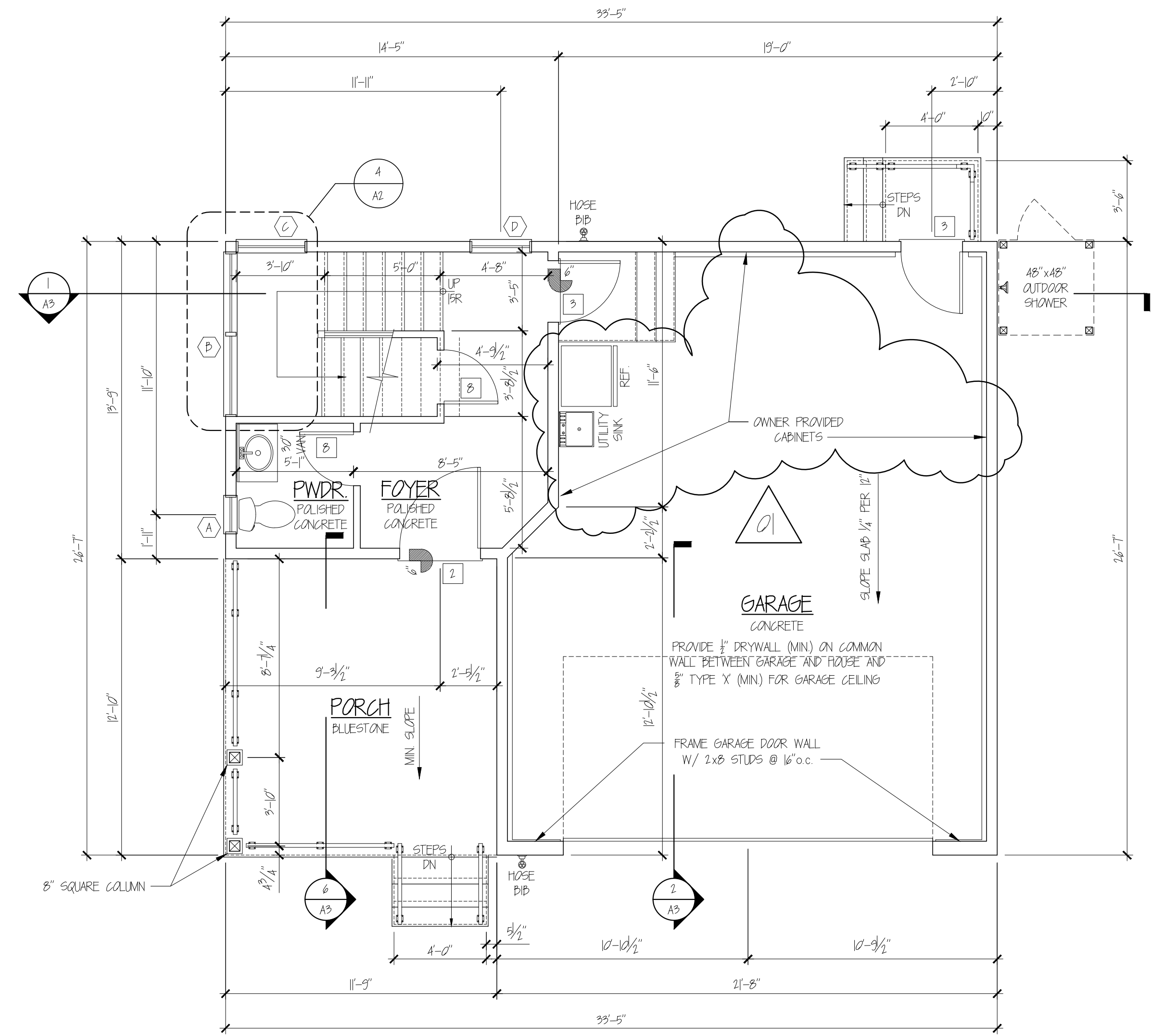
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Dewey Beach, DE 19971
Sussex County, Delaware

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A1

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erik@emkdesigns.net
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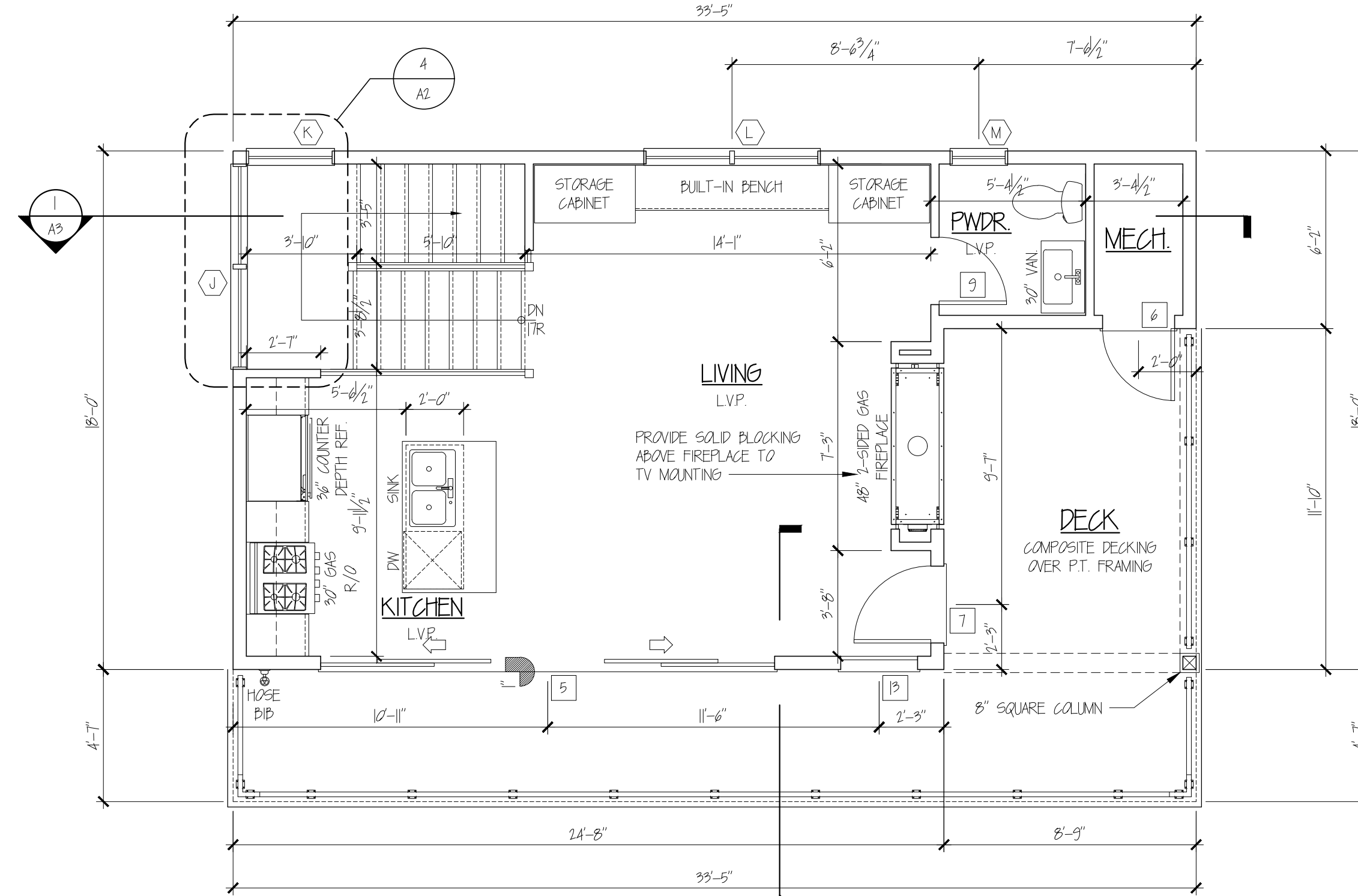


2 FIRST FLOOR PLAN - 739 SF.
SCALE: 1/4" = 1'-0"

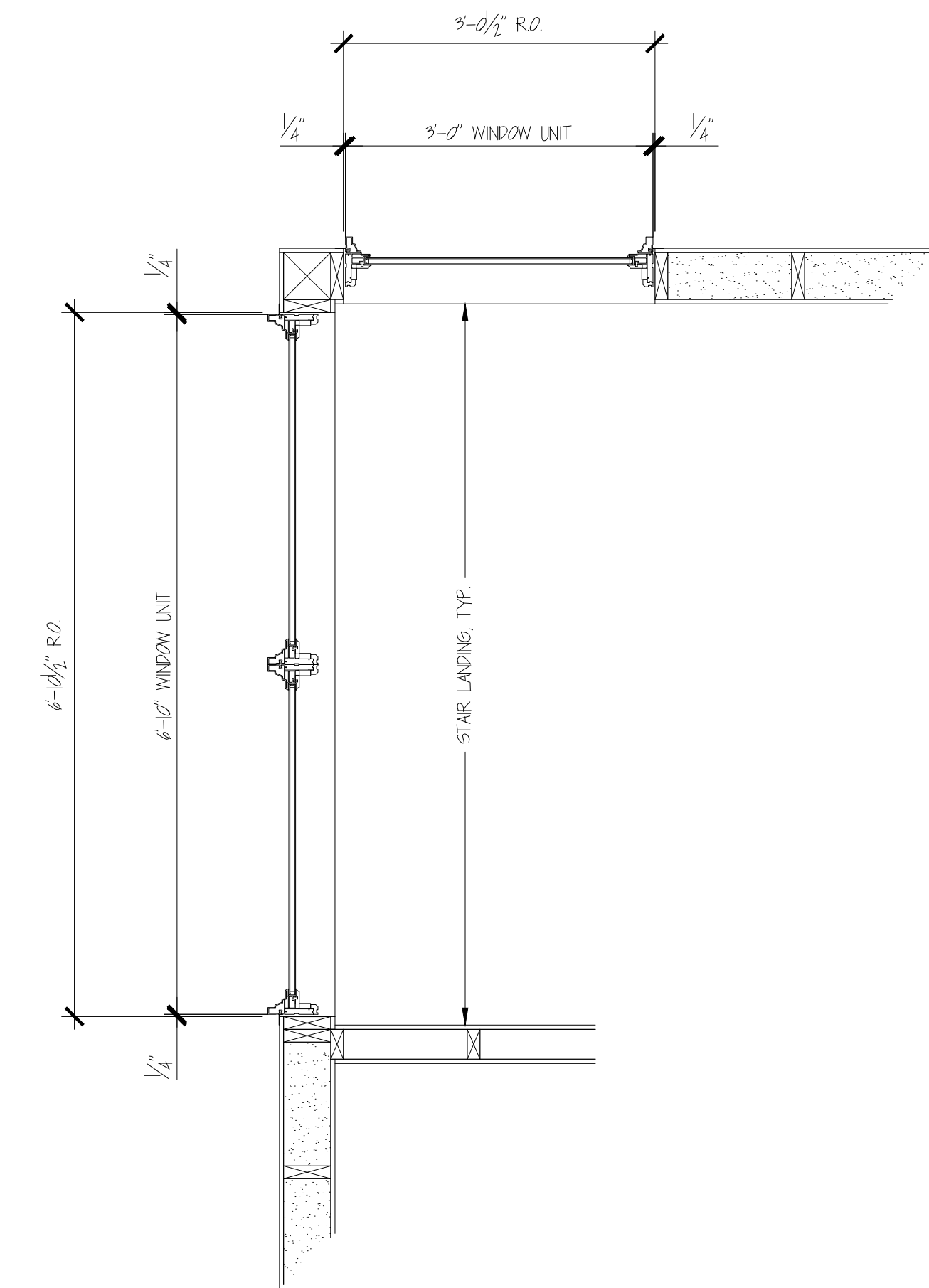


1 GROUND FLOOR PLAN - 195 SF.
SCALE: 1/4" = 1'-0"

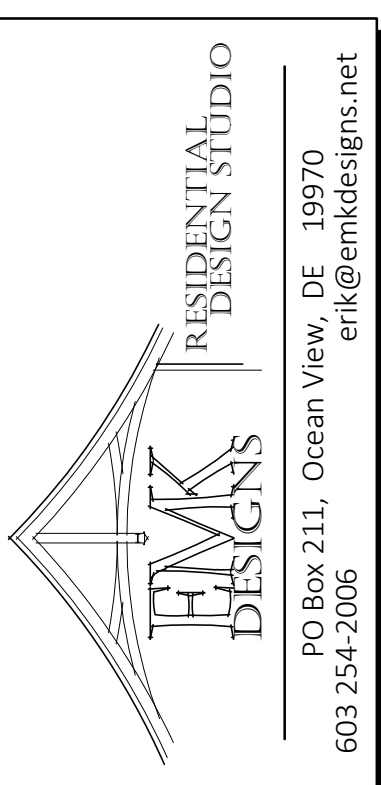
ALL CONSTRUCTION BELOW THE PFE SHALL COMPLY WITH FEMA TECHNICAL BULLETIN 2, "FLOOD DAMAGE-RESISTANT CLASSIFICATION OF MATERIALS."



3 SECOND FLOOR PLAN - 497 SF.
SCALE: 1/4" = 1'-0"



4 WINDOW FRAMING PLAN @ STAIR
SCALE: 3/4" = 1'-0"



PO Box 211, Ocean View, DE 19970
erik@erikdesigns.net
603.254.2006

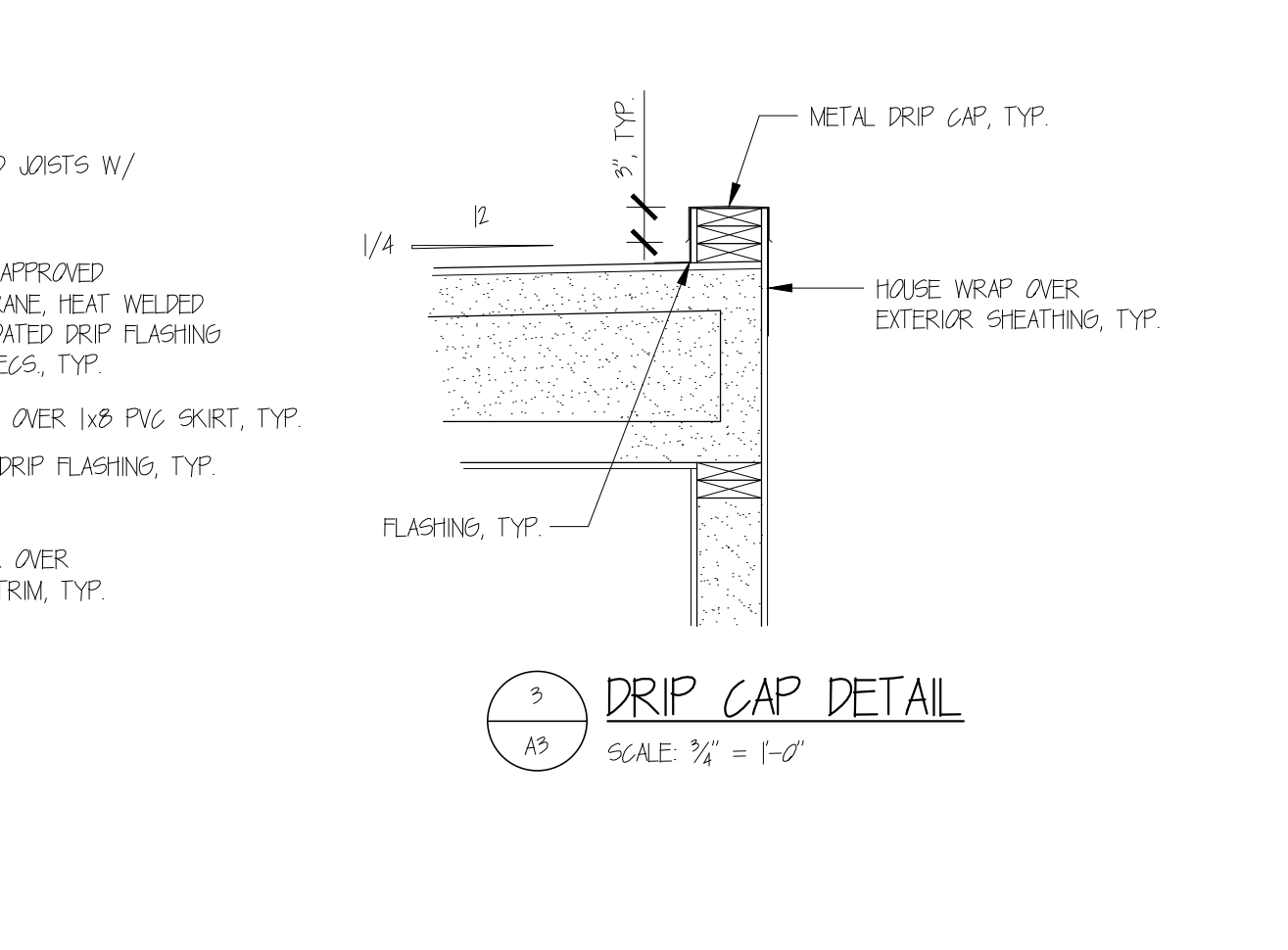
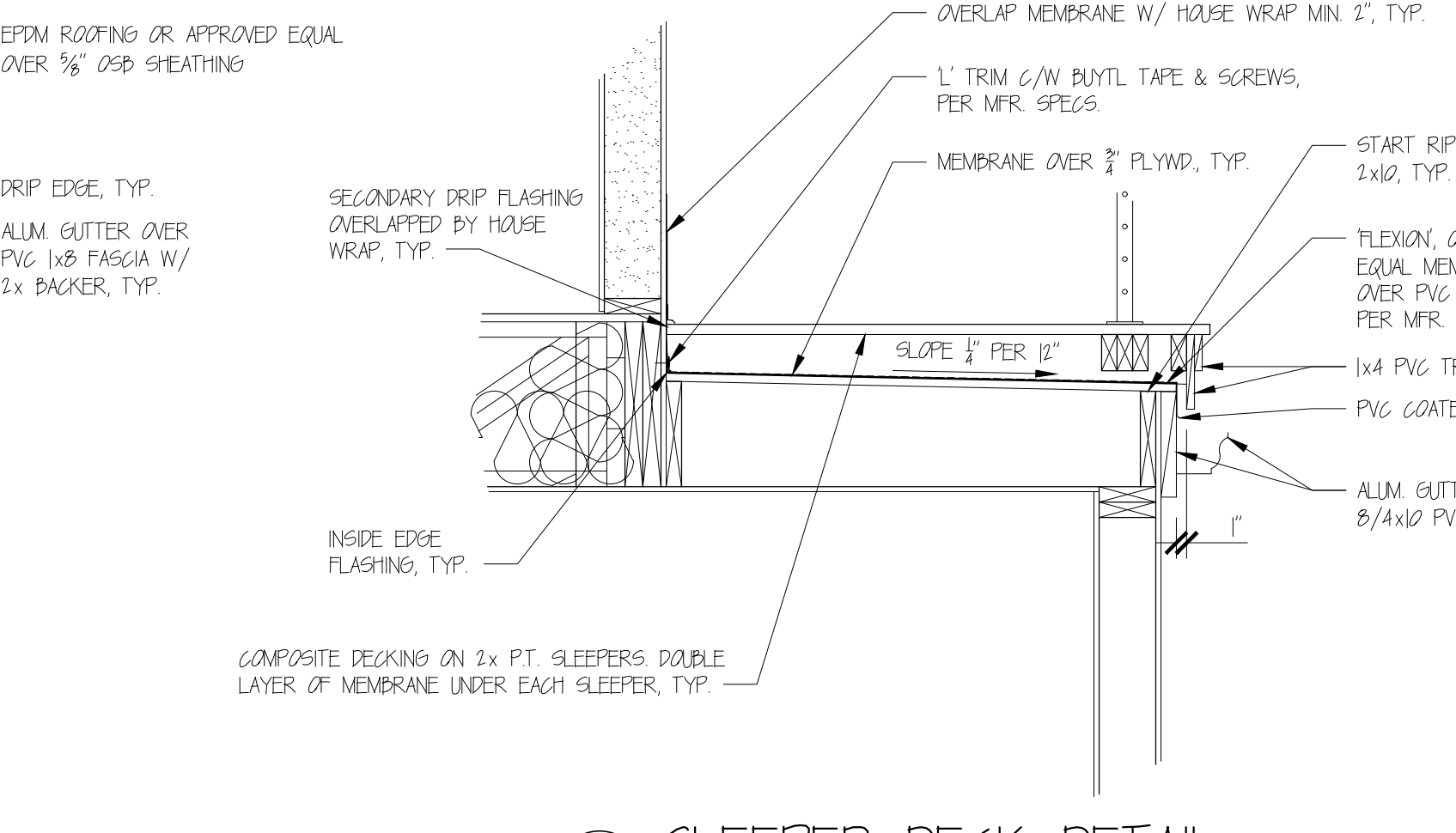
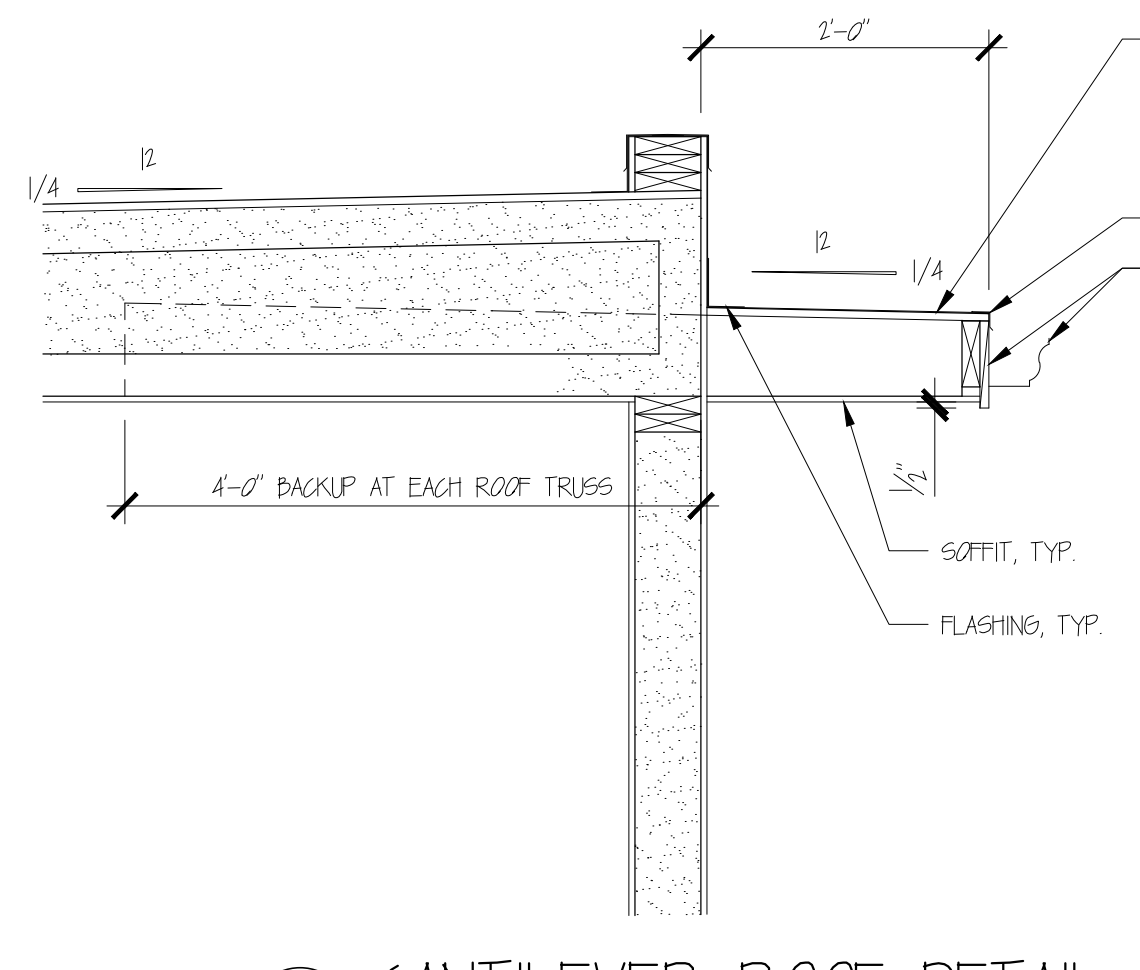
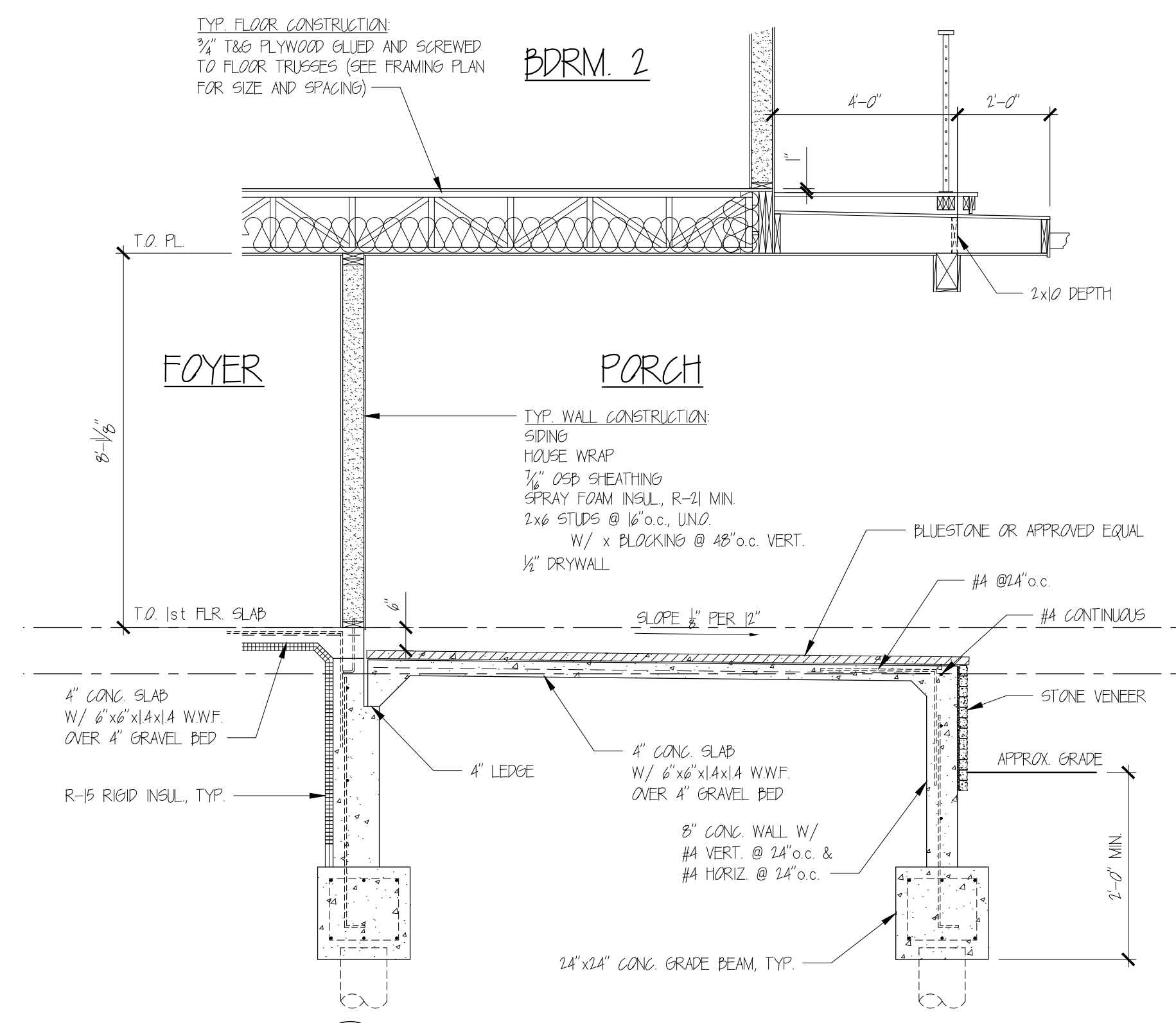
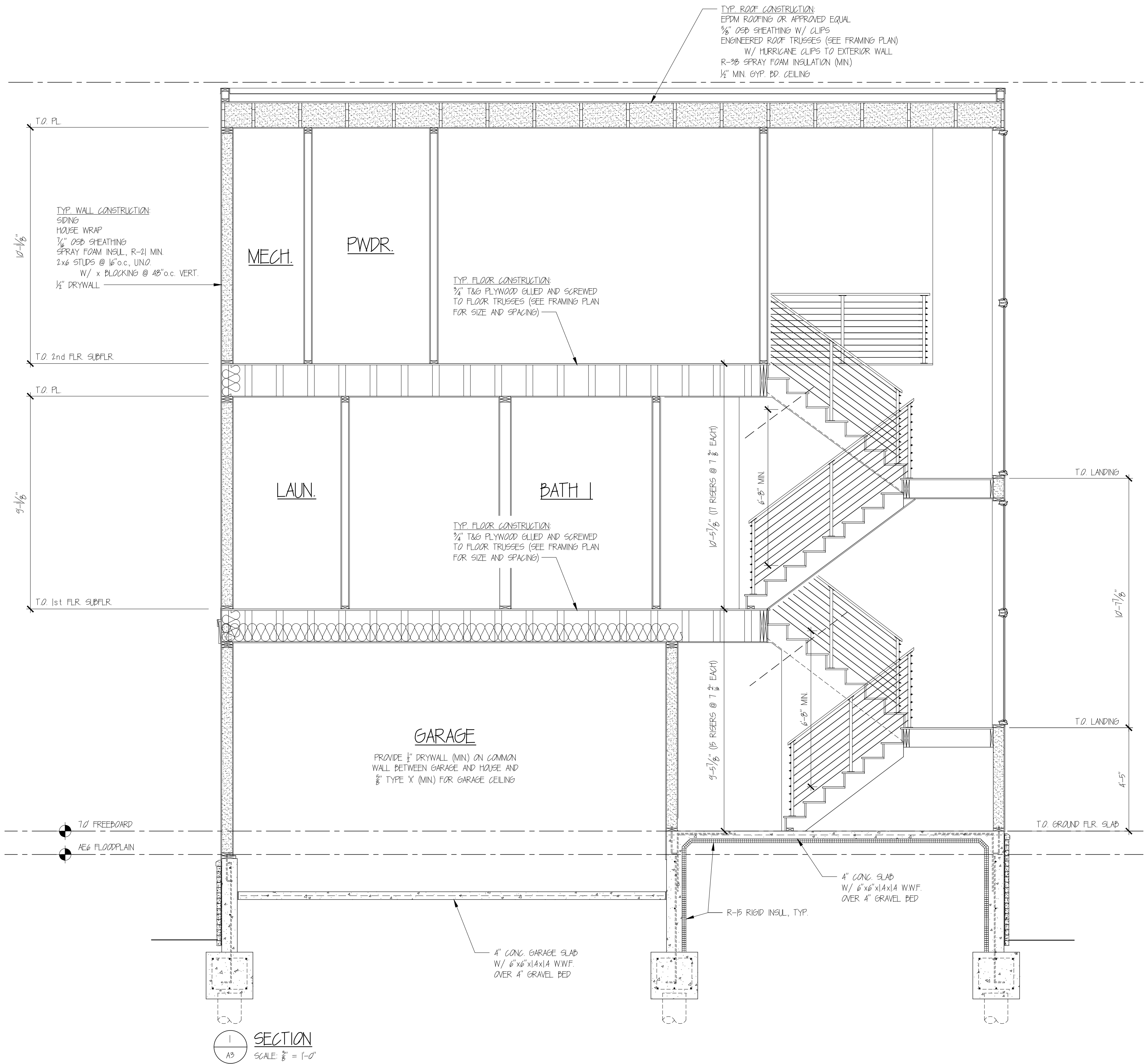
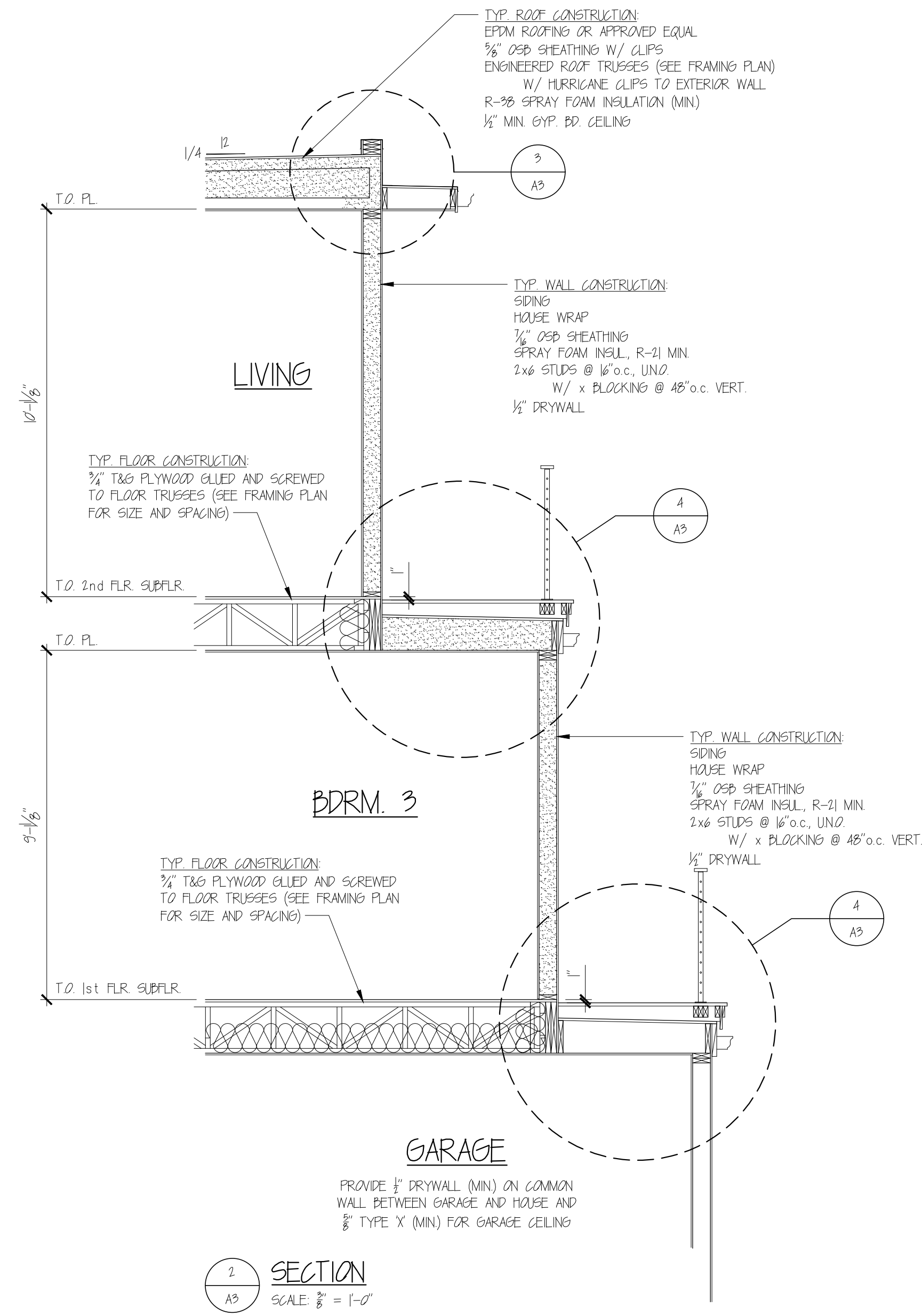
Structural design plans	09.13.2023
Updated plans	09.17.2023
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01	Revisions per client selections
	12.18.2023

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A2

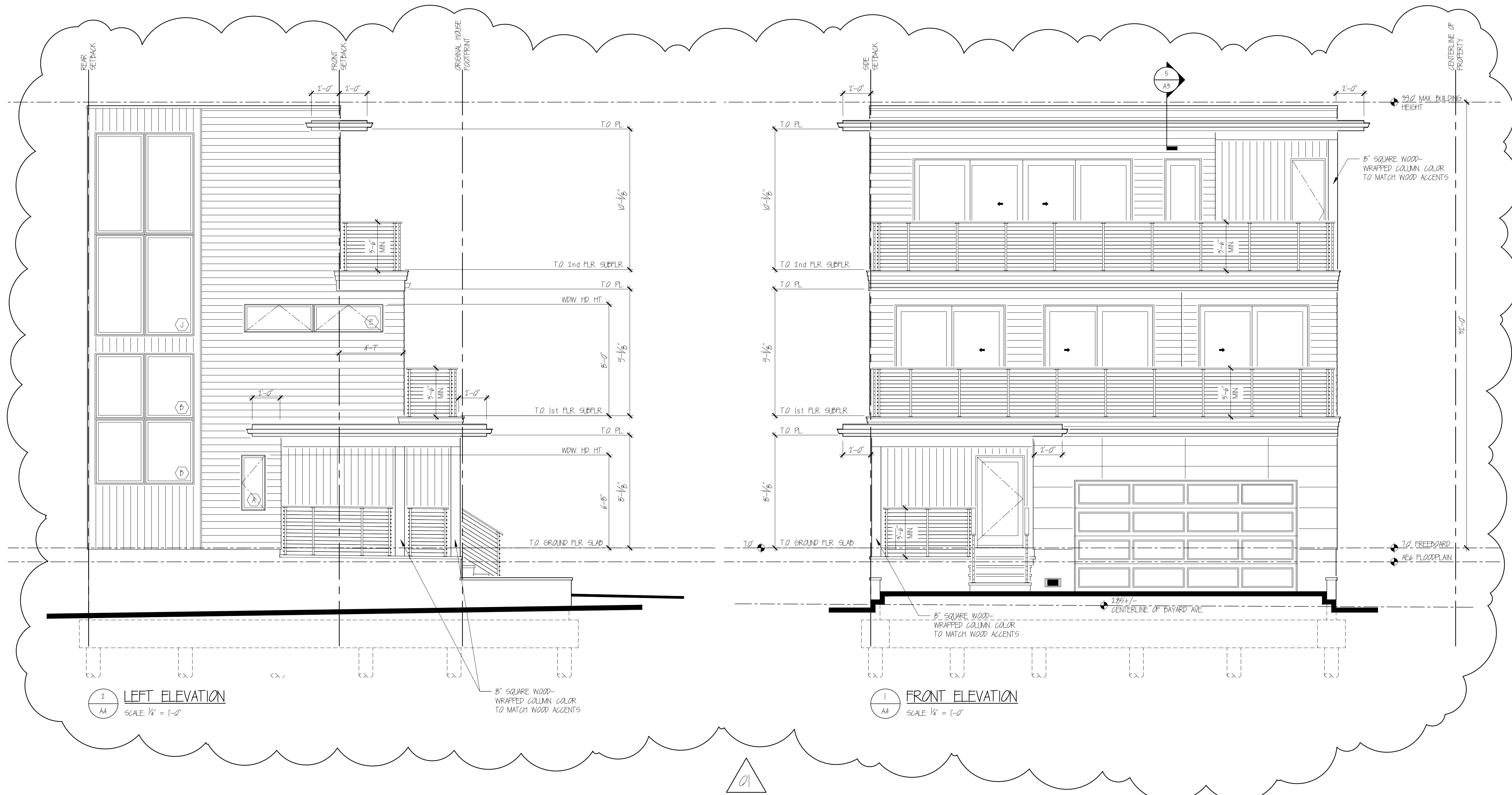


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 603.254.2006
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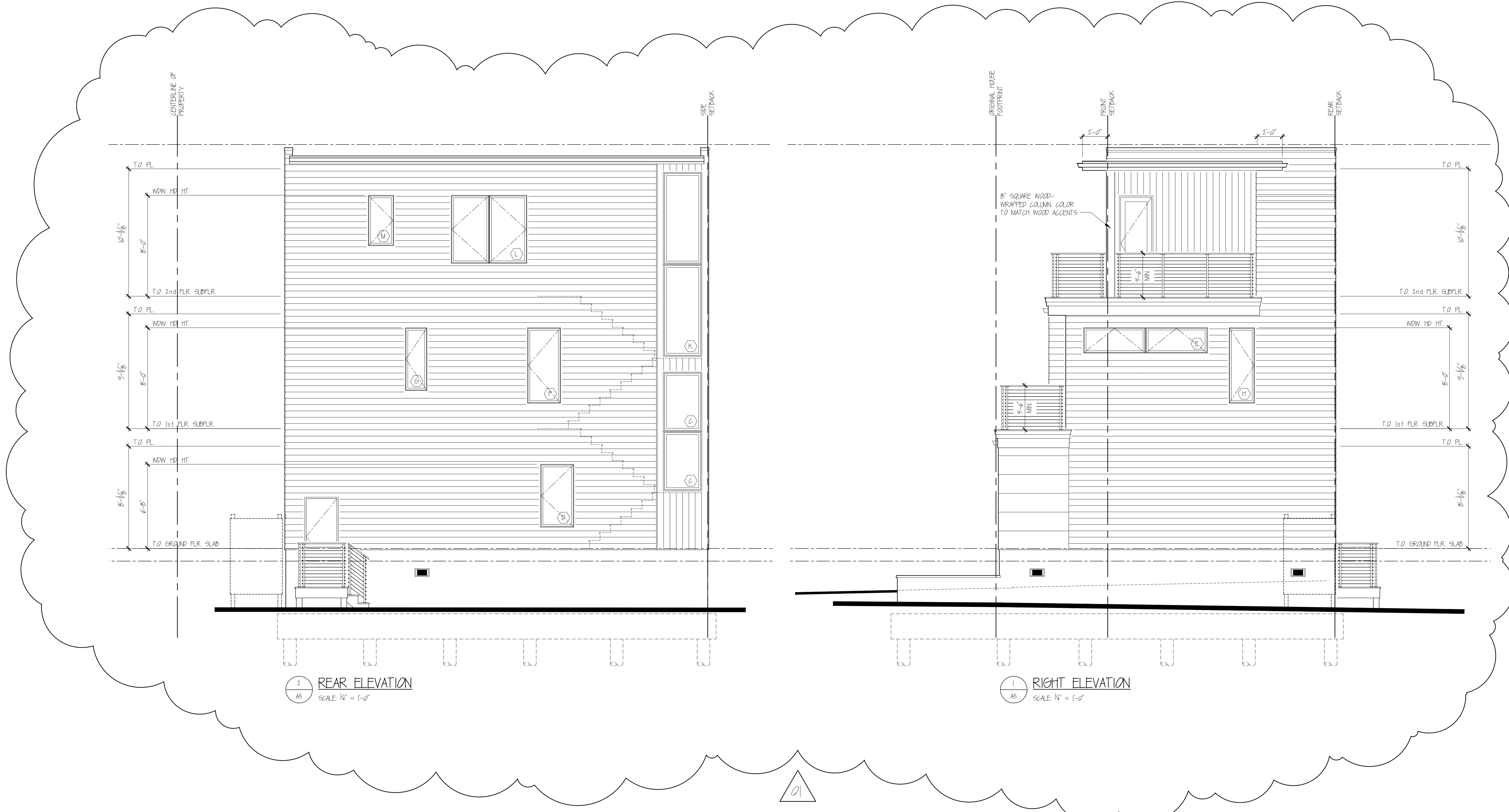
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2 REAR ELEVATION
SCALE: 1/4" = 1'-0"

1 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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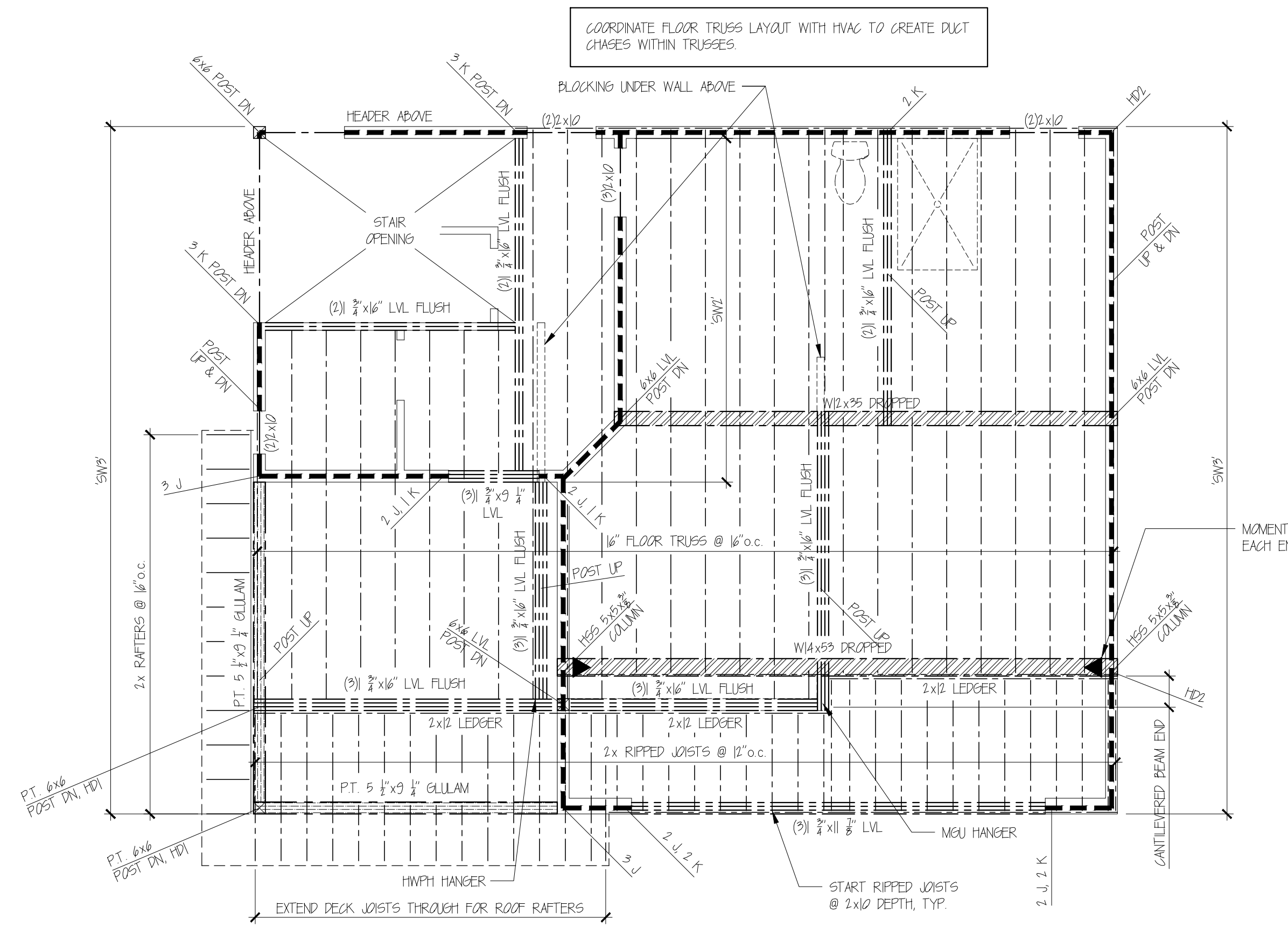
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A5

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TMK DESIGNS
RESIDENTIAL DESIGN STUDIO
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603.254.2006
erik@tmkdesigns.net



1 FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

PROVIDE MIN (2) STUDS AT EACH END OF HEADERS AND BEAMS

'_ J _ K' INDICATES NUMBER OF JACK AND KING STUDS

ALL EXTERIOR WALLS TO BE SHEAR WALL TYPE 'SWI, UNO

YD1 = SIMPSON CCR SERIES POST CAP

YD2 = (2) SIMPSON HDU-SDS2.5 HOLD-DOWNS W/ 1/2" DIA THREADED ROD THROUGH FLOOR

YD3 = SIMPSONMSTC16 STRAP TO POST ABOVE W/ 12" END LENGTHS

YD4 = SIMPSON CMSTC16 STRAP HEADER TO JACK W/ 10" END LENGTHS

YD5 = SIMPSON 1/2" STRAP BEAM TO POST

- SHEATHING FOR WALLS SHALL BE 1/2" THICK 32/16 SPAN RATING APA WOOD SHEATHING, EXPOSURE 1. ALL SHEATHING SHALL BE PLACED HORIZONTALLY AND SECURED IN ACCORDANCE WITH THE SHEAR WALL SCHEDULE SHOWN ON THE STRUCTURAL DRAWINGS. ALL JOINTS IN SHEATHING SHALL BE STAGGERED.
- SHEATHING FOR FLOORS SHALL BE 3/4" THICK 20" SPAN RATING APA FLOOR SHEATHING, EXPOSURE 1. ALL JOINTS IN SHEATHING SHALL BE STAGGERED. ALL EDGES IN FLOOR SHEATHING SHALL BE TONGUE & GROOVE. NAILING SHALL COMPLY WITH APA REQUIREMENTS FOR PLYWOOD FLOOR DIAPHRAGMS.
- SHEATHING FOR ROOFS SHALL BE 5/8" THICK 40/20 SPAN RATING APA PLYWOOD SHEATHING, EXPOSURE 1. ALL JOINTS IN SHEATHING SHALL BE STAGGERED. FOR ROOF SHEATHING, USE PANEL CLIPS OR LUMBER BLOCKED EDGE SUPPORTS AS RECOMMENDED BY APA. NAILING SHALL COMPLY WITH APA REQUIREMENTS FOR PLYWOOD ROOF DIAPHRAGMS.
- PROVIDE (2) SIMPSON SDWS SCREWS AT 16" o.c. OR EQUAL FOR DECK LEDGERS TO RIM BOARD UNLESS NOTED OTHERWISE

- ALL MICRO-LAM BEAMS (LVL) SHALL BE AS ENGINEERED AND MANUFACTURED BY WEYERHAEUSER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES FOR MICRO-LAM BEAMS ARE AS FOLLOWS:
Fb = 2600 PSI Fv = 285 PSI E = 1,900,000 PSI.
- MAXIMUM DEFLECTION CRITERIA:
A. FLOOR FRAMING = L1480, TL240
B. ROOF FRAMING = L1360, TL240
- ALL TIMBER AND TIMBER CONSTRUCTION SHALL COMPLY WITH LATEST EDITIONS OF THE FOLLOWING STANDARDS:
A. AMERICAN INSTITUTE OF TIMBER CONSTRUCTION: TIMBER CONSTRUCTION MANUAL
B. AMERICAN WOOD COUNCIL: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)
C. AMERICAN PLYWOOD ASSOCIATION: PLYWOOD DESIGN SPECIFICATION
D. AMERICAN WOOD-PRESERVERS ASSOCIATION STANDARDS.
- DESIGN, FABRICATION, AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING TRUSS PLATE INSTITUTE (TPI) STANDARDS:
A. THE NATIONAL DESIGN STANDARD FOR METAL-PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, TPI 1.
B. RECOMMENDED DESIGN SPECIFICATION FOR TEMPORARY BRACING OF METAL PLATE CONNECTED WOOD TRUSSES, DSB-89.
C. GUIDE TO GOOD PRACTICE FOR INSTALLING, RESTRAINING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, BCSI.
- ALL TIMBER CONNECTIONS SHALL BE MADE USING PREFABRICATED CONNECTORS. TOE-NAILING IS NOT PERMITTED. SUBMIT MANUFACTURER'S DATA FOR REVIEW. FASTENERS SHALL BE AS MANUFACTURED BY SIMPSON STRONGTIE OR APPROVED EQUAL.
- PROVIDE POST CAPS AND BASES AT ALL WOOD POSTS BY SIMPSON STRONGTIE OR APPROVED EQUAL.
- PROVIDE A MINIMUM OF (2) STUDS FOR ALL HEADERS AND BEAMS UNLESS NOTED OTHERWISE.
- ALL EXPOSED FASTENERS AND CONNECTIONS TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
- WOOD ROOF TRUSSES AND FLOOR TRUSSES ARE TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR THE WOOD TRUSS, OR JOIST FABRICATOR. SIGNED AND SEALED CALCULATIONS ARE TO BE SUBMITTED FOR REVIEW AND APPROVAL. DESIGNS SHALL REFLECT THE LOADING SHOWN IN THE STRUCTURAL DOCUMENTS. TRUSS FABRICATOR SHALL PROVIDE PREFABRICATED HANGERS AND CONNECTORS AS REQUIRED.
- PROVIDE MINIMUM CONTINUOUS SOLID BLOCKING OR CROSS-BRIDGING LINES AT 8'-0" O.C. MAX SPACING FOR ALL:
A. WOOD JOISTS
B. WOOD RAFTERS
C. ROOF TRUSSES
D. FLOOR TRUSSES
E. PROVIDE ADDITIONAL X-BRIDGING AS REQUIRED BY FABRICATOR.
F. PROVIDE A MINIMUM OF ONE LINE OF BLOCKING OR CROSS BRIDGING FOR ALL SPANS.
- TREATED LUMBER SHALL BE PROVIDED AT ALL LOCATIONS WHERE LUMBER IS IN CONTACT WITH CONCRETE AND MASONRY FOUNDATION WALLS OR AT EXTERIOR OF BUILDING.

1 GROUND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

YCP1 = 1/2" x 12" x 12" STEEL COLUMN BASE PLATE W/ (4) 3/4" DIA ANCHOR BOLTS ON 3/4" (MIN) NON-SHRINKING GROUT

PT = 16" x 16" CONCRETE PIER W/ (4) #5 VERT. & #3 TIES @ 8" o.c.

YD6 = SIMPSON HDU-SDS2.5 HOLD-DOWN W/ 1/2" DIA ANCHOR BOLT

YD7 = SIMPSON ABU POST BASE W/ 1/2" DIA ANCHOR BOLT

STRUCTURAL NOTES

- PILOTTOWN ENGINEERING HAS DESIGNED ONLY THE STRUCTURAL ELEMENTS REPRESENTED ON THESE DRAWINGS. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL DRAWINGS AND SPECIFICATIONS CONTAINED HEREIN. PILOTTOWN ENGINEERING ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED CHANGES TO THESE DRAWINGS.
- ALL STRUCTURAL INFORMATION HAS BEEN PREPARED IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE AS WELL AS ALL REFERENCED STANDARDS CONTAINED THEREIN.
- DESIGN LOADS FOR THE PROJECT ARE LISTED AS FOLLOWS:
a. SLAB ON GRADE LIVE LOAD: 100 psf
b. SLAB ON GRADE DEAD LOAD: 50 psf
c. FLOOR LIVE LOAD: 40 psf
d. FLOOR DEAD LOAD: 15 psf
e. DECK LIVE LOAD: 60 psf
f. DECK DEAD LOAD: 10 psf
g. ROOF LIVE LOAD: 30 psf
h. ROOF DEAD LOAD: 20 psf
- SNOW LOAD DATA FOR THE PROJECT IS LISTED AS FOLLOWS:
a. Pg = 20 psf
b. I = 1.0
c. Ct = 1.1
d. Ce = 1.0
e. Pf = 20 psf
- LATERAL WIND LOAD DATA FOR THE PROJECT IS LISTED AS FOLLOWS:
a. V_{ult} = 130 mph
b. V_{asf} = 101 mph
c. Risk Category = II
d. Exposure Category = C
e. Internal Pressure Coefficient = +/- 0.18
- SEISMIC DESIGN CATEGORY = B

FOUNDATIONS

- BOTTOM OF FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR CONTROLLED COMPACTED FILL CAPABLE OF SAFELY SUPPORTING 1500 PSF.
- ALL SOILS SUPPORTING FOOTINGS AND SLABS SHOULD BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY OR AS DETERMINED BY A REGISTERED GEOTECHNICAL ENGINEER.
- BOTTOM OF ALL FOOTINGS SUBJECTED TO FREEZE THAW CONDITIONS SHALL BE A MINIMUM 2 FEET BELOW FINISH GRADE OR TOP OF SLAB ELEVATION WHICHEVER IS LOWER.
- ALL TIMBER PILES SHALL BE CAPABLE OF SAFELY SUPPORTING 12 TONS. PILES SHALL BE TREATED AS REQUIRED FOR THEIR ENVIRONMENT. PILES SHALL CONFORM TO ASTM D25.

CONCRETE

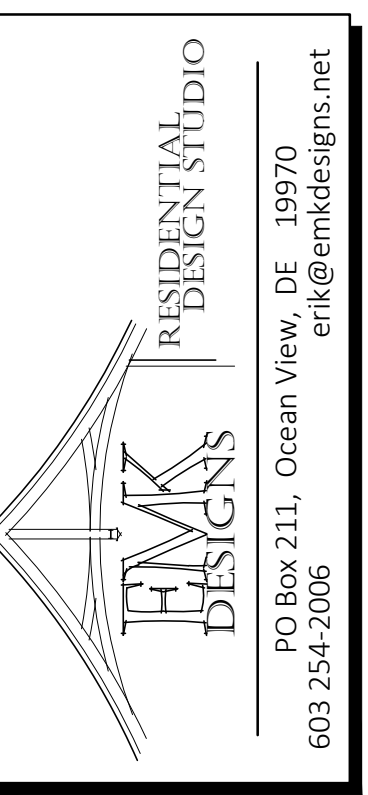
- ALL CONCRETE SHALL BE READY-MIX AND HAVE THE FOLLOWING CHARACTERISTICS:
SLABS ON GRADE
A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS. A MINIMUM OF 520 LBS. OF CEMENT PER CUBIC YARD. SLUMP (AT POINT OF CONCRETE PLACEMENT) SHALL BE 3-INCH MINIMUM AND 5-INCH MAXIMUM.
FOOTINGS AND FOUNDATION WALLS
A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. A MINIMUM OF 520 LBS. OF CEMENT PER CUBIC YARD. SLUMP (AT POINT OF CONCRETE PLACEMENT) SHALL BE 3-INCH MINIMUM AND 5-INCH MAXIMUM.
- ALL CONCRETE EXPOSED TO EXTERIOR CONDITIONS SHALL HAVE CHARACTERISTICS IN ACCORDANCE WITH ACI BUILDING CODE (ACI 318) AND THE 2021 INTERNATIONAL BUILDING CODE.
A. ACI BUILDING CODE (ACI 318)
B. THE ACI DETAILING MANUAL (SP-66)
C. SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).
- ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A615 GRADE 60. LAP ALL BARS MINIMUM 48 BAR DIAMETERS UNLESS OTHERWISE NOTED.
- ALL WWF SHALL BE MANUFACTURED FROM HIGH STRENGTH STEEL CONFORMING TO ASTM A185. LAP ALL WWF A MINIMUM OF 6 INCHES.
- FOR GRADE BEAMS, LAP ALL TOP STEEL AT MID-SPAN AND LAP BOTTOM STEEL OVER SUPPORT.
- CONSTRUCTION JOINTS IN GRADE BEAMS SHALL BE AT MID-SPAN AND KEY JOINTED WITH REINFORCING CONTINUOUS ACROSS JOINT.
- CONCRETE SHALL ACHIEVE A MINIMUM OF 70 PERCENT OF THE DESIGN STRENGTH PRIOR TO STEEL ERECTION. WRITTEN CONFIRMATION OF THIS STRENGTH SHOULD BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO THE COMMENCEMENT OF STEEL ERECTION.

STEEL

- ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC CODE. ALL STRUCTURAL STEEL WIDE FLANGE (W) SHAPES SHALL BE ASTM A992 GRADE 50 (F50). ALL STRUCTURAL STEEL S, M, AND HP SHAPES SHALL BE ASTM A572 GRADE 50 (F50). ALL OTHER STRUCTURAL STEEL SHALL BE ASTM A36 UNLESS OTHERWISE NOTED.
- ALL STEEL RECTANGULAR/SQUARE HOLLOW STRUCTURAL SECTIONS SHALL BE ASTM A500 GRADE B, Fy=46 KSI.
- ALL STEEL SHALL BE THOROUGHLY CLEANED IN ACCORDANCE WITH SSPC- SP3 AND HAVE A SHOP COAT OF RUST INHIBITIVE PAINT.
- ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED, AS DESCRIBED IN "LATEST EDITION OF THE AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE", AWS D1.1, TO PERFORM THE TYPE OF WORK REQUIRED.
- ALL BOLTS USED FOR THE ANCHORAGE TO CONCRETE AS SPECIFIED ON THE DRAWINGS SHALL CONFORM TO ASTM F1554.
- ALL STEEL WELDING RODS SHALL BE AS FOLLOWS:
A. E70XX FOR STEEL CONNECTIONS
- STEEL FABRICATOR IS SOLELY RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR FOR THE PURPOSE OF SURVEYING AND VERIFICATION OF EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO THE LOCATION, ELEVATION, AND DIMENSIONS OF WALLS AND FRAMING THAT EXIST AT THE TIME OF THE STEEL ERECTION.
- ALL EXPOSED STEEL SHALL BE HOT DIP GALVANIZED. ANY POINTS OF WELDING SHALL BE TOUCHED UP IN THE FIELD WITH A ZINC-RICH PAINT BY THE STEEL ERECTOR.

TIMBER

- ALL STRUCTURAL TIMBER FRAMING, WALLS, BLOCKING, ETC SHALL BE HEM FIR #2 MINIMUM, STRESS GRADE LUMBER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:
Fb = 850 PSI Fv = 150 PSI E = 1,300,000 PSI
ALL STRUCTURAL TIMBER MUST BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL".
- ALL FRAMER SERIES LUMBER SHALL BE M-12, STRESS GRADE LUMBER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:
Fb = 1600 PSI Fv = 175 PSI E = 1,600,000 PSI
- ALL EXTERIOR TIMBER FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE (SYP) #1 MINIMUM, STRESS GRADE LUMBER. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:
Fb = 1000 PSI Fv = 175 PSI E = 1,600,000 PSI
- ALL STRUCTURAL TIMBER FOR WOOD TRUSS FRAMING SHALL BE SOUTHERN YELLOW PINE (SYP) #3 MINIMUM, STRESS GRADE LUMBER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:
Fb = 500 PSI Fv = 175 PSI E = 1,100,000 PSI
ALL STRUCTURAL TIMBER MUST BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL".
- ALL GLUE-LAMINATED BEAMS SHALL BE CONSTRUCTED OF SOUTHERN YELLOW PINE, DOUGLAS FIR OR APPROVED EQUAL. CONFORMING TO AITC 117-84 "STANDARD SPECIFICATION FOR STRUCTURAL GLUE-LAMINATED TIMBER OF SOFTWOOD SPECIES". THE MINIMUM ALLOWABLE PROPERTIES FOR GLUE-LAMINATED BEAMS ARE AS FOLLOWS:
Fb = 2400 PSI Fv = 265 PSI E = 1,800,000 PSI.



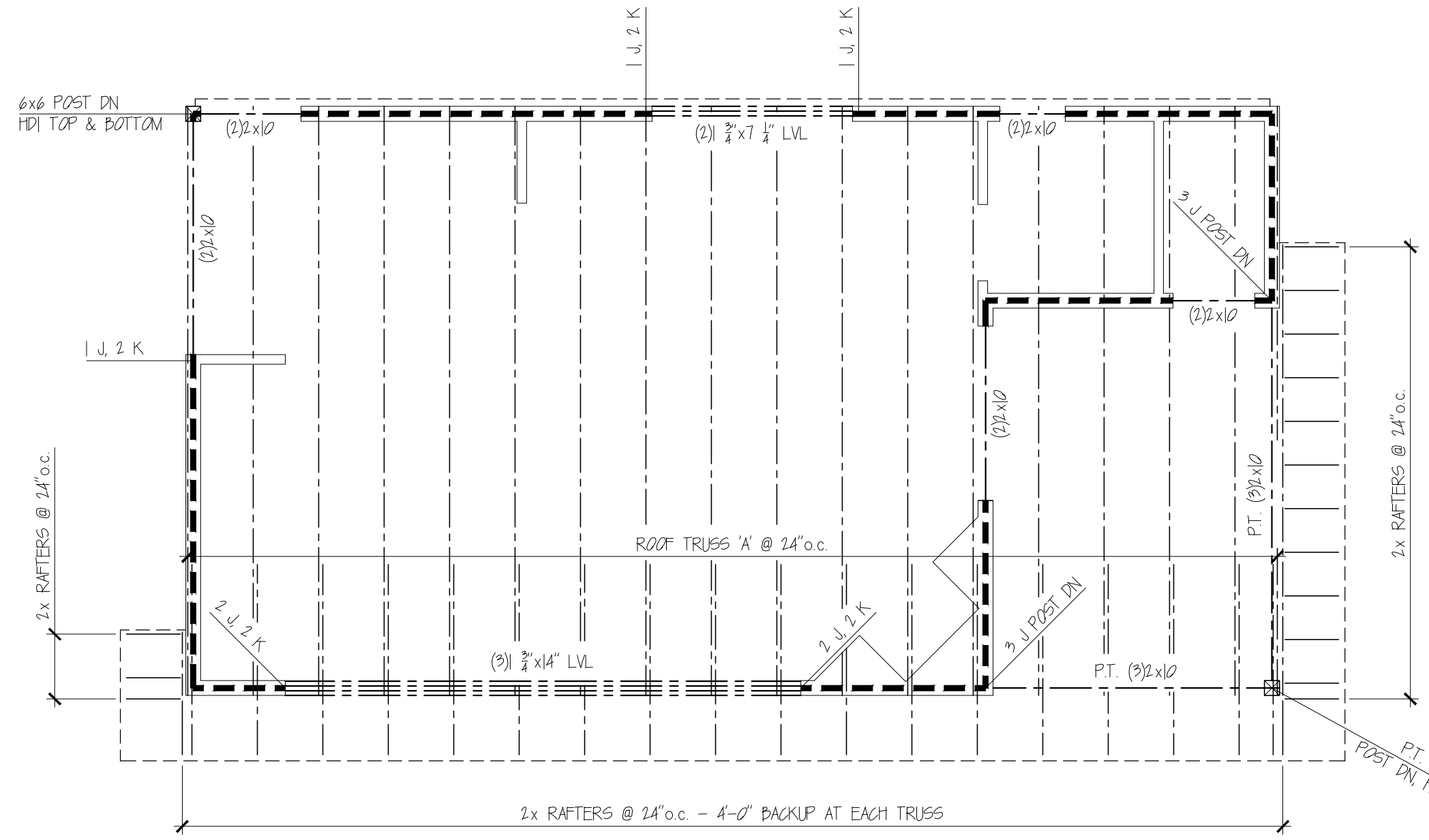
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Updated plans	09.17.2023	Revision	01
Updated plans	09.28.2023	Revisions per client selections	
Updated plans	09.30.2023		
Updated plans	10.26.2023		

The contractor is responsible for confirming and coordinating all quantities and dimensions. Contractor shall, upon discovery, immediately notify designer of any discrepancies. The contractor is responsible for verifying fabrication processes and techniques of construction, coordinating his work with that of all other trades and performing his work in a safe, satisfactory and workmanlike manner. Contractor and subs shall be aware of all on-site conditions prior to submittal of bids.

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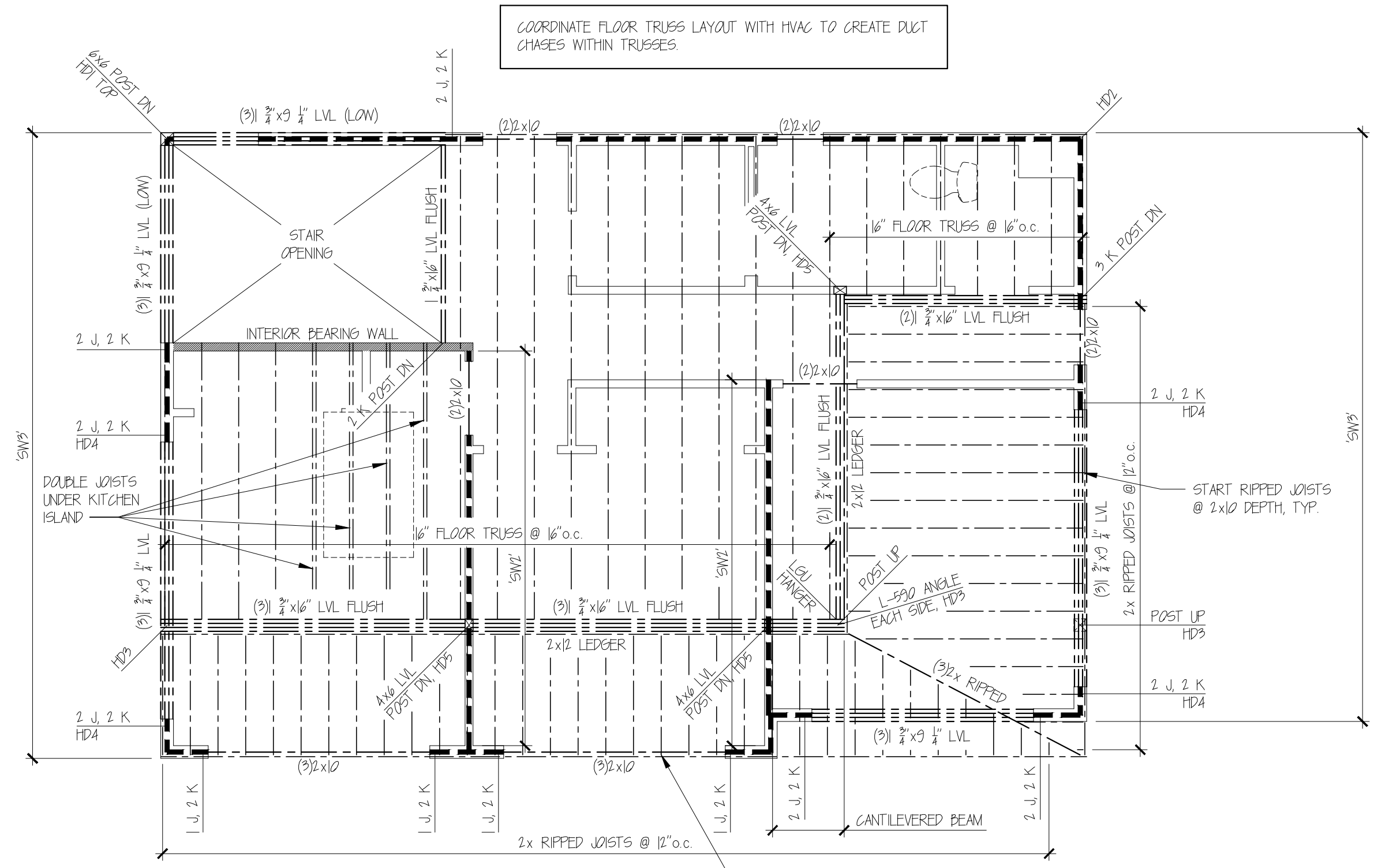
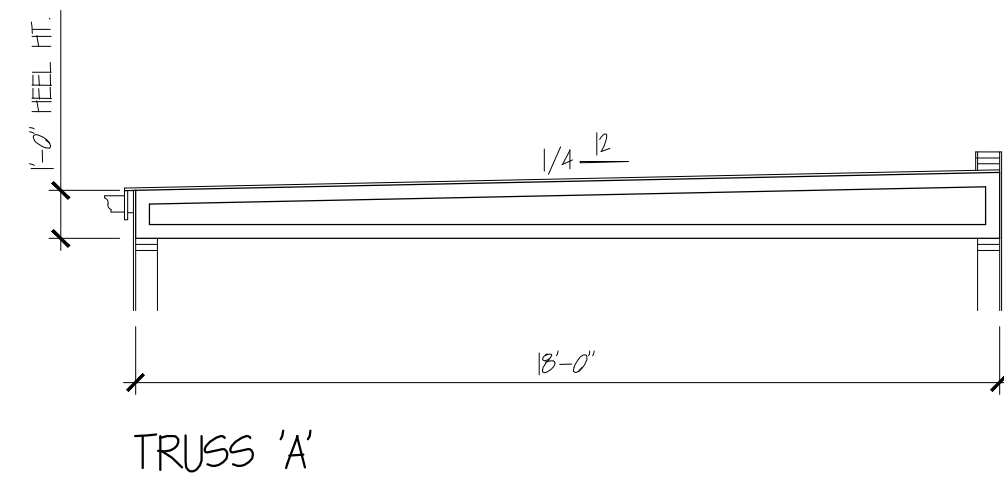
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S1

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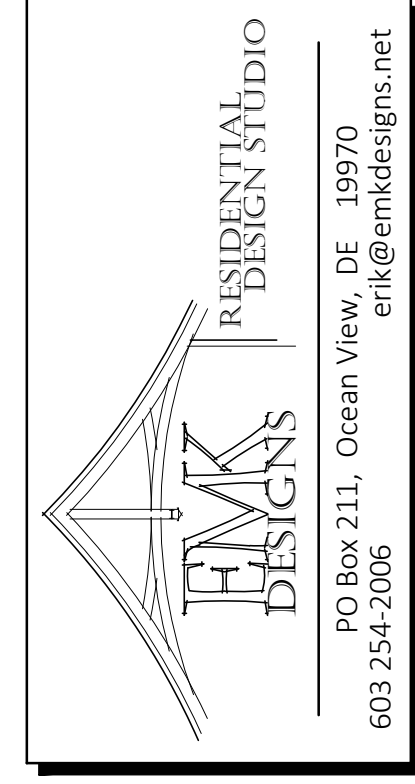
1
S2 **ROOF FRAMING PLAN**
SCALE: 3/8" = 1'-0"

PROVIDE MIN (2) STUDS AT EACH END OF HEADERS AND BEAMS
 _ J _ K' INDICATES NUMBER OF JACK AND KING STUDS
 ALL EXTERIOR WALLS TO BE SHEAR WALL TYPE SWI, UNO
 HD1 = SIMPSON CQ9 SERIES POST CAP



1
S2 **SECOND FLOOR FRAMING PLAN**
SCALE: 3/8" = 1'-0"

PROVIDE MIN (2) STUDS AT EACH END OF HEADERS AND BEAMS
 _ J _ K' INDICATES NUMBER OF JACK AND KING STUDS
 ALL EXTERIOR WALLS TO BE SHEAR WALL TYPE SWI, UNO
 HD1 = SIMPSON CQ9 SERIES POST CAP
 HD2 = (2) SIMPSON HDU4-S05L5 HOLD-DOWNS W/ 3/8" DIA THREADED ROD THROUGH FLOOR
 HD3 = SIMPSON CMSTC6 STRAP TO POST ABOVE W/ 12" END LENGTHS
 HD4 = SIMPSON CMSTC6 STRAP HEADER TO JACK W/ 10" END LENGTHS
 HD5 = SIMPSON 116 STRAP BEAM TO POST



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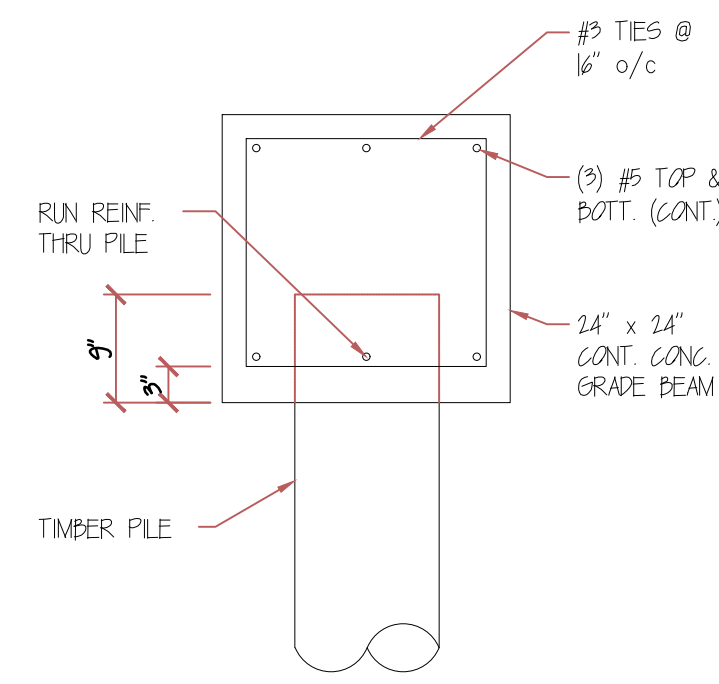
Structural design plans	09.13.2023
Updated plans	09.17.2023
Updated plans	09.28.2023
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No. Revision	Date
01	12.18.2023
Revisions per client selections	

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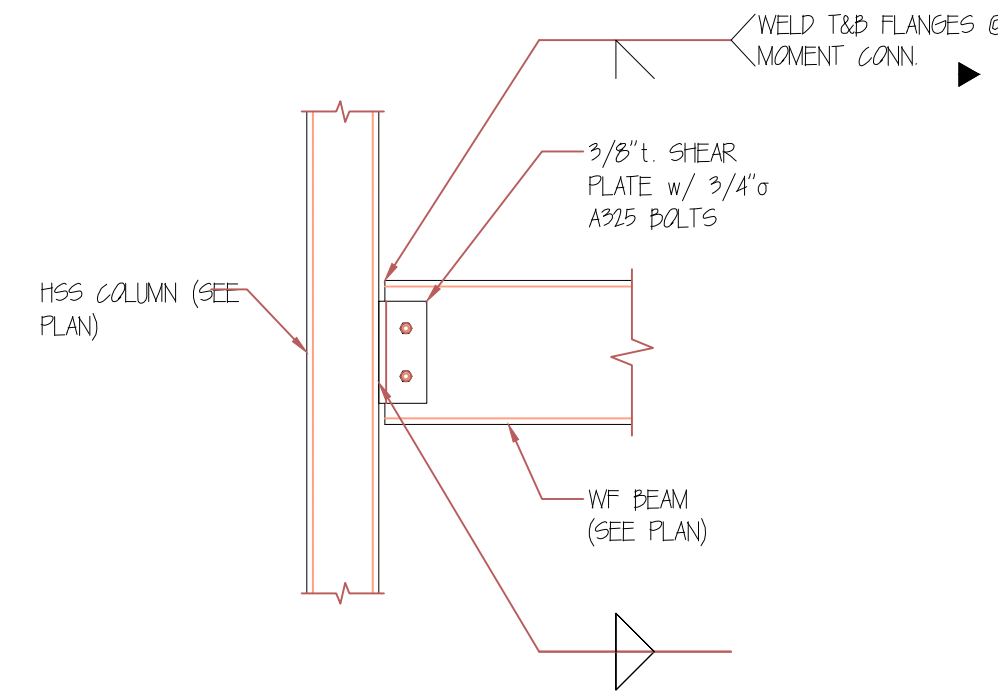
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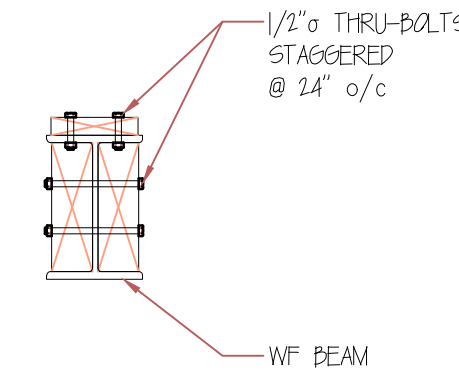
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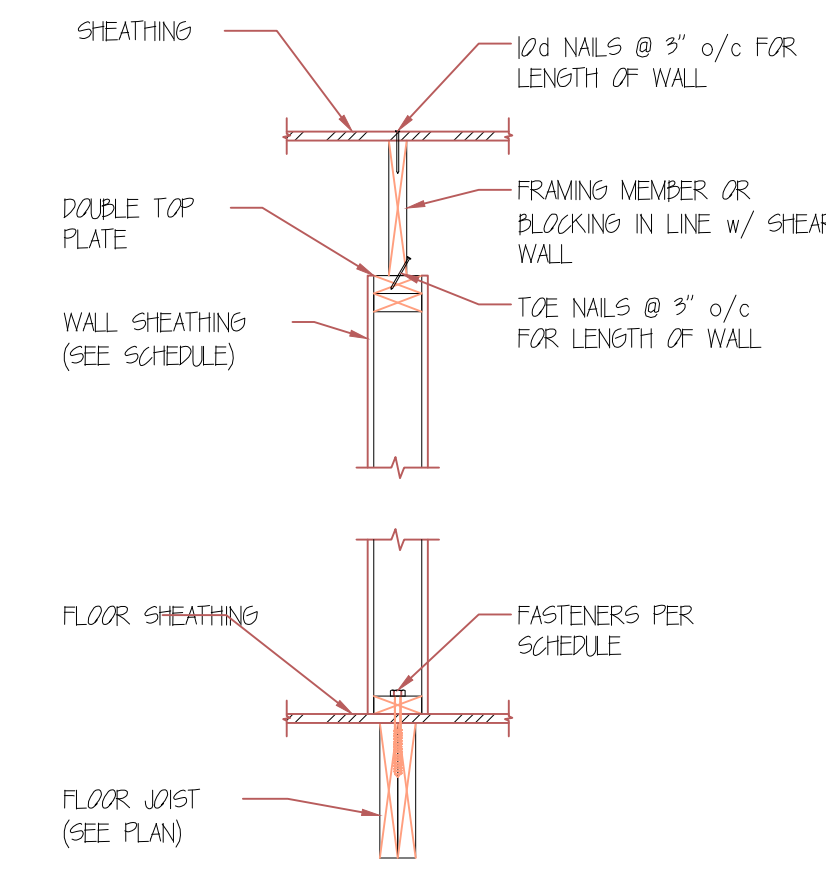
TYPICAL GRADE BEAM



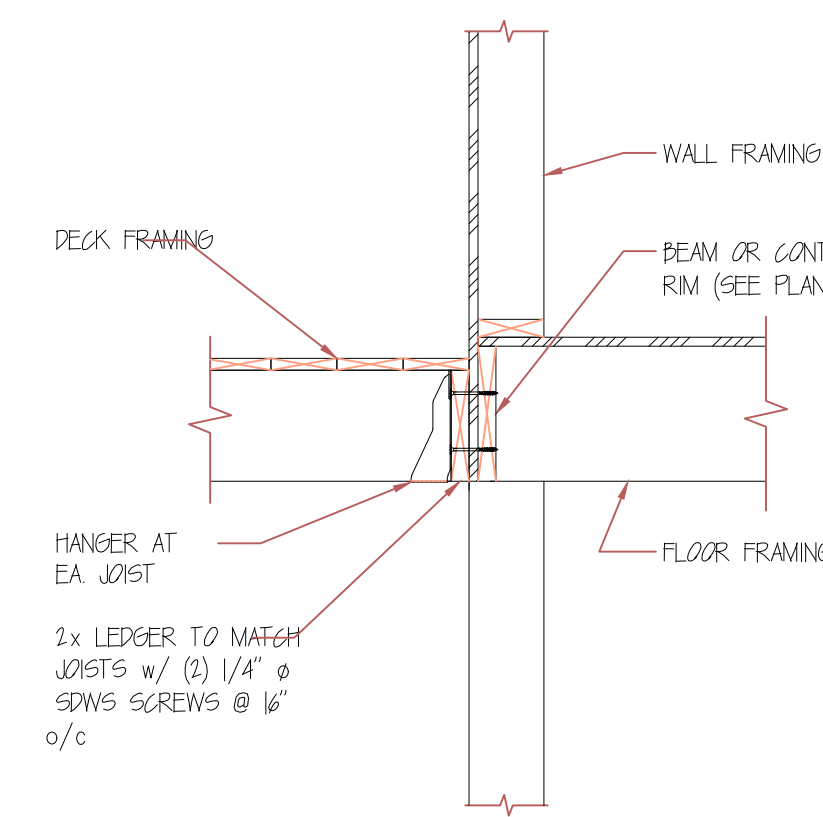
TYPICAL BEAM TO COLUMN CONNECTION



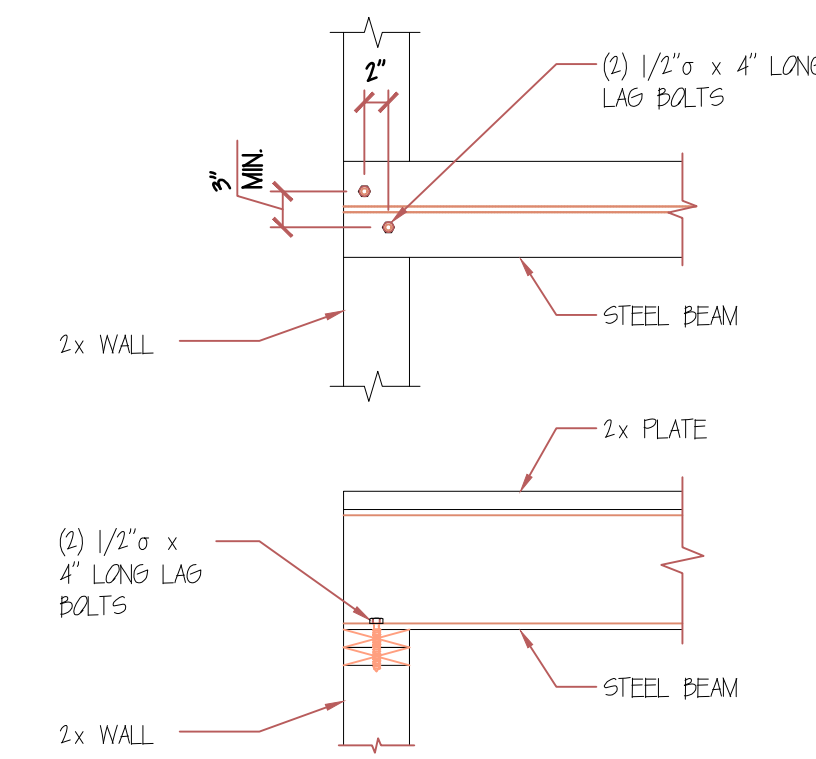
TYPICAL 'PACKED-OUT' WF BEAM



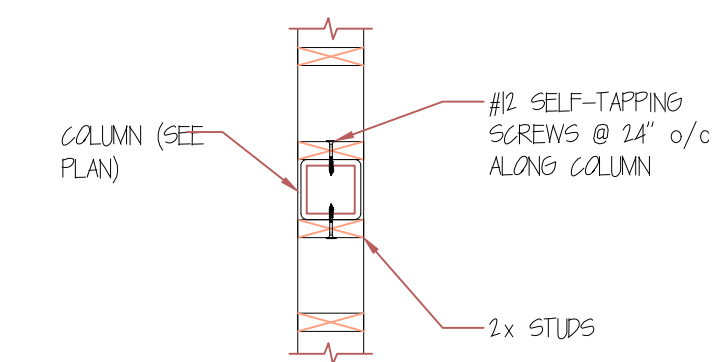
TYPICAL INTERIOR SHEAR WALL DETAIL



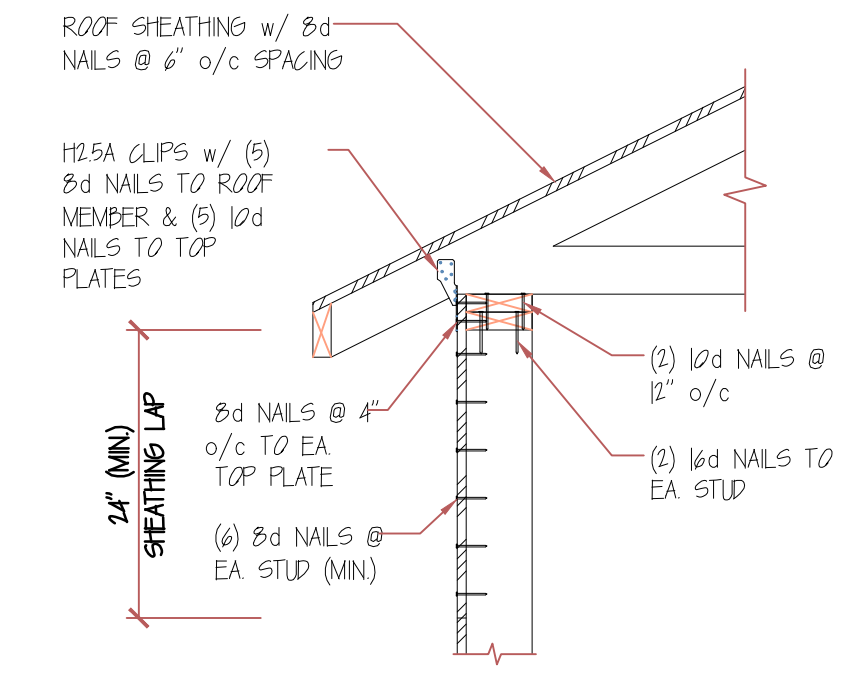
TYPICAL LEDGER FRAMING



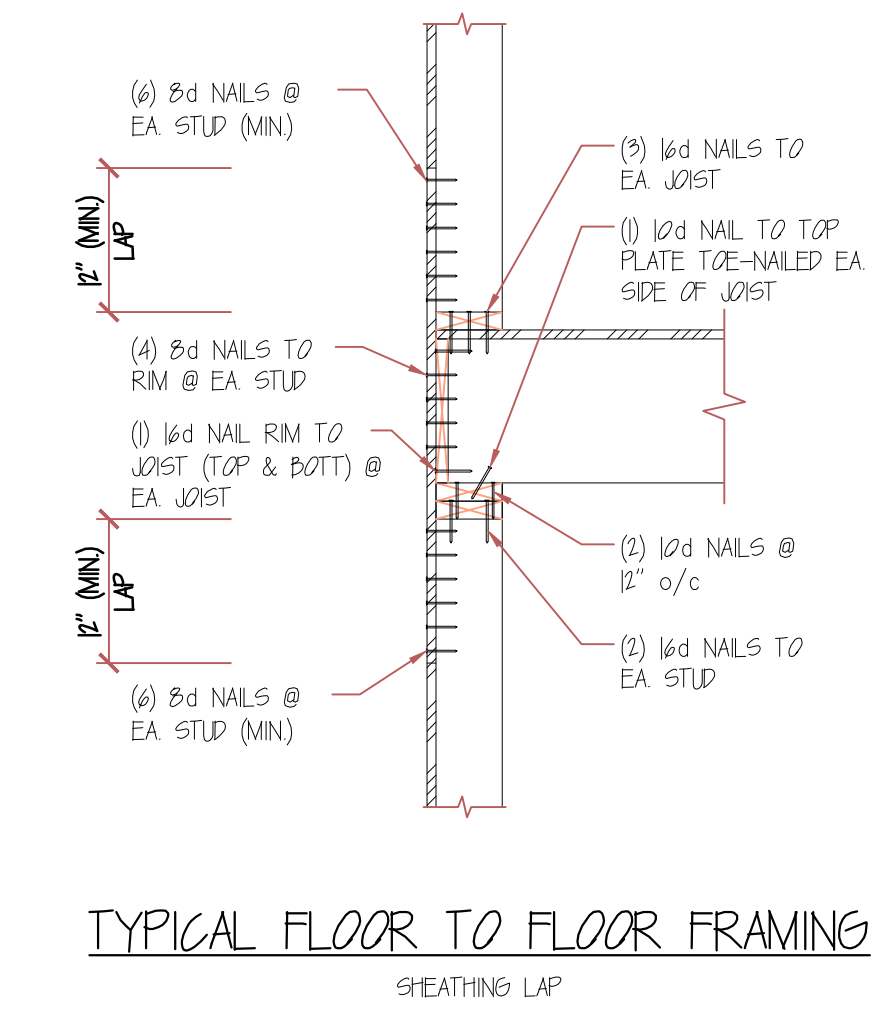
STEEL BEAM ON WOOD DETAIL



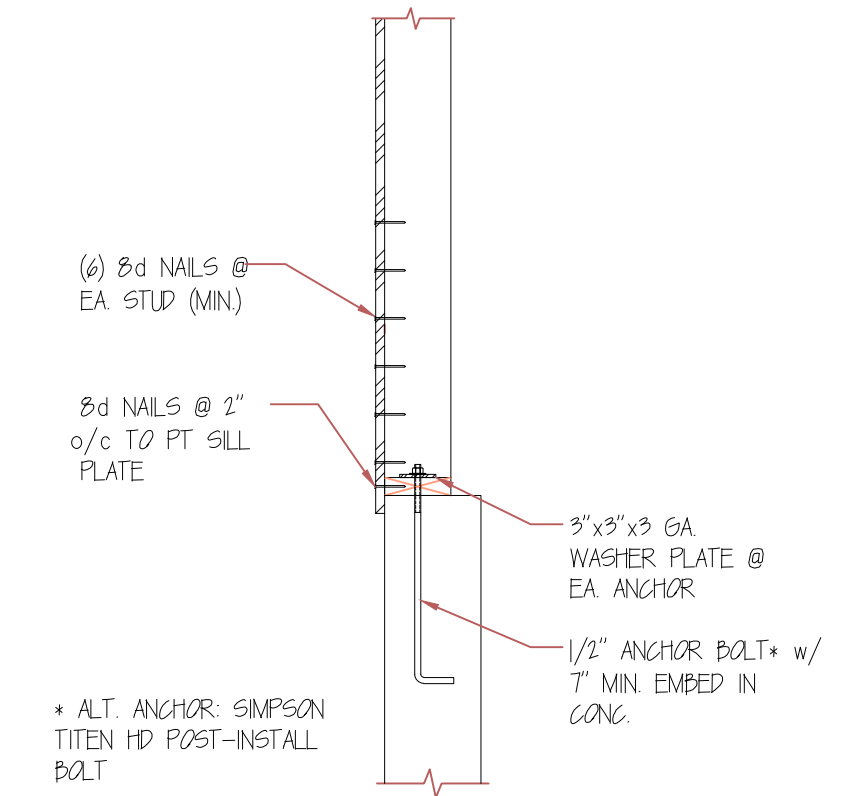
TYPICAL WALL STUDS TO STEEL COLUMN



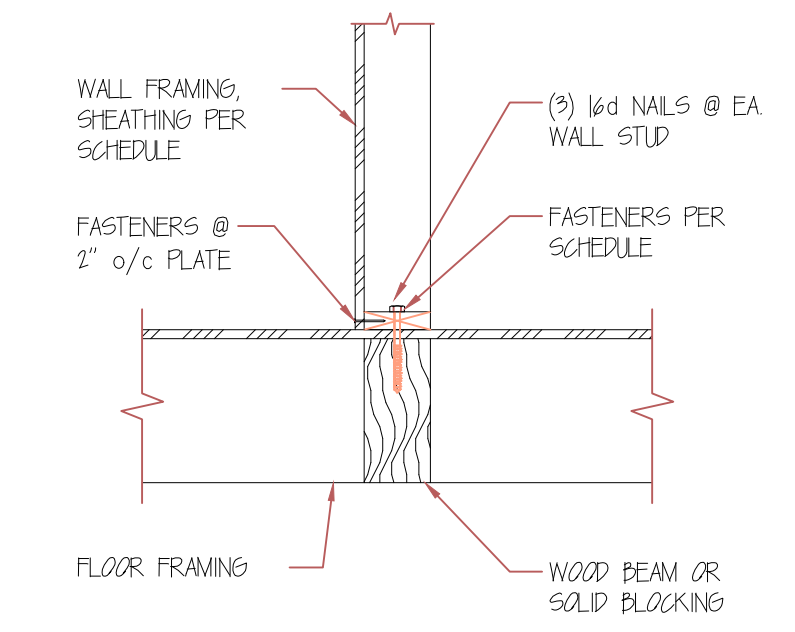
TYPICAL ROOF FRAMING



TYPICAL FLOOR TO FLOOR FRAMING



TYPICAL SILL ON FDN FRAMING



TYPICAL WALL TO BEAM FRAMING

No.	Revision	Date
01	Revisions per client selections	12.18.2023
	Updated plans	10.26.2023
	Updated plans	09.30.2023
	Updated plans	09.28.2023
	Updated plans	09.17.2023
	Structural design plans	09.13.2023

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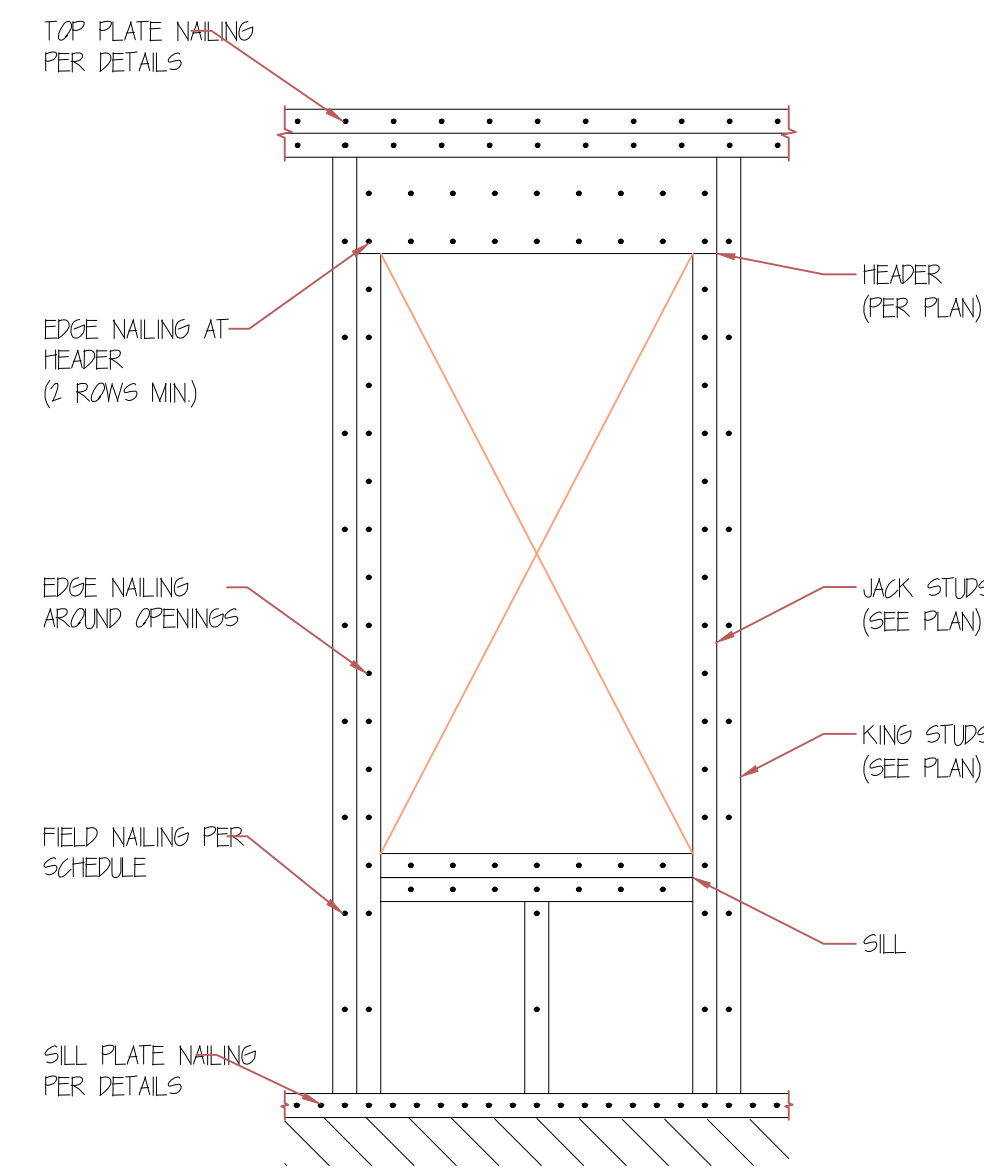
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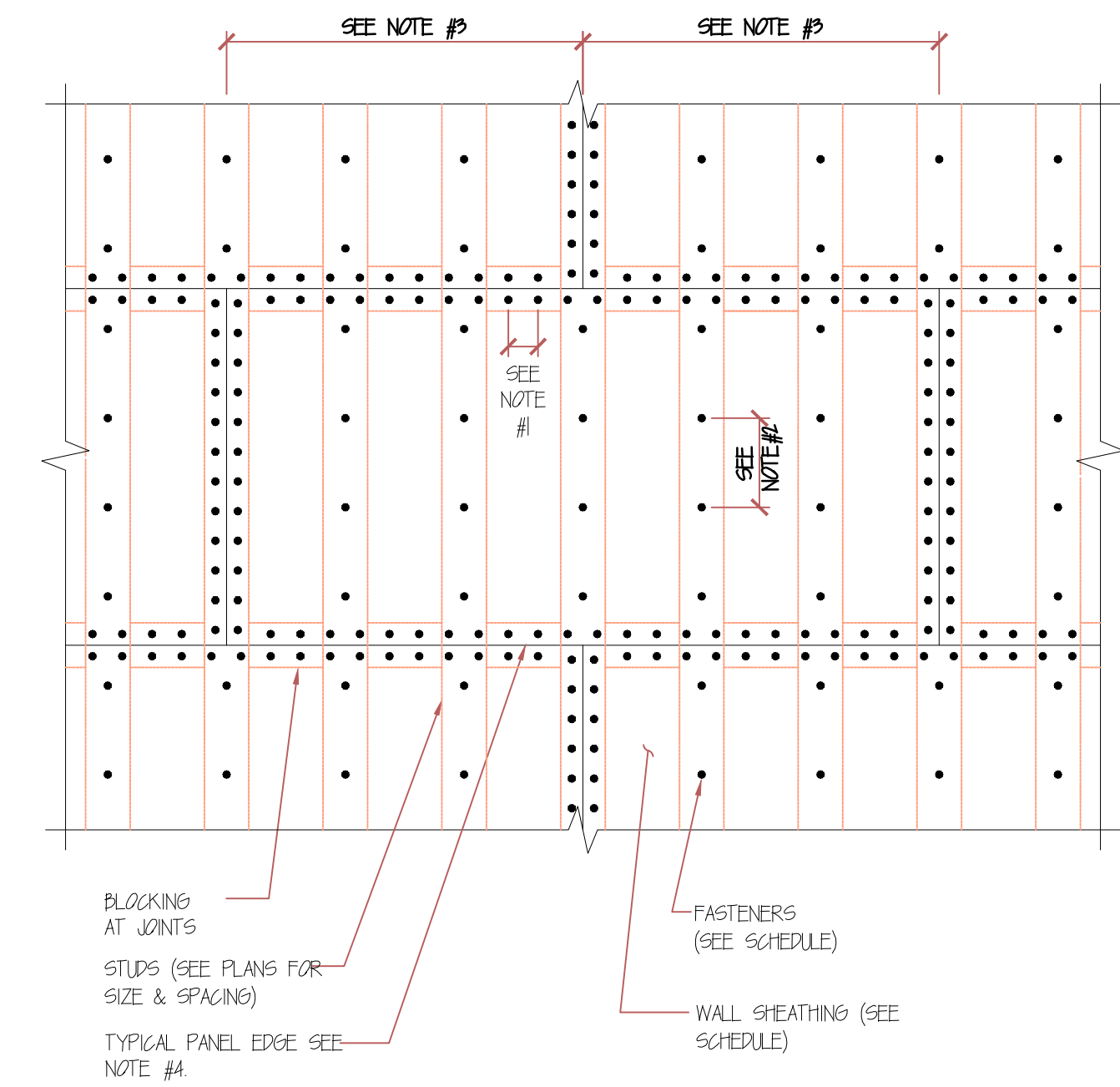
SHEAR WALL FRAMING SCHEDULE					
MARK	SHEATHING	FASTENING	ANCHOR BOLTS TO FDN	FLR TO FLR CONN	WALL TO BEAM CONN
SW1 SHEAR WALL	1/2" WOOD SHEATHING w/ BLOCKED JOINTS (ONE SIDE)	2d NAILS @ 4" o/c SPACING @ PANEL EDGES, 12" o/c IN FIELD	1/2" BOLTS @ 4'-0" o/c MAX, 12" MAX FROM ENDS	SHEATHING LAP / NAILING PATTERN (SEE DETAIL)	1/4"x5" SDS SCREW @ 24" o/c MAX INTO BEAM OR BLOCKING
SW2 SHEAR WALL	GYPSUM BOARD w/ BLOCKED JOINTS (BOTH SIDES)	5d COOLER NAILS @ 4" o/c SPACING @ PANEL EDGES AND IN FIELD	1/2" BOLTS @ 4'-0" o/c MAX, 12" MAX FROM ENDS	1/2" NAILS @ 3" o/c (SEE DETAIL)	1/4"x5" SDS SCREW @ 24" o/c MAX INTO BEAM OR BLOCKING
SW3 SHEAR WALL	1/2" WOOD SHEATHING w/ BLOCKED JOINTS (ONE SIDE)	2d NAILS @ 4" o/c SPACING @ PANEL EDGES, 12" o/c IN FIELD	1/2" BOLTS @ 4'-0" o/c MAX, 12" MAX FROM ENDS	SHEATHING LAP / NAILING PATTERN (SEE DETAIL)	1/4"x5" SDS SCREW @ 24" o/c MAX INTO BEAM OR BLOCKING

FASTENER SCHEDULE	
TYPE	PROPERTIES
5d COOLER NAIL	0.086" ø x 1 5/8" LONG
6d COOLER NAIL	0.093" ø x 1 7/8" LONG
2d NAIL	0.19" ø x 2 1/2" LONG
1/2d NAIL	0.145" ø x 3" LONG
1/4d NAIL	0.162" ø x 3 1/2" LONG
#6 SCREW	0.195" ø
#8 SCREW	0.164" ø
#10 SCREW	0.192" ø

* ALT. FASTENER: #6 SCREWS

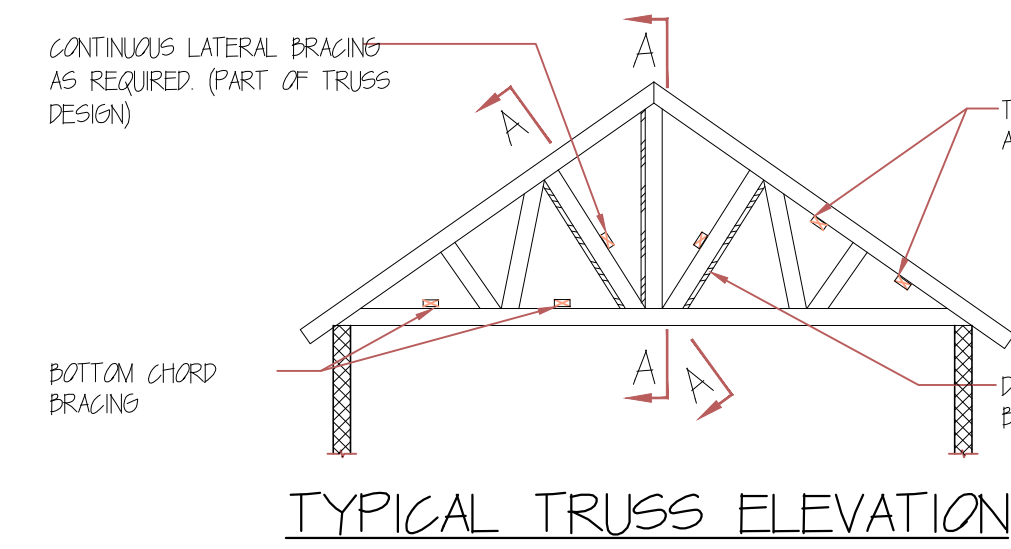


TYPICAL OPENING FRAMING



TYPICAL SHEAR WALL PANEL FASTENING PATTERN

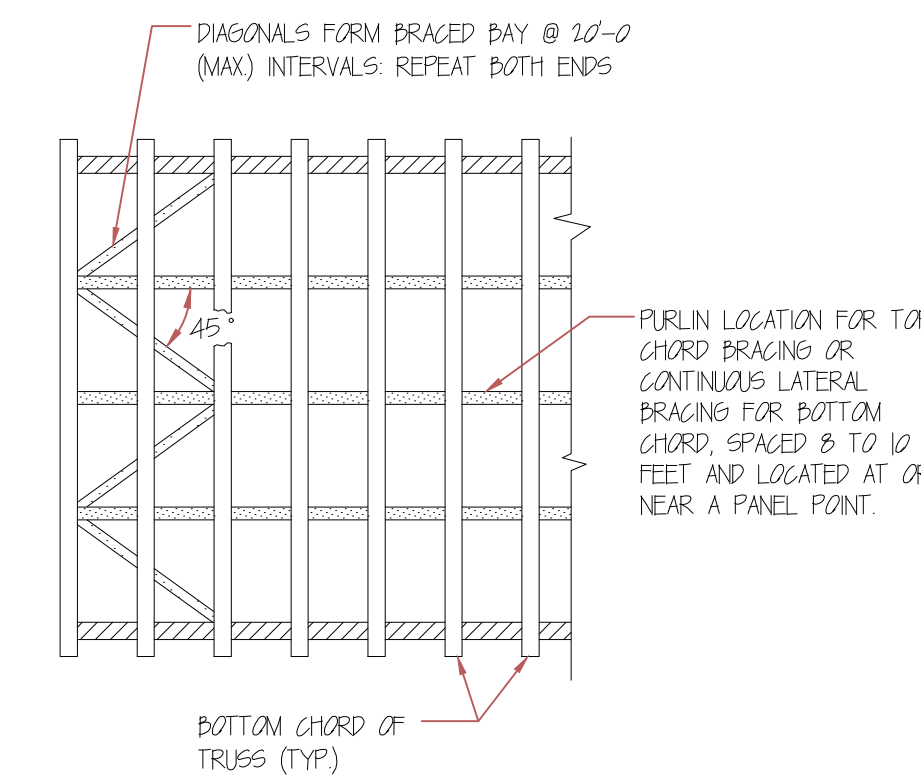
- NOTES:
- SEE SHEAR WALL SCHEDULE FOR NAIL SPACING AT PANEL EDGES.
 - SEE SHEAR WALL SCHEDULE FOR NAIL SPACING IN PANEL FIELD.
 - STAGGER ALL JOINTS IN SHEATHING.
 - SHEATHING SHALL BE NAILED DIRECTLY TO WALL STUDS AND BLOCKING. PANEL EDGES INCLUDE EDGES OF SHEATHING AROUND WINDOW AND DOOR OPENINGS.
 - SEE PLANS AND DETAILS FOR STUD SIZE & SPACING.



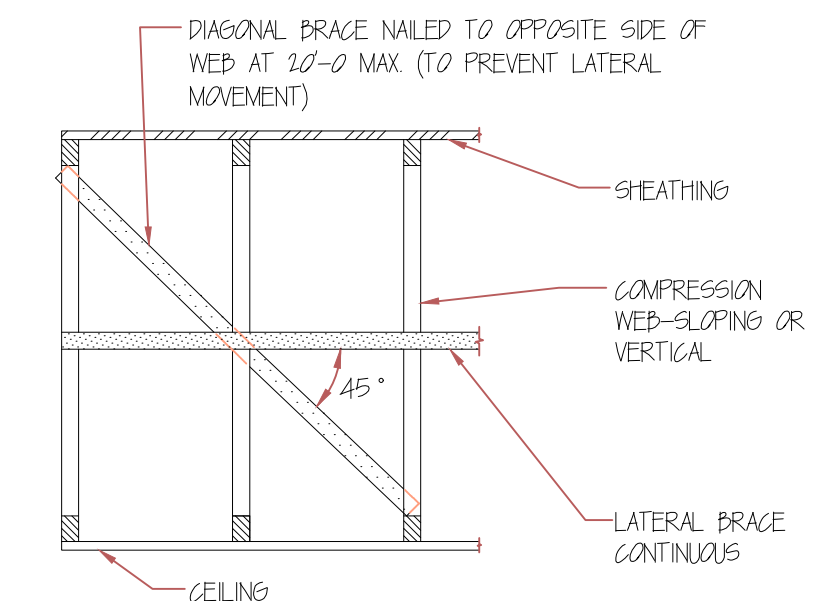
TYPICAL TRUSS ELEVATION

TRUSS NOTES

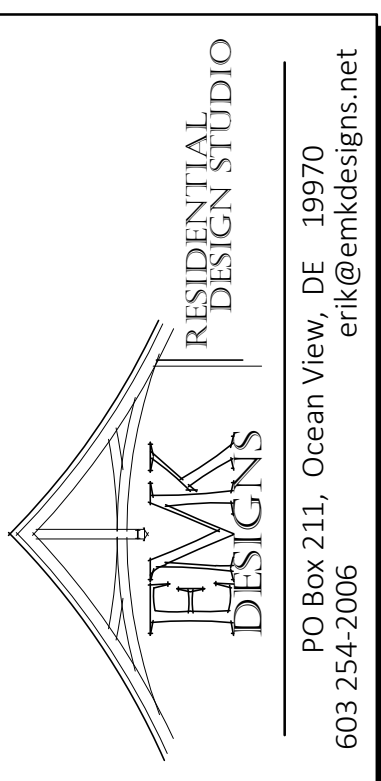
- WOOD TRUSSES SHALL BE BRACED AND ERECTED IN ACCORDANCE WITH THE "BUILDING COMPONENT SAFETY INFORMATION" MANUAL PUBLISHED MAY 2008 AND THE "TRUSS PLATE INSTITUTE" BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS, BWT-76.
- BRACING IN THE PLANE OF WEB MEMBERS:
 - THE TRUSS FABRICATOR SHALL PROVIDE AND LOCATE CONTINUOUS LATERAL BRACING FOR EACH TRUSS WEB MEMBER AS REQUIRED.
 - LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN. 2" THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS.
 - A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE AT EACH VERTICAL WEB MEMBER CLOSE TO BEARING LOCATIONS.
 - THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AT 8 TO 10 FEET. CONTINUOUS LATERAL BRACING SHALL BE LOCATED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.
 - TOP CHORD BRACING:
 - IF PLYWOOD DECKING IS APPLIED DIRECTLY TO TOP CHORD, PROPERLY LAPPED AND NAILED TO DEVELOP DIAPHRAGM ACTION, BRACING IS NOT REQUIRED.
 - IF PURLINS ARE USED, DIAGONAL TOP CHORD BRACING IS REQUIRED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.
 - WOOD ROOF TRUSSES ARE TO BE DESIGNED FOR THE WOOD FABRICATOR BY A PROFESSIONAL ENGINEER, AND SEALED CALCULATIONS AND DRAWINGS ARE TO BE SUBMITTED FOR REVIEW.



TOP/ BOTTOM CHORD BRACING



SECTION A-A



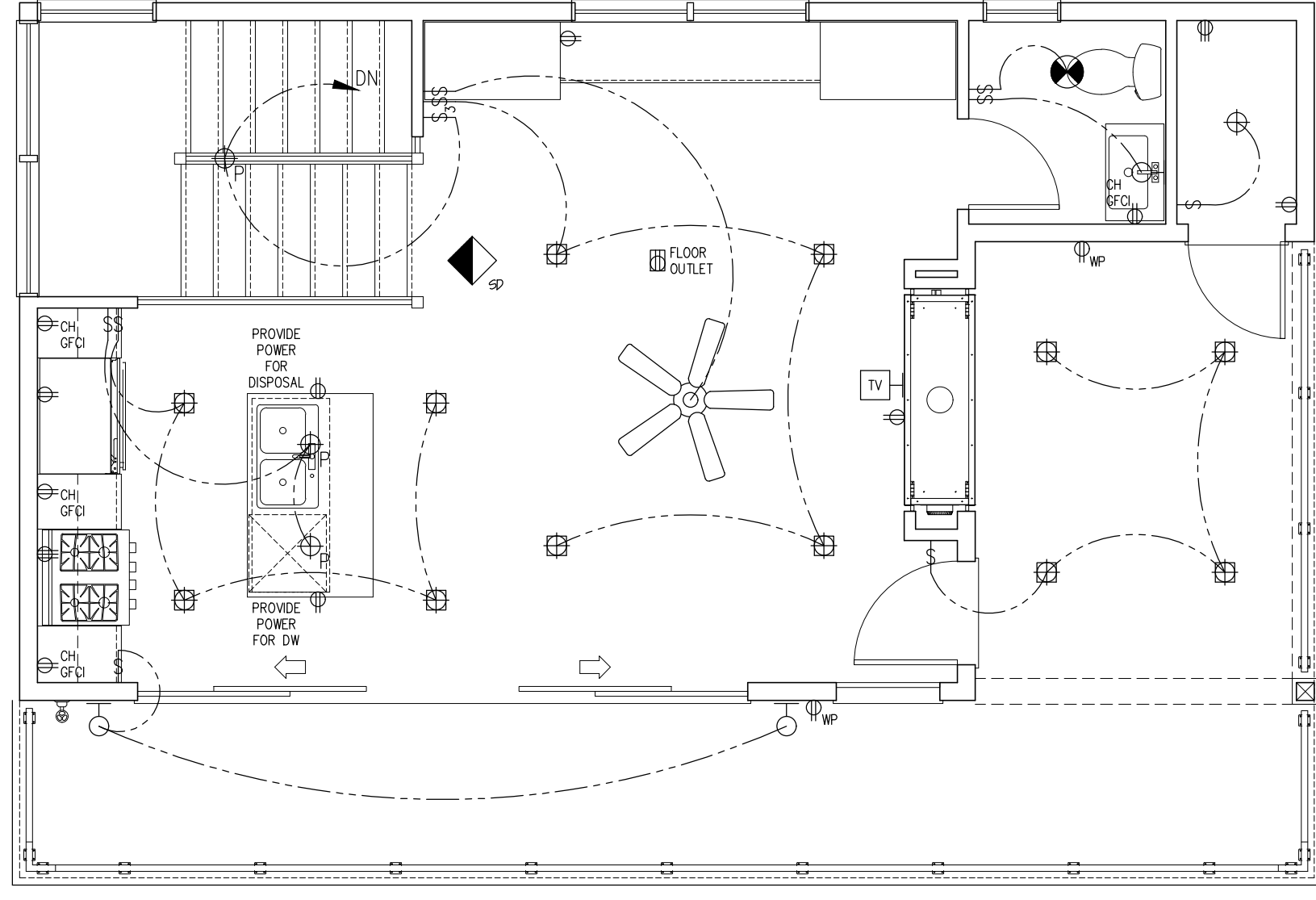
Structural design plans	09.13.2023
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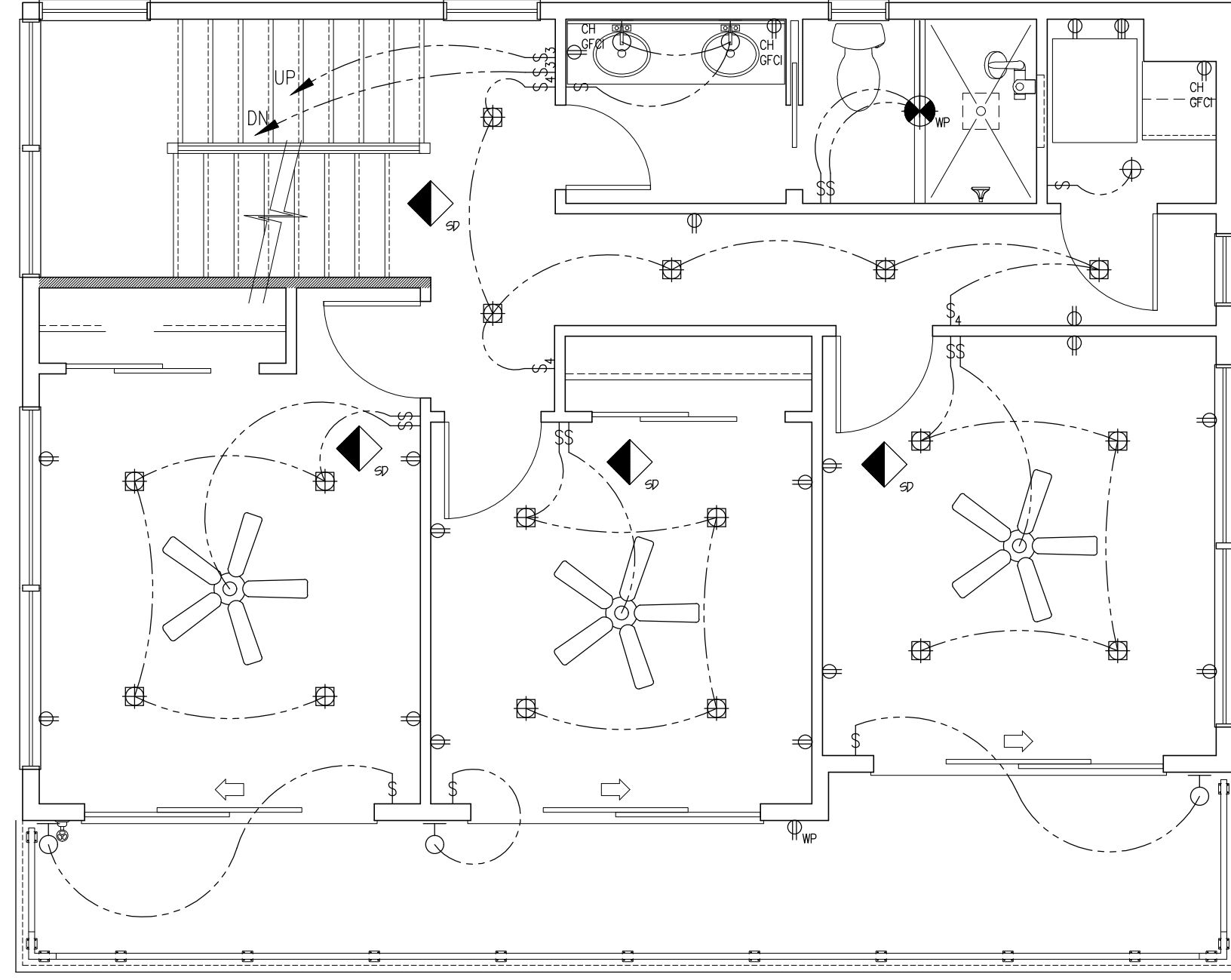
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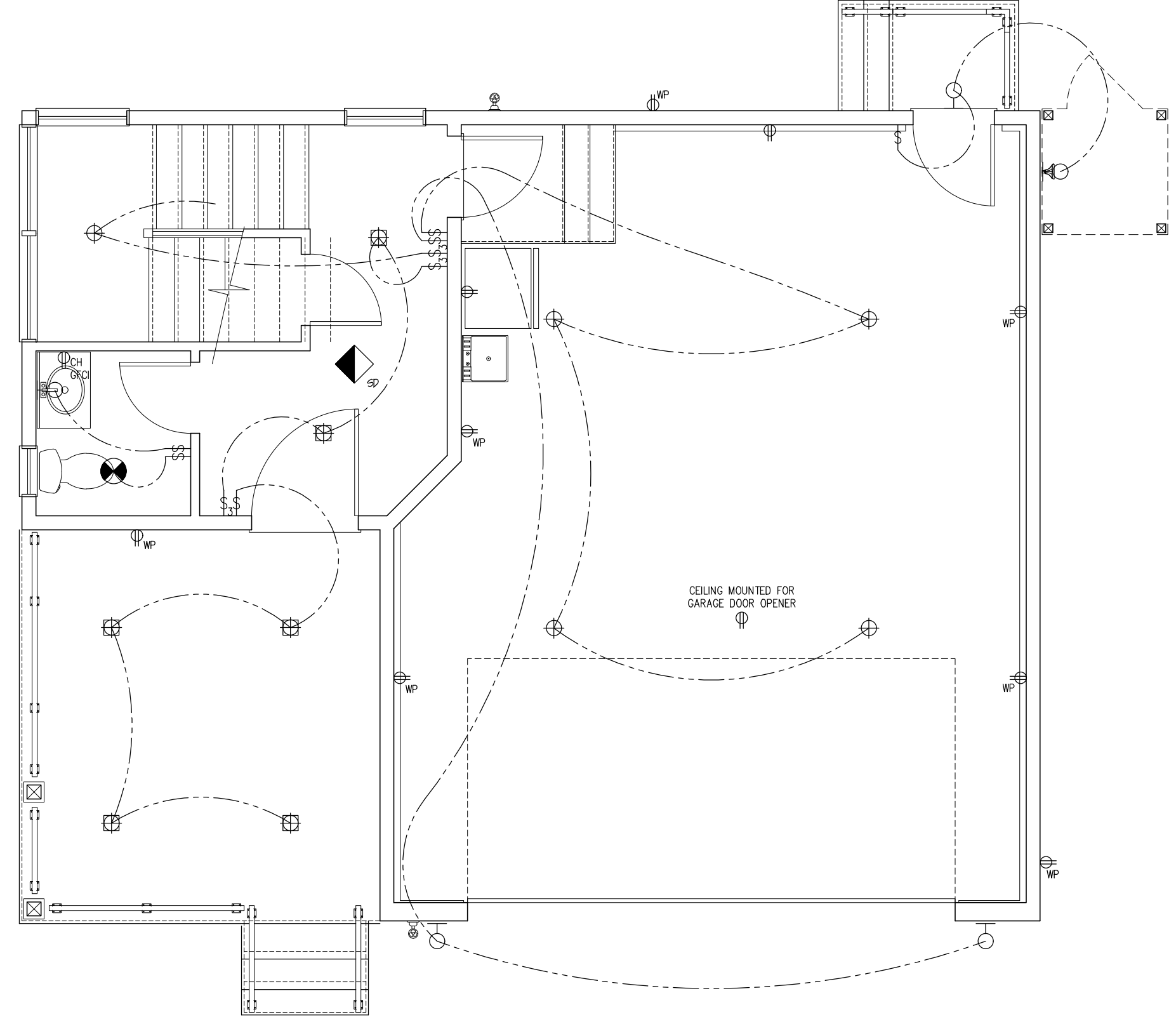
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S4



3 SECOND FLOOR ELECTRIC/LIGHTING PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR ELECTRIC/LIGHTING PLAN
SCALE: 1/4" = 1'-0"



1 GROUND FLOOR ELECTRIC/LIGHTING PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS

	DUPLEX RECEPTACLE OUTLET		SINGLE-POLE SWITCH W/ DIMMER		SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		PENDANT LIGHT FIXTURE		RECESSED WALL-WASHER		EXTERIOR WATERPROOF SPEAKER
	COUNTER HEIGHT GROUND FAULT CIRCUIT INTERRUPT		THREE-WAY SWITCH		EXHAUST FAN W/ LIGHT, WATER-RESISTANT FOR USE IN SHOWER		RECESSED LIGHT FIXTURE		CABLE/SATELLITE		CEILING FAN
	WATERPROOF OUTLET		FOUR-WAY SWITCH		EXHAUST FAN		4" HALOGEN RECESSED LIGHT FIXTURE		EXTERIOR FLOOD LIGHT		
	DEDICATED OUTLET		DOORBELL & CHIME		UNDER-CABINET LIGHTING		WALL MOUNTED LIGHT FIXTURE		CEILING SPEAKER		
	SINGLE-POLE SWITCH		GARBAGE DISPOSAL		CEILING MOUNTED LIGHT FIXTURE		WATER PROOF RECESSED LIGHT FIXTURE		WALL SPEAKER		

Structural design plans	09.13.2023
Updated plans	09.17.2023
Updated plans	09.28.2023
Updated plans	09.30.2023
Updated plans	10.26.2023
No.	Revision
01	Revisions per client selections
	Date
	12.18.2023

The contractor is responsible for confirming and correcting all quantities and dimensions. Contractor shall, upon discovery, immediately notify designer of any discrepancies. The contractor is responsible for identifying fabrication processes and techniques of construction, coordinating his work with that of all other trades and performing his work in a safe, satisfactory and workmanlike manner. Contractor and subs shall be aware of all on-site conditions prior to submittal of bids.

© This drawing is the property of the designer, Erik M. Kampmann, and is intended for this project only. Any other use is strictly prohibited.

Hartman Custom Home

Unit 2000, Bayard Ave. Condos
Dewey Beach, DE 19971
Sussex County, Delaware

#012023

E1



ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company,

SECTION A – PROPERTY INFORMATION FOR INSURANCE USE

A1. Building Owner's Name: KEVIN & JENNIFER HARTMAN Policy Number: _____
 A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
2000 BAYARD AVENUE Company NAIC Number: _____

City: DEWEY BEACH State: DE ZIP Code: 19971

A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number:
UNIT 2000, BAYARD AVENUE CONDOS

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): RESIDENTIAL

A5. Latitude/Longitude: Lat. 38° 41' 43.87"N Long. 75° 04' 38.60"W Horizontal Datum: NAD 1927 NAD 1983 WGS 84

A6. Attach at least two and when possible four clear photographs (one for each side) of the building (see Form pages 7 and 8).

A7. Building Diagram Number: 1B

A8. For a building with a crawlspace or enclosure(s):

a) Square footage of crawlspace or enclosure(s): 0.00 sq. ft.

b) Is there at least one permanent flood opening on two different sides of each enclosed area? Yes No N/A

c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade:
 Non-engineered flood openings: 0 Engineered flood openings: 0

d) Total net open area of non-engineered flood openings in A8.c: 0.00 sq. in.

e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): 0.00 sq. ft.

f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): 0.00 sq. ft.

A9. For a building with an attached garage:

a) Square footage of attached garage: 489.00 sq. ft.

b) Is there at least one permanent flood opening on two different sides of the attached garage? Yes No N/A

c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade:
 Non-engineered flood openings: 0 Engineered flood openings: 4

d) Total net open area of non-engineered flood openings in A9.c: 0.00 sq. in.

e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): 800.00 sq. ft.

f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): 800.00 sq. ft.

SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1.a. NFIP Community Name: TOWN OF DEWEY BEACH B1.b. NFIP Community Identification Number: 100056

B2. County Name: SUSSEX B3. State: DE B4. Map/Panel No.: 10005 C 0354 B5. Suffix: K

B6. FIRM Index Date: 03/16/2015 B7. FIRM Panel Effective/Revised Date: 03/16/2015

B8. Flood Zone(s): AE B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): 6'

B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9:
 FIS FIRM Community Determined Other: _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other/Source: _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
 Designation Date: _____ CBRS OPA

B13. Is the building located seaward of the Limit of Moderate Wave Action (LIMWA)? Yes No

BS 11.2.23

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>2000 BAYARD AVENUE</u>	FOR INSURANCE COMPANY USE
City: <u>DEWEY BEACH</u> State: <u>DE</u> ZIP Code: <u>19971</u>	Policy Number: _____
	Company NAIC Number: _____

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

- C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.
- C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters.
Benchmark Utilized: DICARLO RTN Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other: _____

Datum used for building elevations must be the same as that used for the BFE. Conversion factor used? Yes No

If Yes, describe the source of the conversion factor in the Section D Comments area.

Check the measurement used:

- | | | |
|---|--------------|--|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor): | <u>7.00</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| b) Top of the next higher floor (see Instructions): | <u>16.10</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (see Instructions): | _____ | <input type="checkbox"/> feet <input type="checkbox"/> meters |
| d) Attached garage (top of slab): | <u>4.00</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area): | <u>7.10</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| f) Lowest Adjacent Grade (LAG) next to building: <input type="checkbox"/> Natural <input checked="" type="checkbox"/> Finished | <u>3.00</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| g) Highest Adjacent Grade (HAG) next to building: <input type="checkbox"/> Natural <input checked="" type="checkbox"/> Finished | <u>3.90</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| h) Finished LAG at lowest elevation of attached deck or stairs, including structural support: | <u>3.40</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

Check here if attachments and describe in the Comments area.

Certifier's Name: Bradley A. Absher License Number: DE-735, MD-21165

Title: President

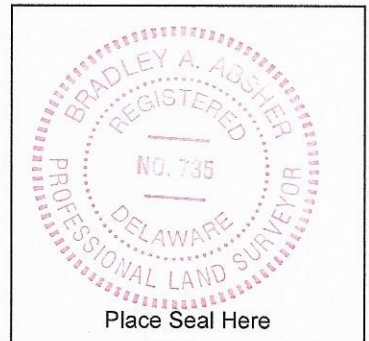
Company Name: True North Land Surveying, Inc.

Address: 35322 Bayard Road

City: Frankford State: DE ZIP Code: 19945

Signature: _____ Date: 11/02/2023

Telephone: (302) 539-2488 Ext.: _____ Email: BRAD@TRUENORTHLS.COM



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including source of conversion factor in C2; type of equipment and location per C2.e; and description of any attachments):

A8(c). SMART VENTS TO BE USED 200 SQ. FT. PER VENT

C2(e). HVAC

OUTSIDE SHOWER 16 SQ. FT. FLOOR ELEVATION 3.6

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 2000 BAYARD AVENUE	FOR INSURANCE COMPANY USE
City: DEWEY BEACH State: DE ZIP Code: 19971	Policy Number: _____ Company NAIC Number: _____

**SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED)
 FOR ZONE AO, ZONE AR/AO, AND ZONE A (WITHOUT BFE)**

For Zones AO, AR/AO, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters.

Building measurements are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

- E1. Provide measurements (C.2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG.
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C2.b in applicable Building Diagram) of the building is: _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is: _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is: _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge*

Check here if attachments and describe in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Telephone: _____ Ext.: _____ Email: _____

Comments: _____

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 2000 BAYARD AVENUE	FOR INSURANCE COMPANY USE
City: <u>DEWEY BEACH</u> State: <u>DE</u> ZIP Code: <u>19971</u>	Policy Number: _____ Company NAIC Number: _____

SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.a. A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when item E5 is completed for a building located in Zone AO.
- G2.b. A local official completed Section H for insurance purposes.
- G3. In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.
- G4. The following information (Items G5–G11) is provided for community floodplain management purposes.
- G5. Permit Number: _____ G6. Date Permit Issued: _____
- G7. Date Certificate of Compliance/Occupancy Issued: _____
- G8. This permit has been issued for: New Construction Substantial Improvement
- G9.a. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum: _____
- G9.b. Elevation of bottom of as-built lowest horizontal structural member: _____ feet meters Datum: _____
- G10.a. BFE (or depth in Zone AO) of flooding at the building site: _____ feet meters Datum: _____
- G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: _____ feet meters Datum: _____
- G11. Variance issued? Yes No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. *I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.*

Local Official's Name: _____ Title: _____

NFIP Community Name: _____

Telephone: _____ Ext.: _____ Email: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Comments (including type of equipment and location, per C2.e; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H):

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 2000 BAYARD AVENUE	FOR INSURANCE COMPANY USE
City: DEWEY BEACH State: DE ZIP Code: 19971	Policy Number: _____ Company NAIC Number: _____

SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). **Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.**

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) For Building Diagrams 1A, 1B, 3, and 5–9. Top of bottom _____ feet meters above the LAG floor (include above-grade floors only for buildings with subgrade crawlspaces or enclosure floors) is:

b) For Building Diagrams 2A, 2B, 4, and 6–9. Top of next higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is: _____ feet meters above the LAG

H2. Is all Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H instructions) for the appropriate Building Diagram?

Yes No

SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. *The statements in Sections A, B, and H are correct to the best of my knowledge.* **Note:** If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Telephone: _____ Ext.: _____ Email: _____

Comments: _____

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19
BUILDING PHOTOGRAPHS

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
 2000 BAYARD AVENUE

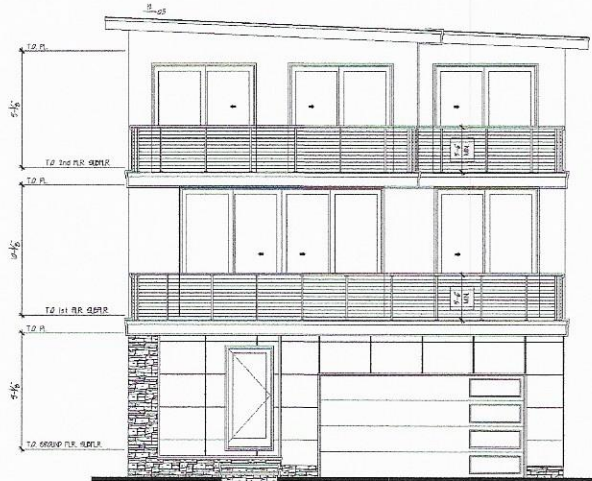
City: DEWEY BEACH State: DE ZIP Code: 19971

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

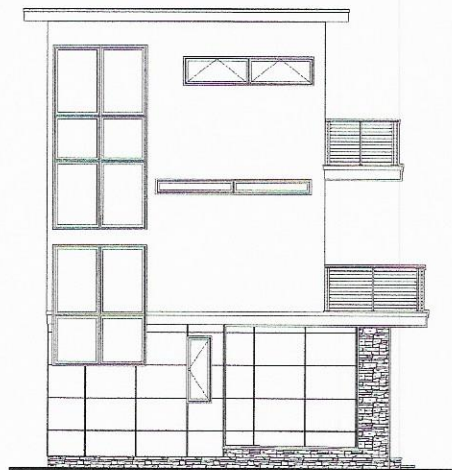


1 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

Photo One

Photo One Caption: FRONT VIEW 10/31/2023 PROPOSED

Clear Photo One



2 LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

Photo Two

Photo Two Caption: LEFT SIDE VIEW 10/31/2023 PROPOSED

Clear Photo Two

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19
BUILDING PHOTOGRAPHS

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
2000 BAYARD AVENUE

City: DEWEY BEACH State: DE ZIP Code: 19971

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



REAR ELEVATION
SCALE 1/4" = 1'-0"

Photo Three

Photo Three Caption: REAR VIEW 10/31/2023 PROPOSED

Clear Photo Three

Photo Four

Photo Four Caption:

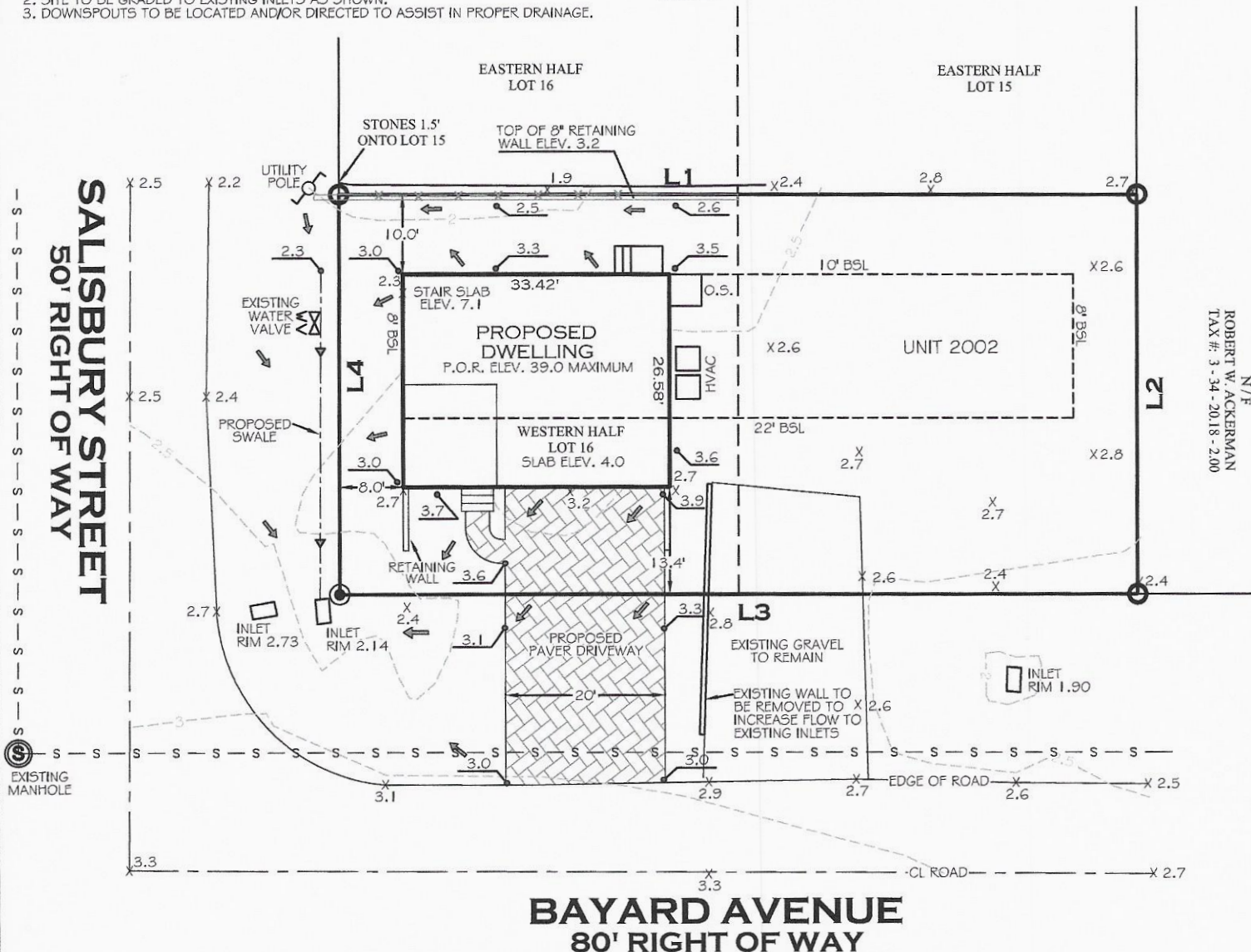
Clear Photo Four



Dewey Beach
Board of Adjustment
EXHIBIT
J

- NOTES:
1. EXISTING DWELLING, GARAGE, AND DRIVEWAY PAVERS TO BE REMOVED.
2. SITE TO BE GRADED TO EXISTING INLETS AS SHOWN.
3. DOWNSPOUTS TO BE LOCATED AND/OR DIRECTED TO ASSIST IN PROPER DRAINAGE.

N / F
CHARLES A. KLINE, JR & COLLEEN T. KLINE
TAX #: 3 - 34 - 20.14 - 8.00



N / F
ROBERT W. ACKERMAN
TAX #: 3 - 34 - 20.18 - 2.00

I, BRADLEY A. ABSHER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

Bradley A. Absher
BRADLEY A. ABSHER, DE PLS # 735
DATE 11.2.23

- NOTES
- CLASSIFICATION OF SURVEY: SUBURBAN
 - ZONE: RESORT / RESIDENTIAL
 - BUILDING SETBACK LINES (BSL)
FRONT 22'
SIDE 8'
REAR 10'
- ALL SETBACKS ARE THE RESPONSIBILITY OF THE HOME OWNER AND/OR GENERAL CONTRACTOR. SETBACKS SHOWN AS PER TOWN OF DEWEY BEACH & MAY DIFFER FROM THE HOME OWNERS ASSOCIATION (HOA) SETBACKS. ANY USER OF SAID INFORMATION IS URGED TO DIRECTLY CONTACT THE LOCAL AGENCY AND HOA, IF APPLICABLE, TO VERIFY IN WRITING ALL SETBACKS & REQUIREMENTS.
- NO TITLE REPORT WAS PROVIDED FOR OUR USE, THEREFORE THIS BOUNDARY SURVEY IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS, AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
 - ELEVATIONS SHOWN IN NAVD 88

LEGEND	
X 3.0	EXISTING SPOT ELEVATION
• 3.0	PROPOSED SPOT ELEVATION
O.S.	OUTSIDE SHOWER
○	IRON PIPE W/ CAP FOUND
●	IRON ROD W/ CAP SET

TAX MAP	3-34 - 20.14 - 7.00
STATE	DELAWARE
COUNTY	SUSSEX
HUNDRED	DEWEY BEACH
TOWN	DEWEY BEACH
AREA	5,000 ± SQ. FT.
DEED REF.	3312 / 218
PLAT REF.	107 / 31
DRAWN BY	JMH / MCS
DATE	10 / 31 / 2023
SCALE	1" = 20'
SURVEY #	DE - 06354

SITE & GRADING PLAN

UNIT 2000 BAYARD AVENUE CONDOS

FOR
KEVIN & JENNIFER HARTMAN

2000 BAYARD AVENUE, DEWEY, DE 19971

TRUE NORTH

LAND SURVEYING

35380 ATLANTIC AVENUE
MILLVILLE, DE 19967
DE: 302-539-2488

11/28/23



Dear Town of Dewey Beach Board of Adjustment Members,

I/we Matthew and Amy Flannery, property owner at 2003 Bayard Ave, Unit 8, are in favor of the building plans being presented by Kevin and Jennifer Hartman at 2000 Bayard Ave.

We understand the design leverages their existing footprint, which already sits into the town's front set back but does meet side and rear setbacks, with two additional stories above. The ground floor will be utilized as garage and front entry, the 1st floor (bedroom level) will sit slightly back from the ground level front wall but will impede in the front setback by 4'7"; and the 2nd story meets all setbacks. We also understand the Hartman's design will rectify the nuisance they have endured with high water, flooding, and water damage in and around their property. We also understand it is the Hartman's desire to reside in Dewey Beach full time within the next 2 years.

We were provided an image of the design and maintain our support and are IN FAVOR of the Hartman's design for 2000 Bayard Ave and hope the Board of Adjustment Members vote in favor of their request of a building permit/variance.

Sincerely,

A handwritten signature in black ink that reads "Matthew Flannery". The signature is written in a cursive style with a large, sweeping initial "M".

A handwritten signature in black ink that reads "Amy Flannery". The signature is written in a cursive style with a large, sweeping initial "A".

Matthew Flannery

Amy Flannery

Andrew Benner
2002 Bayard Ave
Dewey Beach, DE 19971

7/10/2023

Town of Dewey Beach
105 Rodney Ave
Dewey Beach, DE 19971

To whom it may concern:

I am writing to show my support for the construction of our neighboring property at 2000 Bayard Ave. We feel this will enhance the area even more that it already is. We did a similar project a couple years ago on our property and have been more than happy with the results as well as our fellow Dewey residents. We look forward to our neighbors having the same joy we get with our house.

Thank you

Andrew Benner



From: "Scafidi, Marc" <marc.scafidi@pnc.com>

Date: November 28, 2023 at 8:50:37 AM EST

To: Jennifer Hartman <JenniferDHartman@outlook.com>, Kevin Hartman <kevinh@klwood.com>

Subject: Hartman - 2000 Bayard Ave In Favor letter

Dear Town of Dewey Beach Board of Adjustment Members,

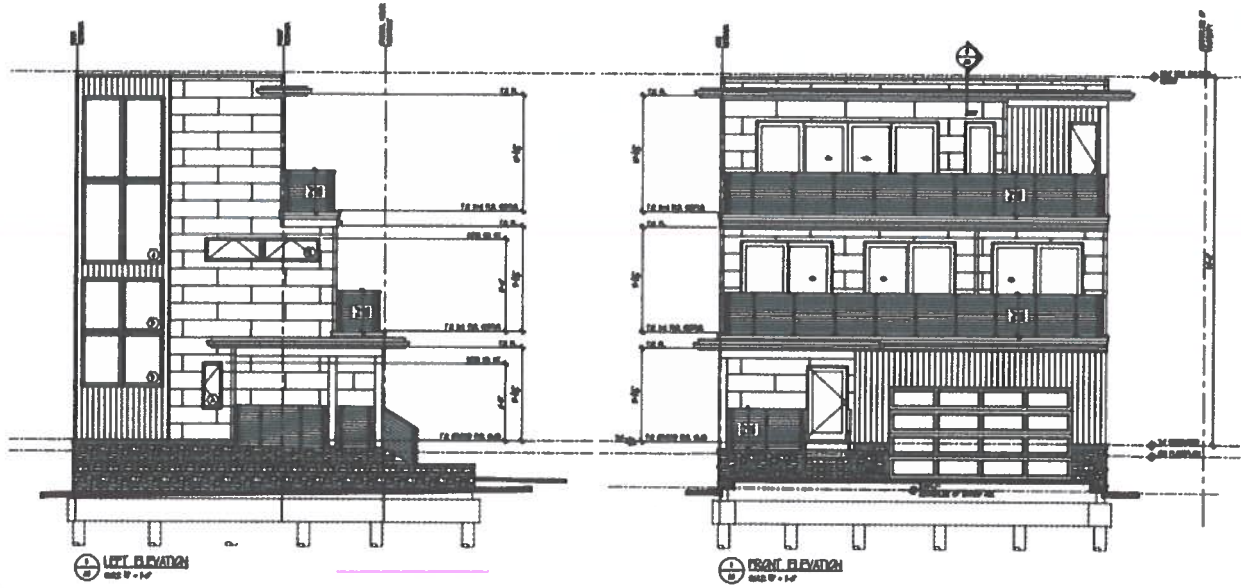
We, Marc A. Scafidi and Kelly Jo Scafidi, property owner at 2103C Coastal Highway are in favor of the building plans being presented by Kevin and Jennifer Hartman at 2000 Bayard Ave.

We understand the design leverages their existing footprint, which already sits into the town's front set back but does meet side and rear setbacks, with two additional stories above. The ground floor will be utilized as garage and front entry, the 1st floor (bedroom level) will sit slightly back from the ground level front wall but will impede in the front setback by 4'7"; and the 2nd story meets all setbacks. We also understand the Hartman's design will rectify the nuisance they have endured with high water, flooding, and water damage in and around their property. We also understand it is the Hartman's desire to reside in Dewey Beach full time within the next 2 years.

We were provided an image of the design and maintain our support and are IN FAVOR of the Hartman's design for 2000 Bayard Ave and hope the Board of Adjustment Members vote in favor of their request of a building permit/variance.

Sincerely,

Marc A. Scafidi and Kelly Jo Scafidi



Marc A. Scafidi
Senior Vice President – Asset Manager
Commercial Asset Team

PNC Bank
1600 Market Street (F2-F070-22-8)
Philadelphia, PA 19103
(p) 215-585-1305 | (f) 215-585-5806
marc.scafidi@pnc.com

July 30, 2023

Dewey Beach Board of Adjustment

Please accept this letter of support for Kevin Hartman at 2000 Bayard Avenue.

It is my understanding the Hartman's are seeking setback variances to improve their property, as they are limited by the size of their lot.

A handwritten signature in black ink, appearing to read "Joseph and Wendy Petrosky". The signature is stylized with large, sweeping loops and a horizontal line across the middle.

Joseph and Wendy Petrosky
123 Swedes Street
Dewey Beach, DE

Julie Clark

From: Jennifer Hartman <jenniferdhartman@outlook.com>
Sent: Tuesday, November 28, 2023 12:31 PM
To: Jen Hartman
Subject: In Favor 2000 Bayard - Rob and Deb Shaver

External message. Do not click links or open attachments unless you recognize the source. Message externe. Ne cliquez sur aucun lien et n'ouvrez aucune pièce jointe à moins d'en connaître la provenance.

Begin forwarded message:

From: Debrah Shaver <deb@beachdinks.com>
Date: November 28, 2023 at 7:09:09 AM EST
To: Jen and Kevin Hartman <Jenniferdhartman@outlook.com>
Subject: Hartman -- 2000 Bayard Ave in Favor Letter (Shaver)

Dear Town of Dewey Beach Board of Adjustment Members,

I/We, Debrah and Rob Shaver, property owners at 2009 Bayard Ave. #203, are in favor of the building plans being presented by Kevin and Jennifer Hartman at 2000 Bayard Ave.

We understand the design leverages their existing footprint, which already sits into the town's front set back but does meet side and rear setbacks, with two additional stories above. The ground floor will be utilized as garage and front entry, the 1st floor (bedroom level) will sit slightly back from the ground level front wall but will impede in the front setback by 4'7", and the 2nd story meets all setbacks. We also understand the Hartman's design will rectify the nuisance they have endured with high water, flooding, and water damage in and around their property. We also understand it is the Hartman's desire to reside in Dewey Beach full time within the next 2 years.

We were provided an image of the design and maintain our support and are IN FAVOR of the Hartman's design for 2000 Bayard Ave., and hope the Board of Adjustment Members vote in favor of their request of a building permit/variance.

Sincerely,

Debrah and Rob Shaver


Julie Clark

From: Jennifer Hartman <jenniferdhartman@outlook.com>
Sent: Tuesday, December 5, 2023 11:51 AM
To: Julie Clark
Cc: Jennifer Hartman; Kevin Hartman
Subject: [EXTERNAL]Variance Request Support 2000 Bayard - IN FAVOR (Scott and April Novak)

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Julie, below is another in favor letter.

Thanks!
Jennifer Hartman
610-334-8875


Begin forwarded message:

From: April Novak <aprilchele@gmail.com>
Date: December 5, 2023 at 10:42:31 AM EST
To: jenniferdhartman@outlook.com
Subject: Variance Request Support - IN FAVOR

Dear Town of Dewey Beach Board of Adjustment Members,

We, Scott & April Novak, property owners at 105 Clayton Street, Units A & B, Dewey Beach, DE 19971 are in favor of the building plans being presented by Kevin and Jennifer Hartman at 2000 Bayard Ave. We understand the design leverages their existing footprint, which already sits into the town's front set back but does meet side and rear setbacks, with two additional stories above.

The ground floor will be utilized as garage and front entry, the 1st floor (bedroom level) will sit slightly back from the ground level front wall but will impede in the front setback by 4'7"; and the 2nd story meets all setbacks. We also understand the Hartman's design will rectify the nuisance they have endured with high water, flooding, and water damage in and around their property. We also understand it is the Hartman's desire to reside in Dewey Beach full time within the next 2 years.



We were provided an image of the design and maintain our support and are **IN FAVOR** of the Hartman's design for 2000 Bayard Ave and hope the Board of Adjustment Members vote in favor of their request of a building permit/variance.

Sincerely,

Scott Novak

April Novak

Julie Clark

From: Jennifer Hartman <jenniferdhartman@outlook.com>
Sent: Monday, December 4, 2023 2:36 PM
To: Julie Clark
Cc: Jennifer Hartman; Kevin Hartman
Subject: [EXTERNAL]Fwd: Hartman - 2000 Bayard Ave In Favor letter (Sam Heinz)

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Julie, this email thread has Sam and Dorothy Heinz in favor - they were challenged technically using email to copy and paste but the gist is here.

Begin forwarded message:

From: Samlam Heinz <samiamheinz@gmail.com>
Date: December 4, 2023 at 11:28:33 AM EST
To: Jennifer Hartman <JenniferDHartman@outlook.com>
Subject: Re: Hartman - 2000 Bayard Ave In Favor letter (Sam Heinz)

Yes, I approve, Sam and Dorothy Heinz, 101 Saulsbury St Dewey Beach, DE

I apologize Jennifer I'm not real good about doing paste and posting and all that stuff on the telephone.

On Mon, Dec 4, 2023, 10:59 AM Jennifer Hartman <JenniferDHartman@outlook.com> wrote:
Hi Sam, resending this over to you incase it did not come through the first time (seems to be happening in other emails I've sent out).

Thanks in advance if you can complete, copy and paste back to me here.

Thanks!

On Nov 29, 2023, at 1:33 PM, Jennifer Hartman <JenniferDHartman@outlook.com> wrote:

Hi Sam, Thanks for your email and offer to support.
Below is the letter template that you can simply reply "in favor" or copy and paste with filling in the blanks.
Jen and Kevin Hartman

Dear Town of Dewey Beach Board of Adjustment
Members,

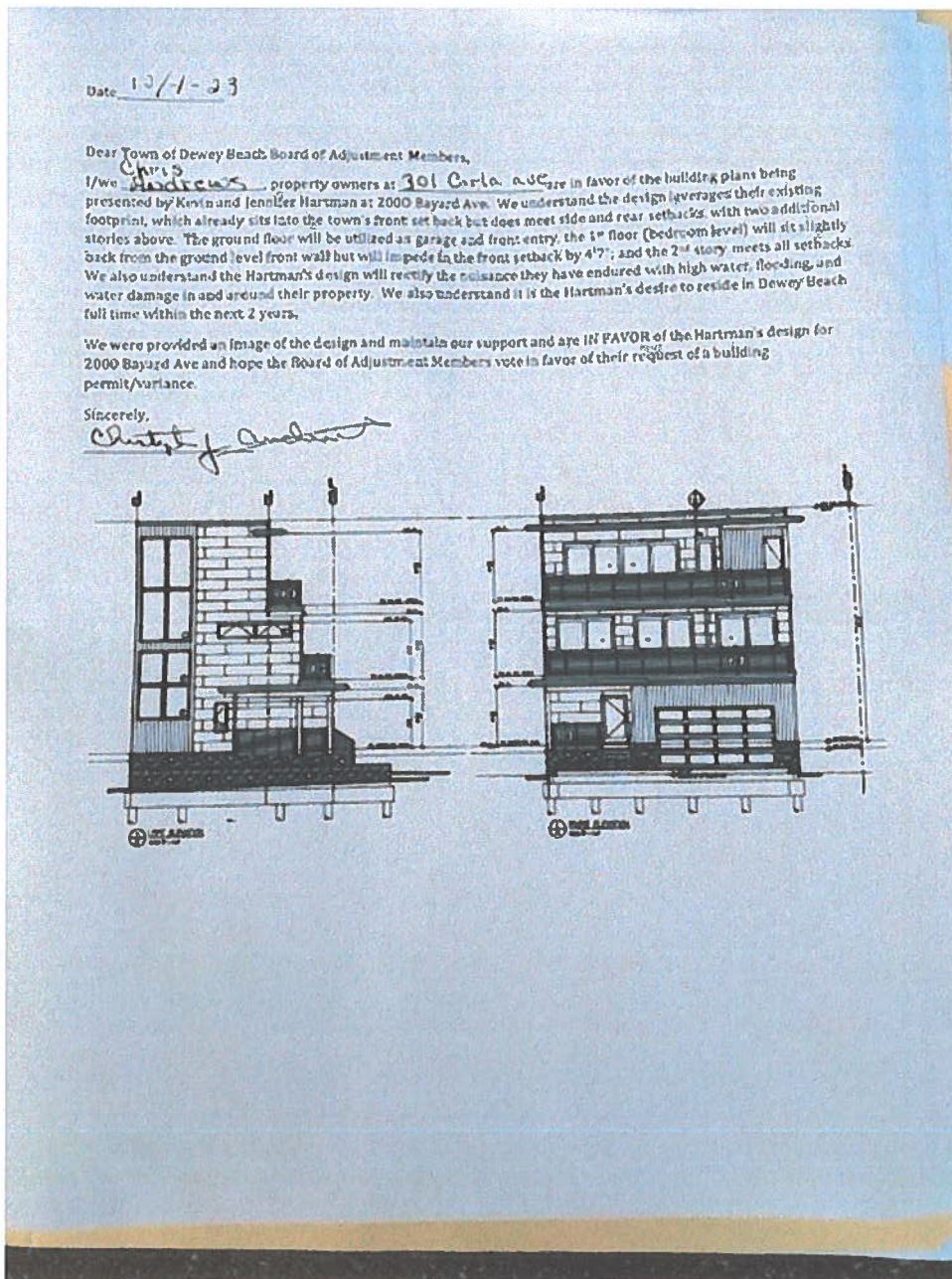
|
/

Julie Clark

From: Jennifer Hartman <jenniferhartman@outlook.com>
Sent: Monday, December 4, 2023 10:43 AM
To: Julie Clark
Cc: Jennifer Hartman; Kevin Hartman
Subject: [EXTERNAL]In Favor 2000 Bayard - Chris Andrew's

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Julie, please see attached in favor letter.



Wayne Bush
120 Saulsbury Street
Dewey Beach, DE 19971

November 29, 2023

Dear Town of Dewey Beach Board of Adjustment Members,

As property owner at the above referenced property located two doors down from the Harmans at 2000 Bayard Ave, I am writing to state I have no objections to the building plans being presented by Kevin and Jennifer Hartman.

I understand the design leverages their existing footprint, which already sits into the town's front set back but does meet side and rear setbacks, with two additional stories above. The ground floor will be utilized as garage and front entry, the 1st floor (bedroom level) will sit slightly back from the ground level front wall but will impede in the front setback by 4'7"; and the 2nd story meets all setbacks. I also understand the Hartman's design will rectify the nuisance they have endured with high water, flooding, and water damage in and around their property. I also understand it is the Hartman's desire to reside in Dewey Beach full time within the next 2 years.

I was provided an image of the design and maintain our support and am IN FAVOR of the Hartman's design for 2000 Bayard Ave and hope the Board of Adjustment Members vote in favor of their request for a building permit/variance.

Sincerely,



Julie Clark

From: Jennifer Hartman <jenniferhartman@outlook.com>
Sent: Tuesday, November 28, 2023 8:01 PM
To: Jennifer Hartman; Jen Hartman
Subject: In Favor 2000 Bayard - Polizzi

External message. Do not click links or open attachments unless you recognize the source. Message externe. Ne cliquez sur aucun lien et n'ouvrez aucune pièce jointe à moins d'en connaître la provenance.

Dear Town of Dewey Beach Board of Adjustment Members,

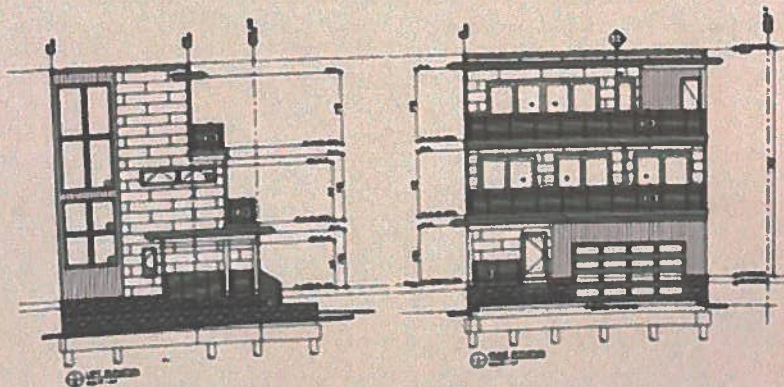
Chris & Gina Polizzi, property owners at 2001 Bayard Avenue #13 are in favor of the building plans being presented by Kevin and Jennifer Hartman at 2000 Bayard Ave.

We understand the design leverages their existing footprint, which already sits into the town's front set back but does meet side and rear setbacks, with two additional stories above. The ground floor will be utilized as garage and front entry, the 1st floor (bedroom level) will sit slightly back from the ground level front wall but will impede in the front setback by 4'7"; and the 2nd story meets all setbacks. We also understand the Hartman's design will rectify the nuisance they have endured with high water, flooding, and water damage in and around their property. We also understand it is the Hartman's desire to reside in Dewey Beach full time within the next 2 years.

We were provided an image of the design and maintain our support and are IN FAVOR of the Hartman's design for 2000 Bayard Ave and hope the Board of Adjustment Members vote in favor of their request of a building permit/variance.

Sincerely,

Chris Polizzi 11-28-2023 Gina Polizzi 11/28/2023



Thanks!

Julie Clark

From: Jen Hartman <Jen.Hartman@softchoice.com>
Sent: Tuesday, November 28, 2023 5:29 PM
To: Jen Hartman
Subject: In Favor 2000 Bayard - Schreppler

Jen Hartman (she,her)

(Eastern Time Zone)

Sr. Commercial Account Executive, Mid-Atlantic
610-334-8875
jen.hartman@softchoice.com

Microsoft Azure Expert Managed Service Provider
Cisco Gold, Master Collaboration & Master Managed Services Partner
Google Cloud Premier Partner
VMware Cloud™ on AWS Master Services Competency



From: JAMES SCHREPPLER <gato73@verizon.net>
Date: November 28, 2023 at 4:23:46 PM EST
To: jenniferdhartman@outlook.com
Subject: Proposed Improvements

Dear Jen and Kevin,

I am in favor of the improvements you wish to do to your property on Saulsbury St.

Yours Truly,
James Schreppler
121 Saulsbury St.

Sent from my iPhone

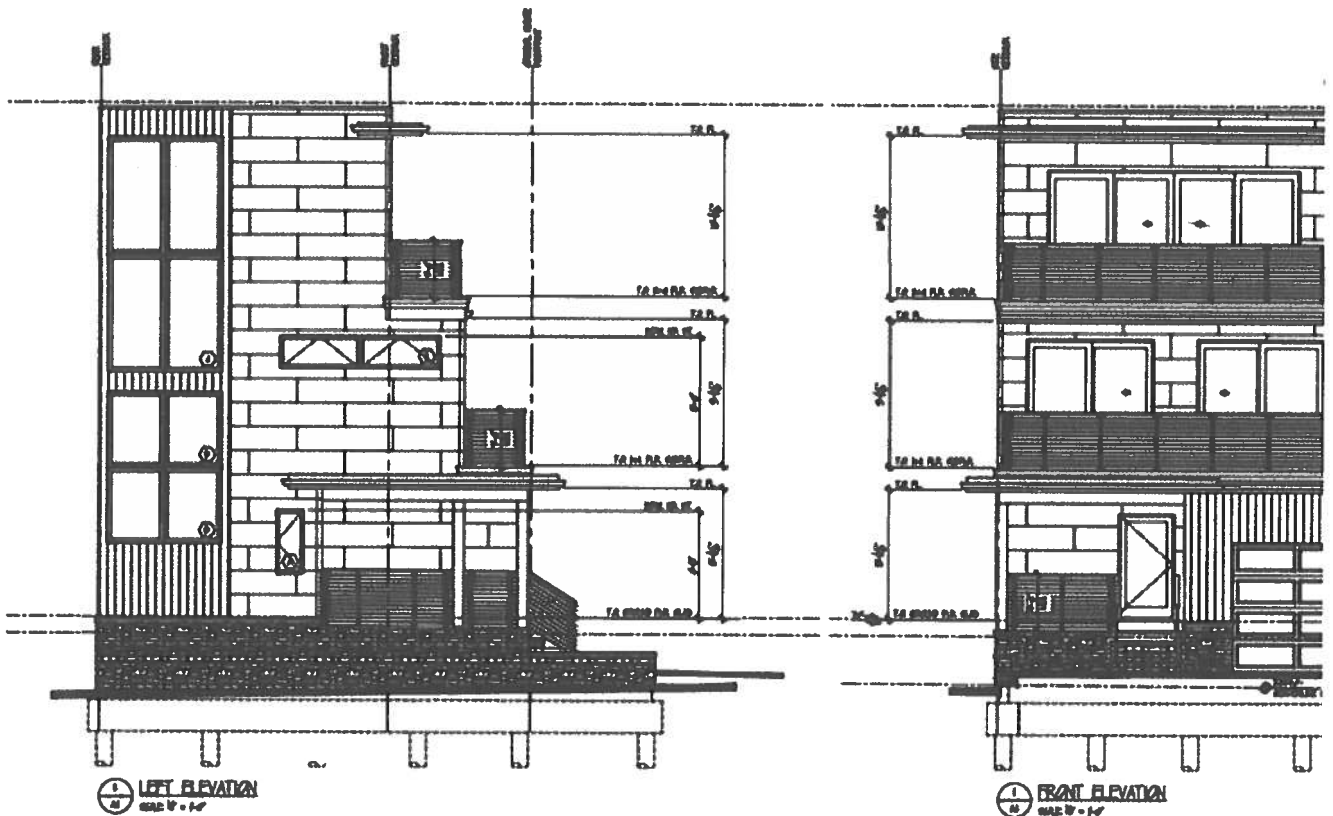
Dear Town of Dewey Beach Board of Adjustment Members,

We in favor of the building plans being presented by Kevin and Jennifer Hartman at 2000 Bayard Ave.

We understand the design leverages their existing footprint, which already sits into the town's front set back but does meet side and rear setbacks, with two additional stories above. The ground floor will be utilized as garage and front entry, the 1st floor (bedroom level) will sit slightly back from the ground level front wall but will impede in the front setback by 4'7"; and the 2nd story meets all setbacks. We also understand the Hartman's design will rectify the nuisance they have endured with high water, flooding, and water damage in and around their property. We also understand it is the Hartman's desire to reside in Dewey Beach full time within the next 2 years.

We were provided an image of the design and maintain our support and are IN FAVOR of the Hartman's design for 2000 Bayard Ave and hope the Board of Adjustment Members vote in favor of their request of a building permit/variance.

Sincerely,

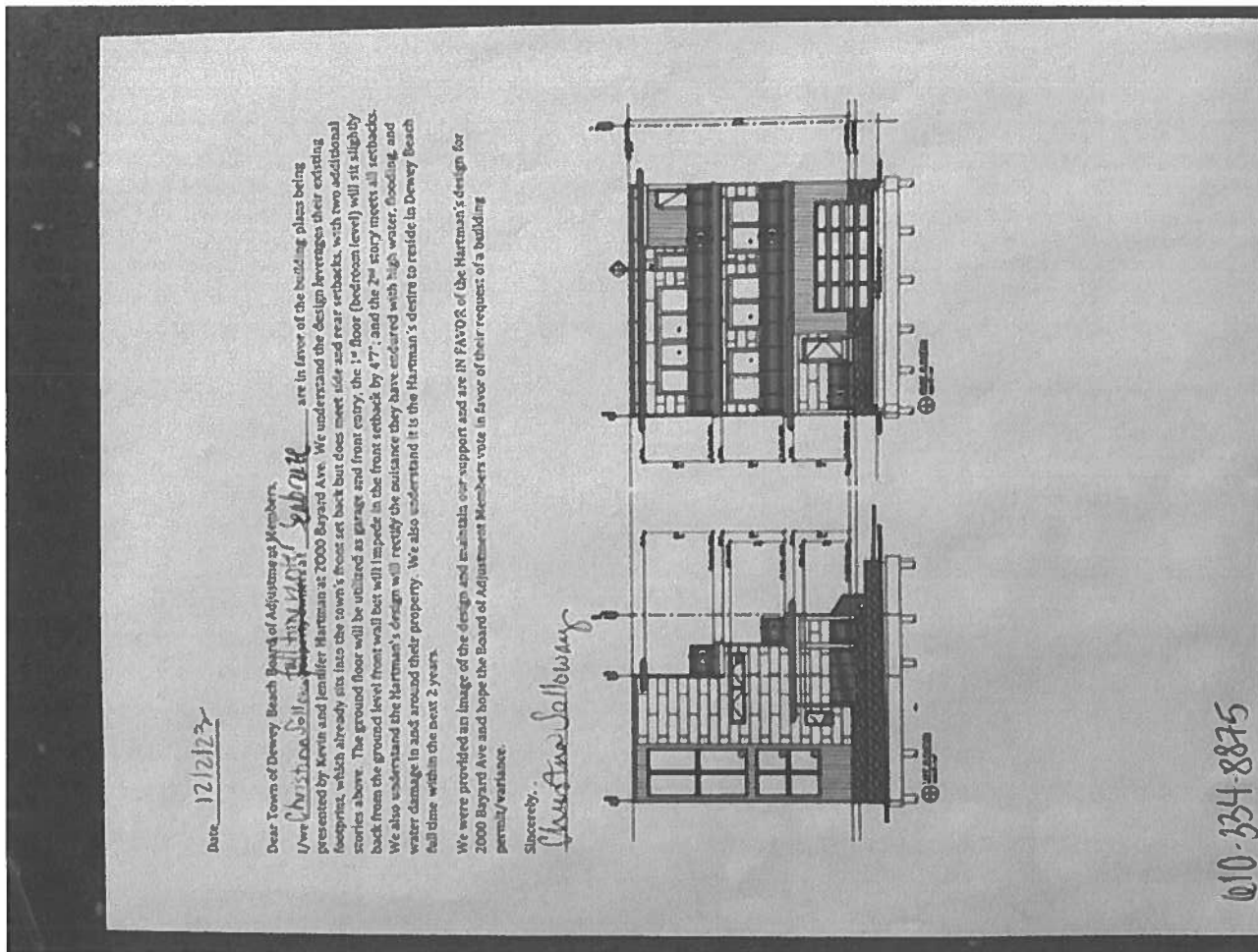


Julie Clark

From: Jennifer Hartman <jenniferdhartman@outlook.com>
Sent: Monday, December 4, 2023 10:46 AM
To: Julie Clark
Cc: Jennifer Hartman; Kevin Hartman
Subject: [EXTERNAL]In Favor 2000 Bayard - Christina Solloway

Follow Up Flag: Follow up
Flag Status: Completed

Hi Julie, another letter. She isn't a property owner but has been renting in Seabreeze for over 7years. Worth a shot using this one.



From: Howard Swope <budswope@aol.com>
Date: November 29, 2023 at 2:57:26 PM EST
To: Jennifer Hartman <jenniferDHartman@outlook.com>
Subject: Re: Hartman - 2000 Bayard Ave In Favor letter (Swope)

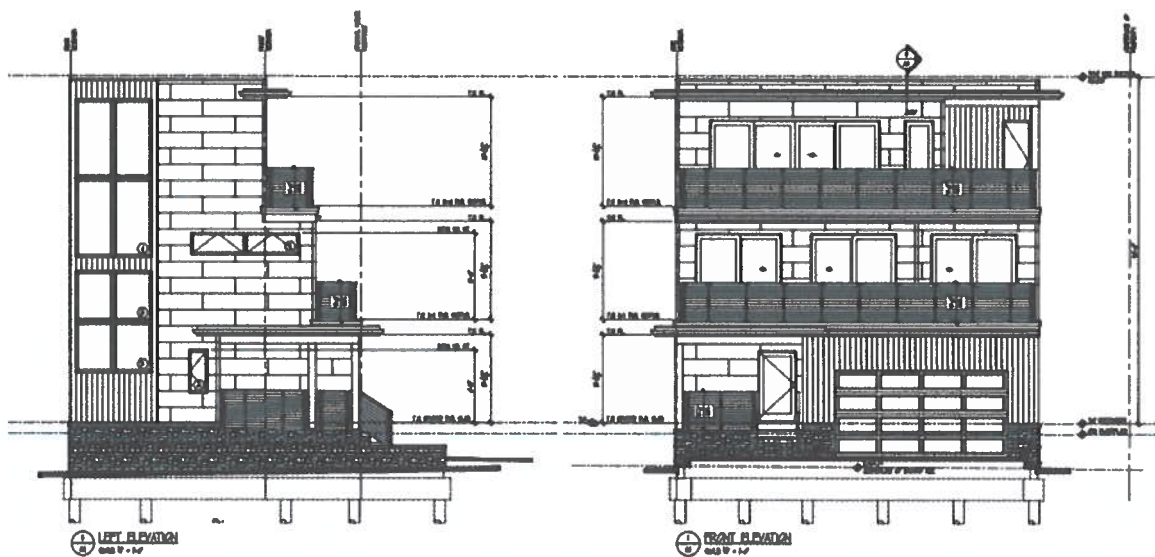
Date: November 28, 2023 at 12:12:04 PM EST
To: budswope@aol.com
Cc: Jennifer Hartman <jenniferdhartman@outlook.com>, Kevin Hartman <kevinh@klwood.com>
Subject: Hartman - 2000 Bayard Ave In Favor letter (Swope)

Dear Town of Dewey Beach Board of Adjustment Member
I/we _Howard & Gail Swope property owner at _2005 Bayard Ave #7 Dewey Beach DE are in favor of the building plans being presented by Kevin and Jennifer Hartman at 2000 Bayard Ave. We understand the design leverages their existing footprint, which already sits into the town's front set back but does meet side and rear setbacks, with two additional stories above. The ground floor will be utilized as garage and front entry, the 1st floor (bedroom level) will sit slightly back from the ground level front wall but will impede in the front setback by 4'7"; and the 2nd story meets all setbacks. We also understand the Hartman's design will rectify the nuisance they have endured with high water, flooding, and water damage in and around their property. We also understand it is the Hartman's desire to reside in Dewey Beach full time within the next 2 years.

We were provided an image of the design and maintain our support and are IN FAVOR of the Hartman's design for 2000 Bayard Ave and hope the Board of Adjustment Members vote in favor of their request of a building permit/variance.

Sincerely,

_Howard & Gail Swope

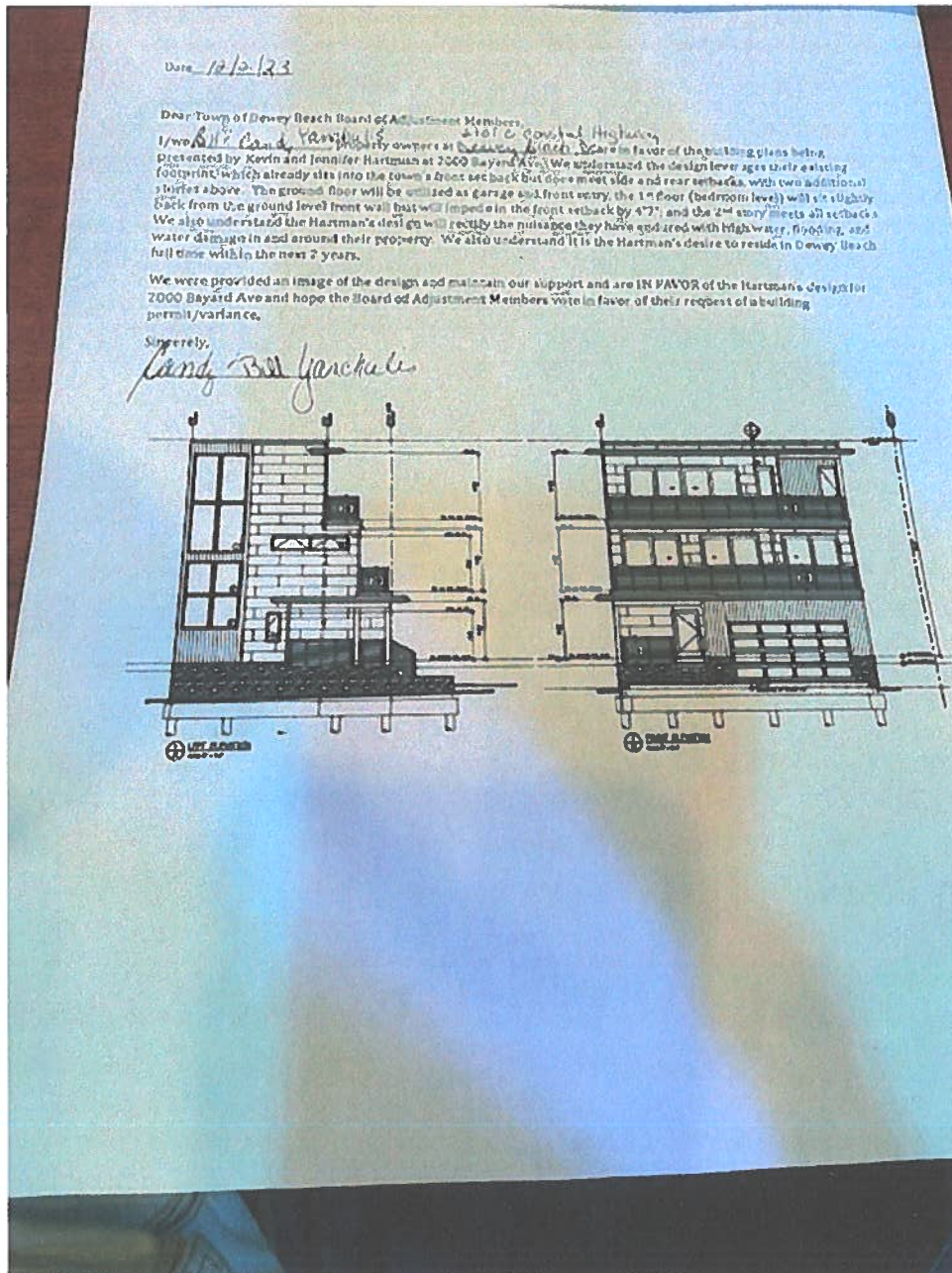


Julie Clark

From: Jennifer Hartman <jenniferhartman@outlook.com>
Sent: Monday, December 4, 2023 10:47 AM
To: Julie Clark
Cc: Jennifer Hartman; Kevin Hartman
Subject: [EXTERNAL]In Favor 2000 Bayard - Bill and Candy Yanchulis

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Julie - another letter



Andrew Benner
2002 Bayard Ave
Dewey Beach, DE 19971

7/10/2023

Town of Dewey Beach
105 Rodney Ave
Dewey Beach, DE 19971

To whom it may concern:

I am writing to show my support for the construction of our neighboring property at 2000 Bayard Ave. We feel this will enhance the area even more that it already is. We did a similar project a couple years ago on our property and have been more than happy with the results as well as our fellow Dewey residents. We look forward to our neighbors having the same joy we get with our house.

Thank you

Andrew Benner

From: Mary Ann Perrone <mperrone2851@gmail.com>

Date: November 27, 2023 at 7:18:15 PM EST

To: JenniferDHartman@outlook.com

Subject: Signed Letter hope its OK

Dear Town of Dewey Beach Board of Adjustment Members,
We would like to see the property owner at
2000 Bayard Ave, Dewey Beach, DE are in favor of the building plans
being presented by Kevin and Jennifer Hartman at 2000 Bayard Ave.

We understand the design leverages their existing footprint, which already sits into the town's front set back but does meet side and rear setbacks, with two additional stories above. The ground floor will be utilized as garage and front entry, the 1st floor (bedroom level) will sit slightly back from the ground level front wall but will impede in the front setback by 4", and the 2nd story meets all setbacks. We also understand the Hartman's design will rectify the nuisance they have endured with high water, flooding, and water damage in and around their property. We also understand it is the Hartman's desire to reside in Dewey Beach full time within the next 2 years.

We were provided an image of the design and maintain our support and are IN FAVOR of the Hartman's design for 2000 Bayard Ave and hope the Board of Adjustment Members vote in favor of their request of a building permit/variance.

Sincerely,



Julie Clark

From: Jennifer Hartman <jenniferdhartman@outlook.com>
Sent: Tuesday, November 28, 2023 12:31 PM
To: Jen Hartman
Subject: In Favor 2000 Bayard - Rob and Deb Shaver

External message. Do not click links or open attachments unless you recognize the source. Message externe. Ne cliquez sur aucun lien et n'ouvrez aucune pièce jointe à moins d'en connaître la provenance.

Begin forwarded message:

From: Debrah Shaver <deb@beachdinks.com>
Date: November 28, 2023 at 7:09:09 AM EST
To: Jen and Kevin Hartman <Jenniferdhartman@outlook.com>
Subject: Hartman -- 2000 Bayard Ave in Favor Letter (Shaver)

Dear Town of Dewey Beach Board of Adjustment Members,

I/We, Debrah and Rob Shaver, property owners at 2009 Bayard Ave. #203, are in favor of the building plans being presented by Kevin and Jennifer Hartman at 2000 Bayard Ave.

We understand the design leverages their existing footprint, which already sits into the town's front set back but does meet side and rear setbacks, with two additional stories above. The ground floor will be utilized as garage and front entry, the 1st floor (bedroom level) will sit slightly back from the ground level front wall but will impede in the front setback by 4'7", and the 2nd story meets all setbacks. We also understand the Hartman's design will rectify the nuisance they have endured with high water, flooding, and water damage in and around their property. We also understand it is the Hartman's desire to reside in Dewey Beach full time within the next 2 years.

We were provided an image of the design and maintain our support and are IN FAVOR of the Hartman's design for 2000 Bayard Ave., and hope the Board of Adjustment Members vote in favor of their request of a building permit/variance.

Sincerely,

Debrah and Rob Shaver