

Re: Board of Adjustment Hearing March 25, 2026

From Alan <Alanh@shcresidential.com>

Date Mon 3/16/2026 1:08 PM

To Kate Banaszak <kate@townofdeweybeach.com>

Cc Tina <tinah@shcresidential.com>; Debra Carri <Debracarri@yahoo.com>; Chris Bott <Cbott8@yahoo.com>

 2 attachments (6 MB)

Amended Agenda.pdf; 25.032 26_02_09 Seastrand Renovations.pdf;

Hi Kate,

I am the builder for the renovation/expansion of this home. Since we are not breaking the mold here I hav attached the plans and photos of existing units in the building which were granted the exception previously. Thank you for your help in getting this to the board members.

Alan Halle
President
SHC Rennovation, LLC
35 S. Main Street
Selbyville, DE 19975

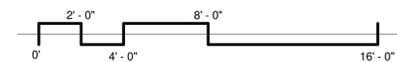
(410)320-2004





PHASING LEGEND

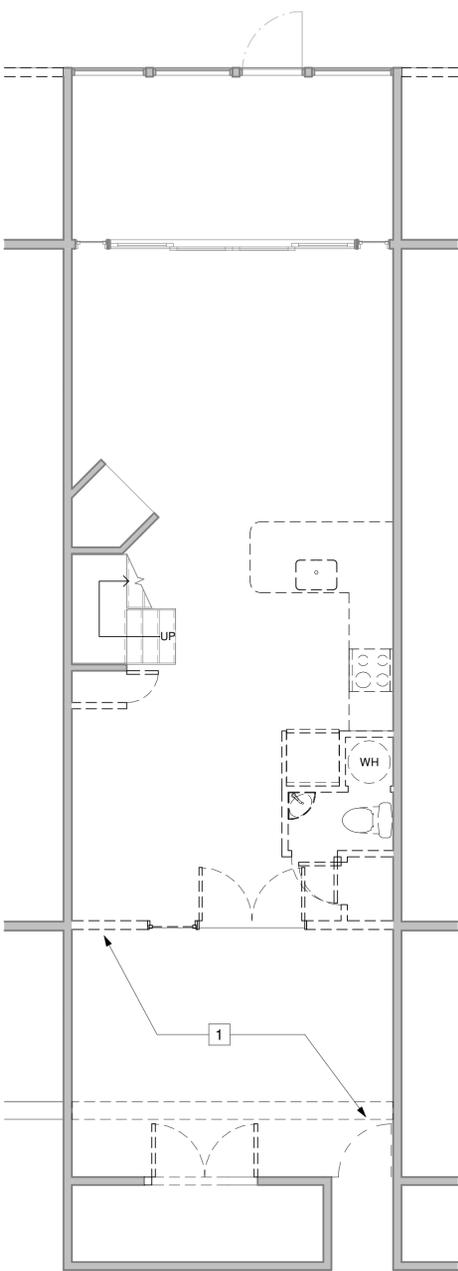
- EXISTING WALLS
- - - DEMO'D WALLS
- - - EXISTING ELEMENTS
- - - DEMO'D ELEMENTS



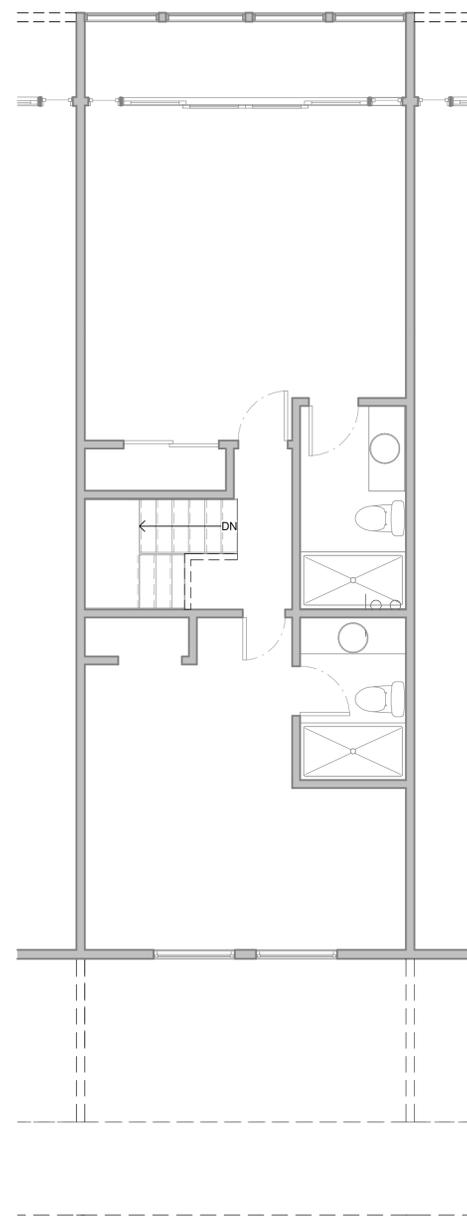
DEMOLITION NOTES LEGEND

MARK	NOTE
1	DEMO FLOOR & FRAMING
2	DEMO FLOOR
3	DEMO ROOF & RAFTERS ABOVE
4	CUT & DEMO BEAM BELOW FOR STAIR OPENING. PROVIDE TEMP. SUPPORT TO REMAINING PORTION OF BEAM.

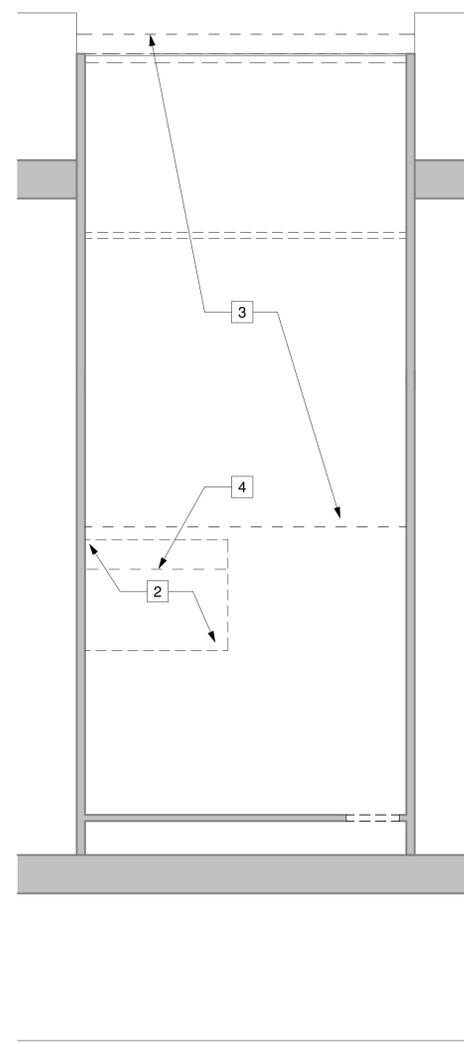
CONSULTANTS



1 LEVEL 1 - DEMOLITION
1/4" = 1'-0"



2 LEVEL 2 - DEMOLITION
1/4" = 1'-0"



3 LEVEL 3 - DEMOLITION
1/4" = 1'-0"

DEMOLITION NOTES

1. PRIOR TO DEMOLITIONS OF WALLS, COLUMNS, FLOORS AND ROOFS THE CONTRACTOR MUST VERIFY EXISTING STRUCTURAL CONDITIONS AND LOCATION OF ALL BEARING WALLS. NOTIFY THE ARCHITECT OF ANY STRUCTURAL CONDITIONS THAT ARE CONTRARY TO THESE DRAWINGS.
2. PROPERLY SHORE EXISTING STRUCTURE WHEN REMOVING COLUMNS, WALLS, FLOORS AND ROOF.
3. THIS PLAN SHOWS GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR OF OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE REMAINING CONTRACT DOCUMENTS, INCLUDING PLUMBING, HVAC AND ELECTRICAL WORK.
4. PROTECT ALL EXISTING CONSTRUCTION SHOWN TO REMAIN FROM DAMAGE DURING CONSTRUCTION, FOR THE EXTENT OF THE DEMOLITION AND MODIFICATION.
5. THE CONTRACTOR WILL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES SEQUENCES, (UNLESS A SEQUENCE IS SPECIFIED BY THE OWNER OR CONTRACT DOCUMENTS) AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK.
6. ALL LABOR, MATERIALS AND CONSTRUCTION MEANS AND METHODS SHALL COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE WORK, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
7. THE CONTRACTOR WILL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIAL AND RUBBISH. AT THE THE PREMISES ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS AND LEAVE THE AREAS BROOM CLEAN. SITE BURNING WILL NOT BE ALLOWED.
8. THE CONTRACTOR WILL PERFORM DEMOLITION IN A MANNER THAT WILL PROTECT EXISTING CONSTRUCTION, INCLUDING MECHANICAL, ELECTRICAL, PLUMBING WORK, ETC.
9. ALL ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED.
10. INFORMATION CONTAINED WITHIN THESE DRAWINGS IS BASED ON EARLIER DOCUMENTATION AND FIELD VERIFICATION OF APPARENT ITEMS. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE PLANS AND INFORMATION CONTAINED HEREIN.
11. THE ARCHITECT MUST BE NOTIFIED OF ANY LATENT AND UNFORESEEN CONDITIONS THAT MAY ADVERSELY AFFECT THE PROGRESS OF WORK.
12. SECURE ANY DAMAGED AREAS AS REQUIRED TO MAINTAIN A SAFE ENVIRONMENT FOR ADDITIONAL EVALUATION AND REMEDIATION.
13. WORK TO DEMOLITION DESCRIBED FOR THE EXISTING FACILITY AND SYSTEMS CANNOT POSSIBLY CONVEY ALL THE ELEMENTS OF THE DEMOLITION WORK. THE INTENT OF THE DEMOLITION NOTES CONTAINED HEREIN IS TO CONVEY THE MAJOR ITEMS TO BE REMOVED. THE NOTES ALSO IMPLY THAT ALL MINOR ITEMS COINCIDENT WITH A MAJOR ITEM BE REMOVED. THUS, THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE MINIMUM LIMITS AND NOT THE ENTIRE SCOPE OF WORK.



PROJECT
25.032
CARRI
RESIDENCE

10 SEASTRAND
DEWEY BEACH, DE
19971

ISSUE DATE
2/9/2026

CONSTRUCTION
DRAWINGS

REVISIONS

NO.	DATE.
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SCALE
As indicated

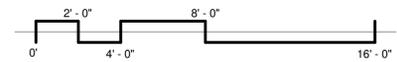
DEMOLITION
PLANS

A001



PHASING LEGEND

- EXISTING WALLS
- NEW WALLS
- EXISTING ELEMENTS
- NEW ELEMENTS

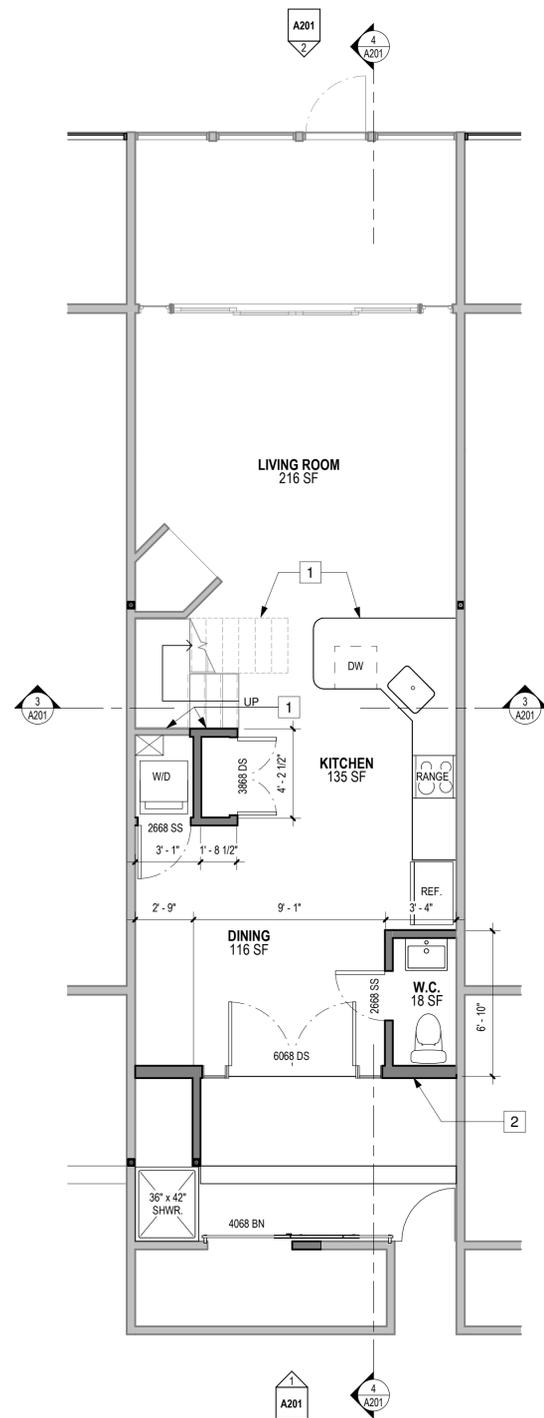


PLAN NOTES LEGEND

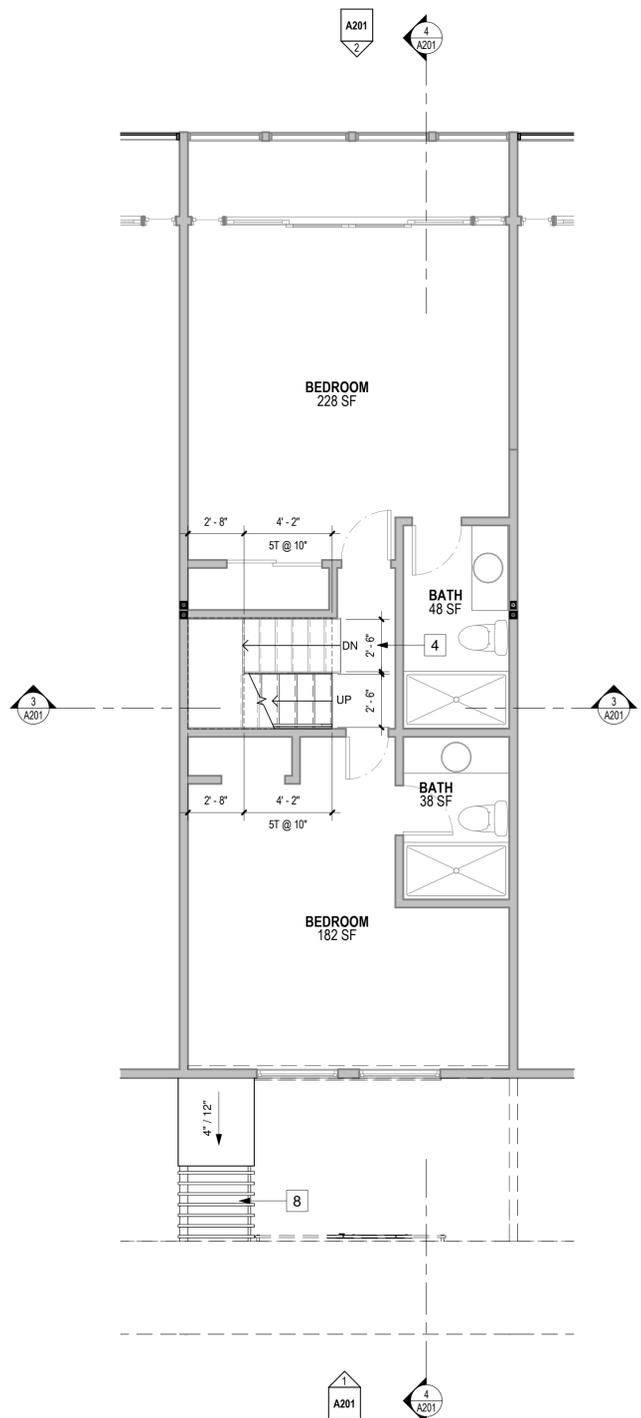
MARK	NOTE
1	ALIGN
2	ALIGN W (E) WALL ABOVE
3	BUILT IN BENCH BY CONTR.
4	STAIR WIDTH IS APPROX. MATCH (E)
5	PROVIDE 1HR FIRE RATED EXTERIOR WALLS OVER (E) DEMISING WALLS PER WALL TYPE DETAILS
6	2x6 STUD WALL
7	RIDGE VENT
8	PERGOLA BY CONTR.

PLAN NOTES

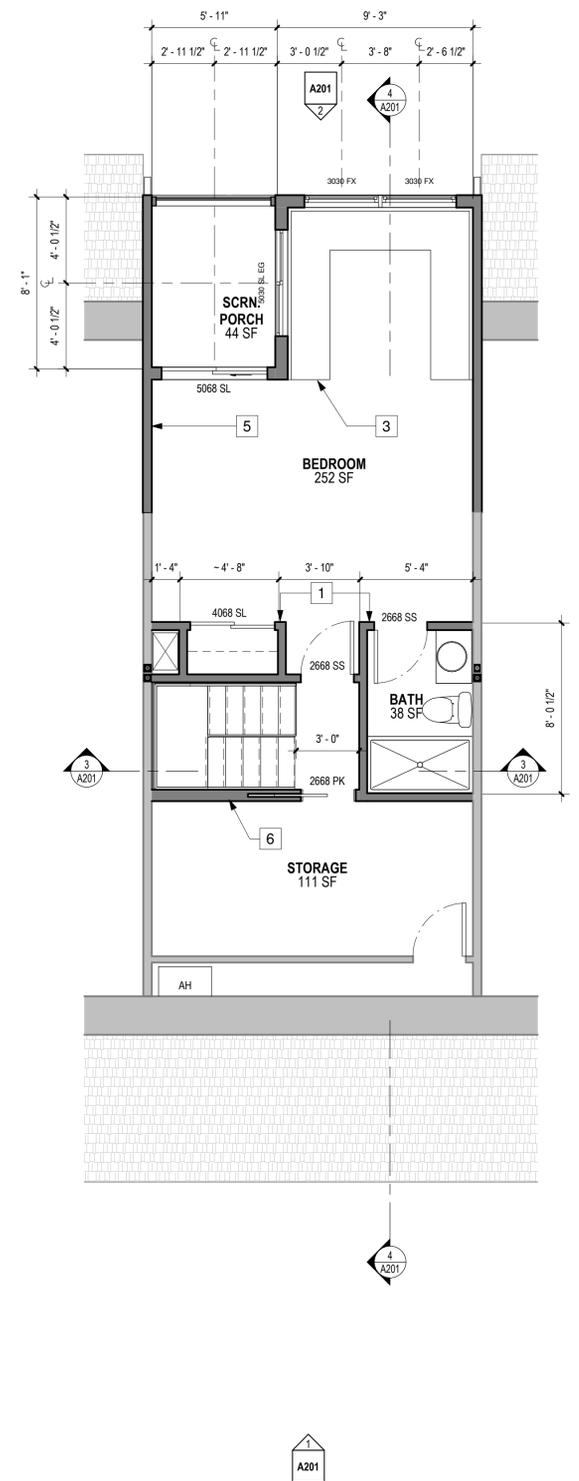
- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, EDGE OR CENTERLINE OF COLUMNS, OR CENTERLINE OF WALL ASSEMBLIES, UNLESS OTHERWISE NOTED. WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE, TOP OF CONCRETE, OR TOP OF CEMENT-BASED UNDERLAYMENT UNLESS OTHERWISE NOTED. DIMENSIONS TO EXISTING ELEMENTS ARE TO FACE OF FINISH WHEN EXISTING CONDITIONS ARE DOCUMENTED. DIMENSIONS TO EXISTING AND PROPOSED EXTERIOR WALLS ARE TO OUTSIDE EDGE OF FOUNDATION WALL.



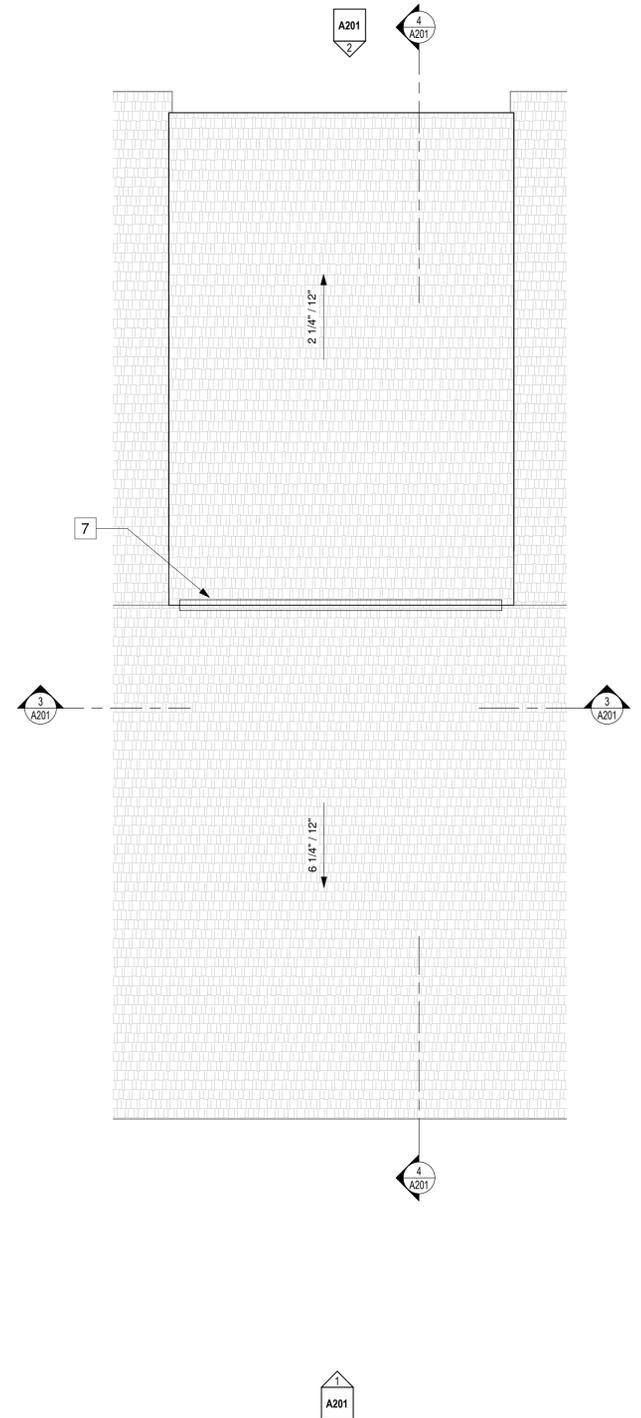
1 LEVEL 1 - PROPOSED
1/4" = 1'-0"



2 LEVEL 2 - PROPOSED
1/4" = 1'-0"



3 LEVEL 3 - PROPOSED
1/4" = 1'-0"

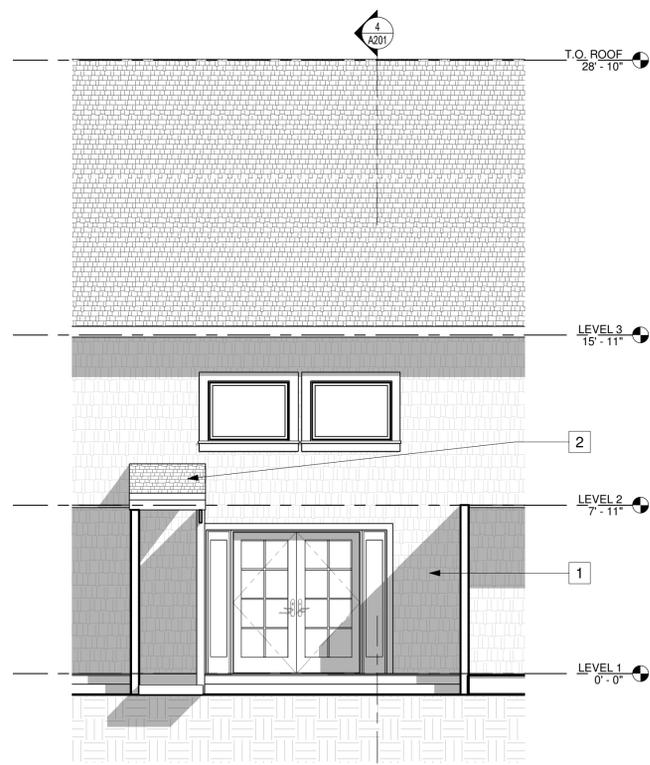


4 ROOF PLAN - PROPOSED
1/4" = 1'-0"

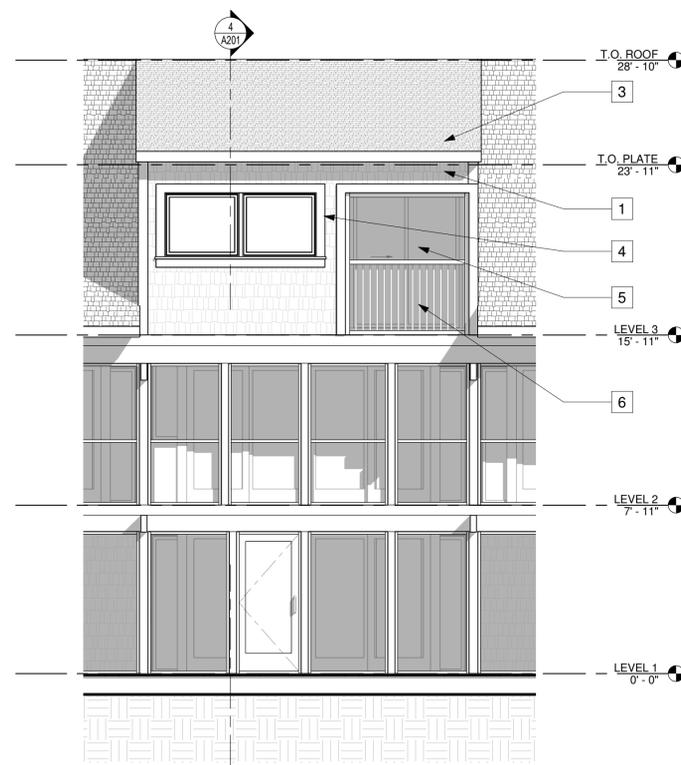
ELEVATION & SECTION NOTES	
MARK	NOTE
1	SHAKE SIDING TO MATCH (E)
2	ASPHALT SHINGLE ROOF
3	ASPHALT SHINGLE ROOF. PROVIDE SHINGLES WARRANTED FOR LOW SLOPE (2-12) ROOFS & ICE & WATER SHIELD OVER ENTIRE ROOF
4	CPVC TRIM
5	INSECT SCREEN
6	42" H GUARDRAIL BEHIND SCREEN
7	R-38 BATT INSUL.
8	R-21 BATT INSUL.
9	R-38 BATT INSUL. W/ CONT. VENTILATION BAFFLE
10	LINE (E) EXTERIOR CEILING W/ T&G BOARDS OVER (2) LAYERS OF R-10 RIGID INSUL & 10 MIL. VAPOR BARRIER. EXTEND VAPOR BARRIER DOWN EDGES OF ASSEMBLY.
11	SOFFIT VENT
12	VENTILATION BAFFLE
13	PERGOLA BY CONTR.

PHASING LEGEND

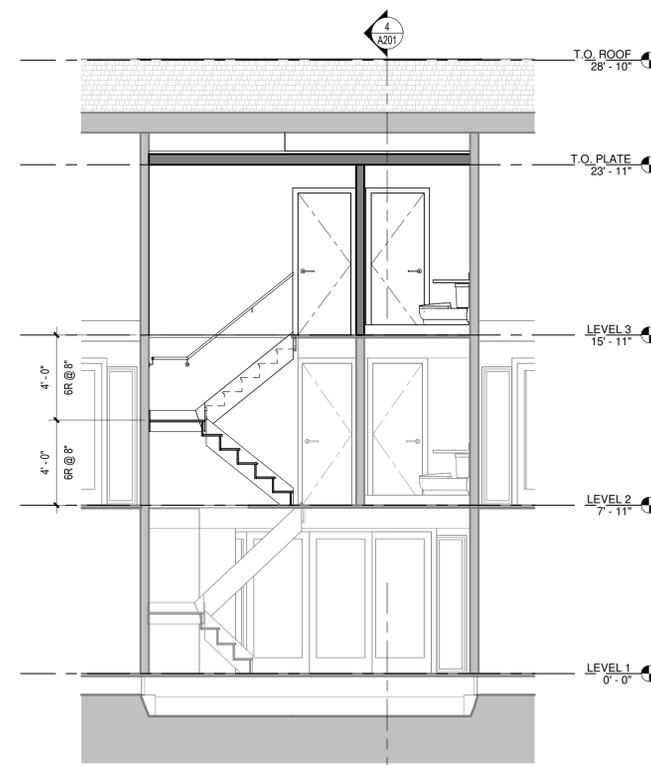
- EXISTING WALLS
- NEW WALLS
- EXISTING ELEMENTS
- NEW ELEMENTS



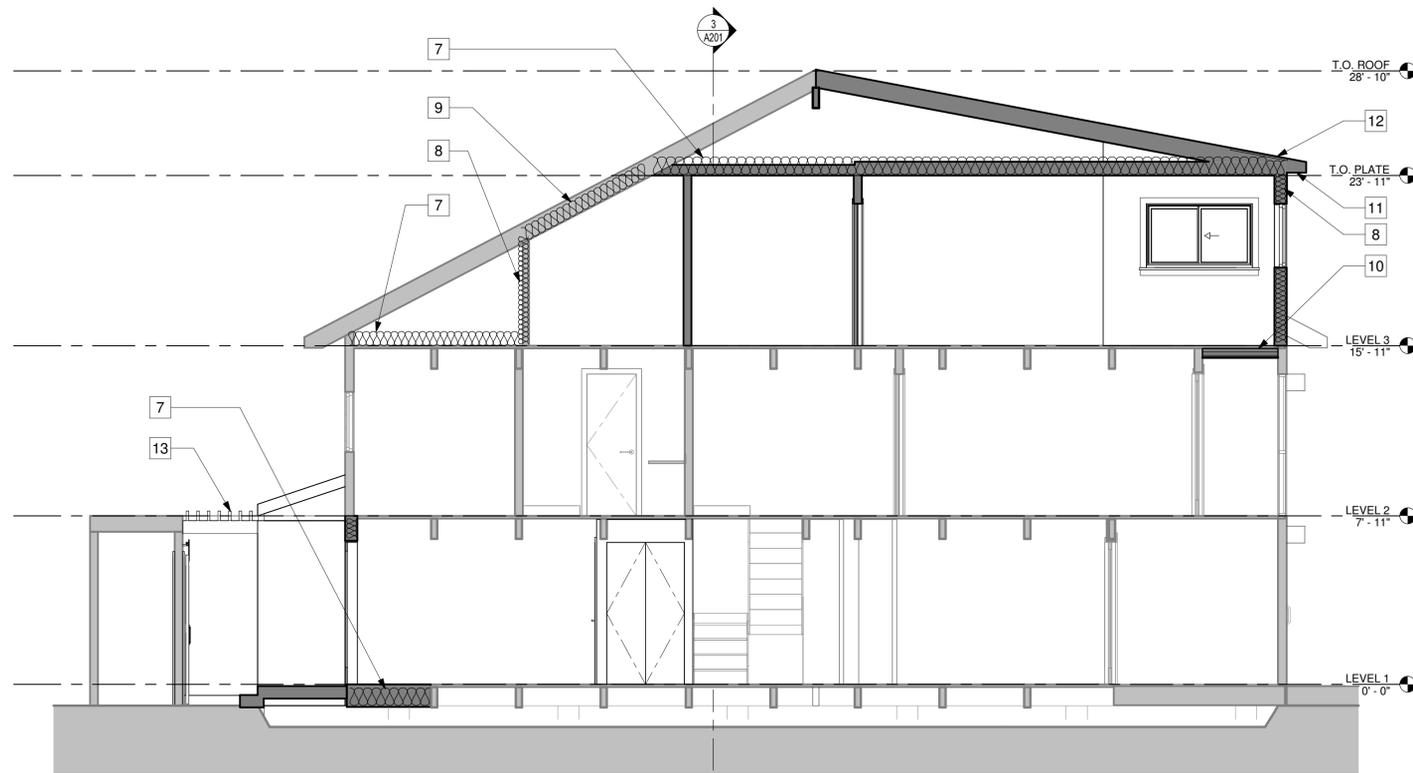
1 FRONT ELEVATION
1/4" = 1'-0"



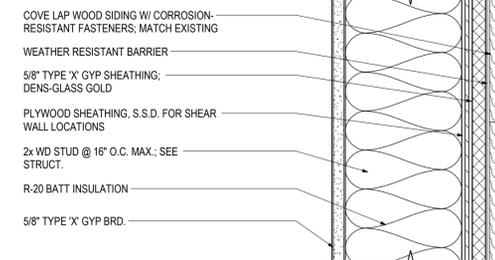
2 REAR ELEVATION
1/4" = 1'-0"



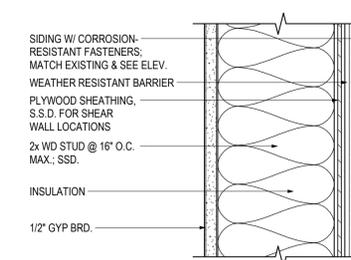
3 TRANSVERSE SECTION
1/4" = 1'-0"



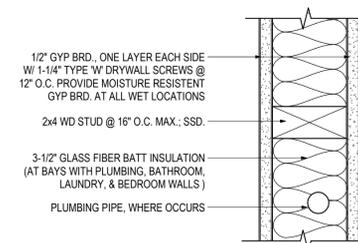
4 LONGITUDINAL SECTION
1/4" = 1'-0"



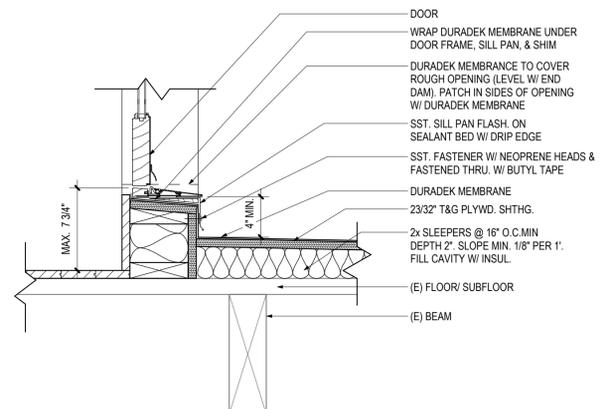
EXTERIOR FIRE RATED WALL
FIRE RATING: 1-HR. PER GA FILE WP 8105
SOUND RATING: N/A



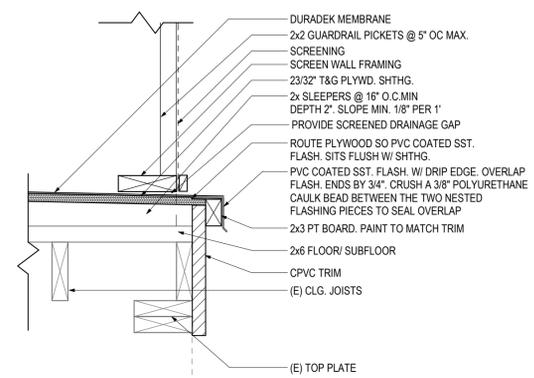
TYPICAL EXTERIOR WALL



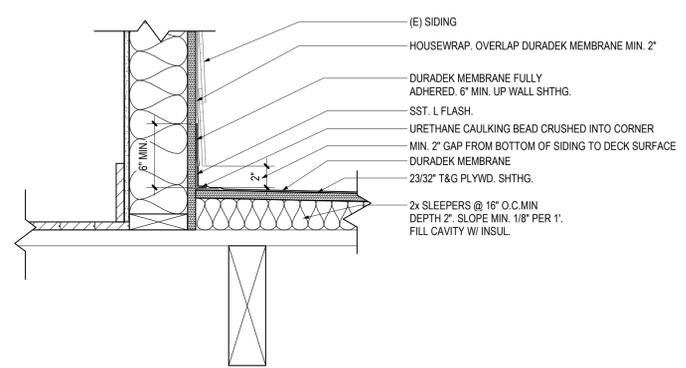
TYPICAL INTERIOR WALL



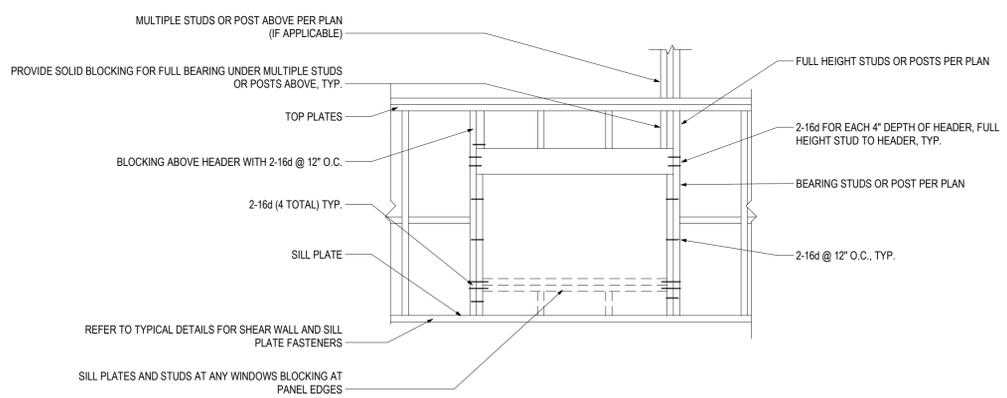
1 SCR. PORCH DETAIL @ DOOR
1 1/2" = 1'-0"



2 SCR. PORCH DETAIL @ EDGE OF PORCH
1 1/2" = 1'-0"



3 SCR. PORCH DETAIL @ WALL
1 1/2" = 1'-0"



4 TYPICAL HEADER FRAMING DETAIL
12" = 1'-0"



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NO. DATE.

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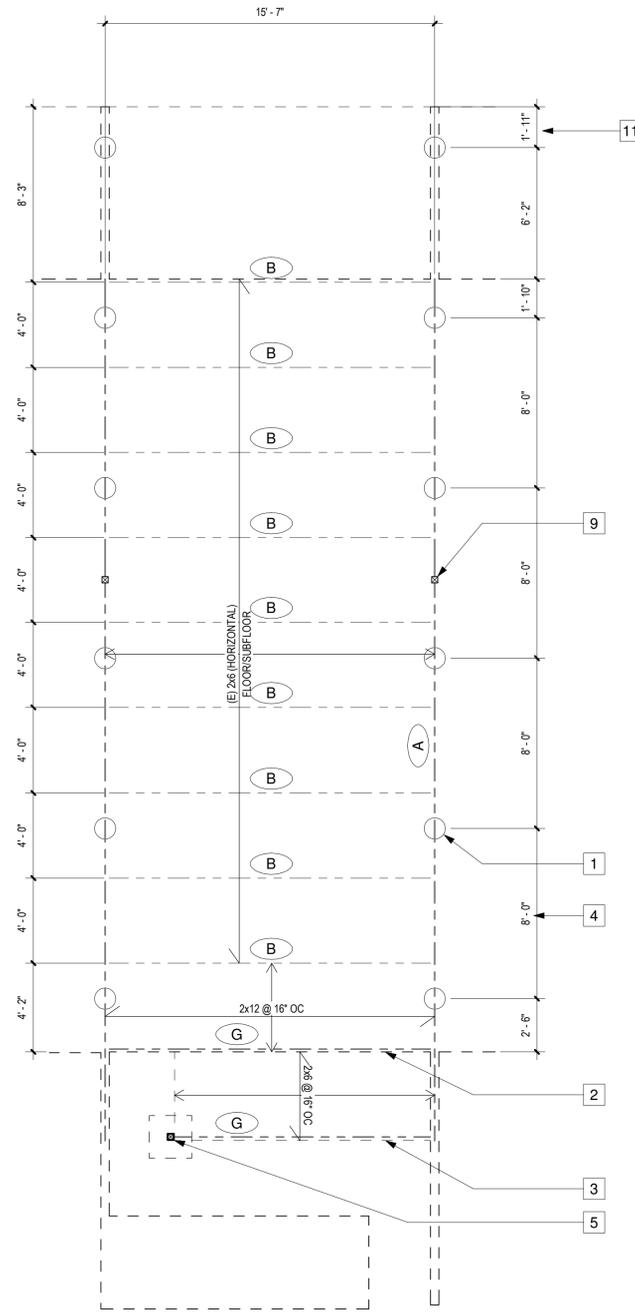
DETAILS

A501

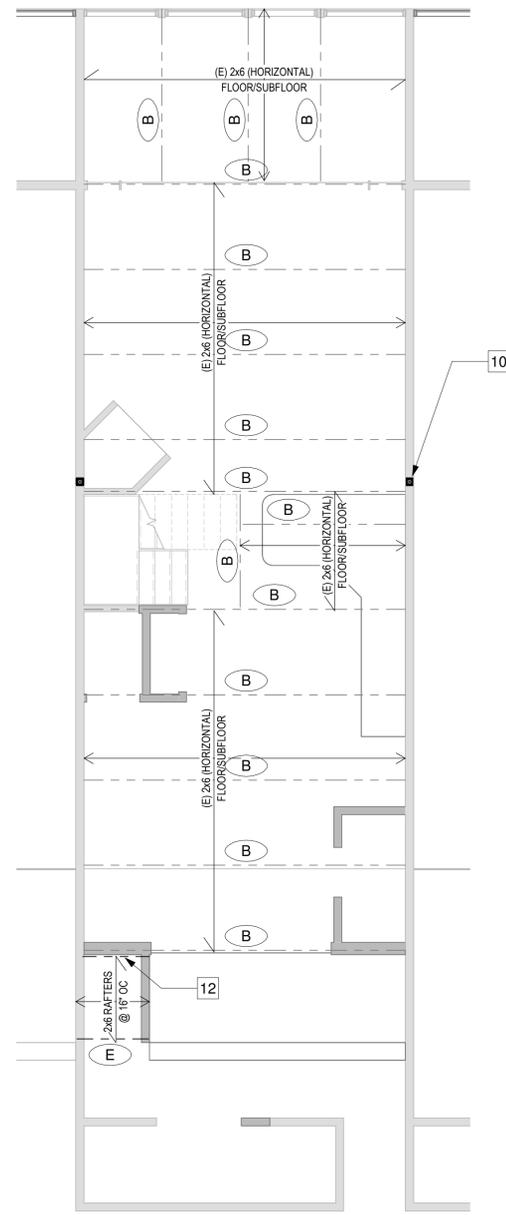
- PHASING LEGEND**
- EXISTING WALLS/FLOORS/ROOFS
 - NEW WALLS/FLOORS/ROOFS
 - EXISTING ELEMENTS
 - NEW ELEMENTS

FRAMING NOTES	
MARK	NOTE
1	(E) 12" WOOD PIER (TYP)
2	EDGE OF WALL ABOVE (TYP)
3	EDGE OF FLOOR ABOVE (TYP)
4	SPACING OF (E) COLUMNS IS APPROX. VERIFY IN FIELD.
5	4x4 POST W/ 12" x 12" CONC. FTG.
6	JOIST HANGER (TYP)
7	EDGE OF ROOF ABOVE
8	EDGE OF WALL BELOW
9	POST ABOVE. PROVIDE CONT. BLKG. TO (E) BEAM. WOOD GRAIN IN BLOCKING SHALL BE VERTICAL. (TYP)
10	MIN. TRIPLE WALL FRAMING. FRAMING CONT. DOWN TO THE FOUNDATION. BLOCK AS NECESSARY. WOOD GRAIN IN BLOCKING SHALL BE VERTICAL.
11	CONTR. TO VERIFY DISTANCE FROM PIER TO EXTERIOR WALL
12	LEDGER. FASTEN TO (E) STUDS
13	POST. VERIFY & ALIGN W/ (E) POSTS BELOW

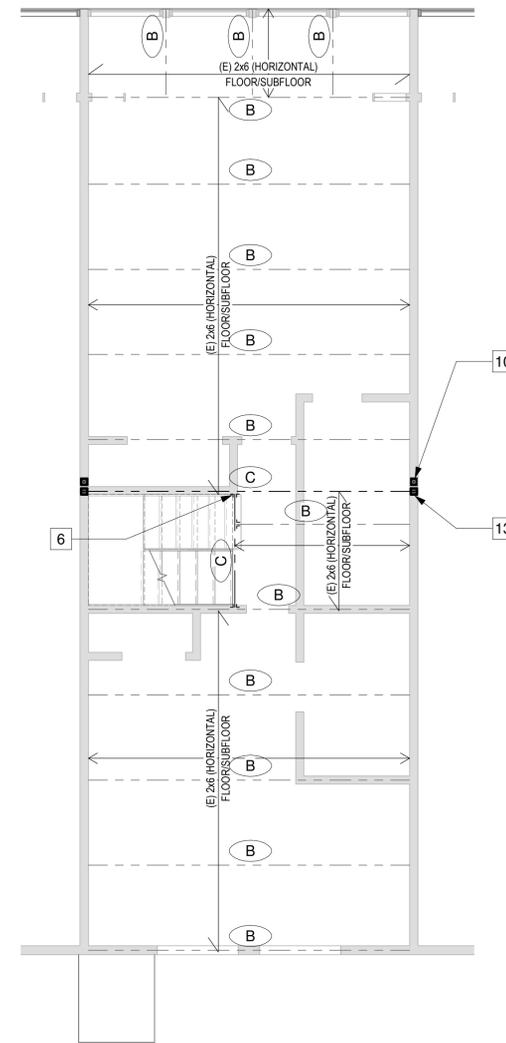
FRAMING SCHEDULE	
MARK	NOTE
A	(E) (3) 4x12
B	(E) 4x12
C	4x12
D	(3) 1 3/4" x 11 1/4" OR (2) 1 3/4" x 14" 2.0E MICROLAM LVL
E	2x8 BEAM
F	(2) 2x8 HEADER, MIN (2) 2x JACK STUDS
G	(2) 2x12 BEAM



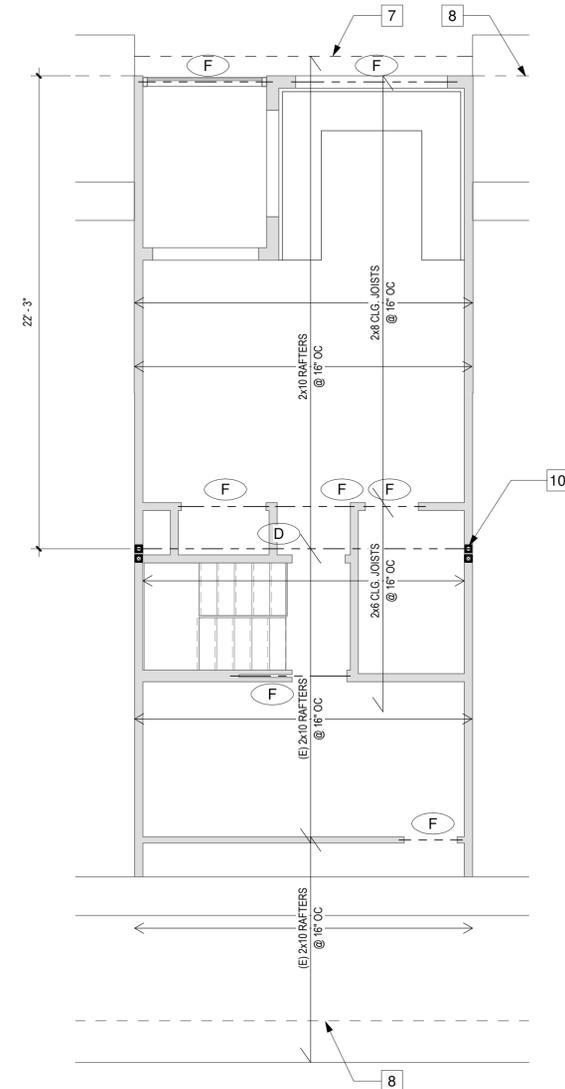
1 FOUNDATION/FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



2 LEVEL 2 - FRAMING PLAN
1/4" = 1'-0"



3 LEVEL 3 FRAMING PLAN
1/4" = 1'-0"



4 ROOF FRAMING PLAN
1/4" = 1'-0"



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**FRAMING
PLANS**

S101