



# MEMORANDUM

CITY OF WATERTOWN, NEW YORK  
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT  
245 WASHINGTON STREET, ROOM 305, WATERTOWN, NY 13601  
PHONE: 315-785-7741 – FAX: 315-782-9014

**TO:** Planning Board Members  
**FROM:** Michael A. Lumbis, Planning and Community Development Director  
**PRIMARY REVIEWER:** Geoffrey T. Urda, Planner  
**SUBJECT:** Site Plan Approval – 155 Clinton Street  
**DATE:** June 1, 2023  
**Request:** Site Plan Approval to construct a 2,378 SF building addition, a 253 SF building addition and a 9,500 SF sq. ft. parking lot expansion at **155 Clinton Street**, Parcel Number 10-07-109.100  
**Applicant:** Design Build Innovations, LLC  
**Proposed Use:** Professional Office Building  
**Property Owners:** Clinton Center Development, LLC

<b>Submitted:</b>	
Property Survey: Yes	Preliminary Architectural Drawings: Yes
Site Plan: Yes	Preliminary Site Engineering Plans: Yes
Vehicle and Pedestrian Circulation Plan: No	Construction Time Schedule: Yes
Landscaping and Grading Plan: Land. Only	Description of Uses, Hours & Traffic Volume: Yes

SEQRA: Unlisted

Jefferson County 239-m Review: No

<b>Zoning Information:</b>	
District: Downtown	Maximum Lot Coverage: None
Setback Requirements: F: 0', S: 0', R: 0'	Buffer Zones Required: Yes

**Project Overview:** The applicant proposes to rehabilitate one of the two existing buildings on the subject parcel, including constructing two additions, and proposes to demolish the other existing building on the site. The applicant also proposes to resurface the existing parking lot. The proposed redevelopment is focused on the northern section of the parcel, with the southern section proposed to remain unimproved as the applicant does not yet have plans for developing that area.

The applicant proposes to demolish the existing one-story building at the northwest corner of the site, at the intersection of Clinton and Sherman Streets (see picture). The City Code Enforcement Bureau will require the applicant to adhere to all applicable asbestos laws related to demolition.

The applicant proposes to rehabilitate the existing two-story building at the northeast corner of the site (see picture) and construct an addition on the western face of this building to act as a main entrance lobby, with a second addition proposed for the southern face of the building.

The applicant does not identify square footages on the site plan. However, City Assessment records and the applicant's previous 2019 Site Plan submission indicate that the existing structure has a 12,000 square-foot (SF) footprint for 24,000 SF of existing total area. Staff measurements of the submitted plan indicate that the proposed western addition would be approximately 2,378 SF and the proposed southern addition would be approximately 253 SF.

**Existing Conditions:** The subject parcel contains the two aforementioned abandoned buildings, with existing asphalt, gravel, dumpsters and construction debris currently covering much of the rest of the parcel. There is a thin strip of existing lawn at some edges of the property (see picture). The subject parcel is bounded on three sides (north, west, south) by Clinton Street, Sherman Street and Mullin Street respectively. It is bounded to the east by the new Watertown Savings Bank (WSB) building. The existing uses across the three streets are a mix of residential, converted residential and office uses, as well as the Cleveland Funeral Home, which is kitty corner across Sherman and Mullin Streets.

**Zoning:** The subject property is in the Downtown Zoning District. The abutting WSB property and the north side of the 100-block of Clinton Street are also zoned Downtown. All the other properties across Sherman and Mullin Streets are zoned Urban Mixed Use, which functions as a downtown transition zone (see attached Zoning map).

The Zoning Ordinance allows the proposed office use with Site Plan Approval in the Downtown District. Adherence to various sections of the Zoning Ordinance is discussed within each applicable section below.

**Comprehensive Plan:** The City's adopted Comprehensive Plan recommends the future land use character area of these parcels as Downtown / Central Business District. The plan describes the Downtown / Central Business District future land use character area as follows:

*"This district has the highest density, greatest variety of uses, and includes buildings of regional and historic significance. New infill development should reinforce the urban and historic character. Buildings are taller than in other parts of the City and parking is generally off-site. On-site parking, where it exists, is behind the building to preserve the historic building pattern and reinforce the walkable nature of downtown."*

Regarding consistency with the future land use character area, the main entrance to the building faces a parking lot and does not address the sidewalk. The primary entrance faces west, with three drive aisles and four rows of parking separating the entrance from the Sherman Street sidewalk.

However, since this is a rehabilitation of an existing building, the building's footprint and orientation on the parcel is an existing condition. The site plan, as submitted, appears to depict a secondary entrance on the north side of the building fronting the Clinton Street sidewalk. The applicant is also proposing an internal sidewalk connection to both the Sherman Street and Clinton Street sidewalks, the former of which contains a series of three internal crosswalks across the drive aisles.

While the parking lot is not behind the building, as the Comprehensive Plan prescribes, meaning that the layout and orientation are not what the Comprehensive Plan envisions, the proposed office use is in harmony with the Comprehensive Plan. Form-based harmony with the Comprehensive Plan is discussed in the Urban Design section that follows below.

**Urban Design:** Section 310-21 of the Zoning Ordinance, which governs dimensional regulations, contains the following transparency requirements for building façades in the Downtown District:

A	Ground floor transparency, front façade (min.)	75%
B	Ground floor transparency, corner side façade (min.)	50%
C	Upper floor transparency, front and corner side facades (min)	30%

The applicant did not include transparency calculations with the submitted elevation drawings. However, the applicant is responsible for submitting those calculations, and if the applicant seeks less transparency than the Zoning Ordinance requires, then such a reduction in transparency could only be legal with the relief of an Area Variance granted by the Zoning Board of Appeals. While the applicant did not include transparency calculations, it is evident from a cursory review of the elevation drawings that the ground-floor requirements are not being met.

In line with the Downtown / Central Business District future land use character area, as defined in the Comprehensive Plan, the purpose of the Downtown District, as defined in the Zoning Ordinance, is:

*“Intended to encourage pedestrian activity, the intent of the Downtown District is to cultivate a vibrant public realm and function as a regional employment hub, the Downtown District has the highest density of development with the greatest variety of uses. New infill development should respect the historic character of downtown, reinforce the urban character and emphasize walkability. Buildings are taller than in other parts of the city and parking needs are generally met by off-site lots, whether public or private. On-site parking, where it exists, is behind the building to preserve the historic building pattern and reinforce the pedestrian-oriented nature of downtown.”*

First-floor transparency in particular is a core urban design principle when attempting to cultivate a pedestrian-oriented setting. Thus, the 75 percent ground floor transparency requirement Downtown, which is higher than any other Zoning district in the City.

**Transportation Demand Management Plan:** Section 310-36 of the Zoning Ordinance, which governs the maximum number of off-street surface parking spaces allowed for new development in each district, allows a maximum zero spaces in the Downtown District without a Transportation Demand Management Plan (TDMP). Section 310-36 (E)(4) specifically states:

*“Parking lots of any size in the Downtown shall require a TDMP.”*

This is in line with the District Purpose as stated in Section 310-12, which is quoted above in this memorandum. The purpose of the TDMP is to demonstrate that the need for parking cannot reasonably be met through the provision of on-street parking, shared parking with adjacent or nearby uses or met by public parking. It is also used to demonstrate that the design of the site supports high levels of existing or planned transit and pedestrian activity.

The applicant has not submitted the required TDMP and is responsible for submitting one for Planning Commission and Staff review that meets all applicable requirements of Section 310-36 of the Zoning Ordinance. Since the proposed lot exceeds 75 spaces (the applicant identifies 89 on the Zoning Regulations Table), this includes a Level of Service analysis.

Finally, while the table identifies 89 spaces, the site plan drawing appears to contain 90 spaces. The applicant shall clarify this discrepancy.

**Vehicular and Pedestrian Circulation:** The applicant did not submit a formal Vehicular and Pedestrian Circulation Plan, which is a required drawing within a Site Plan Application package. The C102 (Site Plan) drawing contains some of the required elements of a Vehicular and Pedestrian Circulation Plan. However, it does not contain the movements of a City fire truck and a refuse vehicle. The analysis below is based on the information available on the C102 drawing.

Vehicular access to the proposed parking lot would be via curb cuts on both Clinton and Mullin Streets, connected by an internal north-south drive aisle that runs from one curb cut to the other. The applicant proposes a 24' wide drive aisle, which is sufficient for two-way internal traffic.

The applicant proposes an east-west internal drive aisle that would cross the eastern property line and connect directly to the adjacent WSB parking lot without the need to exit to the street. As discussed in the Comprehensive Plan section of this memorandum, the applicant also proposes an internal sidewalk network, connecting to/from Clinton and Sherman Streets.

Section 310-37 of the Zoning Ordinance, which governs parking lot standards, requires two electric vehicle (EV) charging ports for every 20 spaces. The applicant is proposing eight EV ports.

**Landscaping:** Section 310-83 of the Zoning Ordinance requires a 15-foot-wide landscaped strip along all Rights-of-Way (ROW) in the Downtown District, unless a building utilizes a setback of 0-to-15 feet, in which case any available space between the building and the ROW shall be landscaped. The applicant is proposing a 10' wide strip along the ROW along Sherman St. Since the parking spaces in this area exist, the proposed width is acceptable.

The applicant is proposing a 9'-3"-wide landscaped strip along the ROW on Clinton Street, 5'-9" narrower than the Zoning Ordinance requires. Since this is a new parking area, the applicant is responsible for meeting all applicable requirements of the Zoning Ordinance and must increase the width to 15 feet.

In addition to the 15' that must be provided, Section 310-83 requires the following for Landscaped Strips Along Street Rights-of-Way:

*"Within the landscaped strip, one (1) large deciduous tree (2" DBH minimum) shall be provided every forty (40) linear feet or one (1) small to medium deciduous tree (1.5" DBH minimum) shall be provided every twenty (20) linear feet. Planting beds with shrubs, perennials, annuals, native or ornamental grasses are recommended in between the trees."*

and the following for Interior Parking Lot Landscaping:

*"Interior parking lot trees and landscaping is required in addition to the landscaped strip. Trees shall be provided in each parking lot at a minimum average density of one (1) large deciduous tree (two-inch DBH) for each fifteen (15) parking spaces, or any fraction thereof."*

The applicant proposes four interior landscaped islands as well as a landscaped area adjacent to the west façade of the building. However, the applicant only proposes topsoil with grass seed for the former and decorative stone gravel with shrubs for the latter.

The site plan, as submitted, does not depict any landscaping on the southern half of the parcel, where no development is proposed at this time. Although, the applicant does propose new tree planting in the street margins of Sherman and Mullin Street adjacent to the southern section of the site.

The applicant proposes two new trees at the northern edge of the property, one in the snow storage area at the corner of Sherman and Clinton Streets and one adjacent to the proposed curb cut on Clinton Street.

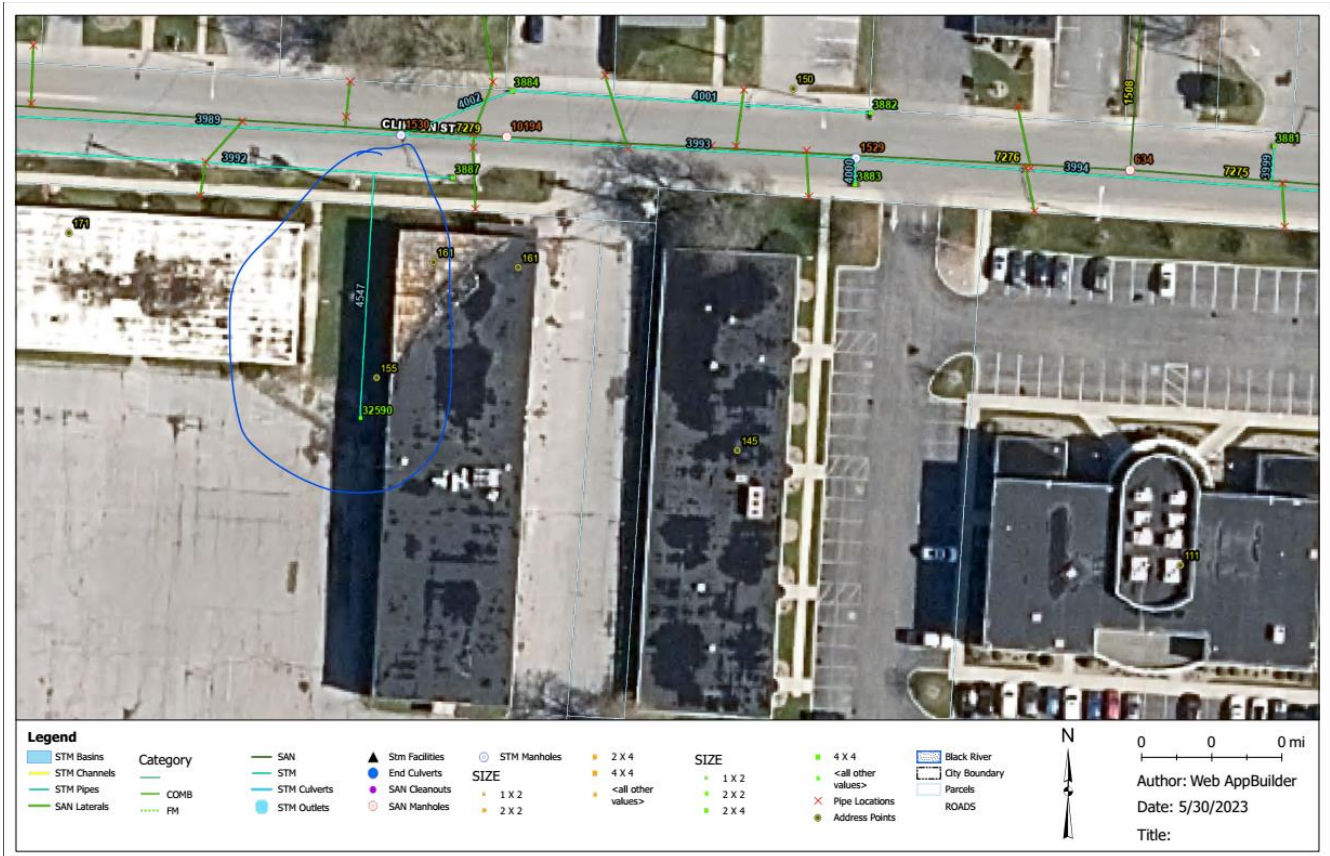
In the cases of the above requirements (15-foot ROW-adjacent landscaping, and interior parking lot trees), the applicant shall either bring the proposed site plan into conformance with the Zoning Ordinance or appeal for relief in the form of Area Variances from the Zoning Board of Appeals.

**Setbacks:** The applicant proposes to rehabilitate an existing building within its current footprint other than the two proposed additions on the west and south sides. Therefore, although the Downtown District allows a maximum 10-foot front yard setback and the west (Sherman Street) side of the property is the functional front yard with a 181-foot setback, the building footprint is an existing condition, and this setback enjoys legal nonconforming (“grandfathered”) status.

**Lighting:** The applicant submitted a photometric plan that contains a luminaire schedule and footcandle measurements. Section 310-84 of the Zoning Ordinance states that light trespass across property lines shall not exceed 0.5 footcandles. It appears that light trespass of 0.6 to 0.7 footcandles occurs along the eastern property line. The Zoning Ordinance allows the Planning Commission to modify the lighting standards if it feels that the existing circumstances of the property or adjacent uses warrant a change. The Planning Commission should decide whether or not the light trespass is significant enough to require a change to lighting plan.

**Grading, Drainage and Utilities:** The C103 (Utility Plan) depicts a sanitary sewer line extending south from Clinton Street to the proposed western building addition. There is an existing storm sewer line in that location now (see image on next page). There is also an existing catch basin at the south end of the storm line that would be directly underneath the proposed western building addition.

The applicant shall clarify to the City Engineering Department exactly what is proposed for this pipe and catch basin. If both are proposed for elimination, the applicant shall add a note to the site plan to that effect and clarify for Staff if this will be mitigated elsewhere on the site.



In addition, the storm line identified above connects to an existing storm line in the Clinton Street ROW underneath the section where the applicant proposes to expand the margin and move the curb line out. The applicant shall be aware of this storm line and avoid damaging it during construction.

Both the C102 and C103 drawings contain contour lines. It appears that these are existing contours. The applicant must add a label to one of the drawings calling out the nature of the contour lines.

The applicant did not submit a Grading Plan and there are no proposed contours or spot elevations shown on the site utility plan. The applicant is proposing several landscaped islands containing yard drains with steel domed covers, connected by 6” HDPE pipe. This parking lot drainage system connects to a City catch basin located at the southeast corner of the Clinton St./Sherman St. intersection. The applicant must either add grading, invert elevation information, pipe slopes and other pertinent data to the C103 drawing or submit a dedicated Grading Plan drawing with all required information.

Additionally, the City will require a manhole boot connector (a.k.a.: boot style connection) in the City catch basin. The applicant shall also add a construction detail and note providing information regarding the proposed connection to the City catch basin.

The applicant should be aware that minor flooding does occur on this site with 20-year or greater storms, and the building proposed for rehabilitation was vulnerable to interior flooding during its previous useful life. The applicant shall be prepared to clarify where their roof drains are proposed to connect to.

The proposed action will disturb more than one acre, and as such, depending on the depth of the proposed excavation, the City Engineering Department may require the applicant to provide a Stormwater Pollution Prevention Plan (SWPPP). The applicant shall be prepared to discuss the potential for a SWPPP at the Planning Commission meeting.

Finally, while it need not be a condition of Site Plan Approval, the applicant should consider incorporating some form of stormwater retention system on the site to mitigate runoff.

The applicant states in the Engineering Report that “the local energy provider will be responsible for the installation of the new service to the existing pole.” The applicant must coordinate this with National Grid. The applicant shall also depict and label all existing and proposed fire hydrants.

**SEQR:** This project is considered an Unlisted Action under the State Environmental Quality Review Act (SEQRA). The applicant must submit a completed Part 1 of a Short Environmental Assessment Form (EAF). Upon receipt, the Planning Commission, as Lead Agency, must complete Part 2 of the Short EAF.

As a point of clarification of SEQRA Law, Section 6 CRR-NY 617.4 of the Official Compilation of Codes, Rules and Regulations of the State of New York, which defines Type 1 Actions pursuant to SEQRA, identifies “any Unlisted action (unless the action is designed for the preservation of the facility or site), that exceeds 25 percent of any threshold established in this section, occurring wholly or partially within, or substantially contiguous to, any historic building, structure, facility, site or district or prehistoric site that is listed on the National Register of Historic Places” as a Type 1 Action.

One such threshold that the Code identifies is “a project or action that involves the physical alteration of 10 acres,” meaning that 25 percent of that threshold is 2.5 acres. However, while the subject parcel is greater than 2.5 acres, the area that the applicant proposes to disturb as part of the redevelopment is between 1.5 and 1.6 acres. Therefore, the proposed Site Plan would remain an Unlisted Action.

**Miscellaneous:** As the applicant is proposing the demolition of one of the existing structures on the site, they must obtain a Demolition Permit from the City Code Enforcement Bureau and provide a Demolition Plan as part of the permitting process if the Bureau requires one.

**Permits:** The applicant must obtain the following permits and other documentation, minimally, prior to construction: Demolition Permit, Building Permit, MS4 Acceptance Permit, Sanitary/Storm Sewer Connection Permit, Sidewalk Permit, Water Supply, Permit, a General City Permit for work within the Right-of-Way (ROW) and a Zoning Compliance Certificate.

**Staff Recommendation:** The Planning Commission cannot approve an application with pending potential Variances. In addition, a proper and thorough Site Plan review would require receipt of a more complete application, with all required elements.

*Planning Staff recommends that the Planning commission table the application.*

**Summary Items:** The following should be satisfied by the applicant prior to any Planning Commission motion granting approval:

1. The applicant shall submit transparency calculations for the proposed building facades and must either increase transparency levels to meet the requirements of the Zoning Ordinance or apply for and obtain an Area Variance from the Zoning Board of Appeals granting relief from the requirements.

2. The applicant shall submit a Transportation Demand Management Plan (TDMP) that contains all the requirements identified in Section 310-36 of the Zoning Ordinance.
3. The applicant shall clarify the accurate number of proposed parking spaces on the site.
4. The applicant shall either add the movements of a City Fire Truck and a refuse/delivery vehicle to the C102 drawing or submit a formal Vehicular and Pedestrian Circulation Plan drawing.
5. The applicant shall either provide a 15-foot-wide landscaped strip with trees along the Right-of-Way (ROW) on Clinton Street or apply for and obtain an Area Variance from the Zoning Board of Appeals granting relief from this requirement.
6. The applicant shall either add interior parking lot trees to the Landscaping Plan to meet the requirements of the Zoning Ordinance or apply for and obtain an Area Variance from the Zoning Board of Appeals granting relief from the requirements.
7. The Planning Commission must determine whether the proposed light trespass across the eastern property line is acceptable and whether to modify the limits set forth in the Zoning Ordinance.
8. The applicant shall clarify what is proposed regarding the existing storm sewer line connecting from Clinton Street and the catch basin it connects to, as it relates to the sanitary sewer line depicted on the C103 drawing.
9. The applicant shall be responsible for preventing damage to the existing storm line underneath Clinton Street where the applicant is proposing to widen the margin and move the curb line.
10. The applicant shall add a label to either the C102 or C103 drawing that identifies whether the depicted contour lines are existing or proposed.
11. The applicant must either add grading, invert elevation information, pipe slopes and other pertinent data to the C103 drawing or submit a dedicated Grading Plan drawing with all required information.
12. The applicant must add a construction detail and note providing information regarding the proposed manhole boot connector that will be required for connection to the City catch basin.
13. The applicant shall be prepared to clarify where their roof drains are proposed to connect to.
14. The applicant shall be prepared to discuss the potential for the City Engineering Department to require a SWPPP.
15. The applicant should consider incorporating some form of stormwater retention system on the site.
16. The applicant shall depict and label all existing and proposed fire hydrants on the plan drawing.
17. The applicant must complete and submit Part 1 of a SEQR Short EAF, as the proposed action is an Unlisted Action under SEQRA.
18. The applicant must obtain a Demolition Permit from the City Code Enforcement Bureau and provide a Demolition Plan as part of the permitting process if the Bureau requires one.



19. The applicant must obtain, minimally, the following permits prior to construction: Demolition Permit, Building Permit, MS4 Acceptance Permit, Sanitary/Storm Sewer Connection Permit, Sidewalk Permit, Water Supply, Permit, a General City Permit for work within the Right-of-Way (ROW) and a Zoning Compliance Certificate.

cc: Meredith Griffin, Civil Engineer II  
Michael LaSell, MBL Engineering, 16510 Balch Place, Mannsville, NY 13661  
Michael E. Lundy, President, Design Build Innovation, LLC, 206 Ambrose St,  
Sackets Harbor, NY 13685

## Site Photos



**Above:** A view looking west along the north end of the site (south side of Clinton Street) of the one-story building proposed for demolition.

**Below:** A view looking northeast from the Sherman Street side of the property of the one-story building proposed for demolition.





**Above:** A view looking southeast from Clinton Street of the west face of the existing two-story building proposed for rehabilitation. This would become the functional front face following the proposed rehabilitation.  
**Below:** A view of the existing north entrance to the two-story building proposed for rehabilitation fronting on Clinton Street.





**Above:** A view looking south from the corner of Clinton and Mullin Streets of an existing lawn area along the western edge of the site (east side of Sherman Street). The one-story building proposed for demolition is at the left in the photo.

**Below:** A view looking south of the southwest corner of the site proposed as “remaining parking area to be reserved for future development.”



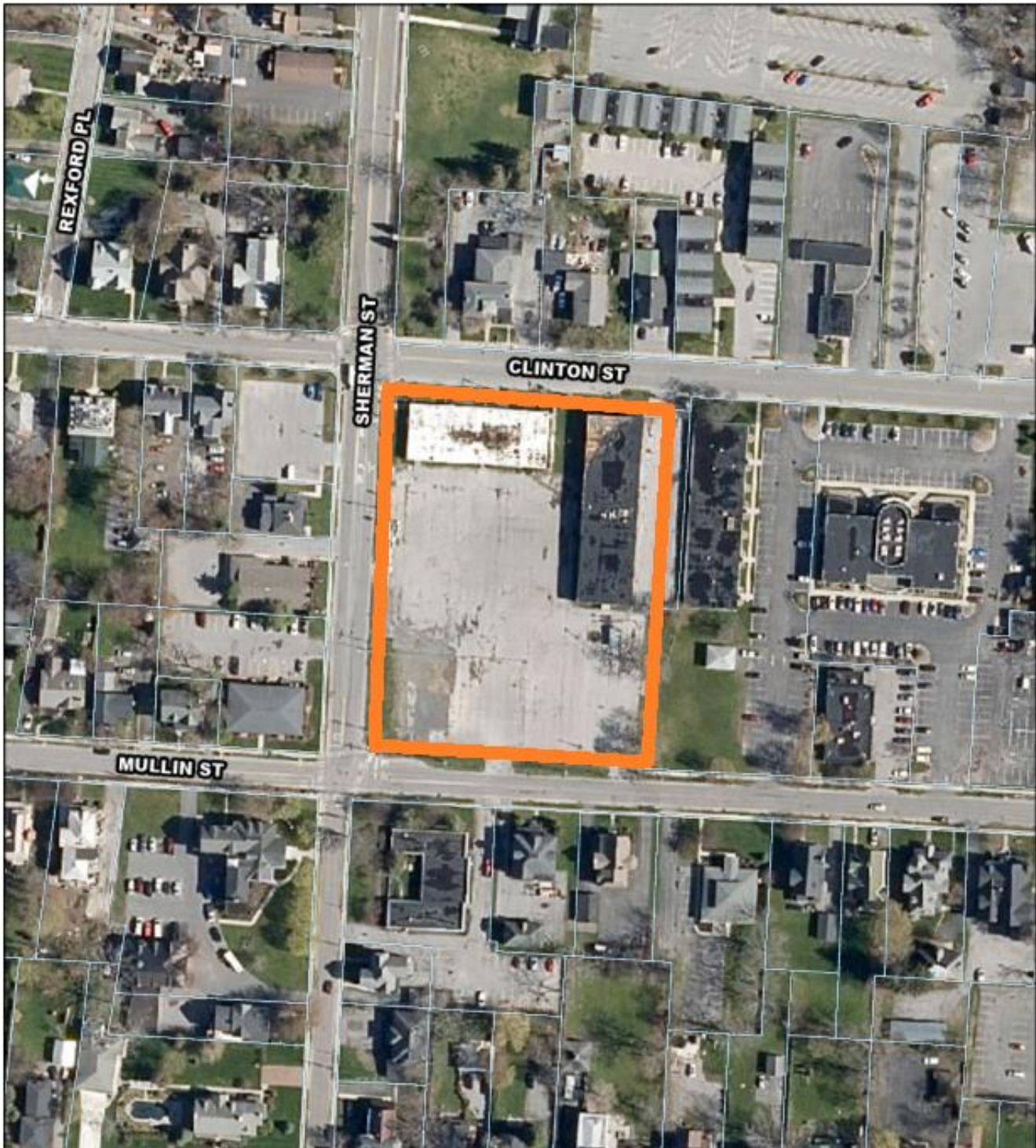


**Above:** A view looking east of the south end of the site proposed as “remaining parking area to be reserved for future development.” The Dulles State Office Building is in the background.

**Below:** A view of the existing curb cut connecting from Mullin Street. A preliminary measurement of the submitted site plan indicates that this curb cut would shift approximately 20 feet to the east (left).



**Below:** A satellite view of the two parcels that will make up the proposed parking lot.



**Legend**

-  Black River
-  City Boundary
-  Parcels
- ROADS



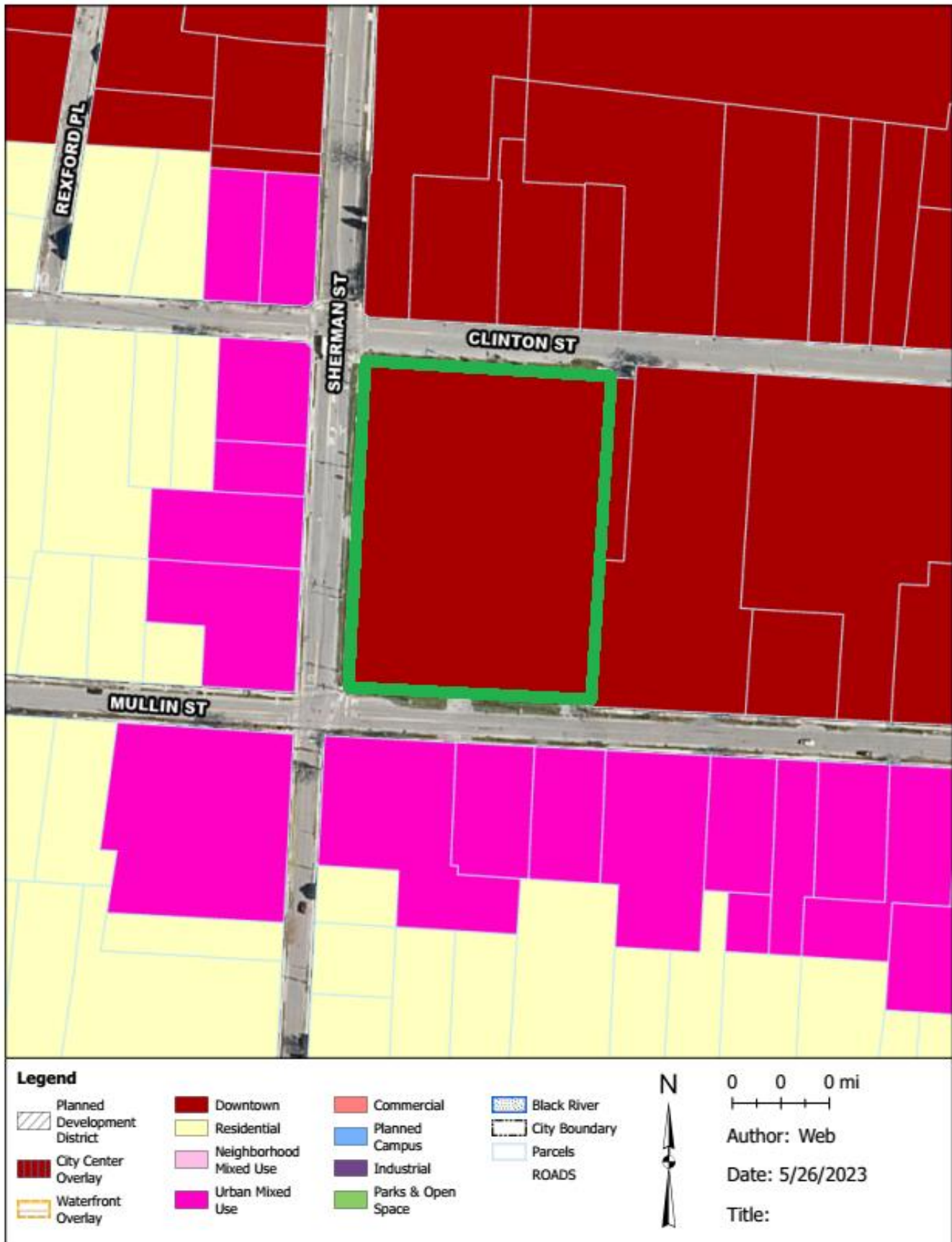
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Author: Web

Date: 5/26/2023

Title:

Below: A Zoning map of the subject parcel and its surrounding area.





*A Lundy Group Company*

18841 US Route 11  
Watertown, NY 13601

Telephone: 315-493-2493  
Fax: 315-493-2004

May 23, 2023

Mr. Mike Lumbis, Director  
Planning and Community Development  
City of Watertown  
245 Washington Street  
Watertown, NY 13601

RE: Clinton Center Site Plan Approval Submission (055-22-009)

Dear Mr. Lumbis:

On behalf of Clinton Center Development, LLC, we are submitting a complete site plan package for review at the June 6, 2023 Planning Board meeting.

As per our previous discussion, the development of this project was previously approved by the City Planning Board in 2019. We are resubmitting this package of the most recent modifications, including the revised exterior architectural changes, for the Planning Board's review.

Currently, the project is located on a single parcel (10-07-109.00) with the combined address being 155 Clinton Street. It is the intention of Clinton Center Development to eventually subdivide this parcel into Lot A and Lot B. No improvements on the future Lot B have been shown at this point.

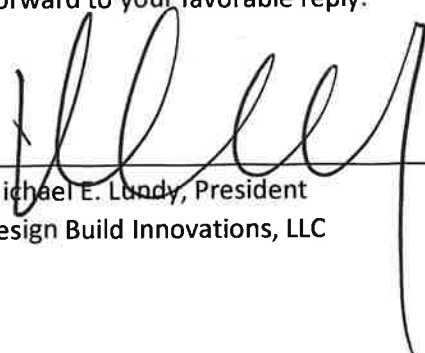
Design Build Innovations, LLC (DBI), a Lawman/Lundy company, will be the design builder. MBL Engineering will be the civil engineering consultant, and Mosher Architects will be the architectural consultant.

Upon approval of this project, Corry Lawler, CEO of DBI, and Kim Allen, CEO of United Professional Advisors, will become majority owners of Clinton Center Development, LLC. The building will be renamed "United Professionals". The intention is to begin construction immediately upon City approval with completion by Spring of 2024.

Please let me know if you have any questions.

We look forward to your favorable reply.

Sincerely:

  
Michael E. Lundy, President  
Design Build Innovations, LLC

  
Corry Lawler, Managing Member  
Clinton Center Development, LLC





**City of Watertown**  
**SITE PLAN APPROVAL APPLICATION FORM**

*City of Watertown, Planning and Community Development Dept.*  
*245 Washington Street, Room 305, Watertown, NY 13601*  
*Phone: 315-785-7741 Email: [planning@watertown-ny.gov](mailto:planning@watertown-ny.gov)*

Received:
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**Please Note:** The Site Plan Approval Application form is for projects where the building or parking area coverage of the lot will increase by more than 2,500 square feet.

Please provide responses for all sections and submit all required materials as noted on Page 2. Failure to submit all required information by the submittal deadline may result in Staff **not** placing your request on the agenda for the upcoming Planning Board meeting.

**PROPERTY INFORMATION:**

PROPOSED PROJECT NAME: Clinton Center Development New Professional Office Building  
TAX PARCEL NUMBER: 10-07-109.00  
PROPERTY ADDRESS: 155 Clinton Street  
ZONING DISTRICT: Downtown District

**APPLICANT INFORMATION:**

NAME: Design Build Innovartons, LLC Michael E. Lundy, President  
ADDRESS: 206 Ambrose Street  
Sackets Harbor, NY 13685  
PHONE NUMBER: 315-783-9696  
E-MAIL ADDRESS: mlundy@mlunndygroup.com

**PROPERTY OWNER INFORMATION (if different from applicant):**

NAME: Clinton Center Development, LLC Corry Lawler, Managing Member  
ADDRESS: 206 Ambrose Street  
Sackets Harbor, NY 13685  
PHONE NUMBER: 315-646-2919  
E-MAIL ADDRESS: CL.hq@lawmanhc.com

**ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT INFORMATION:**

NAME: MBL Engineering, Michael LaSell, Owner  
ADDRESS: 16510 Balch Place  
Mannsville, NY 13661  
PHONE NUMBER: 315-486-0501  
E-MAIL ADDRESS: Mike.Lasell@mblengineering.com

**SUBMITTAL INSTRUCTIONS:**

Submit 15 complete collated sets of all required materials, addressed to:

Michael A. Lumbis, Planning and Community Development Director  
City of Watertown  
245 Washington Street, Room 305  
Watertown, NY 13601

If the application requires Jefferson County Planning Board review, then the applicant must submit 16 "sets." Planning Staff will inform the applicant if this is necessary.

Submissions must be collated and properly folded.

If the applicant is not the property owner, the submission must include a signature authorization form or letter signed by the owner authorizing the applicant to apply on behalf of the owner.

For any item(s) not checked in the Site Plan Approval Checklist, attach an explanation and comments.

Provide an electronic copy of the entire submission in the form of a single, combined PDF file of the entire application, including cover letter, plans, reports, and all submitted material.

Submit the required Application Fee

\$150 for Site Plan Minor

\$250 for Site Plan Major (any proposal to disturb more than 1 acre represents a Site Plan Major)

**SIGNATURE**

I certify that the information provided above is true to the best of my knowledge.

Applicant's name (please print) MICHAEL E LUNDY

Applicant's Signature [Handwritten Signature] Date: 5/22/23

**Meeting Information:** The Planning Board normally meets at 3:00 p.m. on the first Tuesday of every month in Council Chambers at City Hall, 245 Washington Street. The application deadline is 14 days prior to the scheduled meeting date. Planning Board action does not represent final approval, as the Planning Board only votes to make a recommendation to City Council, which holds the sole authority to grant Site Plan Approval.

Occasionally, due to holidays or other reasons, meetings may occur on other dates and/or times. The City will announce any changes to meeting dates in advance on its website at [www.watertown-ny.gov](http://www.watertown-ny.gov). Planning Staff *strongly* recommends scheduling a pre-application meeting prior to submitting a Site Plan Application. The entire site plan application process typically takes four-to-six weeks, depending on whether the application requires Jefferson County Planning Board review.



Project:

Clinton Center Redevelopment  
Multi-Tenant Professional Office Building  
155 Clinton Street  
Watertown, NY 13601

Owner:

Clinton Center Development, LLC  
206 Ambrose Street  
Sackets Harbor, NY 13685  
315-646-2919

PROJECT NO: 055-22-009  
MAY 23, 2023

## PROJECT DESCRIPTION

### LOCATION:

The project is located at 155 Clinton Street in the City of Watertown along Clinton Street, Mullin Street, and Sherman Street. Currently, there are two buildings on the site, 161 and 171 Clinton Street. Both are served with various utilities. 171 Clinton will be demolished and its entire existing cellar will be filled with compacted subbase. 161 Clinton will be gutted to its main steel skeleton and a 28' x80', 2-story addition will be added to the West side. The entire building will be redeveloped to become one multi-tenant professional office building.

### ZONING:

The project site is currently zoned "Downtown District". In 2019, a site plan was approved by the City of Watertown. A SEQR was prepared and negative declaration was declared in 2019 in conjunction with the previous site plan approval. This resubmission is to comply with the new City zoning regulations.

### PARKING:

The site is relatively flat with very gentle slopes from South to North. The site elevation drops approximately 4'+/- from Mullin Street to Clinton Street.

It is the intention to eventually subdivide the parcel into Lot A and Lot B. Lot B will remain as is for future development. Lot A shall have all existing asphalt repaired. The existing drainage piping and catch basins replaced, and the parking area shall be repaved and restriped.

The parking area to the East of the building will be repaired and restriped as part of the Watertown Savings Bank Expansion project.

The streets surrounding the Clinton Center Development have very limited parking. The large parking lot at the West of the building is critical in attracting new tenants to the building. This will provide private, off-street parking for employees, clients, and visitors of the professional offices. The 90 vehicle parking as shown, is vital to the development of the project.

### SITE LIGHTING:

The new parking area will be illuminated by LED pole mounted luminaires mounted at a height of 33 feet above finished grade. Canister style lights will be set in the soffit of the new building to provide additional security for the new building and surrounding landscape and parking areas. Care was taken to ensure no light spills over the property lines along Clinton Street, Mullin Street and Sherman Street. The canister style lights on the East side of the new building will help illuminate the drive-through aisle between the new building and the Watertown Savings Bank Lending Center. All lights shall be dark sky compliant. A site photometric plan will be prepared to depict the proposed site illumination and submitted at a later date.

## **PROJECT DESCRIPTION (continued)**

### **LANDSCAPING:**

Some of the existing trees in the median along Sherman Street will be removed. New trees will be planted in their place and at locations to make the site more aesthetically pleasing. Various plantings and small shrubs will be utilized in front of the new building. All remaining areas shall be either topsoiled and seeded or landscaped with shrubbery. All trees, shrubs, small plantings, and grass seed will be native to the area and will grow well in the project location.

## **PROJECT DESCRIPTION (continued)**

### **UTILITIES:**

The existing utilities to both buildings will be abandoned and properly capped off. All new water, sewer, natural gas, electric, and communication will be installed at the East side of the existing building into the existing mechanical rooms.

#### **Water:**

A 8" Ductile Iron water line and curb stop will be installed to service the new building. The new line will connect to the existing main located under Clinton Street. Assuming the water usage rate is 0.1 gallons / day / sf, and the building is 29,000+/- sf, then the anticipated water usage will be approximately 2,900+/- gpd. The 8" ductile iron shall support a sprinkler system through the entire building, as well as the domestic water supply. The domestic water supply will have a multi-meter so each tenant is metered independently.

#### **Sanitary Sewer:**

A new precast concrete manhole will be installed in the rear of the new building. 6" SDR-35 PVC pipes will serve as inlet pipes from the building and outlet pipes to the existing main line located under Clinton Street. Proposed sewer flows are the same as the above-mentioned water usage.

#### **Storm Water Drainage:**

The current slope of the property will be utilized to help with drainage. High points in repaired parking areas will be utilized to help direct flow towards Clinton Street, as well as inverted collection areas located inside the parking area. From there, inlet basins, perforated HDPE underdrains, and HDPE storm lines will collect water inside the inverted collection areas and carry it out to an existing catch basin located near the intersection of Clinton Street and Sherman Street. This will replace the existing, old catch basins and piping.

#### **Gas Service:**

A new gas service will be provided to the Mechanical Room of the new building. The gas service provider shall locate and mark the existing gas lines and any associated appurtenances. Multi-meter assemblies will be installed at each office space so each tenant can be individually metered

#### **Electrical Service:**

Electric service to the new building will come from an existing utility pole located in the median of Clinton Street. The local energy provider will be responsible for the installation of the new service to the existing pole. 2" and 4" PVC conduits and a new Pull Box will be utilized to deliver power to the Mechanical Room of the new building. Multi-meter assemblies will be installed at each office space so each tenant can be individually metered.

## **PROJECT DESCRIPTION (continued)**

### **SIGNAGE:**

Final signage design has not yet been completed. Preliminary signage is shown on the building rendering. Upon completion of the final design, signage plans will be submitted for final approval.

### **CONSTRUCTION DETAILS:**

Construction details of the project shall be incorporated into the working construction drawings and submitted to the City Code Office for the building permit process once the site plan has received contingent approval.

### **PROJECT SUMMARY AND BENEFIT:**

The proposed development of the site and new high-end office space(s) is a welcome addition to the downtown area and the City of Watertown. The project shall not cause the City's existing infrastructure to be exceeded. Future expansion along Mullin Street will bring additional businesses, and people to the downtown area as well. Once this site is fully developed, this block will help to make the city's center hub even better than it already is. United Professional Advisors will be the main tenant and the building shall be named as such.

PLOTTED: 5/22/2023 2:30:34 PM  
C:\USERS\JARED\KONLAWMAN\COM\PROJECT WORK - DOCUMENTS\055-22-0031\LOT #155-CLINTON\03 - DESIGN FILES\03 - CIVIL\PROPOSED SITE PLAN.DWG

# CLINTON CENTER DEVELOPMENT, LLC NEW REDEVELOPMENT

155 CLINTON STREET WATERTOWN, NY 13601  
CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK  
DATED: MAY 23, 2023

DESIGNED AND BUILT BY: DESIGN BUILD INNOVATIONS - A LAWMAN / LUNDY COMPANY



CLINTON CENTER DEVELOPMENT, LLC - NEW REDEVELOPMENT  
155 CLINTON STREET WATERTOWN, NY 13601  
CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK  
DATED: MAY 23, 2023

**PREPARED BY:**



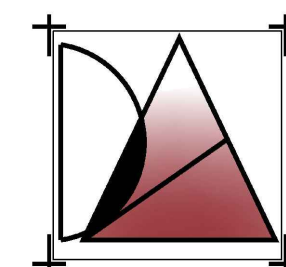
**PROFESSIONAL ENGINEER:**

**MBL**  
ENGINEERING, PLLC  
MBL ENGINEERING PLLC  
16510 BALCH PLACE  
MANNSVILLE, NY 13661

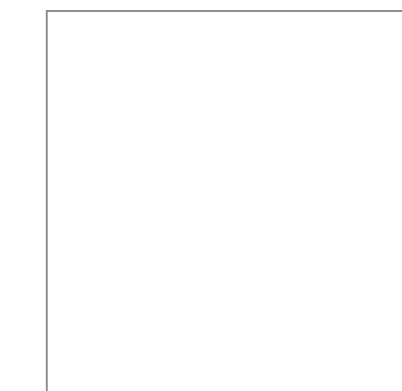


MICHAEL LASELL  
LICENSE NO. 6087148

**REGISTERED ARCHITECT:**



MOSHER ARCHITECTS P.C.  
1035 SEVENTH NORTH ST.  
SUITE 1A  
LIVERPOOL, N.Y. 13088



DAVID E. MOSHER  
LICENSE NO. 036209

**DRAWING INDEX:**

- COVER SHEET
- S101 - EXISTING CONDITIONS PLAN
- C102 - SITE PLAN AND LANDSCAPING PLAN
- C103 - SITE UTILITY AND GRADING PLAN
- C104 - SITE PHOTOMETRIC PLAN
- SK-1 - SCHEMATIC FIRST FLOOR PLAN
- SK-2 - SK-2 SCHEMATIC SECOND FLOOR PLAN
- EV-1 - ELEVATION VIEWS

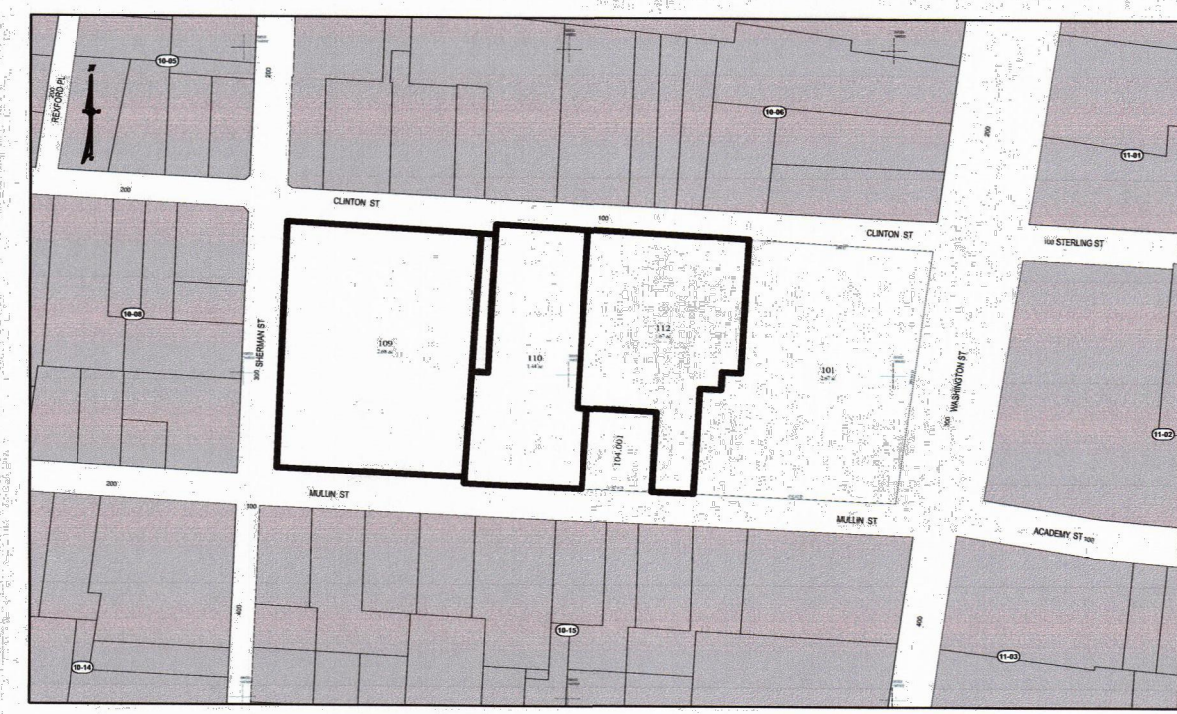
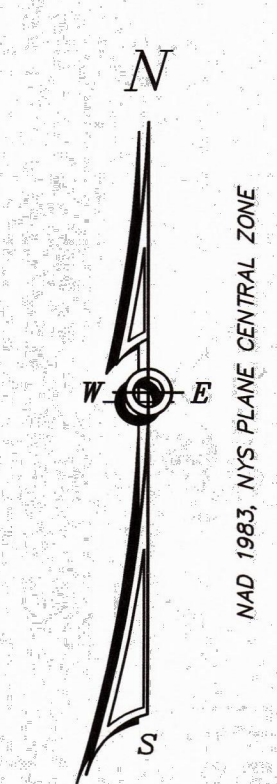
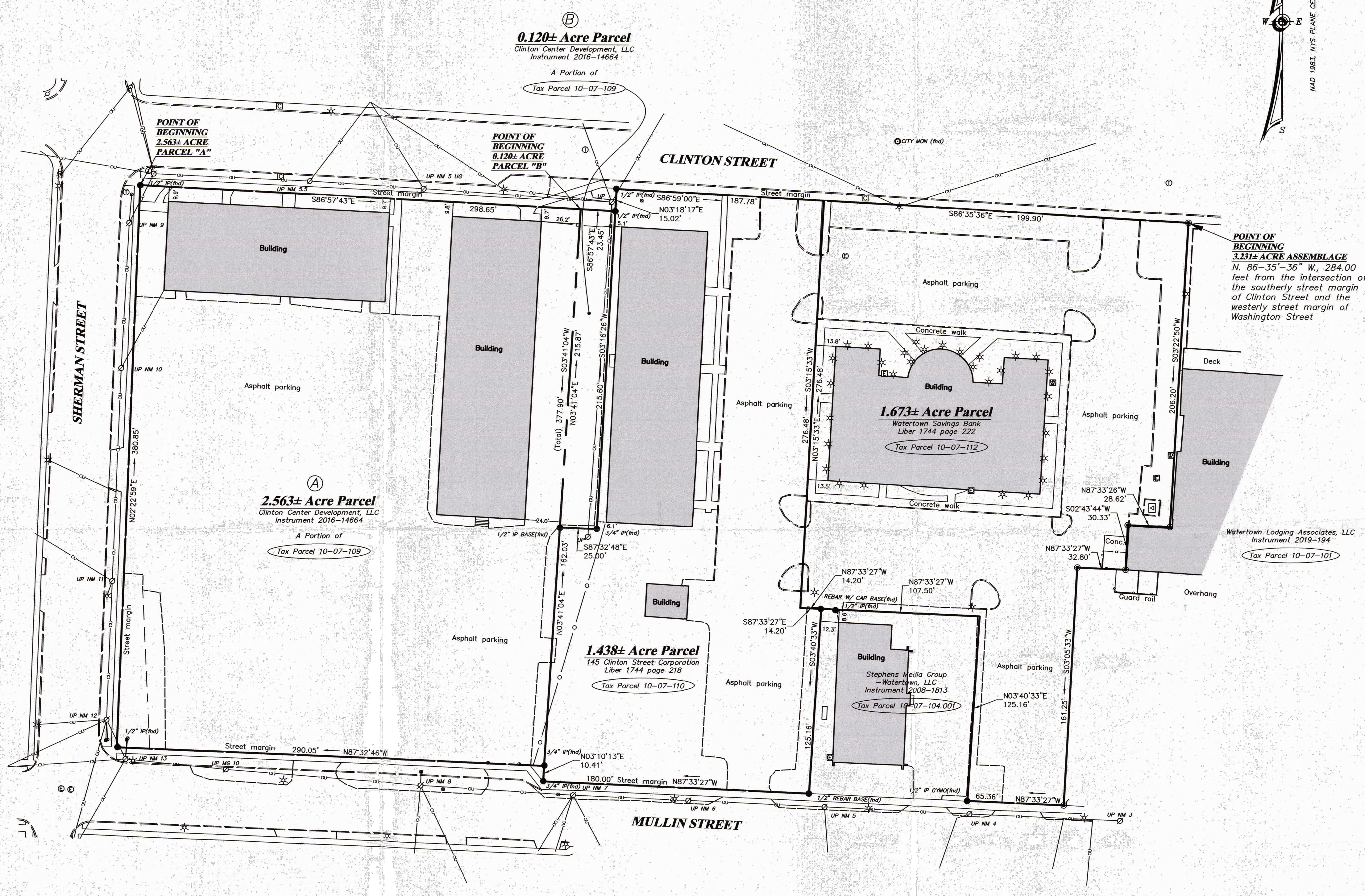
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PLOTTED: 5/22/2023 2:30:55 PM  
C:\USERS\JARED\KINSLOW\PROJECT WORK - DOCUMENTS\05-22-2023 LOT #15 CLINTON\03 - DESIGN FILES\03 - CIVIL\PROPOSED SITE PLAN.DWG



**GYMO**  
Architecture  
Engineering  
Land Surveying  
WWW.GYMODPC.COM  
18969 US Route 11  
Watertown, NY 13601  
315.788.3900

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& LAND SURVEYING, D.P.C.  
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NEW YORK STATE EDUCATION  
LAW FOR ANY PERSON, UNLESS  
ACTING UNDER THE DIRECTION  
OF A LICENSED PROFESSIONAL  
ENGINEER OR LAND SURVEYOR  
TO ALTER THIS DOCUMENT IN  
ANY WAY. IF ALTERED SUCH  
LICENSEE SHALL AFFIX HIS OR  
HER SEAL AND THE NOTATION  
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AND A SPECIFIC DESCRIPTION  
OF ALTERATION.



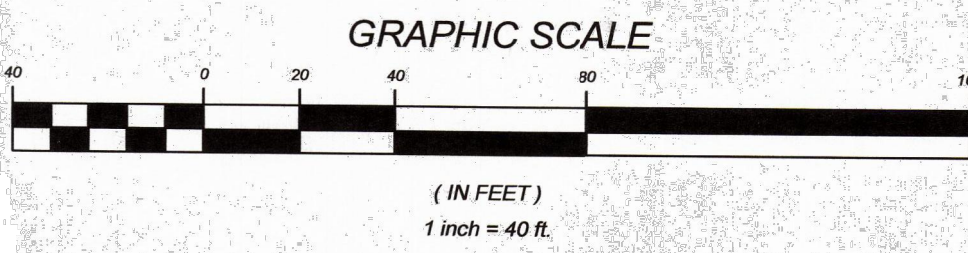
PROJECT NO: 2021-066  
SCALE: 1" = 40'  
DRAWN BY: ZPS, GFA  
CHECKED BY: GFA  
DATE: 10/05/2021

- LEGEND**
- 1/2" IRON PIPE WITH CAP SET
  - IRON MONUMENT FOUND (as noted)
  - BOLLARD
  - CATCH BASIN ROUND
  - CATCH BASIN SQUARE
  - COMMUNICATIONS MANHOLE
  - CLEANOUT
  - ELECTRIC BOX
  - ELECTRIC MANHOLE
  - ELECTRIC METER
  - GAS METER
  - GAS VALVE
  - GUY WIRE
  - HYDRANT
  - LIGHT POLE
  - MANHOLE
  - SEWER MANHOLE
  - STORM MANHOLE
  - SHRUB
  - TELE BOX
  - TELE MANHOLE
  - TRAFFIC BOX
  - TRAFFIC MANHOLE
  - GENERATOR PAD
  - TREE (coniferous)
  - TREE (deciduous)
  - UTILITY POLE
  - ASPHALT
  - CURB
  - GRAVEL
  - CHAIN LINK FENCE
  - WOOD FENCE
  - OVERHEAD UTILITIES

**DEED REFERENCES**  
(Parcels A & B)  
John Doldo Jr., Individually and Lewis G. Spicer, III, and Christa Spicer Matthews as Trustees  
Clinton Center Development, LLC  
Instrument 2016-14664  
Recorded October 17, 2016  
Tax Parcel 10-07-103.000  
145 Clinton Street Corporation and Watertown Savings Bank  
145 Clinton Street Corporation  
Liber 1744 Page 218  
Recorded July 19, 2000  
Tax Parcel 10-07-110.000  
Watertown Savings Bank and 145 Clinton Street Corporation  
Watertown Savings Bank  
Liber 1744 Page 222  
Recorded July 19, 2000  
Tax Parcel 10-07-112.000

**MAP REFERENCE**  
"Map of 161-171 Clinton Street Prepared for Lundy Development and Property Management, City of Watertown, County of Jefferson, State of New York", dated July 14, 2016, prepared by GYMO, D.P.C.

- NOTES**
- Field location was performed on various dates between June 09, 2016 and July 14, 2021.
  - The horizontal datum referenced herein is NAD 1983, New York State Plane, Central Zone based on the NYS CORS Network.
  - All adjoining are per the City of Watertown Real Property Assessment Office.
  - Underground facilities, structures and utilities have not been plotted.  
There may be underground facilities, structures and utilities, the existence of which is presently not known and therefore not shown on this map.  
Prior to construction contact Underground Facilities Protective Organization, (UFPO) at 1-800-962-7962 for exact location of all underground utilities.
  - This survey was prepared without the benefit of an Updated Abstract of Title and is subject to any changes which may occur as a result of a more complete title search.
  - Subject parcels are City of Watertown Assessment Parcel Numbers 10-07-109.000, 10-07-110.000 & 10-07-112.000.
  - The lands shown herein are subject to any rights, restrictions, easements or covenants of record, expressed or implied by usage or custom.
  - Parcel B is to be assembled with Tax Parcels 10-07-110 and 10-07-112 resulting in a total assembled acreage of 3.231 Acres.



**FOR REFERENCE ONLY**

2021028587  
7950  
12/02/2021 11:10:10 AM  
9 Pages  
MAP  
Gizelle J Meeks, Jefferson County Clerk  
Clerk SB

It is hereby certified that subdivision final plat approval was granted on 11/1/2021 pursuant to Sections 32, 33 and 34 of the General City Law.  
Michael A. Lumbis Date 11/1/2021  
Planning and Community Development Director  
Clerk of the City of Watertown Planning Board

**FINAL SUBDIVISION PLAT OF THE LANDS AT  
155 CLINTON STREET AND ASSEMBLAGE WITH THE LANDS AT  
145 AND 111 CLINTON STREET  
CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF NEW YORK**

DATE ISSUED: N/A  
DRAWING NO:  
**S101**

PLOTTED: 5/22/2023 2:31:02 PM  
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**DESIGN BUILD INNOVATIONS**

PLAN VIEW:

### ZONING REGULATIONS

CURRENT ZONING CLASSIFICATION: DOWNTOWN PROFESSIONAL OFFICE USE:

ITEM	REQUIRED / ALLOWED	NEW
LOT SIZE	N/A	N/A
FRONT YARD SETBACK	0	0
SIDE YARD SETBACK	0	9'-8" SAME AS EXISTING
REAR YARD SETBACK	0	23'-9"
MAX % BUILDING	100%	N/A
PARKING SPACES	N/A	89

### PLANT MATERIAL SCHEDULE

NOTE	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
BO	QUESRUCUS MACROCARPA	BURR OAK	2 CAL
IL	SYRINGA RETICULATA	'IVORY SILK' TREE LILAC	2 CAL
AM	ACER X FREMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2" CAL
SC	MALUS 'SPRING SNOW'	'SPRING SNOW' CRABAPPLE	2" CAL
PC	MALUS 'PRAIRIFIRE'	'PRAIRIFIRE' CRABAPPLE	2" CAL
EVERGREEN			
WA	THUJA OCCIDENTALIS 'WOODWARDII'	WOODWARDII ARBORVITAE	24" B.B
IW	EUONYMUS FORTUNEI 'IVORY JADE'	WOODWARDII ARBORVITAE	24" B.B
SHRUBS			
DL	SYRING PATULA 'MISS KIM'	DWARF KOREAN LILAC	3 GAL
RD	CORNUS ALBA SIBERCA	RED TWIG DOGWOOD	3'-4"
AS	SPIREA BULMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	3 GAL
PP	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	3 GAL
LS	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	3 GAL
SS	SPIREA NIPPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	3 GAL
RR	RUGOSA ROSE	PINK RUGOSA ROSE	3 GAL
PL	PRUNUS CISTENA	PURPLE LEAF SAND CHERRY	3'-4"
RAIN GARDEN			
RAIN GARDENS SHALL CONTAIN A MIX OF PERENNIALS AND GRASSES			

**GENERAL NOTES:**

- THE EXISTING ASPHALT PAVEMENT SHALL BE REPAIRED AND REPLACED TO THE LIMITS SHOWN. THE AREAS LABELED "REMAINING PARKING AREA TO BE RESERVED FOR FUTURE DEVELOPMENT" SHALL BE REPAIRED AND REPLACED AT A LATER DATE AND TIME.

### LEGEND

	ASPHALT PAVEMENT
	CONCRETE
	TOPSOIL WITH GRASS SEED
	DECORATIVE STONE GRAVEL
	PAVEMENT PAINT
	BUILDING
	BUILDING DEMOLITION
	CURB LINE
	LOW CURB LINE
	PAINTED CROSSWALK
	PAINTED TRAFFIC ARROW
	PAINTED ADA PARKING
	PAINTED 'EV' PARKING
	BOLLARDS
	EV DUAL CHARGING STATION
	TRAFFIC SIGN
	BUS SHELTER
	TREE
	SHRUB OR BUSH
	PARKING COUNT
	TREE DEMOLITION
	FUTURE SUBDIVISION PROPERTY LINE

REVISIONS:

NO.	DATE	NOTES

CLINTON CENTER DEVELOPMENT, LLC

CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

SHEET TITLE:  
SITE PLAN AND LANDSCAPING PLAN

ADDRESS:  
155 CLINTON STREET

FOR APPROVALS ONLY  
NOT FOR CONSTRUCTION

STAMP:

JOB NO: 055-22-009

ISSUE DATE: 05-23-2023

DRAWN BY: J. DICKINSON

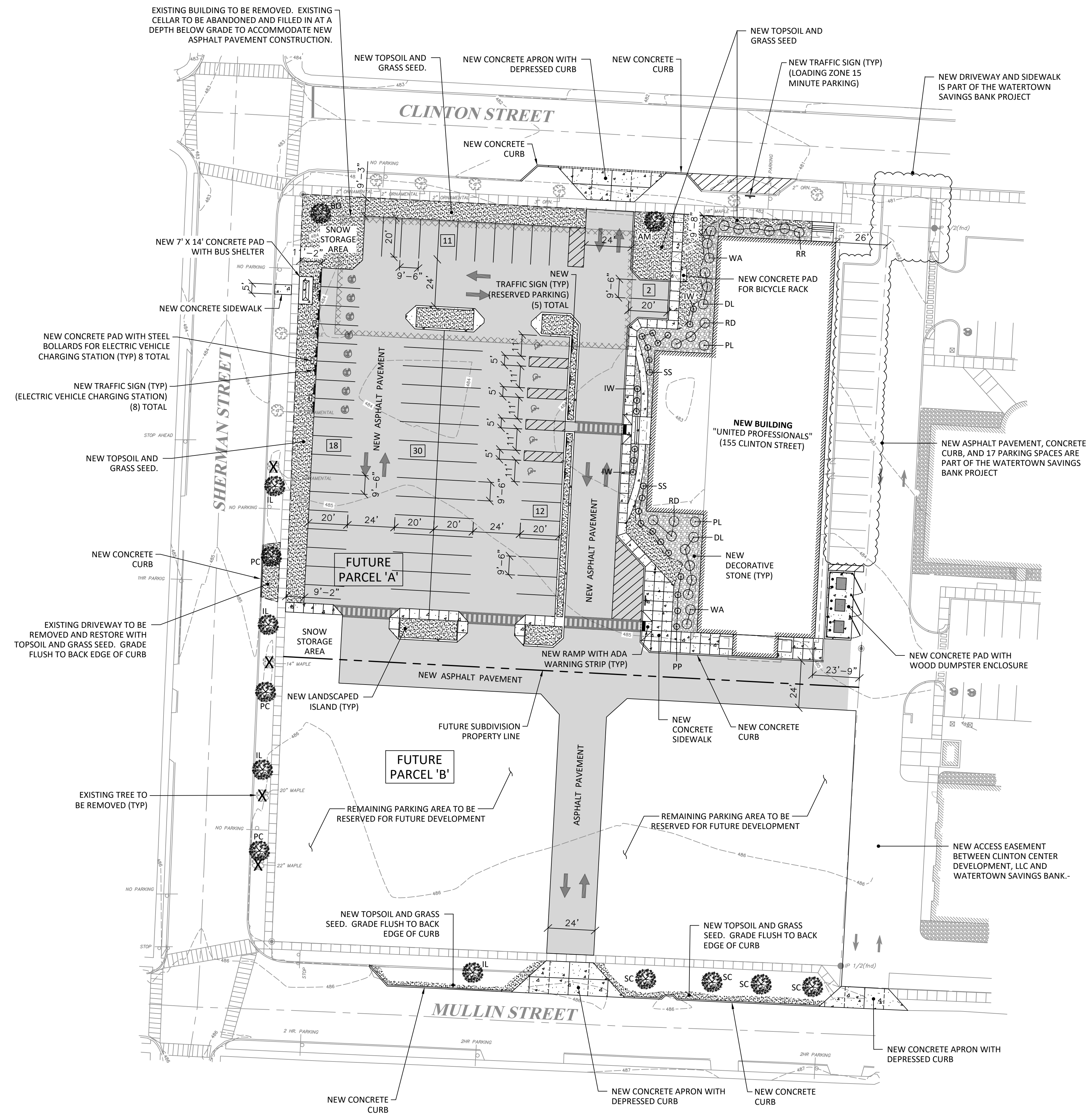
CHECKED BY: M. LUNDY

APPROVED BY: M. LASELL

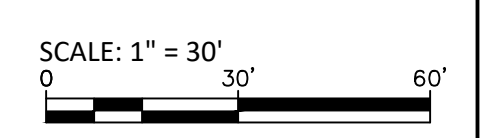
SCALE: 1" = 30'

DRAWING NO:

# C102



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**DESIGN BUILD INNOVATIONS**

PLAN VIEW:

REVISIONS:	DATE	NOTES
NO.		

**CLINTON CENTER DEVELOPMENT, LLC**

CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

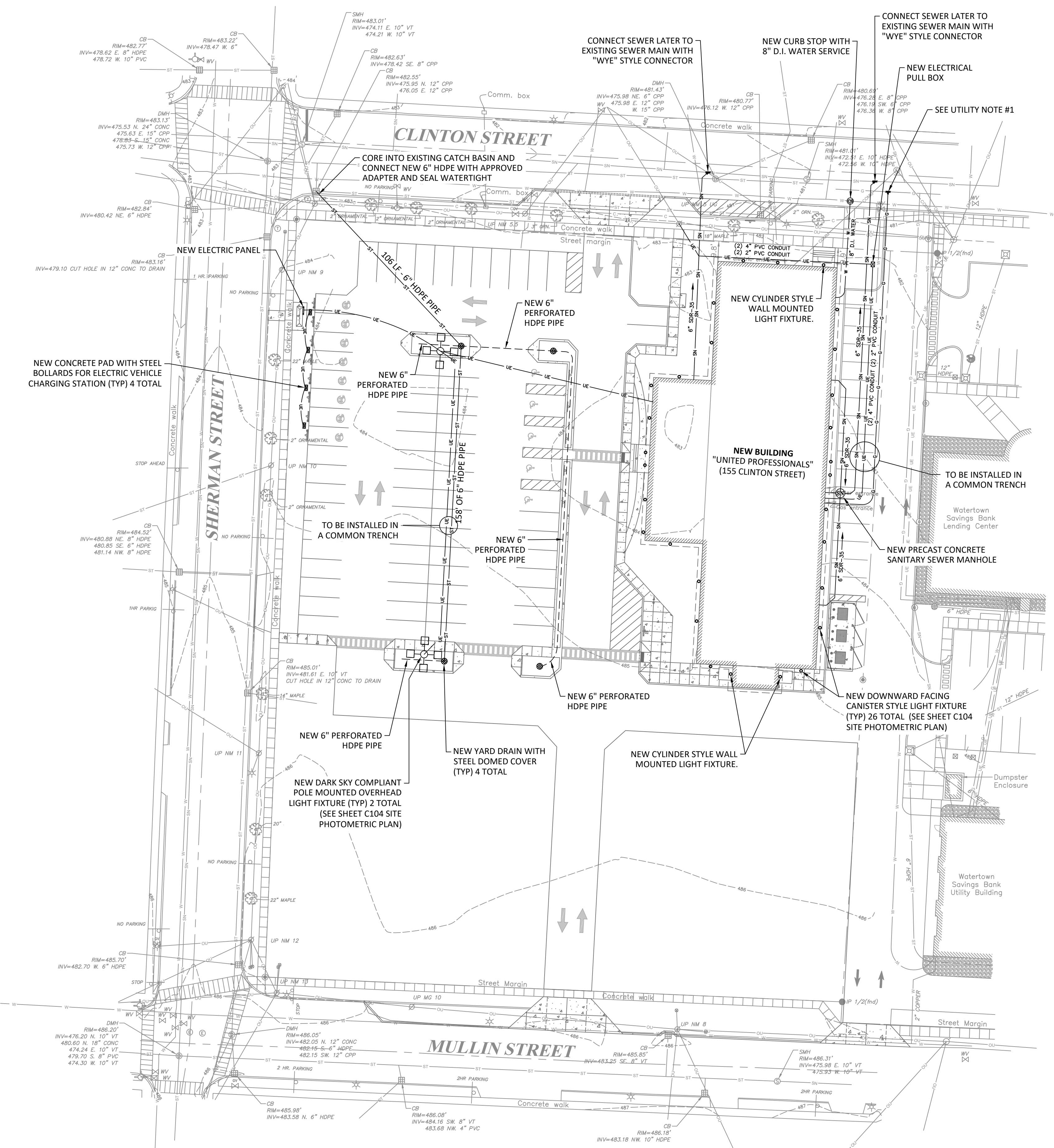
SHEET TITLE:  
**SITE UTILITY PLAN**

ADDRESS:  
**155 CLINTON STREET**

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STAMP:

JOB NO: 055-22-009  
 ISSUE DATE: 05-23-2023  
 DRAWN BY: J. DICKINSON  
 CHECKED BY: M. LUNDY  
 APPROVED BY: M. LASELL  
 SCALE: 1" = 30'  
 DRAWING NO:

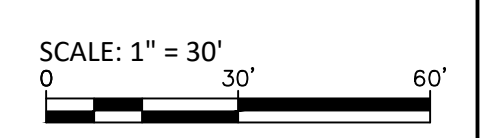


**SITE UTILITY NOTES:**

1. THE GAS SERVICE PROVIDER SHALL FIELD LOCATE AND MARK THE EXISTING GAS LINES AND ANY ASSOCIATED APPURTENANCES. ANY OF WHICH THAT MAY NEED TO BE REMOVED AND / OR RELOCATED SHALL BE DONE SO BY THE GAS SERVICE PROVIDER. IN ADDITION THE SERVICE PROVIDER SHALL CONDUCT AND OVERSEE ANY GAS SERVICE IMPROVEMENTS OR ADDITIONS ENTIRELY.

**LEGEND**

	OVERHEAD LIGHT FIXTURE
	EV DUAL CHARGING STATION
	ELECTRIC PANEL
	ADS INLET BASIN
	STORM LINE
	PERFORATED HDPE PIPE
	SANITARY MANHOLE
	SANITARY SEWER LINE
	CURB STOP
	WATER LINE
	ELECTRIC PULL BOX
	UNDERGROUND ELECTRIC LINE
	GAS LINE
	CANISTER LIGHT



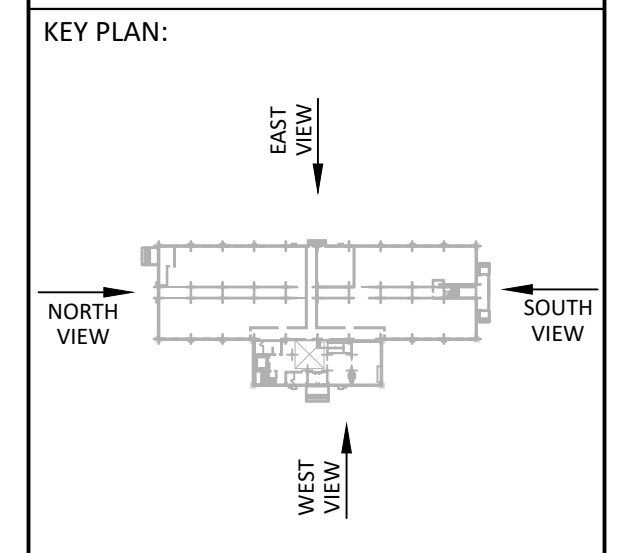
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**DESIGN BUILD**  
INNOVATIONS



REVISIONS:	NO.	DATE	NOTES

**PROPOSED PROFESSIONAL BUILDING AND REMODEL**

CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

SHEET TITLE:  
ELEVATION VIEWS

ADDRESS:  
155 CLINTON STREET

**PRELIMINARY NOT FOR CONSTRUCTION**

STAMP:

EXISTING ELEVATION AT GRADE

JOB NO: 055-22-010  
ISSUE DATE: 03-09-2023

DRAWN BY: J. DICKINSON

CHECKED BY: M. LUNDY

APPROVED BY:  
SCALE: AS NOTED

DRAWING NO:  
**EV-1**



**WEST EXTERIOR ELEVATION VIEW**  
SCALE: 1/8" = 1'-0"



**EAST EXTERIOR ELEVATION VIEW**  
SCALE: 1/8" = 1'-0"



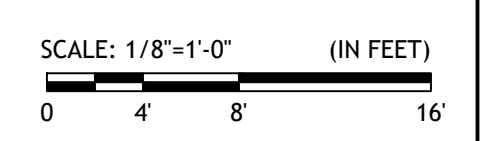
**SOUTH EXTERIOR ELEVATION VIEW**  
SCALE: 1/8" = 1'-0"



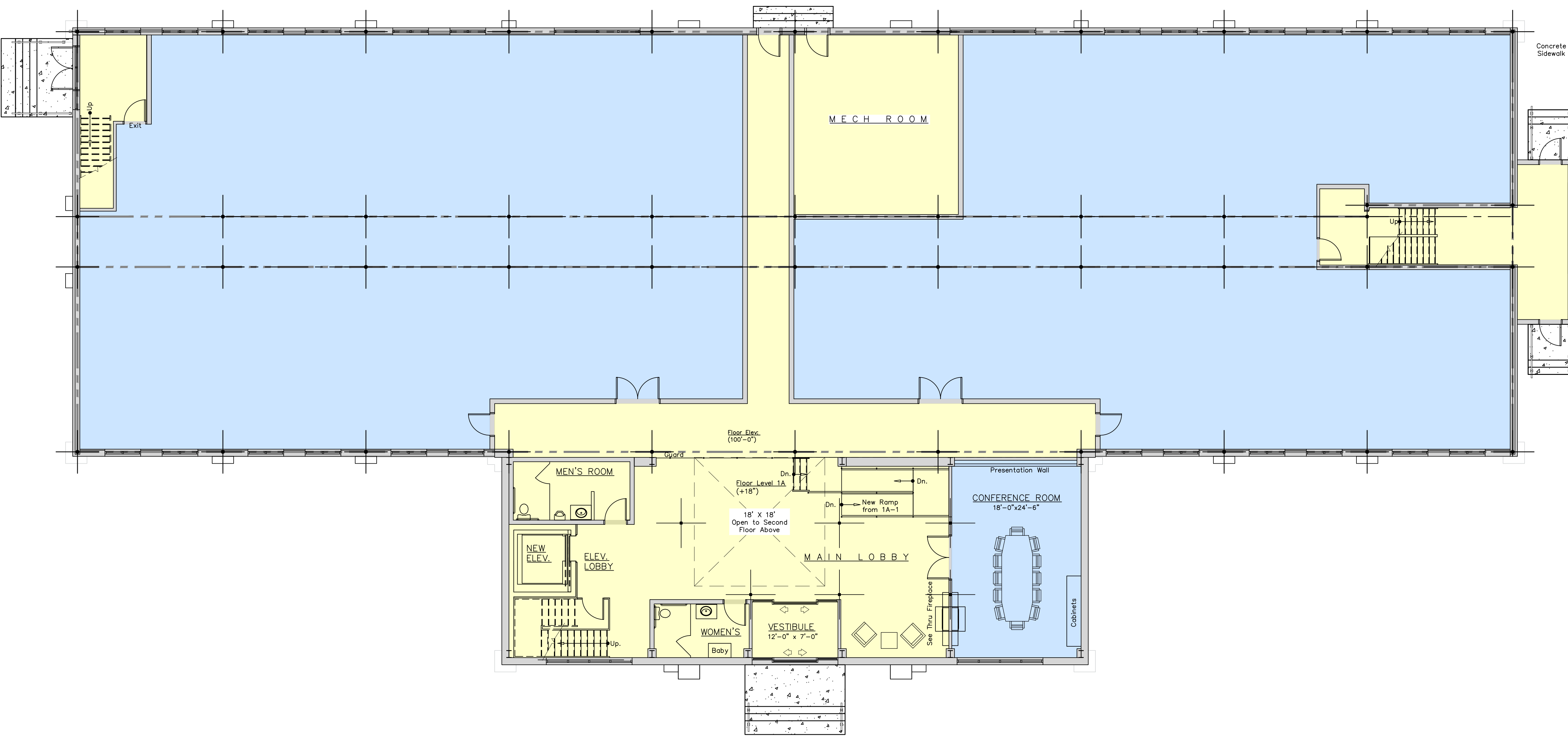
**NORTH EXTERIOR ELEVATION VIEW**  
SCALE: 1/8" = 1'-0"

**COLOR SCHEME**

	SYNTHETIC WOOD SIDING
	ALUMINUM COMPOSITE PANEL
	VERSETTE STONE SIDING
	DOOR, WINDOW AND ROOF TRIM
	CONCRETE PARKING
	GLASS WINDOW OR GLASS DOOR



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**FIRST FLOOR PLAN VIEW**  
SCALE: 1/8" = 1'-0"

LEGEND	
	TENANT SUITES
	COMMON AREAS
	WALLS
	CONCRETE

SCALE: 1/8"=1'-0" (IN FEET)  
0 4 8 16'

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**DESIGN BUILD**  
INNOVATIONS

PLAN VIEW:

REVISIONS:	NO.	DATE	NOTES

**PROPOSED PROFESSIONAL BUILDING AND REMODEL**

CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

SHEET TITLE:  
**SCHEMATIC FIRST FLOOR PLAN**

ADDRESS:  
155 CLINTON STREET

**PRELIMINARY NOT FOR CONSTRUCTION**

STAMP:

JOB NO: 055-22-010  
ISSUE DATE: 03-03-2023  
DRAWN BY: J. DICKINSON  
CHECKED BY: M. LUNDY  
APPROVED BY:  
SCALE: AS NOTED  
DRAWING NO:

**SK-1**

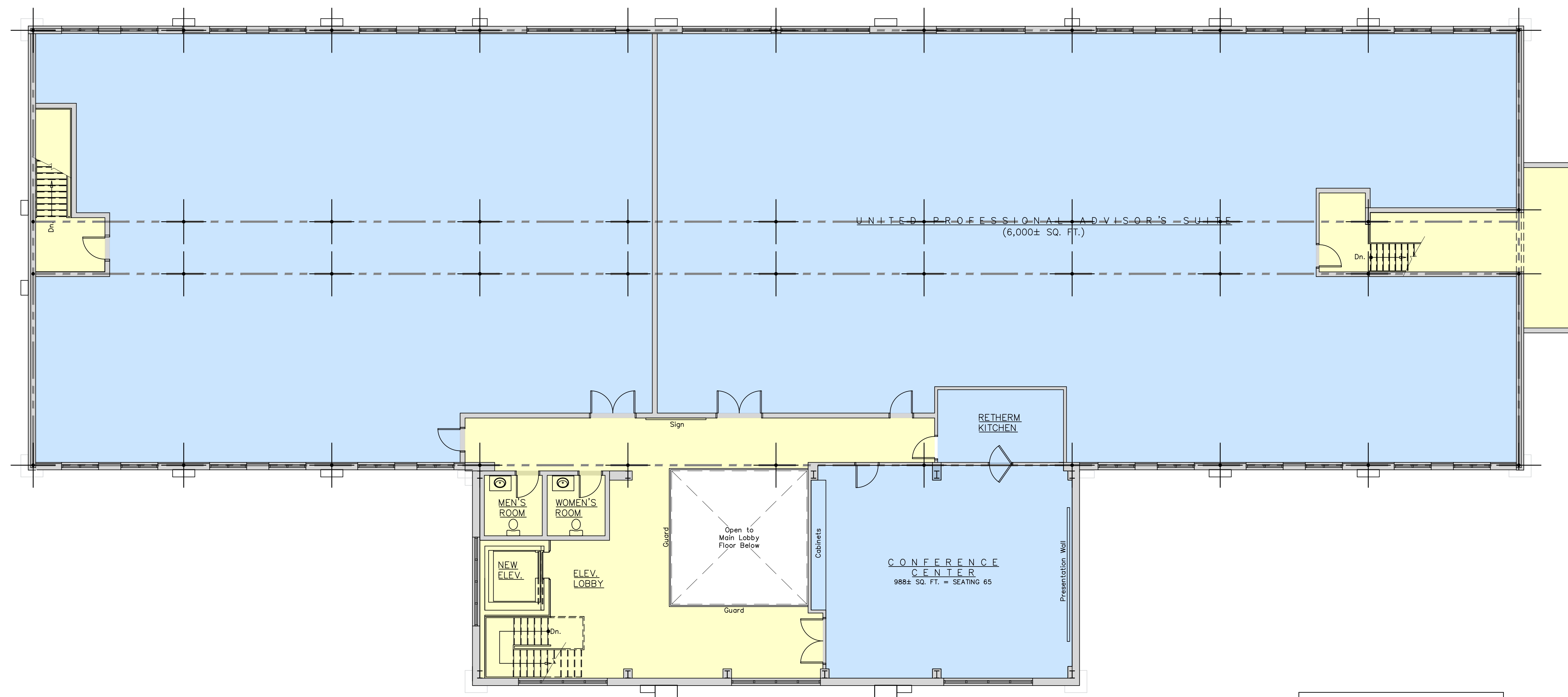
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**DESIGN BUILD**  
INNOVATIONS

PLAN VIEW:

REVISIONS:	NO.	DATE	NOTES



**SECOND FLOOR PLAN VIEW**  
SCALE: 1/8" = 1'-0"

LEGEND	
<span style="display:inline-block; width:15px; height:10px; background-color:blue;"></span>	TENANT SUITES
<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	COMMON AREAS
<span style="display:inline-block; width:15px; height:10px; background-color:gray;"></span>	WALLS

**PROPOSED PROFESSIONAL BUILDING AND REMODEL**  
CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

SHEET TITLE:  
**SCHEMATIC SECOND FLOOR PLAN**

ADDRESS:  
155 CLINTON STREET

**PRELIMINARY NOT FOR CONSTRUCTION**

STAMP:

JOB NO: 055-22-010  
 ISSUE DATE: 03-03-2023  
 DRAWN BY: J. DICKINSON  
 CHECKED BY: M. LUNDY  
 APPROVED BY:  
 SCALE: AS NOTED  
 DRAWING NO:

SCALE: 1/8"=1'-0" (IN FEET)  
0 4' 8' 16'

**SK-2**

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