

**GENERAL NOTES:**

- THIS PLAN DOES NOT VERIFY THE EXISTENCE, OR NONEXISTENCE, OF EASEMENT OR RIGHT OF WAYS CROSSING THE SUBJECT PROPERTY.
- THE PROPERTY IS LOCATED IN ZONE "AE (EL 6)" AND ZONE "VE (EL 7)" ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C0354K, LAST REVISED 3/16/15. ZONE "AE" IS DETERMINED TO BE WITHIN THE 100-YEAR FLOODPLAIN WITH A BASE ELEVATION DETERMINED. THE LIMIT OF MODERATE WAVE ACTION LINE DIVIDES COAST AREAS OF THE AE ZONE, WHERE EFFECTS OF WAVE HAZARDS WILL BE SIMILAR TO BUT LESS SEVERE THAN THOSE IN ZONE VE. ZONE VE IS DETERMINED TO BE A COAST FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION) WITH A BASE FLOOD ELEVATION DETERMINED. FLOOD ZONE LINES ARE SHOWN GRAPHICALLY ON THIS PLAN BASE ON THE FEMA FLOODPLAIN MAP AND HAVE NOT BEEN FIELD VERIFIED.
- THERE ARE WETLAND AREAS ON THE SITE ACCORDING TO THE DNREC ENVIRONMENTAL NAVIGATOR WEBSITE. THE DNREC WETLANDS LINE IS SHOWN GRAPHICALLY ON THE PLAN AND HAS NOT BEEN FIELD VERIFIED.
- TOPOGRAPHICAL SURVEY PERFORMED BY PENNONI ASSOCIATES, INC. MILTON, DE.
- BOUNDARY: PARCEL 57 PREPARED BY WINGATE ESCHENBACH,LLC. DEED 4671,318. PARCEL 58 PREPARED BY COAST SURVEY INC. DEED 4323,157
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER.
- FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
- THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, PARTS, AND PRODUCTS. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.
- ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION:
  - THE OWNER
  - SUSSEX CONSERVATION DISTRICT
  - SUSSEX COUNTY ENGINEERING DEPARTMENT
  - TOWN OF DEWEY BEACH
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRIPLINE AREA OF ANY TREE.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SEED AND MULCH FOR ALL AREAS WHERE SOIL IS EXPOSED AND SILT FENCE IS NOT SPECIFIED, BY THE CLOSE OF EACH BUSINESS DAY.
- THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEEP CONDITION AT ALL TIMES.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES, ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE. MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATION SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.

**SITE DATA:**

- TAX MAP NUMBER: 334-20.18-57.00 & 58.00
- DEED SUMMARY:  
PARCEL 57 (122 DAGSWORTHY AVE): DEED BOOK: B 4671 - P 318, SURVEYED BY WINGATE & ESCHENBACH ON 10 FEBRUARY 2017.  
PARCEL 58 (136 DAGSWORTHY AVE): DEED BOOK: B 4323 - P 157, SURVEYED BY COAST SURVEY, INC ON 21 FEBRUARY 2001.
- DEVELOPERS NAME: HIGHWAY ONE LIMITED PARTNERSHIP  
DEVELOPERS ADDRESS: 113 DICKINSON STREET DEWEY BEACH, DE 19971
- DEVELOPMENT NAME: IVY ON THE BAY
- ADDRESS LOCATION: 136 DAGSWORTHY AVE DEWEY BEACH, DE 19971  
LEWES - REHOBOTH SUSSEX
- CURRENT ZONING: RB-3 (RESIDENTIAL BUSINESS)  
PRESENT USE: BUSINESS / RESIDENTIAL  
PROPOSED USE: RESIDENTIAL
- REQUIRED SETBACKS (B.R.L.): (PER 185, TABLE 2)  
FRONT: 22FT  
SIDE: 8 FT  
REAR: 10FT
- LOADING SPACE: REQUIRED: 0  
PROVIDED: 0
- BUILDING HEIGHT: SEE SHEET CS1001 FOR BUILDING HEIGHT CALCULATIONS.
- DENSITY: PERMITTED: 1 UNIT / 3,600 SQ. FT.  
PROVIDED: 1 UNIT / 3,907.00 SQ. FT.  
BASED ON 10 UNITS ON 39,078 S.F. (TOTAL AREA)
- PARKING: BEDROOMS PER UNIT, 0.5 ADDITIONAL SPACE FOR EACH ADDITIONAL BEDROOM.  
REQUIRED SPACES: UNITS 1-9, 4 BEDROOMS, 2 SPACES PER UNIT.  
UNITS 10, 5 BEDROOMS, 3 SPACES PER UNIT.  
PROVIDED SPACES: UNITS 1-9, 2 SPACES = 18  
UNIT 10, 3 SPACES  
TOTAL PROVIDED SPACES: 10 UNITS, 21 SPACES
- SERVICES:  
WATER SUPPLIER: SUSSEX COUNTY. (WATER SUPPLY IS SUBJECT TO THE STATE DEPARTMENT OF NATURAL RESOURCE AND ENVIRONMENTAL CONTROL AND THE DELAWARE DEPARTMENT OF HEALTH).  
SANITARY SEWER SUPPLIER: SUSSEX COUNTY  
SCHOOL DISTRICT: CAPE HENLOPEN  
FIRE DISTRICT: CITY OF REHOBOTH  
POSTAL: CITY OF REHOBOTH
- LATITUDE AND LONGITUDE STATE PLANE COORDINATES: N 38° 41' 36.6514", W 75° 04' 36.3375"
- PROPOSED DISCHARGE LOCATION: REHOBOTH BAY WATERSHED
- SITE AREA AND ACREAGE:  
NET DEVELOPMENT AREA/ GROSS ACRES: 0.90 ACRES(±)  
BUILDING FOOTPRINT: 0.27 (30%)  
PARKING, DRIVE AISLES, IMPERVIOUS: 0.14 (16%)  
GREEN SPACE: 0.49 (54%)
- IMPERVIOUS AREA COVERAGE:  
EXISTING: IMPERVIOUS: 26,860.00 SQ. FT. (0.62 ACS.)  
PERVIOUS: 11,093.00 SQ. FT. (0.25 ACS.)  
PROPOSED: IMPERVIOUS: 18,015.00 SQ. FT. (0.42 ACS.)  
PERVIOUS: 20,339.00 SQ. FT. (0.48 ACS.)

# IVY ON THE BAY PRELIMINARY SITE PLAN

## TOWN OF DEWEY BEACH

LEWES-REHOBOTH HUNDRED - SUSSEX COUNTY, DELAWARE

APRIL 18, 2018

TAX MAP: 334-20.18-57.00 & 58.00

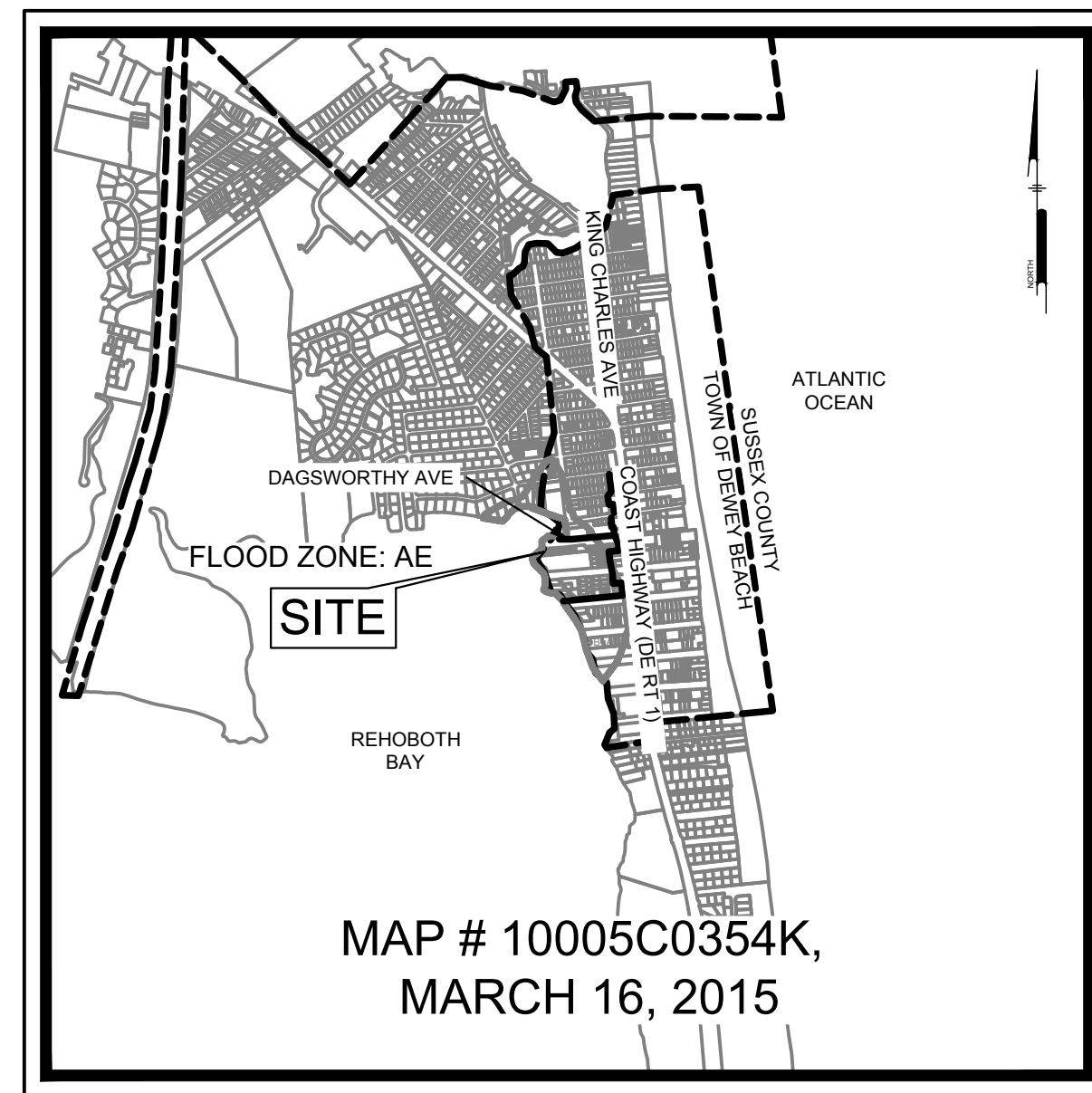
PREPARED FOR:

OWNER/DEVELOPER

# HIGHWAY ONE LIMITED PARTNERSHIP

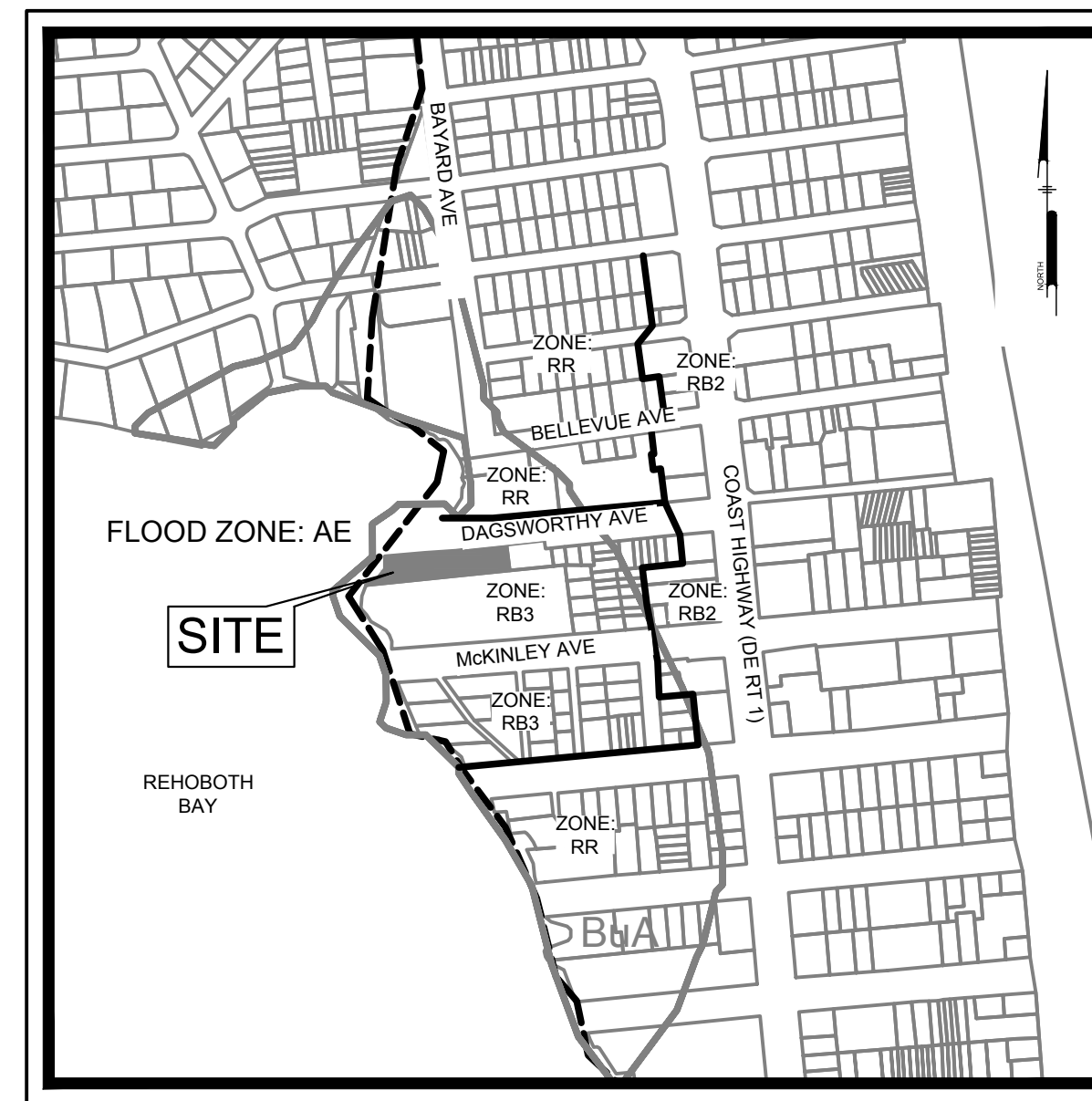
113 DICKINSON STREET

DEWEY BEACH, DE 19971



MAP # 10005C0354K,  
MARCH 16, 2015

VICINITY MAP  
Scale: 1" = 2000'



LOCATION MAP  
Scale: 1" = 500'

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	FULL DEPTH PAVEMENT
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	EDGE OF GRAVEL
[Symbol]	[Symbol]	EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	POWER, UTILITY POLE
[Symbol]	[Symbol]	PROPERTY, LINE
[Symbol]	[Symbol]	LEGAL RIGHT-OF-WAY
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	SOIL BOUNDARY
[Symbol]	[Symbol]	SOIL LABEL
[Symbol]	[Symbol]	STORM SEWER, INLET
[Symbol]	[Symbol]	STORM SEWER, HEADWALL
[Symbol]	[Symbol]	STORM SEWER, MANHOLE
[Symbol]	[Symbol]	STORM SEWER, UNDERGROUND
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	WATER, UNDERGROUND
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	WATER MAIN
[Symbol]	[Symbol]	CLEAN OUT
[Symbol]	[Symbol]	SANITARY SEWER, UNDERGROUND
[Symbol]	[Symbol]	SANITARY SEWER, MANHOLE

**INDEX OF SHEETS**

SHEET NUMBER	DRAWING NUMBER	SHEET TITLE
1	CS0001	PRELIMINARY SITE PLAN COVER SHEET
2	CS0201	EXISTING CONDITIONS & DEMOLITION PLAN
3	CS1001	PRELIMINARY SITE PLAN
4	CS1501	GRADING & STORMWATER MANAGEMENT PLAN
5	CS1701	UTILITY PLAN
6	CS8001	EROSION & SEDIMENT CONTROL PLAN
7	L 101	LANDSCAPE AND LIGHTING PLAN

**ENGINEER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE: ALAN DECKTOR, PE (DE PE#17771)  
DATE: \_\_\_\_\_  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968  
OFFICE (302) 684-8030 - FAX (302) 684-8054

**OWNER CERTIFICATION:**  
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: HIGHWAY ONE LIMITED PARTNERSHIP  
DATE: \_\_\_\_\_  
c/o ALEX PIREZ  
113 DICKINSON STREET  
DEWEY BEACH, DE 19971  
PHONE: (202) 905-8706

TOWN OF DEWEY BEACH APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
TOWN MANAGER: SCOTT KOENIG

PREPARED BY:  
**PENNONI ASSOCIATES INC.**

18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030  
F 302.684.8054



**CALL BEFORE YOU DIG**  
Call Miss Utility of Delmarva  
800-282-8555  
Ticket Number(s): \_\_\_\_\_

**Pennonni**  
PENNONI ASSOCIATES, INC.  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

IVY ON THE BAY  
136 DAGSWORTHY AVE  
DEWEY BEACH, DE 19971  
TAX MAP: 334-20.18-57.00 & 58.00

PRELIMINARY SITE PLAN COVER SHEET

HIGHWAY ONE LIMITED PARTNERSHIP  
113 DICKINSON STREET  
DEWEY BEACH, DE 19971

NO.	DATE	REVISIONS	BY
1	08-02-2018	REVISIONS PER TOWN OF DEWEY BEACH	TPM

PROJECT: ETDX17002  
DATE: 2018-04-18  
DRAWING SCALE: AS SHOWN  
DRAWN BY: TPM  
APPROVED BY: AMD

**CS0001**  
SHEET 1 OF 7

U:\Account\ETD\ETD\17002 - 136 Dagworthy Ave\Penonni\CS0001.dwg PLOTTED: 8/20/18 11:38 AM BY: Tom McInnell PROJECT STATUS: PROJECT STYLE: Pennoni\KCS.dwg



**SITE DATA:**

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- DEED SUMMARY:
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  - PARCEL 58 (136 DAGSWORTHY AVE): DEED BOOK: B 4671 - P 318, SURVEYED BY WINGATE & ESCHENBACH ON 10 FEBRUARY 2017. DEED BOOK: B 4323 - P 157, SURVEYED BY COAST SURVEY, INC ON 21 FEBRUARY 2001.
- DEVELOPERS NAME: HIGHWAY ONE LIMITED PARTNERSHIP  
DEVELOPERS ADDRESS: 113 DICKINSON STREET DEWEY BEACH, DE 19971
- DEVELOPMENT NAME: IVY ON THE BAY
- ADDRESS LOCATION: 136 DAGSWORTHY AVE DEWEY BEACH, DE 19971  
HUNDRED: LEWES - REHOBOTH  
COUNTY: SUSSEX
- CURRENT ZONING: RB-3 (RESIDENTIAL BUSINESS)  
PRESENT USE: BUSINESS / RESIDENTIAL  
PROPOSED USE: RESIDENTIAL
- REQUIRED SETBACKS (B.R.L.): (PER 185, TABLE 2)  
FRONT 22 FT  
SIDE 8 FT  
REAR 10 FT
- LOADING: REQUIRED: 0  
PROVIDED: 0
- BUILDING HEIGHT: SEE SHEET CS1001 FOR BUILDING HEIGHT CALCULATIONS.
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- SERVICES: WATER SUPPLIER: SUSSEX COUNTY. (WATER SUPPLY IS SUBJECT TO THE STATE DEPARTMENT OF NATURAL RESOURCE AND ENVIRONMENTAL CONTROL AND THE DELAWARE DEPARTMENT OF HEALTH).  
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SCHOOL DISTRICT: CAPE HENLOPEN  
FIRE DISTRICT: CITY OF REHOBOTH  
POSTAL: CITY OF REHOBOTH
- LATITUDE AND LONGITUDE STATE PLANE COORDINATES: N 38° 41' 36.6514", W 75° 04' 36.3375"
- PROPOSED DISCHARGE LOCATION: REHOBOTH BAY WATERSHED
- SITE AREA AND ACREAGE: NET DEVELOPMENT AREA/ GROSS ACRES: 0.90 ACRES(±)  
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PARKING, DRIVE AISLES, IMPERVIOUS: 0.14 (16%)  
GREEN SPACE: 0.49 (54%)
- IMPERVIOUS AREA COVERAGE: EXISTING: IMPERVIOUS: 26,860.00 SQ. FT. (0.62 ACS.)  
PERVIOUS: 11,093.00 SQ. FT. (0.25 ACS.)  
PROPOSED: IMPERVIOUS: 18,015.00 SQ. FT. (0.42 ACS.)  
PERVIOUS: 20,339.00 SQ. FT. (0.48 ACS.)

**SITE KEYED NOTES:**

- 5' WIDE CONCRETE SIDEWALK (TYP. ALL) (DETAIL 3-6021)
- 2" TYPE 2 P.C.C. CURB & GUTTER, (DETAIL 10-6021)
- C-3 DRIVEWAY ENTRANCE WITH GRASS STRIP, (TYPICAL) (DETAIL 11-6021)
- PERVIOUS MATERIAL - APPROVED BY THE TOWN OF DEWEY BEACH.
- TENTATIVE BOARDWALK, COORDINATE WITH THE TOWN OF DEWEY BEACH.

**GENERAL NOTES:**

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC PERFORMED ON JANUARY 3, 2018.
- THIS SURVEY DOES NOT VERIFY THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS-OF-WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED.
- THESE PROPERTIES APPEAR ON SUSSEX COUNTY TAX MAP 334-20.18 AS PARCEL 58.00 AND 57.00
- CLASS OF SURVEY: URBAN.
- DEED REFERENCE: PARCEL 57, DEED BOOK 4323, PAGE 157, PARCEL 58, BOOK 4671, PAGE 318  
PLAT REFERENCE: PARCEL 58 PLAT BOOK 43, PAGE 297.
- PROPERTY BOUNDARY LINE BEARING SYSTEM IS BASED ON DELAWARE STATE PLANE COORDINATE SYSTEM, HORIZONTAL DATUM NAD83.
- THE PROPERTY IS LOCATED IN ZONE "AE (EL 6') AND ZONE "VE (EL 7') ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 100050354K, LAST REVISED 3/16/15. ZONE "AE" IS DETERMINED TO BE WITHIN THE 100-YEAR FLOODPLAIN WITH A BASE ELEVATION DETERMINED. THE LIMIT OF MODERATE WAVE ACTION LINE DIVIDES COASTAL AREAS OF THE AE ZONE, WHERE EFFECTS OF WAVE HAZARDS WILL BE SIMILAR TO BUT LESS SEVERE THAN THOSE IN ZONE VE. ZONE VE IS DETERMINED TO BE A COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION) WITH A BASE FLOOD ELEVATION DETERMINED. FLOOD ZONE LINES ARE SHOWN GRAPHICALLY ON THIS PLAN BASED ON THE FEMA FLOODPLAIN MAP AND HAVE NOT BEEN FIELD VERIFIED.
- THERE ARE WETLAND AREAS ON THE SITE ACCORDING TO THE DNREC ENVIRONMENTAL NAVIGATOR WEBSITE. THE DNREC WETLANDS LINE IS SHOWN GRAPHICALLY ON THE PLAN AND HAS NOT BEEN FIELD VERIFIED.
- THE SUBJECT SITE IS ZONED RB3 (RESORT BUSINESS) ACCORDING TO THE TOWN OF DEWEY BEACH OFFICIAL ZONING MAP (DATED JULY 1, 2008).
- BUILDING SETBACKS (CHAPTER 185a): USE BUILDING SET BACK REQUIREMENT FOR ZONING (RR). SEE BELOW.  
FRONT: 22'  
SIDE: 8'  
REAR: 10'
- THE SUBJECT SITE IS LOCATED IN THE SOUTH LEWES-REHOBOTH CANAL SECTION OF THE REHOBOTH BAY WATERSHED, PER DELAWARE DEPARTMENT OF NATURAL RESOURCES & ENVIRONMENTAL CONTROL (DNREC) ENVIRONMENTAL NAVIGATOR WEBSITE.
- UNLESS SPECIFICALLY STATED OR SHOWN HEREON TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE:
- RIGHTS OR INTEREST OF THE UNITED STATES OF AMERICA OR STATE OF DELAWARE OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER, BUT NO LONGER VISIBLE OR PHYSICALLY EVIDENT, OR LANDS CONTAINING ANY ANIMAL, MARINE OR BOTANICAL SPECIES REGULATED BY OR UNDER THE JURISDICTION OR ANY FEDERAL, STATE, OR LOCAL AGENCY.
- BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE OR LOCAL AGENCY WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
- ANY SUBSURFACE OR SUBTERRANEAN CONDITION, EASEMENTS OR RIGHTS, INCLUDING, BUT NOT LIMITED TO MINERAL OR MINING RIGHTS, OR THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MAN-MADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
- UTILITY NOTES:
  - THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED, SURFACE OBSERVATIONS OF THE SITE AND FROM MARKINGS PROVIDED BY UNDERGROUND FACILITY OWNERS. LOCATIONS OF UTILITIES AS SHOWN AND MAY OR MAY NOT BE COMPLETE. THE NATURE AND EXACT LOCATION OF EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO INITIATING ANY ACTIVITY THAT MAY AFFECT THEIR USE OR LOCATION.
  - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
  - MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
  - THE CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
  - IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- MISS UTILITY TICKET # 173540166.
- ALL CONSTRUCTION TO BE PERFORMED IN ONE PHASE.
- ALL SOLID WASTE (I.E. TRASH AND RECYCLABLES) TO BE PROVIDED BY INDIVIDUAL BINS AT EACH UNIT. BINS TO BE STOWED IN GARAGES OR OTHER APPROVED ENCLOSURE.

**CONSTRUCTION NOTES:**

- NEW CONSTRUCTION ON COASTAL FLOOD HAZARD AREAS (V ZONES AND A ZONES) SHALL BE DESIGNED USING THE ENGINEERING STANDARDS ASCE 24 AND ASCE 7 OR THE IRC AS APPLICABLE. BEST PRACTICES MUST EXCEED MINIMUM NFIP REQUIREMENTS. REFERENCE FEMA P-499, TECHNICAL FACT SHEET NO. 1.2 FOR A SUMMARY OF NFIP REQUIREMENTS.
  - THE MINIMUM ELEVATION OF THE BOTTOM OF THE LOWEST SUPPORTING HORIZONTAL STRUCTURAL MEMBER OF THE LOWEST FLOOR SHALL BE AT OR ABOVE THE BASE FLOOD ELEVATION (BFE) + 1 FOOT. FOR IVY ON THE BAY, THIS CORRESPONDS TO ELEVATION 7.0' + 1.0' = ELEVATION 8.0' = DESIGN FLOOD ELEVATION (DFE).
  - ALL BUILDING MATERIALS BELOW THE DESIGN FLOOD ELEVATION SHALL BE FLOOD DAMAGE-RESISTANT AS DEFINED BY THE NFIP PER FEMA, NFIP TECHNICAL BULLETIN, 2-08.
- BUILDING TYPE:  
V-B: UNPROTECTED COMBUSTIBLE, NO SPRINKLERS TO BE INSTALLED.

PERMITTED HEIGHTS/ELEVATIONS (ZONING 185 ATTACHMENT 1, TABLE 2)

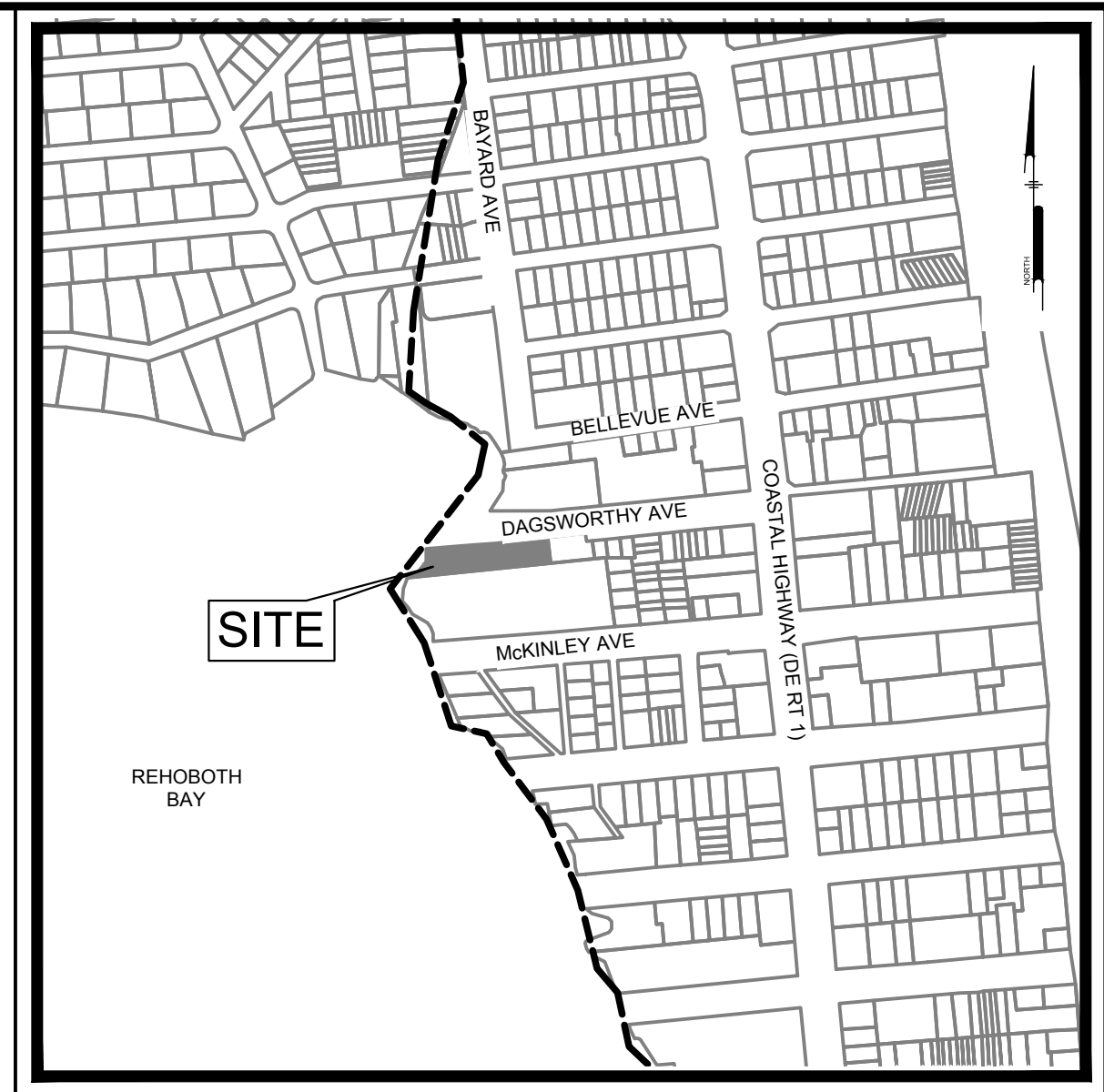
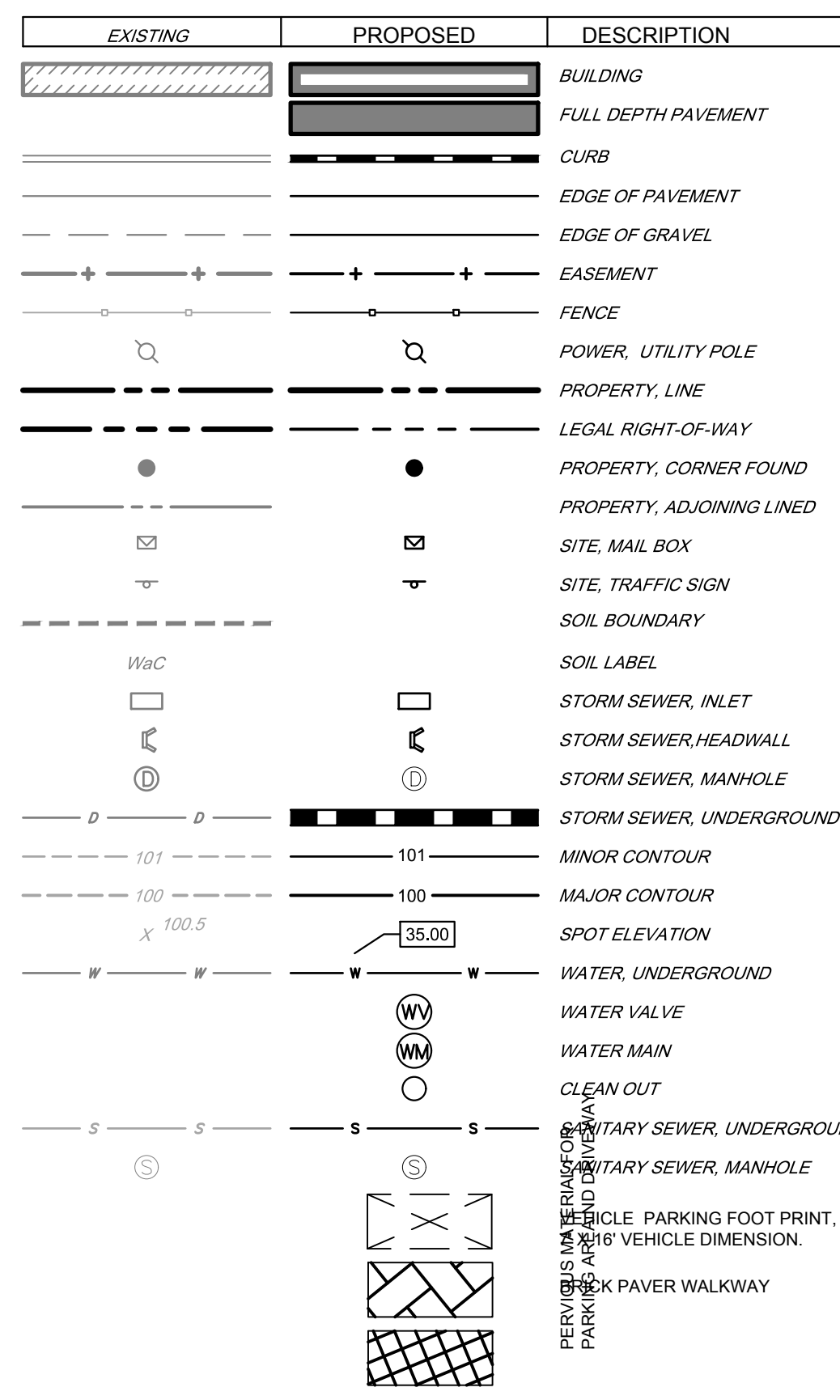
VE AND AE WITH MODERATE WAVE ACTION ZONES:  
32' ± EL. 6' ± 1' FREEBOARD + 1' ± EL. 40' MSL

AE ZONE:  
32' ± EL. 6' ± 1' FREEBOARD = EL. 39' MSL

**GROSS SQUARE FOOTAGE TABLE SUMMARY**

UNIT	PORTICO	GDFL	1st FL	DECK	2nd FL	DECK	PORCH	MINIMUM F.F. ELEV.	MAXIMUM BUILDING ELEVATION	PARKING
1	N/A	1014 S.F.	1063	109	905	109.00	158.90	10.00	39'-0"	2 SP
2	158.90	1014 S.F.	1063	109	905	109.00	158.90	10.00	39'-0"	2 SP
3	158.90	905 S.F.	905	109	905	109	N/A	10.00	39'-0"	2 SP
4	N/A	1014 S.F.	1063	109	905	109.00	158.90	10.00	40'-0"	2 SP
5	158.90	1014 S.F.	1063	109	905	109.00	158.90	10.00	40'-0"	2 SP
6	158.90	905 S.F.	905	109	905	109	N/A	10.00	40'-0"	2 SP
7	N/A	1014 S.F.	1063	109	905	109.00	158.90	10.00	40'-0"	2 SP
8	158.90	905 S.F.	905	109	905	109	N/A	10.00	40'-0"	2 SP
9	N/A	905 S.F.	905	109	905	109	N/A	10.00	40'-0"	2 SP
10	158.90	1430 S.F.	1430	N/A	1430	541	N/A	10.00	40'-0"	3 SP

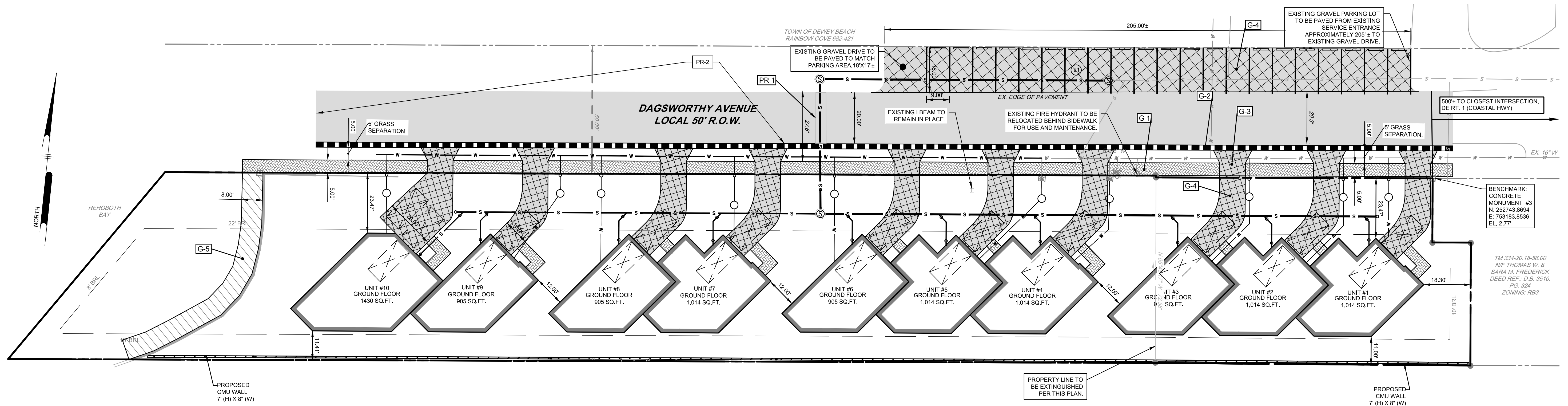
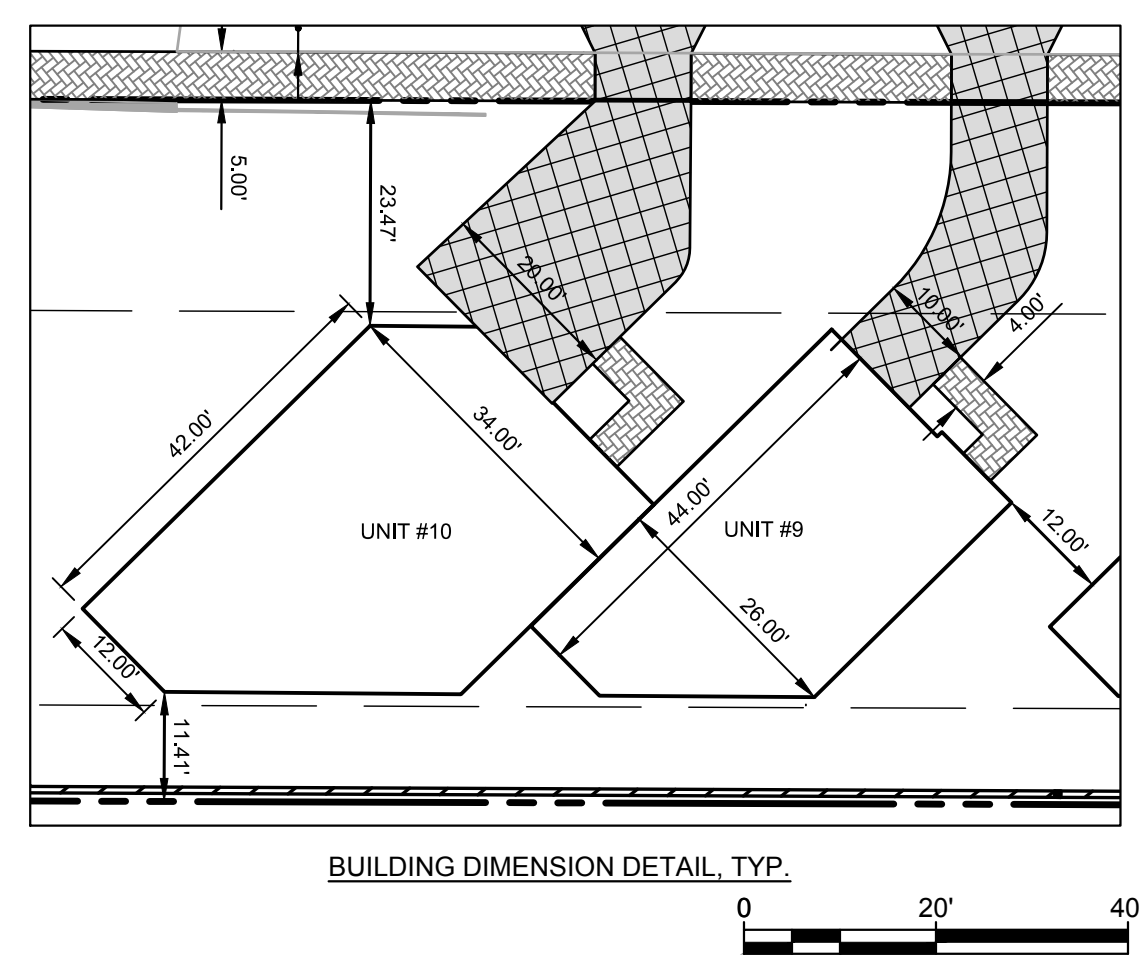
**LEGEND**



**LOCATION MAP**  
Scale: 1" = 500'

**PAVEMENT RESTORATION:**

- PR-1: TRENCH REPAIR DETAIL PER SUSSEX COUNTY DETAIL.
- PR-2: PAVEMENT TIE IN DETAIL PER SUSSEX COUNTY DETAIL.



PLOTTED: 06/05/2018 10:01 AM, Plt: Tom McDaniel, PLOTSTYLE: Pennoni V02.ctb  
 U:\Information\ETD\ETD\17002 - 136 Dagsworthy Ave\DEEDBOOK\_PDF\ETD\CS1001.dwg

**Pennonni**  
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 18072 Davidson Drive  
 Milton, DE 19968  
 T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**IVY ON THE BAY**  
 136 DAGSWORTHY AVE  
 DEWEY BEACH, DE 19971  
 TAX MAP: 334-20-18-57.00 & 58.00

**PRELIMINARY SITE PLAN**

HIGHWAY ONE LIMITED PARTNERSHIP  
 113 DICKINSON STREET  
 DEWEY BEACH, DE 19971

NO.	DATE	REVISIONS	BY
1	06-05-2018	REVISIONS PER TOWN OF DEWEY BEACH	

PROJECT: **ETDGX17002**  
 DATE: 2018-04-18  
 DRAWING SCALE: 1"=20'  
 DRAWN BY: SJD/TPM  
 APPROVED BY: AMD

**CS1001**  
 SHEET 3 OF 7

**STORMWATER MANAGEMENT NOTES:**

1. PER THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, SECTIONS 5.6.3. STATES THAT COMPLIANCE WITH THE RESOURCES PROTECTION (RP) EVENT AS DEFINED IN 5.2.2 SHALL BE ACCOMPLISHED TO THE MAXIMUM EXTENT PRACTICABLE FOR REDEVELOPMENT PROJECTS THROUGH THE FOLLOWING PROVISIONS.

5.6.3.2 REDEVELOPED AREAS WITHIN THE PROJECT LIMIT OF DISTURBANCE SHALL EMPLOY RUNOFF REDUCTION PRACTICES TO ACHIEVE A 30% REDUCTION IN THE EFFECTIVE IMPERVIOUS AREA BASED ON THE EXISTING CONDITION. BASED ON THE PROPOSED PRELIMINARY SITE PLAN, THE TOTAL REDUCTION IN IMPERVIOUS AREA IN THE POST REDEVELOPED CONDITION WILL BE 18,015.00 S.F. WHICH IS AN OVERALL REDUCTION OF 33%. SEE ACTUAL PRE AND POST-DEVELOPED COMPARISON BELOW:

PRE-DEVELOPED IMPERVIOUS AREA:	26,860.00 S.F.
POST-DEVELOPED IMPERVIOUS AREA:	18,015.00 S.F.
PERCENT IMPERVIOUS REDUCTION:	33.00 %

2. PER THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, SECTION 5.3.3.2 AND SECTION 5.4.3 & 5.3.4. COMPLIANCE WITH THE CONVEYANCE EVENT (CV) AND THE FLOODING EVENT (FV) SHALL BE ACCOMPLISHED THROUGH THE FOLLOWING PROVISIONS:

5.3.3.2 PROVISIONS WILL BE MADE OR EXIST FOR A NON-EROSIVE CONVEYANCE SYSTEM TO TIDAL WATERS BY EITHER A CLOSED DRAINAGE SYSTEM OR BY OPEN CHANNEL THAT HAS ADEQUATE CONVEYANCE FOR THE CV EVENT.

5.4.3.2 PROVISIONS WILL BE MADE OR EXIST FOR A NON-EROSIVE CONVEYANCE SYSTEM TO TIDAL WATERS BY EITHER A CLOSED DRAINAGE SYSTEM OR BY OPEN CHANNEL THAT HAS ADEQUATE CONVEYANCE FOR THE FV EVENT.

3. STORMWATER RUNOFF IN THE POST DEVELOPED CONDITION WILL BE CONVEYED TO THE REHOBOTH BAY (TIDAL WATERS) VIA A CLOSED DRAINAGE SYSTEM IN THE REAR OF THE PROPERTY AND VIA OVERLAND FLOW IN THE FRONT OF THE PROPERTY.

**GRADING NOTES:**

1. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.

COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 8 INCHES IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. MATERIAL THAT CANNOT BE COMPACTED AS REQUIRED SHALL BE BROUGHT TO THE ATTENTION OF THE GEOTECHNICAL ENGINEER, OVER EXCAVATED, AND THEN REPLACED WITH SUITABLE FILL. REFER TO THE EARTHWORK SPECIFICATIONS FOR ALLOWABLE SOIL.

2. THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.

3. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

4. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.

5. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.

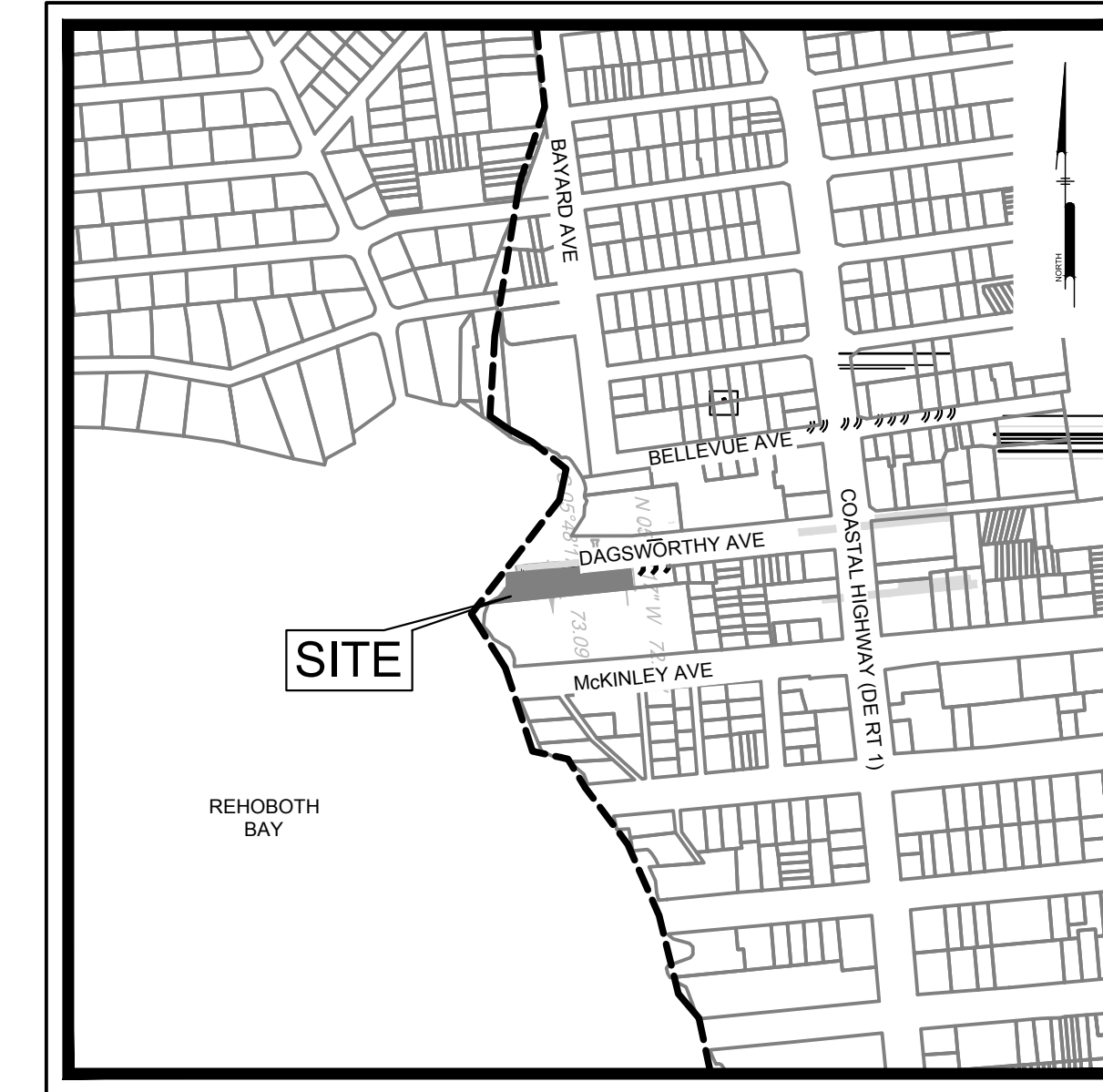
6. MAXIMUM SIDEWALK CROSS SLOPE IS 2% AND MINIMUM SIDEWALK CROSS SLOPE IS 1% WITHIN THE PUBLIC RIGHT OF WAY.

7. VERTICAL ELEVATIONS ARE BASED ON NAVD 88.

8. ALL SLOPES MAXIMUM 3:1 UNLESS OTHERWISE NOTED.

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	FULL DEPTH PAVEMENT
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	EDGE OF GRAVEL
[Symbol]	[Symbol]	EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	POWER, UTILITY POLE
[Symbol]	[Symbol]	PROPERTY, LINE
[Symbol]	[Symbol]	LEGAL RIGHT-OF-WAY
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	SOIL BOUNDARY
[Symbol]	[Symbol]	SOIL LABEL
[Symbol]	[Symbol]	STORM SEWER, INLET
[Symbol]	[Symbol]	STORM SEWER, HEADWALL
[Symbol]	[Symbol]	STORM SEWER, MANHOLE
[Symbol]	[Symbol]	STORM SEWER, UNDERGROUND
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	WATER, UNDERGROUND
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	WATER MAIN
[Symbol]	[Symbol]	CLEAN OUT
[Symbol]	[Symbol]	SEWANTY SEWER, UNDERGROUND
[Symbol]	[Symbol]	SEWANTY SEWER, MANHOLE
[Symbol]	[Symbol]	BRICK PAVEMENT WALKWAY
[Symbol]	[Symbol]	PERVIOUS MATERIAL FOR PARKING AREA
[Symbol]	[Symbol]	RAIN BASIN



**LOCATION MAP**  
Scale: 1" = 500'

**STORM DRAIN CONSTRUCTION NOTES:**

- D-1: STORM DRAIN TO OUTFALL THRU EXISTING WOODEN BULK HEAD AT ELEVATION 0.25.
- D-2: INSTALL 8" DR 35-PVC PIPE (0.29% SLOPE).
- D-3: INSTALL 8" NYLOPLAST INLINE DRAIN BASIN WITH INTEGRATED DUCTILE IRON FRAME & GRATE.

**FIRST FLOOR GARAGE ELEVATIONS**

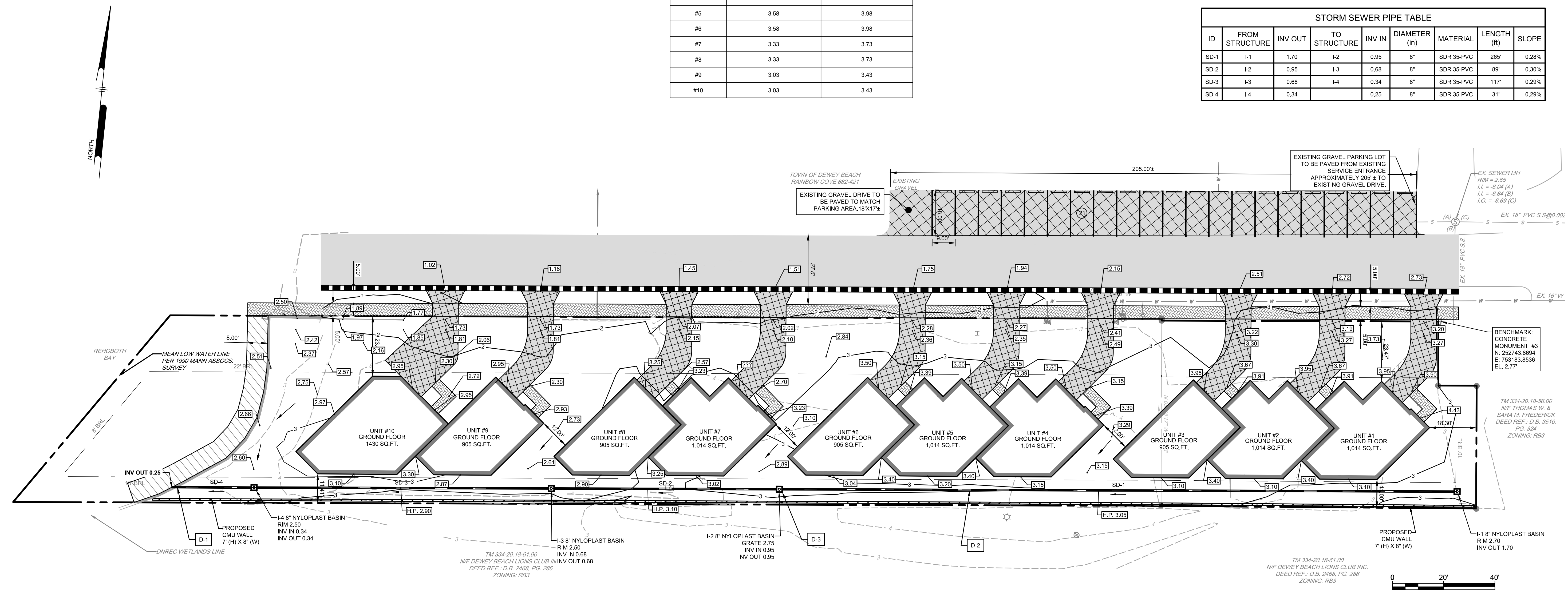
UNIT	FRONT OF GARAGE	BACK OF GARAGE
#1	4.03	4.43
#2	4.03	4.43
#3	4.03	4.43
#4	3.58	3.98
#5	3.58	3.98
#6	3.58	3.98
#7	3.33	3.73
#8	3.33	3.73
#9	3.03	3.43
#10	3.03	3.43

**STORM SEWER STRUCTURE TABLE**

ID	RIM ELEVATION	INV IN (FROM)	INV OUT (TO)	TYPE
I-1	2.70		1.70 (8" PVC) I-2	8" NYLOPLAST DRAIN BASIN
I-2	2.75	0.95 (8" PVC @ 0.28%) I-1	0.95 (8" PVC) I-3	8" NYLOPLAST DRAIN BASIN
I-3	2.50	0.68 (8" PVC @ 0.30%) I-2	0.68 (8" PVC) I-4	8" NYLOPLAST DRAIN BASIN
I-4	2.50	0.34 (8" PVC @ 0.29%) I-3	0.34 (8" PVC)	8" NYLOPLAST DRAIN BASIN

**STORM SEWER PIPE TABLE**

ID	FROM STRUCTURE	INV OUT	TO STRUCTURE	INV IN	DIAMETER (in)	MATERIAL	LENGTH (ft)	SLOPE
SD-1	I-1	1.70	I-2	0.95	8"	SDR 35-PVC	265'	0.28%
SD-2	I-2	0.95	I-3	0.68	8"	SDR 35-PVC	89'	0.30%
SD-3	I-3	0.68	I-4	0.34	8"	SDR 35-PVC	117'	0.29%
SD-4	I-4	0.34		0.25	8"	SDR 35-PVC	31'	0.29%



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**IVY ON THE BAY**  
 136 DAGSWORTHY AVE  
 DEWEY BEACH, DE 19871

**HIGHWAY ONE LIMITED PARTNERSHIP**  
 113 DICKINSON STREET  
 DEWEY BEACH, DE 19871

**GRADING & STORMWATER MANAGEMENT PLAN**

NO.	DATE	REVISIONS	BY	TPM
1	06-02-2018	REVISIONS PER TOWN OF DEWEY BEACH		

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: **ETDGX17002**  
 DATE: 2018-04-18  
 DRAWING SCALE: 1"=20'  
 DRAWN BY: TPM  
 APPROVED BY: AMD

**CS1501**  
 SHEET 4 OF 7

PLOTTED: 06/02/18 10:00 AM BY: Tom McDaniel PROJECT: ETDGX17002  
 U:\Information\ETDGX17002 - 180 Dagsworthy Ave\DEWEY\_BAY\ETDGX17002.dwg

**NOTES:**

- SEWER SERVICE SUPPLIED BY SUSSEX COUNTY. SEWER HOUSE CONNECTIONS SHALL BE 4" SDR-35 PVC.
- WATER SUPPLIED BY SUSSEX COUNTY. ALL WATER HOUSE CONNECTIONS TO BE 1 1/2" PE SDR-7 PVC.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5' HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.

**SANITARY SEWER CONSTRUCTION NOTES:**

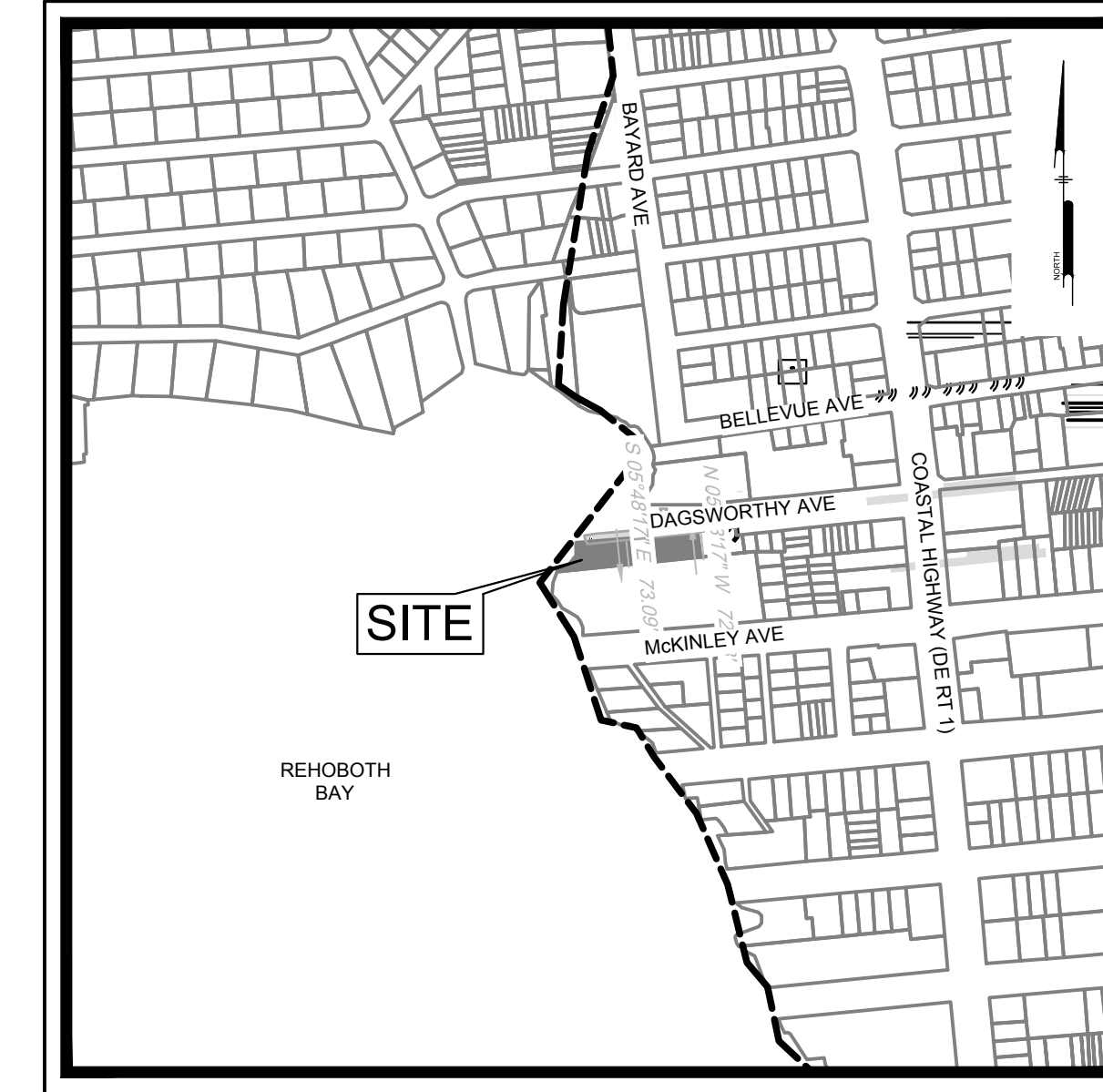
- S-1: REMOVE CLEAN OUT AND REPLACE WITH 48" SANITARY SEWER MANHOLE TIE IN TO EXISTING 8" SANITARY SEWER LINE. EXISTING SEWER LATERAL TO BE CAPPED AND ABANDONED IN PLACE.
- S-2: INSTALL 8" PVC SDR-35 SANITARY SEWER MAIN (0.28% MINIMUM SLOPE).
- S-3: INSTALL 6" PVC SDR-35 SANITARY SEWER MAIN (0.28% MINIMUM SLOPE).

**WATER CONSTRUCTION NOTES:**

- W-1: TIE IN PROPOSED 4" C-905-DR25 PCV WATER MAIN TO EXISTING 8" WATER MAIN. EXTEND NEW 4" MAIN 260.00'. ADD 4" CAP AND BUTTRESS.
- W-2: INSTALL 1 1/2" SDR-7 PVC WHC TO UNITS 6 THRU 10 TO NEW WATER MAIN.
- W-3: INSTALL 1 1/2" SDR-7 PVC WHC TO UNITS 1 THRU 3 TO EXISTING WATER MAIN.
- W-4: CONNECT UNITS 4 & 5 TO EXISTING WATER SERVICE.

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	FULL DEPTH PAVEMENT
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	EDGE OF GRAVEL
[Symbol]	[Symbol]	EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	POWER, UTILITY POLE
[Symbol]	[Symbol]	PROPERTY, LINE
[Symbol]	[Symbol]	LEGAL RIGHT-OF-WAY
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	SOIL BOUNDARY
[Symbol]	[Symbol]	SOIL LABEL
[Symbol]	[Symbol]	STORM SEWER, INLET
[Symbol]	[Symbol]	STORM SEWER, HEADWALL
[Symbol]	[Symbol]	STORM SEWER, MANHOLE
[Symbol]	[Symbol]	STORM SEWER, UNDERGROUND
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	WATER, UNDERGROUND
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	WATER MAIN
[Symbol]	[Symbol]	CLEAN OUT
[Symbol]	[Symbol]	SANITARY SEWER, UNDERGROUND
[Symbol]	[Symbol]	SANITARY SEWER, MANHOLE



**LOCATION MAP**  
Scale: 1" = 500'

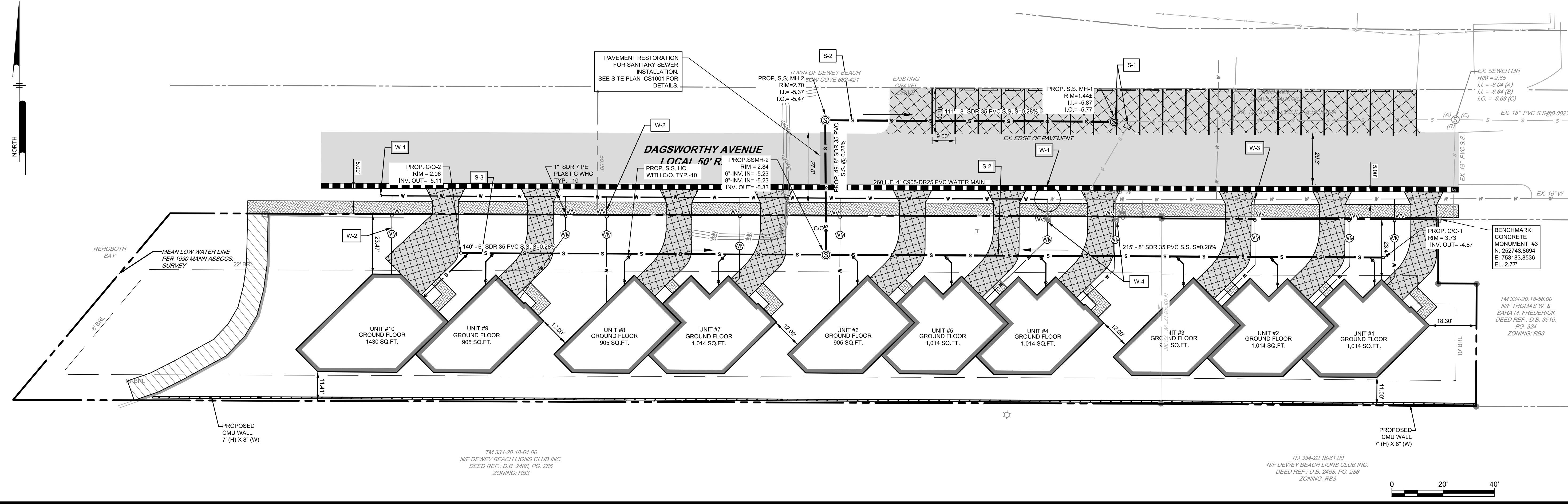
**Pennoni**  
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**IVY ON THE BAY**  
 136 DAGSWORTHY AVE  
 DEWEY BEACH, DE 19871  
 TAX MAP: 334-20-18-57.00 &56.00

**UTILITY PLAN**

HIGHWAY ONE LIMITED PARTNERSHIP  
 113 DICKINSON STREET  
 DEWEY BEACH, DE 19871



NO.	DATE	REVISIONS	BY
1	06-05-2018	REVISIONS PER TOWN OF DEWEY BEACH	TPM

PROJECT: **ETDGX17002**  
 DATE: 2018-04-18  
 DRAWING SCALE: 1"=20'  
 DRAWN BY: TPM  
 APPROVED BY: AMD

**CS1701**  
 SHEET 5 OF 7

PLOTTED: 06/05/18 10:00 AM BY: Tim McInnis - F:\CITY\LE-Pennoni\KCS-46 PROJECT STATUS:

TM 334-20-18-61.00  
 N/F DEWEY BEACH LIONS CLUB INC.  
 DEED REF.: D.B. 2468, PG. 286  
 ZONING: RB3

TM 334-20-18-61.00  
 N/F DEWEY BEACH LIONS CLUB INC.  
 DEED REF.: D.B. 2468, PG. 286  
 ZONING: RB3



# TEMPORARY TRAFFIC CONTROL NOTES

- ALL WORK SHALL BE PERFORMED IN A MANNER THAT WILL REASONABLY PROVIDE THE LEAST PRACTICABLE OBSTRUCTION TO ROAD USERS, INCLUDING VEHICULAR TRAFFIC, BICYCLE TRAFFIC AND PEDESTRIAN TRAFFIC.
- ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OBLITERATED BY A METHOD APPROVED BY THE ENGINEER. PAINTING OVER THE CONFLICTING PAVEMENT MARKINGS WILL NOT BE ACCEPTED AS A METHOD OF REMOVAL.
- THE DEPARTMENT RESERVES THE RIGHT TO STOP THE CONTRACTOR'S OPERATIONS, IF, IN THE OPINION OF THE DEPARTMENT'S REPRESENTATIVE, THE CONTRACTOR'S OPERATIONS ARE NOT IN COMPLIANCE WITH THE DELAWARE MUTCD. THE SPECIFICATIONS OR THE PLANS OR IF THE CONTRACTOR'S OPERATIONS ARE DEEMED UNSAFE.
- IF THE CONTRACTOR DESIRES TO DEVIATE FROM THE TEMPORARY TRAFFIC CONTROL PLAN (TTCP) PROVIDED IN THE PLAN SET OR DESIRES CHANGES TO THE PHASING OR SCOPE OF THE TTCP, THE CONTRACTOR SHALL SUBMIT A NEW TTCP TO THE DISTRICT SAFETY OFFICER FOR APPROVAL PRIOR TO THE START OF WORK AT EACH AND EVERY LOCATION. THE TTCP SHALL BE PREPARED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF DELAWARE AND SHALL BE PREPARED IN ACCORDANCE WITH ALL APPLICABLE DELDOT STANDARDS. THE TTCP SHALL BE SUBMITTED 14 CALENDAR DAYS IN ADVANCE OF STARTING WORK.
- ALL ROADWAY CLOSURES OR LANE CLOSURES BEYOND THOSE SPECIFIED AND APPROVED IN THE PLANS SHALL BE APPROVED BY THE DISTRICT SAFETY OFFICER A MINIMUM OF TWO WEEKS IN ADVANCE OF THE PROPOSED RESTRICTION.
- TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION IN ACCORDANCE WITH THE BROCHURE ENTITLED "QUALITY GUIDELINES FOR TEMPORARY TRAFFIC CONTROL DEVICES", PUBLISHED BY THE AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA). ANY TEMPORARY TRAFFIC CONTROL DEVICES THAT DO NOT MEET THE QUALITY GUIDELINES SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE DEVICES. FAILURE TO COMPLY WILL RESULT IN WORK STOPPAGE.
- TEMPORARY TRAFFIC CONTROL DEVICES USED ON ALL ROADWAYS OPEN TO THE PUBLIC IN DELAWARE SHALL CONFORM TO THE DELAWARE MUTCD AND SHALL BE IN NEW OR REBUSHED CONDITION. ALL DEVICES SHALL BE CRASHWORTHY IN ACCORDANCE WITH THE NATIONAL COOPERATIVE HIGHWAY RESEARCH PROGRAM (NCHRP) REPORT 350 AND/OR IN ACCORDANCE WITH THE LATEST EDITION OF THE BROCHURE ENTITLED "QUALITY GUIDELINES FOR TEMPORARY TRAFFIC CONTROL DEVICES", PUBLISHED BY THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO). THE CONTRACTOR SHALL SUBMIT CERTIFICATION FOR ALL TEMPORARY TRAFFIC CONTROL DEVICES USED SPECIFICALLY ON THIS PROJECT TO THE DISTRICT SAFETY OFFICER AT OR PRIOR TO THE PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL NOT BEGIN WORK OR PLACE ANY TEMPORARY TRAFFIC CONTROL DEVICES UNTIL THE CERTIFICATION OF DEVICES HAS BEEN APPROVED BY THE DISTRICT SAFETY OFFICER.
- ANY DEFICIENCIES RELATED TO TEMPORARY TRAFFIC CONTROL THAT ARE REPORTED TO THE CONTRACTOR IN WRITING SHALL BE CORRECTED WITHIN 24 HOURS OR AS DIRECTED BY THE DISTRICT SAFETY OFFICER. CORRECTIVE ACTIONS ON SEVERE DEFICIENCIES SHALL BE TAKEN IMMEDIATELY. FAILURE TO COMPLY WILL RESULT IN THE SUSPENSION OF WORK UNTIL DEVICES ARE BROUGHT BACK INTO COMPLIANCE.
- ACCESS TO ALL BUSINESSES AND RESIDENCES WITHIN THE PROJECT LIMITS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS CONTRACT. ANY TEMPORARY CLOSURE OF A DRIVEWAY OR ENTRANCE FOR TIE-IN PURPOSES SHALL BE COORDINATED WITH THE ENGINEER AND THE PROPERTY OWNER IN ADVANCE OF THE CLOSURE.
- ACCESS TO ALL TRANSIT STOPS LOCATED WITHIN THE PROJECT LIMITS SHALL BE MAINTAINED UNLESS OTHERWISE DIRECTED BY THE PLANS OR THE ENGINEER. MAINTAINING ACCESS TO THE TRANSIT STOP SHALL INCLUDE MAINTAINING AN AREA OF THE TRANSIT VEHICLE TO STOP TO PICK-UP AND DISCHARGE PASSENGERS AND ALSO AN ACCESSIBLE PATH FOR PEDESTRIANS TO SAFELY ACCESS THE TRANSIT STOP.
- THE CONTRACTOR SHALL PROVIDE ALL PROPERTY OWNERS AND RESIDENTS WHO LIVE ADJACENT TO THE WORK ZONE WITH WRITTEN NOTICE, 48 HOURS IN ADVANCE OF THE START OF CONSTRUCTION WORK. THIS NOTIFICATION SHALL INCLUDE THE SCOPE OF WORK, WORKING HOURS, ANTICIPATED START AND COMPLETION DATES, A SUMMARY OF CONSTRUCTION ACTIVITIES WHICH MAY INTERFERE WITH ACCESS TO THE PROPERTY INCLUDING A SCHEDULE AND ACCESS COORDINATION PLAN, CONTRACTOR'S NAME AND ADDRESS AND A DELDOT CONTACT PHONE NUMBER. FAILURE TO GIVE PROPER NOTICE WILL RESULT IN A SUSPENSION OF THE WORK REQUIRING NOTICE. UNTIL PROPER NOTICE IS PROVIDED, THE CONTRACTOR SHALL PROVIDE WRITTEN VERIFICATION TO THE ENGINEER THAT THE PROPERTY OWNERS AND RESIDENTS WERE NOTIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LOCAL 911 CENTER, LOCAL SCHOOLS AND THE DELDOT PUBLIC INFORMATION CENTER OF ALL ROADS AND LANES TO BE CLOSED A MINIMUM OF SEVEN CALENDAR DAYS BEFORE THE CLOSURE.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL 911 CENTER IF ACCESS TO A FIRE HYDRANT IS TEMPORARILY RESTRICTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE TRANSPORTATION MANAGEMENT CENTER IS NOTIFIED EACH AND EVERY DAY WHEN WORK IS BEING PERFORMED IN STATE RIGHT-OF-WAY. THE CONTRACTOR SHALL IDENTIFY THE TYPE OF WORK, ANY LANES (S) OR SHOULDERS CLOSED, THE LENGTH OF TIME FOR WORK, WHEN THE LANE RESTRICTIONS ARE IN PLACE AND WHEN LANE RESTRICTIONS ARE LIFTED, CONTACT PERSONPHONE NUMBER AND STATE INSPECTOR. THE TRANSPORTATION MANAGEMENT CENTER CAN BE REACHED AT (302) 658-4600.
- AT THE END OF EACH WORKDAY, THE CONTRACTOR SHALL CORRECT ALL VERTICAL DIFFERENCES IN ACCORDANCE WITH TABLE 6G-1 OF THE DELAWARE MUTCD.
- AT THE END OF EACH DAY'S OPERATION AND BEFORE TRAFFIC IS RETURNED TO UNRESTRICTED ROADWAY USE, TEMPORARY PAVEMENT MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE DELAWARE MUTCD AND DELDOT'S TEMPORARY PAVEMENT MARKINGS POLICY.
- WHEN SIDE ROADS INTERSECT THE WORK ZONE, ADDITIONAL TRAFFIC CONTROL DEVICES SHALL BE ERRECTED INCLUDING PERMANENT WARNING SIGNS.
- ALL STORAGE OF EQUIPMENT AND MATERIAL SHALL COMPLY WITH SECTION 6G.21 OF THE DELAWARE MUTCD.
- ALL FLAGGERS SHALL COMPLY WITH CHAPTER 6E OF THE DELAWARE MUTCD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HISHER WORK WITH OTHER CONTRACTORS IN THE AREA.

# SEQUENCE OF CONSTRUCTION:

- NOTIFY THE SUSSEX CONSERVATION DISTRICT IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY CONSTRUCTION SITE REVIEWER. THE LANDOWNER/DEVELOPER, CONTRACTOR, AND CERTIFIED CONSTRUCTION REVIEWER ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING. THE DESIGNER IS RECOMMENDED TO ATTEND.
- CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.
- ESTABLISH PERIMETER CONTROLS INCLUDING, BUT NOT LIMITED TO, SILT FENCE, INLET PROTECTION, ETC. IN PREPARATION OF AGENCY CONSTRUCTION SITE REVIEWER APPROVAL.
- ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
- ESTABLISH STABILIZED CONSTRUCTION ENTRANCE AND SOIL STOCKPILE AREA (IF NECESSARY REFER TO STANDARD DETAIL. ALL SOILS WILL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER.
- BULK GRADE SITE.
- INSTALL STORMDRAIN PIPES AND STRUCTURES.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF, OR WIND, FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPLACED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- NOTIFY THE PERSON RESPONSIBLE FOR STORMWATER SYSTEM CONSTRUCTION REVIEW AT LEAST THREE (3) DAYS PRIOR TO THE START OF THE STORMWATER SYSTEM CONSTRUCTION. STORMWATER FACILITIES MUST BE REVIEWED THROUGHOUT THEIR CONSTRUCTION.
- MINIMIZE CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY.
- FINE GRADE SITE AND STABILIZE AREA AS GRADING IS COMPLETED.
- RESTORE ALL DISTURBED AREAS NOT COVERED BY GRAVEL OR PAVED ROADS TO PERMANENT STABILIZATION PER DETAILS.
- EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER.
- REMOVE STABILIZED CONSTRUCTION ENTRANCE.
- UPON COMPLETION OF THE PROJECT, AND APPROVAL FROM AGENCIES, REMOVE ANY REMAINING EROSION CONTROL MEASURES INCLUDING CHECK DAMS.
- THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE. ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN.

# EROSION & SEDIMENT CONTROL NOTES:

- IT SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO PROVIDE LONG TERM MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES UNTIL THAT RESPONSIBILITY IS ASSUMED BY A MAINTENANCE CORPORATION.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO MAINTAIN AND REPAIR ALL EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT PRACTICES DURING CONSTRUCTION AND UTILITY INSTALLATION.
- APPROVED PLANS REMAIN VALID FOR VALID FOR THREE (3) YEARS FROM THE APPROVAL DATE.
- AS-BUILT SURVEYS AND DRAWINGS ARE TO BE SUBMITTED TO SUSSEX CONSERVATION DISTRICT WITHIN 60 DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
- THE SEQUENCE OF CONSTRUCTION ON THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN MUST BE STRICTLY ADHERED. ANY DIVERGENCE FROM THE APPROVED CONSTRUCTION SEQUENCE REQUIRES A WRITTEN REQUEST TO MODIFY AND THE WRITTEN APPROVAL OF THE SUSSEX CONSERVATION DISTRICT.
- A COPY OF THE APPROVED SEDIMENT & STORMWATER MANAGEMENT PLAN MUST BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL SITE DEWATERING SHALL BE DONE THROUGH AN APPROVED FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA. SCD INSPECTOR MUST APPROVE DEWATERING FILTER PLACEMENT AND USE PRIOR TO COMMENCEMENT OF DEWATERING ACTIVITIES.
- ALL SOILS WILL BE REMOVED FROM THE SITE IN AN APPROVED MANNER.
- THE PROPERTY IS LOCATED IN ZONE "AE (EL 87) AND ZONE "VE (EL 77) ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C0354K, LAST REVISED 3/16/15. ZONE "AE" IS DETERMINED TO BE WITHIN THE 100-YEAR FLOODPLAIN WITH A BASE ELEVATION DETERMINED. THE LIMIT OF MODERATE WAVE ACTION LINE DIVIDES COASTAL AREAS OF THE AE ZONE, WHERE EFFECTS OF WAVE HAZARDS WILL BE SIMILAR TO BUT LESS SEVERE THAN THOSE IN ZONE VE. ZONE VE IS DETERMINED TO BE A COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION) WITH A BASE FLOOD ELEVATION DETERMINED. FLOOD ZONE LINES ARE SHOWN GRAPHICALLY ON THIS PLAN BASE ON THE FEMA FLOODPLAIN MAP AND HAVE NOT BEEN FIELD VERIFIED.
- THIS SITE CONTAINS NO STATE OR FEDERAL WETLANDS PER DNRDC ONLINE NAVMAP.
- SILT FENCE LINE IS TO BE 2' INSIDE LIMIT OF DISTURBANCE LINE, UNLESS NOTED OTHERWISE.
- SEEDING (PERMANENT).
  - SHALL BE CONDUCTED AS SOON AS WEATHER PERMITS
  - THE APPLICATION RATES OF FERTILIZER AND LIME SHOULD BE ACCORDING TO THE RECOMMENDATIONS OF THE ON SITE SOIL TESTS. IF THE SOIL TESTING IS NOT AVAILABLE, THEN THE FOLLOWING SPECIFIED RATES MAY BE USED.
  - SEED BED PREPARATION: APPLY 23 LBS. OF 10-10-10 FERTILIZER PER 1000 SQ. FT.; HARROW OR DISC INTO SOIL TO A DEPTH OF 3 TO 4 INCHES; APPLY DOLOMITIC LIMESTONE AT 92 LBS. PER 1000 SQ. FT.
  - SEEDING: APPLY 5.0 LBS. PER 1000 SQ. FT. OF KENTUCKY 31 TALL FESCUE ON A MOIST SEED BED WITH SUITABLE EQUIPMENT. MINIMUM COVERAGE 1/4 INCH.
  - MULCHING: IMMEDIATELY AFTER SEEDING, UNIFORMLY MULCH ENTIRE AREA WITH UNWEATHERED SMALL GRAIN STRAW AT A RATE OF 92 LBS. PER 1000 SQ. FT. MULCH TO BE ANCHORED WITH MULCH ANCHORING TOOL ON THE CONTOUR.
- TEMPORARY STABILIZATION.
  - SEED BED PREPARATION: APPLY 14 LBS. OF 10-10-10 FERTILIZER PER 1000 SQ. FT.; HARROW OR DISC INTO SOIL TO A DEPTH OF 3 TO 4 INCHES; APPLY DOLOMITIC LIMESTONE AT 46 TO 92 LBS. PER 1000 SQ. FT.
  - SEEDING: APPLY 3.2 LBS. PER 1000 SQ. FT. OF RYE GRASS. SHALL BE CONDUCTED BETWEEN FEBRUARY 1 - APRIL 30 OR AUGUST 15 - NOVEMBER 30.
  - MULCH: STRAW SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, OR 70 TO 90 LBS. (TWO BALES) PER 1000 SQ. FT. MULCH MATERIALS SHALL BE RELATIVELY FREE OF WEEDS AND SHALL BE FREE OF NOXIOUS WEEDS SUCH AS: THISTLES, JOHNSON GRASS, AND QUACKGRASS. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY. MULCH TO BE ANCHORED WITH MULCH ANCHORING TOOL ON THE CONTOUR.
- PROVIDE EROSION CONTROL MATTING ON ALL SLOPES 3:1 OR GREATER, AND IN ALL AREAS OF CONCENTRATED FLOW.

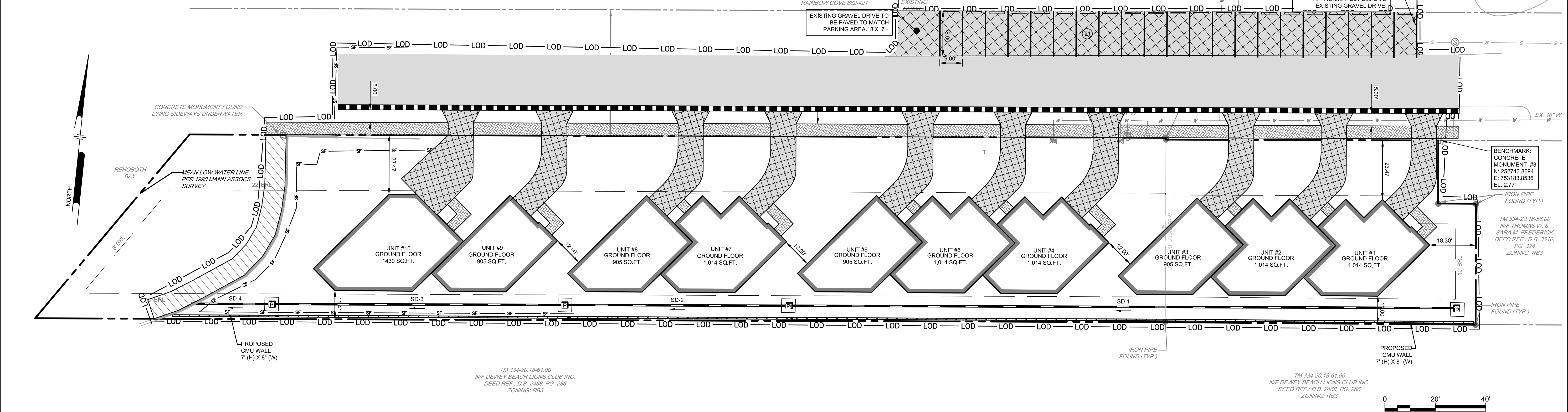
# LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		FULL DEPTH PAVEMENT
		CURB
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, ADJOINING LINED
		SITE, MAIL BOX
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		STORM SEWER, INLET
		STORM SEWER, HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		WATER, UNDERGROUND
		WATER VALVE
		WATER MAIN
		CLEAN OUT
		SANITARY SEWER, UNDERGROUND
		SANITARY SEWER, MANHOLE
		SILT FENCE
		LIMIT OF DISTURBANCE
		INLET PROTECTION

L.O.D. AREA: 1.29 ACS



LOCATION MAP  
Scale: 1" = 500'



**Pennoni**  
 PENNONI ASSOCIATES INC.  
 18072 Davidson Drive  
 Milton, DE 19968  
 T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

IVY ON THE BAY  
 136 DAGSWORTH AVE  
 DEWEY BEACH, DE 19871  
 TAX MAP: 334-20-18-57.00 658.00

EROSION & SEDIMENT CONTROL PLAN

HIGHWAY ONE LIMITED PARTNERSHIP  
 113 DICKINSON STREET  
 DEWEY BEACH, DE 19871

NO.	DATE	REVISIONS	BY	TPM
1	08-06-2018	REVISIONS PER TOWN OF DEWEY BEACH		

PROJECT: ETDX17002  
 DATE: 2018-04-18  
 DRAWING SCALE: 1"=20'  
 DRAWN BY: TPM  
 APPROVED BY: AMD

**CS8001**  
 SHEET 6 OF 7

PLOTTED: 06/09/18 10:30 AM BY: Tom McInnes F:\PROJECTS\Pennoni\KCS48 PROJECT STATUS: U:\Account\ETDX17002\17002-18\Drawings\erosion\_SHEETCS8001.dwg

**GENERAL NOTES:**

1. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN INSURANCE REQUIRED BY THE OWNER OR GENERAL CONTRACTOR. IF NOT SPECIFICALLY CALLED OUT, THE CONTRACTOR SHALL ALSO HAVE "BUILDER'S RISK" INSURANCE TO COVER LOSSES DURING CONSTRUCTION AND PLANT INSTALLATION AND THROUGH THE MAINTENANCE PERIOD UP TO SUBSTANTIAL COMPLETION. COVERAGE MINIMUM SHALL BE 200% OF CONTRACT VALUE.
2. ALL UNDERGROUND UTILITIES SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT THEY ARE UNCOVERED, THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER.
3. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONNEL OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.
4. IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND THE PLANS, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
5. PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERYMAN (AAN), PARTICULARLY WITH REGARD TO SIZE, GROWTH, SIZE OF BALL, AND DENSITY OF BRANCH STRUCTURE. REFERENCE "ANSIZ601-2004 (OR MOST CURRENT DOCUMENT AVAILABLE AT WWW.ANLA.ORG).
6. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHER-PROOF LABELS, SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROTECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE OWNER.
7. ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
8. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
9. NO INVASIVE SPECIES ALLOWED, NATIVE SPECIES PREFERRED.
10. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS.
11. ALL PLANTING BEDS SHALL BE MULCHED WITH HARDWOOD MULCH AS SPECIFIED, EXCEPT WHERE NOTED ON PLANS.
12. UPON COMPLETION OF ALL LANDSCAPING FOR EACH PHASE OF WORK, AN INSPECTION OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
13. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWELVE MONTHS FROM THE DATE OF ACCEPTANCE. WATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION. UPON COMPLETION, THE CONTRACTOR SHALL INFORM THE OWNER OF WATERING REQUIREMENTS AND GENERAL MAINTENANCE OF THE INSTALLED LANDSCAPING IN ORDER TO REALIZE HIGHER ESTABLISHMENT RATES.
14. PLANTING BEDS AND TREE PITS SHALL BE AMENDED AND TILLED TO A MINIMUM 6 INCH DEPTH. ALL PLANTING BEDS SHALL BE 1/3 PARENT MATERIAL, 1/3 ORGANIC MATERIAL, AND 1/3 TOP SOIL, FREE OF DEBRIS AND STONES LARGER THAN 1/2" DIA.

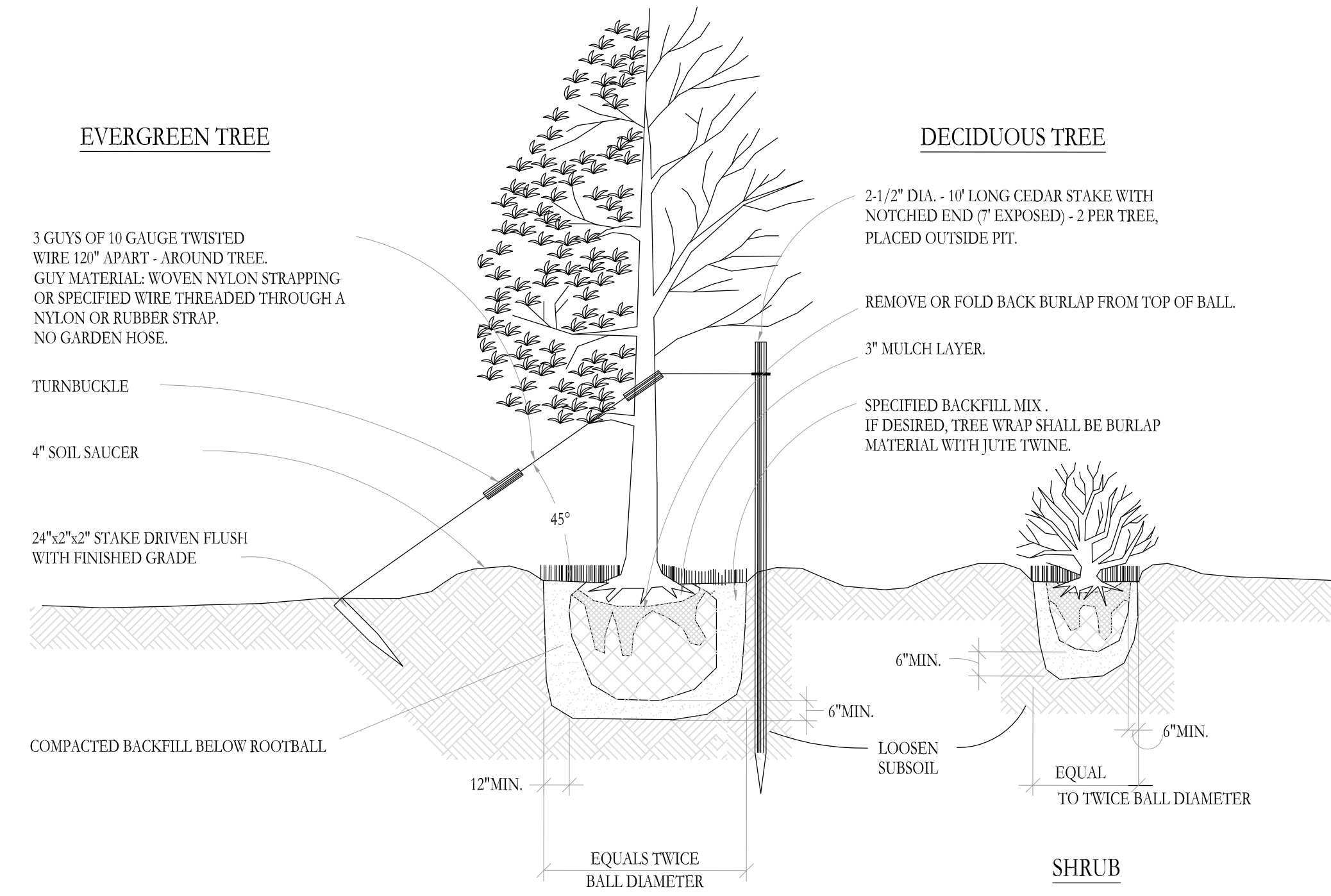
**RECOMMENDED PLANTING LIST**

ID	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
LI	6	LAGERSTROEMIA INDICA	NATCHEZ GRAPE MYRTLE	7' hgt	
MG	6	MAGNOLIA GRANDFLORA	SOUTHERN MAGNOLIA	6' hgt	NATIVE
MV	5	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	7' hgt	NATIVE
<b>PERENNIALS/GRASSES/GROUNDCOVERS</b>					
CA	25	CALAMAGROSTIS X ACUTIFLORA	FOESTER'S FEATHER REED GRASS	CONT.	NATIVE HYBRID
HM	23	HIBISCUS MOSCHEUTOS	ROSE MALLOW	CONT.	NATIVE
MC	29	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	CONT.	NATIVE
PV	25	PANICULATA VIRGATUM	CHEYENNE SKY SWITCH GRASS	CONT.	NATIVE

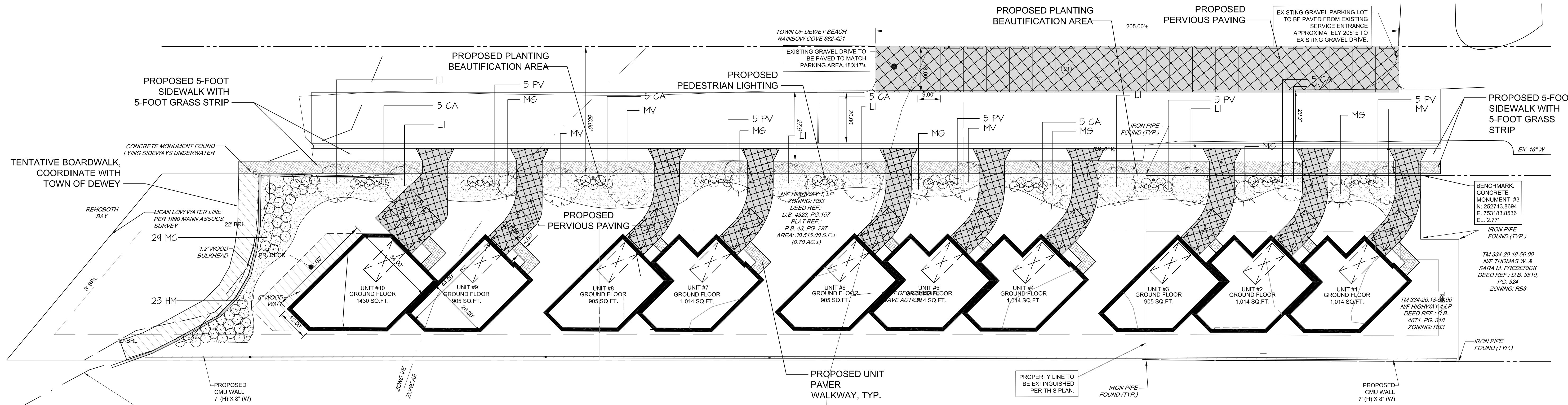


OPTIONAL LIGHT FIXTURE TO CORBEL LIGHT, AVAILABLE ON WAYFAIR.COM, STYLE BLACK ON 3" POST.

**2 LIGHTING OPTION**  
SCALE: NTS



**3 PLANTING DETAILS**  
SCALE: NTS



**1 LANDSCAPE PLAN**  
SCALE: 1" = 20'-0"

**SITE STATISTICS**

ZONING	RB-3 DEWEY BEACH
GROSS LOT AREA	39,078 SF
PLANTING BEAUTIFICATION	3,908 SF (10%) REQUIRED 4,000 SF (10.2%) PROVIDED

REV.	DATE	CHANGE	BY
1	6-5-2018	REVISIONS PER COMMENTS	EWV

**IVY ON THE BAY**  
**Landscape & Lighting Plan**  
Dagsworthy Ave., Dewey Beach, DE  
Tax Map 334-20.18-57.00 and 58.00

**ELEMENT**  
115 west market street  
dewey, de 19558  
302.645.0777  
www.elementid.com

Landscape Plan prepared by  
Eric W. Whiff, P.L.A.  
DE 51-0000409

DSN	DRW	CHKD
EW	EW	EW
SCALE: as noted		
JOB No. e17268		
DATE: 18 APRIL 2018		
FILE No. IVY PARCEL		
<b>L-101</b>		

FOR REVIEW PURPOSES ONLY