



MEMORANDUM

CITY OF WATERTOWN, NEW YORK
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
245 WASHINGTON STREET, ROOM 305, WATERTOWN, NY 13601
PHONE: 315-785-7741 – FAX: 315-782-9014

TO: Planning Board Members
FROM: Michael A. Lumbis, Planning and Community Development Director
PRIMARY REVIEWER: Geoffrey T. Urda, Planner
SUBJECT: Site Plan Approval – 155 Clinton Street
DATE: July 27, 2023
Request: Site Plan Approval to construct a 2,378 SF building addition, a 253 SF building addition and a 9,500 SF sq. ft. parking lot expansion at **155 Clinton Street**, Parcel Number 10-07-109.100
Applicant: Design Build Innovations, LLC
Proposed Use: Professional Office Building
Property Owners: Clinton Center Development, LLC

Submitted:

Property Survey: Yes	Preliminary Architectural Drawings: Yes
Site Plan: Yes	Preliminary Site Engineering Plans: Yes
Vehicle and Pedestrian Circulation Plan: Yes	Construction Time Schedule: Yes
Landscaping and Grading Plan: Land. Only	Description of Uses, Hours & Traffic Volume: Yes

SEQRA: Unlisted

Jefferson County 239-m Review: No

Zoning Information:

District: Downtown	Maximum Lot Coverage: None
Setback Requirements: F: 0', S: 0', R: 0'	Buffer Zones Required: Yes

Application Status UPDATE: The Planning Board considered this application at its June 6, 2023 meeting and voted to table the application pending receipt of a more detailed submission. It was evident from Staff's initial review that the proposed building would not meet the transparency requirements of Section 310-21 of the Zoning Ordinance. The applicant has resubmitted the application and made several additions and adjustments.

The applicant has also since submitted an Area Variance application to the Zoning Board of Appeals (ZBA) seeking to reduce the transparency requirements. The ZBA heard this application at its July 19, 2023 meeting and voted to table the application. The ZBA will take the application from the table at its meeting on August 15, 2023.

Most significantly, Staff now deems the application complete, and if the Planning Commission concurs, it formally begins the 62-day period within which the Planning Commission must act on the request.

Summary Items UPDATE: The applicant's cover letter contains written responses for each of the seventeen summary items in Staff's June 1, 2023 memorandum to the Planning Board. The resubmission alleviates most of Staff's concerns, and based on the modifications, it is possible to remove several summary items. However, the Planning Commission may wish to discuss some of the applicant's responses further prior to deciding which summary items must remain as part of a motion.

The following lists identify which summary items the applicant has satisfied, and which summary items must remain or may benefit from further Planning Commission discussion. Staff comments are in *italics*.

The Planning Commission may eliminate the following summary items:

3. The applicant shall clarify the accurate number of proposed parking spaces on the site. *This item is satisfied. The applicant has identified 86 proposed parking spaces on the site.*
4. The applicant shall either add the movements of a City Fire Truck and a refuse/delivery vehicle to the C102 drawing or submit a formal Vehicular and Pedestrian Circulation Plan drawing. *This item is satisfied. The applicant has submitted a Vehicular and Pedestrian Circulation Plan that depicts all the required movements.*
7. The Planning Commission must determine whether the proposed light trespass across the eastern property line is acceptable and whether to modify the limits set forth in the Zoning Ordinance. *This item is satisfied. The applicant has submitted a Photometric Plan.*
8. The applicant shall clarify what is proposed regarding the existing storm sewer line connecting from Clinton Street and the catch basin it connects to, as it relates to the sanitary sewer line depicted on the C103 drawing. *This item is satisfied. The applicant has added a C101 (Demolition Plan) drawing to the set that depicts all proposed cuts, removals and abandonments to the satisfaction of the City Engineering Department.*
10. The applicant shall add a label to either the C102 or C103 drawing that identifies whether the depicted contour lines are existing or proposed. *This item is satisfied. The applicant has updated the Legend on the C103 drawing that identifies the contour lines as existing contours.*
14. The applicant shall be prepared to discuss the potential for the City Engineering Department to require a SWPPP. *This item is satisfied. The applicant posits that the limits of disturbance are less than one acre, contending that the project consists of building modifications and repaving of previously disturbed parking area. While the limits of the Site Plan are greater than one acre, the City will not require a SWPPP as the overwhelming majority of the site is already impervious surface and the proposed redevelopment would not disturb natural soil in an unaffected state.*

15. The applicant should consider incorporating some form of stormwater retention system on the site. *The applicant states in the July 19, 2023 correspondence that the landscaped islands, yard drains and perforated underdrain set on the site will suffice to accomplish stormwater retention needs. The City Engineering Department concurs that a stormwater retention system on site is not necessary, as the area in question is less than five total acres and the proposed development will likely not substantially increase impervious area from current conditions. This item is therefore satisfied.*
17. The applicant must complete and submit Part 1 of a SEQR Short EAF, as the proposed action is an Unlisted Action under SEQRA. *The applicant has submitted the required Short EAF. Although the applicant has satisfied this summary item, the Planning Commission must still complete Part 2 of the EAF prior to voting on Site Plan Approval.*
18. The applicant must obtain a Demolition Permit from the City Code Enforcement Bureau and provide a Demolition Plan as part of the permitting process if the Bureau requires one. *This item is satisfied. The applicant has provided a Demolition Plan as part of the resubmitted Site Plan application. The applicant must still obtain a Demolition Permit, as identified in Summary Item #19.*

The following summary items are topics that either the Planning Commission may wish to discuss further or that must remain as conditions to work out with Staff prior to the permitting process:

1. The applicant shall submit transparency calculations for the proposed building facades and must either increase transparency levels to meet the requirements of the Zoning Ordinance or apply for and obtain an Area Variance from the Zoning Board of Appeals granting relief from the requirements. *The applicant has submitted an Area Variance application, as discussed above, and provided proposed transparency calculations as part of that application. These calculations are also included as part of this resubmission. However, as the proposed transparency falls short of the Zoning Ordinance's requirement for the Downtown District, it could be legal only with the relief of an Area Variance. Therefore, this summary item must remain but should be reworded as the following: "The applicant shall obtain an Area Variance from the Zoning Board of Appeals granting relief from the transparency requirements for all proposed building façades that would fail to meet the required percentages."*
2. The applicant shall submit a Transportation Demand Management Plan (TDMP) that contains all the requirements identified in Section 310-36 of the Zoning Ordinance. *The applicant states in their July 19, 2023 correspondence that they have retained a Licensed Engineer to prepare a TDMP and that its submission to the City is forthcoming. Since the applicant proposes 86 spaces on the parcel, the Level-of-Service (LOS) analysis must remain as a required element of the TDMP. The Planning Commission must decide whether it wishes to condition approval on a satisfactory Staff-level review of the TDMP or whether the Commission deems it necessary to review the TDMP itself.*
5. The applicant shall either provide a 15-foot-wide landscaped strip with trees along the Right-of-Way (ROW) on Clinton Street or apply for and obtain an Area Variance from the Zoning Board of Appeals granting relief from this requirement. *The applicant has added the required 15-foot-wide landscaped strip to the site plan however the proposed spacing of the small to medium deciduous trees is 30'. The Zoning Ordinance requires small to medium deciduous trees to be provided every twenty (20) linear feet. This summary item must remain but should be reworded as the following:*

“The applicant shall provide small to medium deciduous trees at a spacing of 20’ within the landscaped strip adjacent to the Right-of-Way (ROW) on Clinton Street.”

6. The applicant shall either add interior parking lot trees to the Landscaping Plan to meet the requirements of the Zoning Ordinance or apply for and obtain an Area Variance from the Zoning Board of Appeals granting relief from the requirements. *The applicant states in their July 19, 2023 correspondence that “plantings/shrubbery” have been added to the site plan inside the landscaped islands. However, the applicant is still not proposing any interior parking lot trees. To be consistent in the application of the landscaping requirements of the zoning ordinance for existing sites, the City will only require interior parking lot trees based on the extent of the expanded (new) parking area. The new parking area consists of eleven spaces along Clinton St. and two spaces near the northwest corner of the building addition for a total of thirteen. One large deciduous tree must be provided for each fifteen parking spaces or any fraction thereof. This summary item must remain but should be reworded as the following: The applicant must provide one interior parking lot tree within a landscaped island in the parking area.*
9. The applicant shall be responsible for preventing damage to the existing storm line underneath Clinton Street where the applicant is proposing to widen the margin and move the curb line. *This condition applies to the construction phase of the project and must remain.*
11. The applicant must either add grading, invert elevation information, pipe slopes and other pertinent data to the C103 drawing or submit a dedicated Grading Plan drawing with all required information. *While the applicant has added Rim Elevations to the C103 drawing, the Engineering Department will not be able to consider this condition satisfied until the applicant has submitted final construction drawings. This summary item must remain but should be reworded as the following: “The applicant shall submit a copy of the final construction drawing set, which must include all final inverts and grading information, to the City Engineering Department prior to the issuance of any permits.”*
12. The applicant must add a construction detail and note to the plans providing information regarding the proposed manhole boot connector that will be required for connection to the City catch basin. *While the applicant attached the required detail sheet to the July 19, 2023 correspondence (cover letter). These details must be part of the actual plan set on a dedicated detail sheet.*
13. The applicant shall be prepared to clarify where their roof drains are proposed to connect to. *The applicant states in the July 19, 2023 correspondence that all roof drains are internal to the existing building and will drain to the sanitary sewer. However, the applicant must calculate the expected outflow from the roof and call this calculation out on the C103 drawing.*
16. The applicant shall depict and label all existing and proposed fire hydrants on the plan drawing. *There is an existing hydrant on Clinton Street that is not depicted on any plan drawings.*
19. The applicant must obtain the following permits, minimally, prior to demolition and construction: Demolition Permit, Building Permit, General City Permit, Sanitary Sewer Connection Permit, Water Supply Permit and a Certificate of Zoning Compliance. *The applicant has acknowledged this requirement, but it must remain as a summary item.*

Additional Staff Comments (Resubmission): As stated in the Comprehensive Plan section of Staff's June 1, 2023 memorandum, the vision for the Downtown / Central Business District future land use character area is to encourage pedestrian activity with high density of development and a large variety of uses while simultaneously functioning as a regional employment hub. The Comprehensive Plan specifically states that "new infill development should respect the historic character of downtown, reinforce the urban character and emphasize walkability."

The proposed office use is in harmony with the Comprehensive Plan as it contributes to Downtown's role as a regional employment hub. However, the suburban campus design with parking in the front does not encourage walkability and is inconsistent with the Comprehensive Plan's vision for Downtown.

However, this is a rehabilitation of an existing building that was constructed in 1958, during an era in which automotive convenience was the priority. As such, short of a complete rebuild of the site, there are limited opportunities to implement the Comprehensive Plan's vision and it would be impractical to impose unreasonable burdens on the applicant. However, the Planning Commission should strive to maximize such opportunities when and where they are feasible.

The trees that the applicant has added to the exterior landscaped strip along the Clinton Street ROW to address Summary Item #5 will create a vertical elevation that mitigates the loss of the one-story building that previously fronted the sidewalk and provides some visual screening to the surface parking lot to alleviate some of the suburban feel and shade the sidewalk from the southern sun.

The applicant has submitted a Vehicular and Pedestrian Circulation Plan to comply with Summary Item #4. This drawing depicts pedestrian access from Clinton Street and Sherman Street in the form of an internal sidewalk network that connects to both streets' public sidewalks. If/when the Planning Commission considers a development proposal for the south end of the site, it should require the internal sidewalk network to connect to the Mullin Street sidewalk. The applicant also proposes a bus shelter on the Sherman Street edge of the property, which is laudable. The shelter would serve the CitiBus system.

Although the Planning Commission is not legally empowered to grant Variances, it is within the Planning Commission's purview to evaluate proposed development for harmony with the Comprehensive Plan. The first-floor transparency requirement in the Downtown District is directly aimed at implementing the Comprehensive Plan's vision of an active public realm and the Planning Commission is within its jurisdiction to ask an applicant to justify the reasoning for any proposed inconsistencies with the Comprehensive Plan. As discussed above, the applicant is seeking an Area Variance from the ZBA as required by Summary Item #1 to obtain relief from this requirement.

Staff Recommendation: Staff's comments in *italics* in the Summary Item UPDATE section above represent Staff's conclusions regarding the status of all summary items. The Planning Commission must decide whether it deems the application satisfactory to grant Site Plan Approval pending Staff verification of all of the outstanding summary items or whether it believes that any of the outstanding summary items warrant further Planning Commission oversight and review.

Project Overview: The applicant proposes to rehabilitate one of the two existing buildings on the subject parcel, including constructing two additions, and proposes to demolish the other existing building on the site. The applicant also proposes to resurface the existing parking lot. The proposed redevelopment is focused on the northern section of the parcel, with the southern section proposed to remain unimproved as the applicant does not yet have plans for developing that area.

The applicant proposes to demolish the existing one-story building at the northwest corner of the site, at the intersection of Clinton and Sherman Streets (see picture). The City Code Enforcement Bureau will require the applicant to adhere to all applicable asbestos laws related to demolition.

The applicant proposes to rehabilitate the existing two-story building at the northeast corner of the site (see picture) and construct an addition on the western face of this building to act as a main entrance lobby, with a second addition proposed for the southern face of the building.

The applicant does not identify square footages on the site plan. However, City Assessment records and the applicant's previous 2019 Site Plan submission indicate that the existing structure has a 12,000 square-foot (SF) footprint for 24,000 SF of existing total area. Staff measurements of the submitted plan indicate that the proposed western addition would be approximately 2,378 SF and the proposed southern addition would be approximately 253 SF.

Existing Conditions: The subject parcel contains the two aforementioned abandoned buildings, with existing asphalt, gravel, dumpsters and construction debris currently covering much of the rest of the parcel. There is a thin strip of existing lawn at some edges of the property (see picture). The subject parcel is bounded on three sides (north, west, south) by Clinton Street, Sherman Street and Mullin Street respectively. It is bounded to the east by the new Watertown Savings Bank (WSB) building. The existing uses across the three streets are a mix of residential, converted residential and office uses, as well as the Cleveland Funeral Home, which is kitty corner across Sherman and Mullin Streets.

Zoning: The subject property is in the Downtown Zoning District. The abutting WSB property and the north side of the 100-block of Clinton Street are also zoned Downtown. All the other properties across Sherman and Mullin Streets are zoned Urban Mixed Use, which functions as a downtown transition zone (see attached Zoning map).

The Zoning Ordinance allows the proposed office use with Site Plan Approval in the Downtown District. Adherence to various sections of the Zoning Ordinance is discussed within each applicable section below.

Comprehensive Plan: The City's adopted Comprehensive Plan recommends the future land use character area of these parcels as Downtown / Central Business District. The plan describes the Downtown / Central Business District future land use character area as follows:

"This district has the highest density, greatest variety of uses, and includes buildings of regional and historic significance. New infill development should reinforce the urban and historic character. Buildings are taller than in other parts of the City and parking is generally off-site. On-site parking, where it exists, is behind the building to preserve the historic building pattern and reinforce the walkable nature of downtown."

Regarding consistency with the future land use character area, the main entrance to the building faces a parking lot and does not address the sidewalk. The primary entrance faces west, with three drive aisles and four rows of parking separating the entrance from the Sherman Street sidewalk.

However, since this is a rehabilitation of an existing building, the building’s footprint and orientation on the parcel is an existing condition. The site plan, as submitted, appears to depict a secondary entrance on the north side of the building fronting the Clinton Street sidewalk. The applicant is also proposing an internal sidewalk connection to both the Sherman Street and Clinton Street sidewalks, the former of which contains a series of three internal crosswalks across the drive aisles.

While the parking lot is not behind the building, as the Comprehensive Plan prescribes, meaning that the layout and orientation are not what the Comprehensive Plan envisions, the proposed office use is in harmony with the Comprehensive Plan. Form-based harmony with the Comprehensive Plan is discussed in the Urban Design section that follows below.

Urban Design: Section 310-21 of the Zoning Ordinance, which governs dimensional regulations, contains the following transparency requirements for building façades in the Downtown District:

A	Ground floor transparency, front façade (min.)	75%
B	Ground floor transparency, corner side façade (min.)	50%
C	Upper floor transparency, front and corner side facades (min)	30%

The applicant did not include transparency calculations with the submitted elevation drawings. However, the applicant is responsible for submitting those calculations, and if the applicant seeks less transparency than the Zoning Ordinance requires, then such a reduction in transparency could only be legal with the relief of an Area Variance granted by the Zoning Board of Appeals. While the applicant did not include transparency calculations, it is evident from a cursory review of the elevation drawings that the ground-floor requirements are not being met.

In line with the Downtown / Central Business District future land use character area, as defined in the Comprehensive Plan, the purpose of the Downtown District, as defined in the Zoning Ordinance, is:

“Intended to encourage pedestrian activity, the intent of the Downtown District is to cultivate a vibrant public realm and function as a regional employment hub, the Downtown District has the highest density of development with the greatest variety of uses. New infill development should respect the historic character of downtown, reinforce the urban character and emphasize walkability. Buildings are taller than in other parts of the city and parking needs are generally met by off-site lots, whether public or private. On-site parking, where it exists, is behind the building to preserve the historic building pattern and reinforce the pedestrian-oriented nature of downtown.”

First-floor transparency in particular is a core urban design principle when attempting to cultivate a pedestrian-oriented setting. Thus, the 75 percent ground floor transparency requirement Downtown, which is higher than any other Zoning district in the City.

Transportation Demand Management Plan: Section 310-36 of the Zoning Ordinance, which governs the maximum number of off-street surface parking spaces allowed for new development in each district, allows a maximum zero spaces in the Downtown District without a Transportation Demand Management Plan (TDMP). Section 310-36 (E)(4) specifically states:

“Parking lots of any size in the Downtown shall require a TDMP.”

This is in line with the District Purpose as stated in Section 310-12, which is quoted above in this memorandum. The purpose of the TDMP is to demonstrate that the need for parking cannot reasonably be met through the provision of on-street parking, shared parking with adjacent or nearby uses or met by public parking. It is also used to demonstrate that the design of the site supports high levels of existing or planned transit and pedestrian activity.

The applicant has not submitted the required TDMP and is responsible for submitting one for Planning Commission and Staff review that meets all applicable requirements of Section 310-36 of the Zoning Ordinance. Since the proposed lot exceeds 75 spaces (the applicant identifies 89 on the Zoning Regulations Table), this includes a Level of Service analysis.

Finally, while the table identifies 89 spaces, the site plan drawing appears to contain 90 spaces. The applicant shall clarify this discrepancy.

Vehicular and Pedestrian Circulation: The applicant did not submit a formal Vehicular and Pedestrian Circulation Plan, which is a required drawing within a Site Plan Application package. The C102 (Site Plan) drawing contains some of the required elements of a Vehicular and Pedestrian Circulation Plan. However, it does not contain the movements of a City fire truck and a refuse vehicle. The analysis below is based on the information available on the C102 drawing.

Vehicular access to the proposed parking lot would be via curb cuts on both Clinton and Mullin Streets, connected by an internal north-south drive aisle that runs from one curb cut to the other. The applicant proposes a 24' wide drive aisle, which is sufficient for two-way internal traffic.

The applicant proposes an east-west internal drive aisle that would cross the eastern property line and connect directly to the adjacent WSB parking lot without the need to exit to the street. As discussed in the Comprehensive Plan section of this memorandum, the applicant also proposes an internal sidewalk network, connecting to/from Clinton and Sherman Streets.

Section 310-37 of the Zoning Ordinance, which governs parking lot standards, requires two electric vehicle (EV) charging ports for every 20 spaces. The applicant is proposing eight EV ports.

Landscaping: Section 310-83 of the Zoning Ordinance requires a 15-foot-wide landscaped strip along all Rights-of-Way (ROW) in the Downtown District, unless a building utilizes a setback of 0-to-15 feet, in which case any available space between the building and the ROW shall be landscaped. The applicant is proposing a 10' wide strip along the ROW along Sherman St. Since the parking spaces in this area exist, the proposed width is acceptable.

The applicant is proposing a 9'-3"-wide landscaped strip along the ROW on Clinton Street, 5'-9" narrower than the Zoning Ordinance requires. Since this is a new parking area, the applicant is responsible for meeting all applicable requirements of the Zoning Ordinance and must increase the width to 15 feet.

In addition to the 15' that must be provided, Section 310-83 requires the following for Landscaped Strips Along Street Rights-of-Way:

“Within the landscaped strip, one (1) large deciduous tree (2” DBH minimum) shall be provided every forty (40) linear feet or one (1) small to medium deciduous tree (1.5” DBH minimum) shall be provided every twenty (20) linear feet. Planting beds with shrubs, perennials, annuals, native or ornamental grasses are recommended in between the trees.”

and the following for Interior Parking Lot Landscaping:

“Interior parking lot trees and landscaping is required in addition to the landscaped strip. Trees shall be provided in each parking lot at a minimum average density of one (1) large deciduous tree (two-inch DBH) for each fifteen (15) parking spaces, or any fraction thereof.”

The applicant proposes four interior landscaped islands as well as a landscaped area adjacent to the west façade of the building. However, the applicant only proposes topsoil with grass seed for the former and decorative stone gravel with shrubs for the latter.

The site plan, as submitted, does not depict any landscaping on the southern half of the parcel, where no development is proposed at this time. Although, the applicant does propose new tree planting in the street margins of Sherman and Mullin Street adjacent to the southern section of the site.

The applicant proposes two new trees at the northern edge of the property, one in the snow storage area at the corner of Sherman and Clinton Streets and one adjacent to the proposed curb cut on Clinton Street.

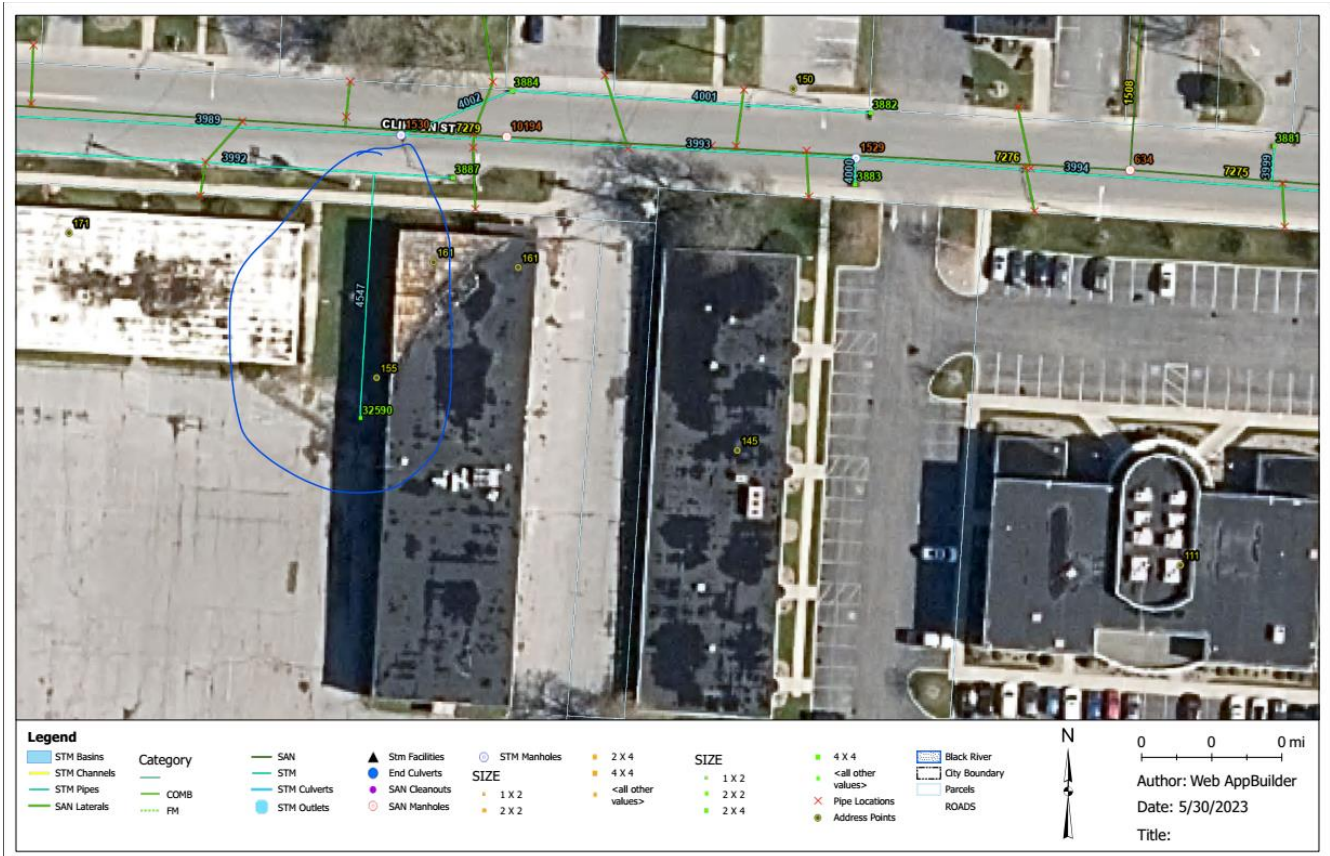
In the cases of the above requirements (15-foot ROW-adjacent landscaping, and interior parking lot trees), the applicant shall either bring the proposed site plan into conformance with the Zoning Ordinance or appeal for relief in the form of Area Variances from the Zoning Board of Appeals.

Setbacks: The applicant proposes to rehabilitate an existing building within its current footprint other than the two proposed additions on the west and south sides. Therefore, although the Downtown District allows a maximum 10-foot front yard setback and the west (Sherman Street) side of the property is the functional front yard with a 181-foot setback, the building footprint is an existing condition, and this setback enjoys legal nonconforming (“grandfathered”) status.

Lighting: The applicant submitted a photometric plan that contains a luminaire schedule and footcandle measurements. Section 310-84 of the Zoning Ordinance states that light trespass across property lines shall not exceed 0.5 footcandles. It appears that light trespass of 0.6 to 0.7 footcandles occurs along the eastern property line. The Zoning Ordinance allows the Planning Commission to modify the lighting standards if it feels that the existing circumstances of the property or adjacent uses warrant a change. The Planning Commission should decide whether or not the light trespass is significant enough to require a change to lighting plan.

Grading, Drainage and Utilities: The C103 (Utility Plan) depicts a sanitary sewer line extending south from Clinton Street to the proposed western building addition. There is an existing storm sewer line in that location now (see image on next page). There is also an existing catch basin at the south end of the storm line that would be directly underneath the proposed western building addition.

The applicant shall clarify to the City Engineering Department exactly what is proposed for this pipe and catch basin. If both are proposed for elimination, the applicant shall add a note to the site plan to that effect and clarify for Staff if this will be mitigated elsewhere on the site.



In addition, the storm line identified above connects to an existing storm line in the Clinton Street ROW underneath the section where the applicant proposes to expand the margin and move the curb line out. The applicant shall be aware of this storm line and avoid damaging it during construction.

Both the C102 and C103 drawings contain contour lines. It appears that these are existing contours. The applicant must add a label to one of the drawings calling out the nature of the contour lines.

The applicant did not submit a Grading Plan and there are no proposed contours or spot elevations shown on the site utility plan. The applicant is proposing several landscaped islands containing yard drains with steel domed covers, connected by 6” HDPE pipe. This parking lot drainage system connects to a City catch basin located at the southeast corner of the Clinton St./Sherman St. intersection. The applicant must either add grading, invert elevation information, pipe slopes and other pertinent data to the C103 drawing or submit a dedicated Grading Plan drawing with all required information.

Additionally, the City will require a manhole boot connector (a.k.a.: boot style connection) in the City catch basin. The applicant shall also add a construction detail and note providing information regarding the proposed connection to the City catch basin.

The applicant should be aware that minor flooding does occur on this site with 20-year or greater storms, and the building proposed for rehabilitation was vulnerable to interior flooding during its previous useful life. The applicant shall be prepared to clarify where their roof drains are proposed to connect to. The proposed action will disturb more than one acre, and as such, depending on the depth of the proposed excavation, the City Engineering Department may require the applicant to provide a Stormwater Pollution Prevention Plan (SWPPP). The applicant shall be prepared to discuss the potential for a SWPPP at the Planning Commission meeting.

Finally, while it need not be a condition of Site Plan Approval, the applicant should consider incorporating some form of stormwater retention system on the site to mitigate runoff.

The applicant states in the Engineering Report that “the local energy provider will be responsible for the installation of the new service to the existing pole.” The applicant must coordinate this with National Grid. The applicant shall also depict and label all existing and proposed fire hydrants.

SEQR: This project is considered an Unlisted Action under the State Environmental Quality Review Act (SEQRA). The applicant must submit a completed Part 1 of a Short Environmental Assessment Form (EAF). Upon receipt, the Planning Commission, as Lead Agency, must complete Part 2 of the Short EAF.

As a point of clarification of SEQRA Law, Section 6 CRR-NY 617.4 of the Official Compilation of Codes, Rules and Regulations of the State of New York, which defines Type 1 Actions pursuant to SEQRA, identifies “any Unlisted action (unless the action is designed for the preservation of the facility or site), that exceeds 25 percent of any threshold established in this section, occurring wholly or partially within, or substantially contiguous to, any historic building, structure, facility, site or district or prehistoric site that is listed on the National Register of Historic Places” as a Type 1 Action.

One such threshold that the Code identifies is “a project or action that involves the physical alteration of 10 acres,” meaning that 25 percent of that threshold is 2.5 acres. However, while the subject parcel is greater than 2.5 acres, the area that the applicant proposes to disturb as part of the redevelopment is between 1.5 and 1.6 acres. Therefore, the proposed Site Plan would remain an Unlisted Action.

Miscellaneous: As the applicant is proposing the demolition of one of the existing structures on the site, they must obtain a Demolition Permit from the City Code Enforcement Bureau and provide a Demolition Plan as part of the permitting process if the Bureau requires one.

Permits: The applicant must obtain the following permits and other documentation, minimally, prior to construction: Demolition Permit, Building Permit, MS4 Acceptance Permit, Sanitary/Storm Sewer Connection Permit, Sidewalk Permit, Water Supply, Permit, a General City Permit for work within the Right-of-Way (ROW) and a Zoning Compliance Certificate.

Staff Recommendation: The Planning Commission cannot approve an application with pending potential Variances. In addition, a proper and thorough Site Plan review would require receipt of a more complete application, with all required elements.

Planning Staff recommends that the Planning commission table the application (original recommendation).

Site Photos



Above: A view looking west along the north end of the site (south side of Clinton Street) of the one-story building proposed for demolition.

Below: A view looking northeast from the Sherman Street side of the property of the one-story building proposed for demolition.





Above: A view looking southeast from Clinton Street of the west face of the existing two-story building proposed for rehabilitation. This would become the functional front face following the proposed rehabilitation.
Below: A view of the existing north entrance to the two-story building proposed for rehabilitation fronting on Clinton Street.





Above: A view looking south from the corner of Clinton and Mullin Streets of an existing lawn area along the western edge of the site (east side of Sherman Street). The one-story building proposed for demolition is at the left in the photo.

Below: A view looking south of the southwest corner of the site proposed as “remaining parking area to be reserved for future development.”





Above: A view looking east of the south end of the site proposed as “remaining parking area to be reserved for future development.” The Dulles State Office Building is in the background.

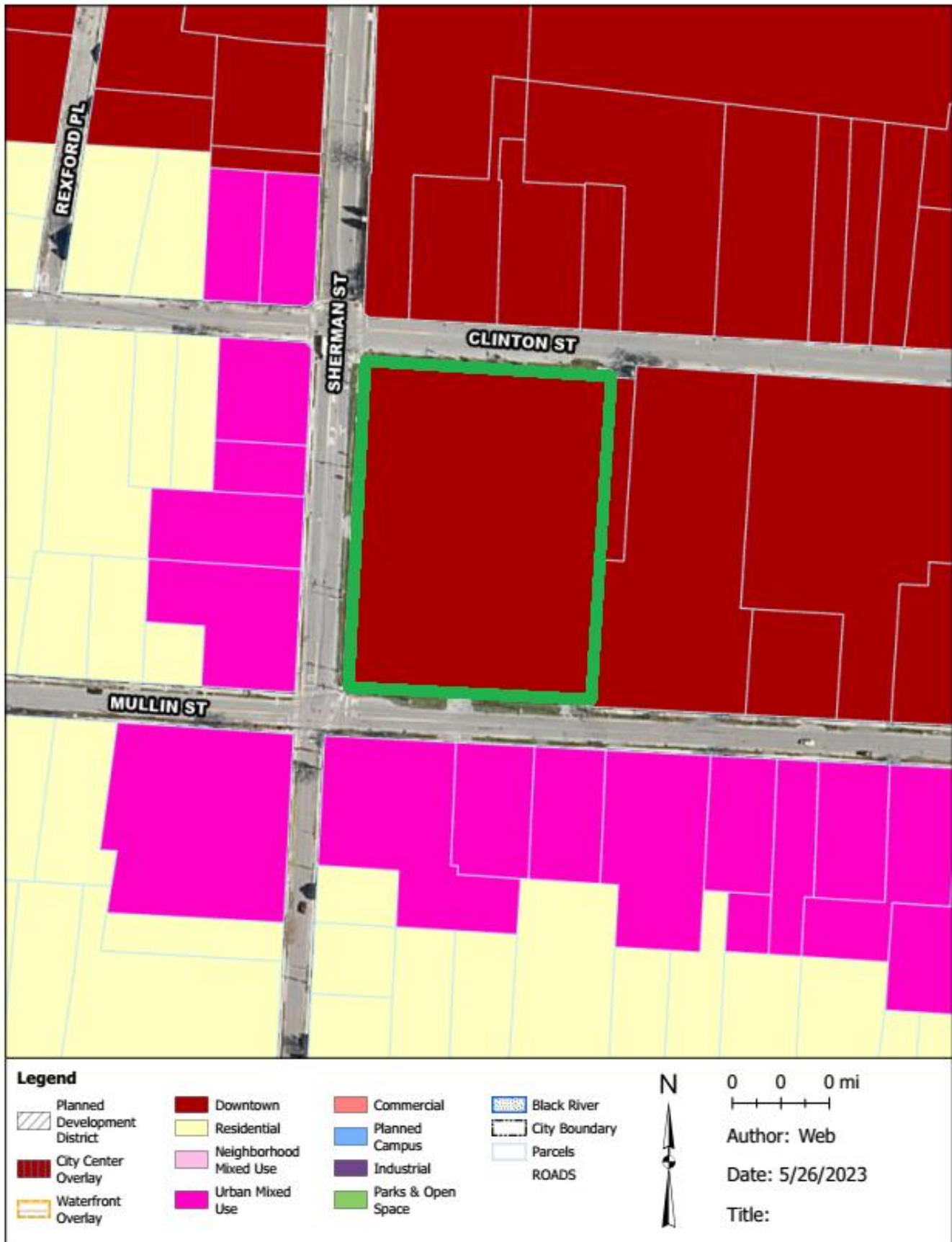
Below: A view of the existing curb cut connecting from Mullin Street. A preliminary measurement of the submitted site plan indicates that this curb cut would shift approximately 20 feet to the east (left).



Below: A satellite view of the subject parcel and its surrounding area.



Below: A Zoning map of the subject parcel and its surrounding area.



PLOTTED: 7/19/2023 10:57:21 AM
C:\USERS\DICKINSON\LAWMAN\COMP\PROJECT WORK - DOCUMENTS\05-22-003\LOT #155 CLINTON\03 DESIGN FILES\03_CIVIL\PROPOSED SITE PLAN.DWG

CLINTON CENTER DEVELOPMENT, LLC NEW REDEVELOPMENT

155 CLINTON STREET WATERTOWN, NY 13601
CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK

DATED: MAY 23, 2023

▲ LAST REVISED: 07-01-2023

DESIGNED AND BUILT BY: DESIGN BUILD INNOVATIONS - A LAWMAN / LUNDY COMPANY



REVISIONS:		
NO.	NOTES	DATE
1	REVISED TO SHOW SITE DEMOLITION PLAN, VEHICULAR AND PEDESTRIAN CIRCULATION PLAN, AND OTHER SITE IMPROVEMENTS OUTLINED IN A "MEMORANDUM" FROM THE CITY OF WATERTOWN PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DATED JUNE 1, 2023	07-03-2023

DRAWING INDEX:

- ▲ COVER SHEET
- S101 - EXISTING CONDITIONS PLAN
- ▲ C101 - SITE DEMOLITION PLAN
- ▲ C102 - SITE PLAN AND LANDSCAPING PLAN
- ▲ C103 - SITE UTILITY AND GRADING PLAN
- C104 - SITE PHOTOMETRIC PLAN
- ▲ C105 - VEHICULAR PEDESTRIAN CIRCULATION PLAN
- SK-1 - SCHEMATIC FIRST FLOOR PLAN
- SK-2 - SK-2 SCHEMATIC SECOND FLOOR PLAN
- EV-1 - ELEVATION VIEWS

PREPARED BY:



PROFESSIONAL ENGINEER:

— MBL —
ENGINEERING, PLLC
MBL ENGINEERING PLLC
16510 BALCH PLACE
MANNSVILLE, NY 13661

[Signature Box]
MICHAEL LASELL
LICENSE NO. 6087148

REGISTERED ARCHITECT:

[Signature Box]
MOSHER ARCHITECTS P.C.
1035 SEVENTH NORTH ST.
SUITE 1A
LIVERPOOL, N.Y. 13088

[Signature Box]
DAVID E. MOSHER
LICENSE NO. 036209

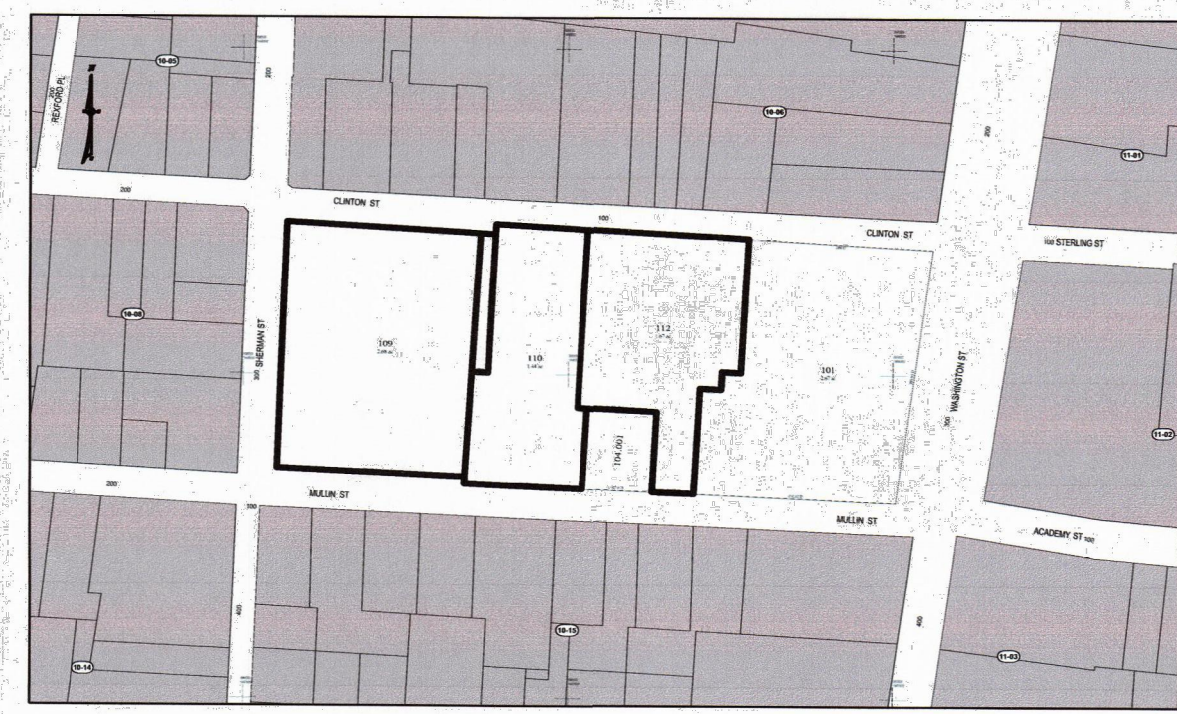
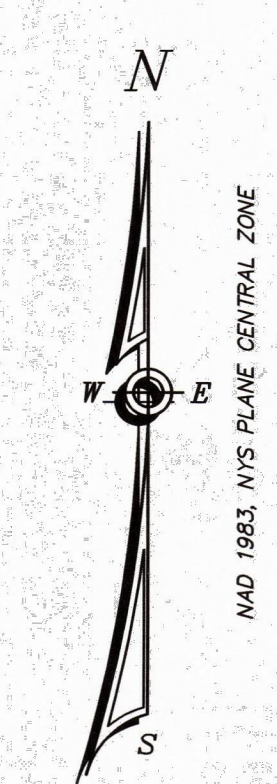
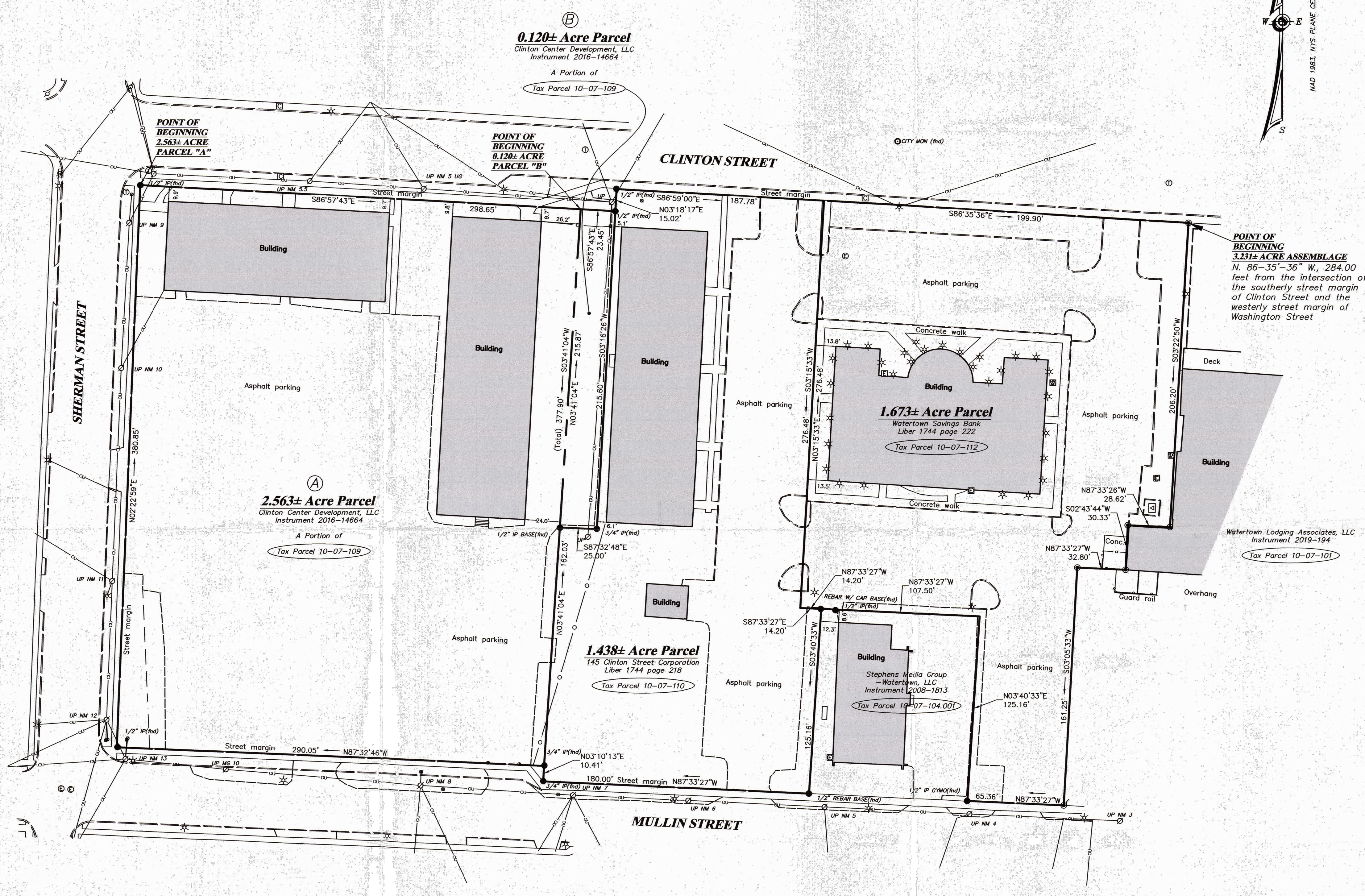
FOR APPROVALS ONLY
NOT FOR CONSTRUCTION

CLINTON CENTER DEVELOPMENT, LLC - NEW REDEVELOPMENT
155 CLINTON STREET WATERTOWN, NY 13601
CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK
DATED: MAY 23, 2023, LAST REVISED: 07-01-2023 ▲



LEGAL DISCLAIMER:
THIS DRAWING IS THE PROPERTY OF LAWMAN HEATING AND COOLING, INC. AND / OR DBI, LLC. IT MAY NOT BE REPRODUCED OR DISTRIBUTED IN ANY FORM TO ANY OUTSIDE PARTY WITHOUT THE WRITTEN CONSENT OF LAWMAN HEATING AND COOLING, INC. AND / OR DBI, LLC.

PLOTTED: 7/17/2023 2:36:02 PM
C:\USERS\JOHN\SONN\AMM\PROJECT WORK - DOCUMENTS\055-22-003.LOT #155:CLINTON03_DESIGN FILES\03_CIVIL\PROPOSED SITE PLANNING



GYMO
Architecture
Engineering
Land Surveying
WWW.GYMODPC.COM
18969 US Route 11
Watertown, NY 13601
315.788.3900

COPYRIGHT © 2021
GYMO
ARCHITECTURE, ENGINEERING
& LAND SURVEYING, D.P.C.
IT IS A VIOLATION OF SECTION
7209, SUBDIVISION 2, OF THE
NEW YORK STATE EDUCATION
LAW FOR ANY PERSON, UNLESS
ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL
ENGINEER OR LAND SURVEYOR
TO ALTER THIS DOCUMENT IN
ANY WAY. IF ALTERED SUCH
LICENSEE SHALL AFFIX HIS OR
HER SEAL AND THE NOTATION
"ALTERED BY" FOLLOWED BY
HIS OR HER SIGNATURE, DATE
AND A SPECIFIC DESCRIPTION
OF ALTERATION.



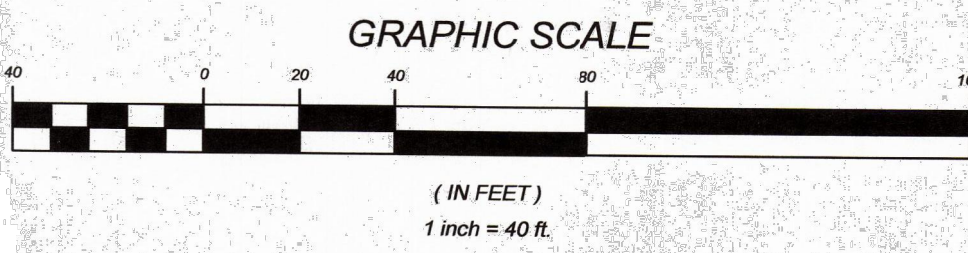
PROJECT NO: 2021-066
SCALE: 1" = 40'
DRAWN BY: ZPS, GFA
CHECKED BY: GFA
DATE: 10/05/2021

- LEGEND**
- 1/2" IRON PIPE WITH CAP SET
 - IRON MONUMENT FOUND (as noted)
 - BOLLARD
 - CATCH BASIN ROUND
 - CATCH BASIN SQUARE
 - COMMUNICATIONS MANHOLE
 - CLEANOUT
 - ELECTRIC BOX
 - ELECTRIC MANHOLE
 - ELECTRIC METER
 - GAS METER
 - GAS VALVE
 - GUY WIRE
 - HYDRANT
 - LIGHT POLE
 - MANHOLE
 - SEWER MANHOLE
 - STORM MANHOLE
 - SHRUB
 - TELE BOX
 - TELE MANHOLE
 - TRAFFIC BOX
 - TRAFFIC MANHOLE
 - GENERATOR PAD
 - TREE (coniferous)
 - TREE (deciduous)
 - UTILITY POLE
 - ASPHALT
 - CURB
 - GRAVEL
 - CHAIN LINK FENCE
 - WOOD FENCE
 - OVERHEAD UTILITIES

DEED REFERENCES
(Parcels A & B)
John Doldo Jr., Individually and Lewis G. Spicer, III, and Christa Spicer Matthews as Trustees
Clinton Center Development, LLC
Instrument 2016-14664
Recorded October 17, 2016
Tax Parcel 10-07-103.000
145 Clinton Street Corporation and Watertown Savings Bank
to
145 Clinton Street Corporation
Liber 1744 Page 218
Recorded July 19, 2000
Tax Parcel 10-07-110.000
Watertown Savings Bank and 145 Clinton Street Corporation
to
Watertown Savings Bank
Liber 1744 Page 222
Recorded July 19, 2000
Tax Parcel 10-07-112.000

MAP REFERENCE
"Map of 161-171 Clinton Street Prepared for Lundy Development and Property
Management, City of Watertown, County of Jefferson, State of New York", dated
July 14, 2016, prepared by GYMO, D.P.C.

- NOTES**
- Field location was performed on various dates between June 09, 2016 and July 14, 2021.
 - The horizontal datum referenced herein is NAD 1983, New York State Plane, Central Zone based on the NYS CORS Network.
 - All adjoining are per the City of Watertown Real Property Assessment Office.
 - Underground facilities, structures and utilities have not been plotted.
There may be underground facilities, structures and utilities, the existence of which is presently not known and therefore not shown on this map.
Prior to construction contact Underground Facilities Protective Organization, (UFPO) at 1-800-962-7962 for exact location of all underground utilities.
 - This survey was prepared without the benefit of an Updated Abstract of Title and is subject to any changes which may occur as a result of a more complete title search.
 - Subject parcels are City of Watertown Assessment Parcel Numbers 10-07-109.000, 10-07-110.000 & 10-07-112.000.
 - The lands shown herein are subject to any rights, restrictions, easements or covenants of record, expressed or implied by usage or custom.
 - Parcel B is to be assembled with Tax Parcels 10-07-110 and 10-07-112 resulting in a total assembled acreage of 3.231 Acres.



FOR REFERENCE ONLY

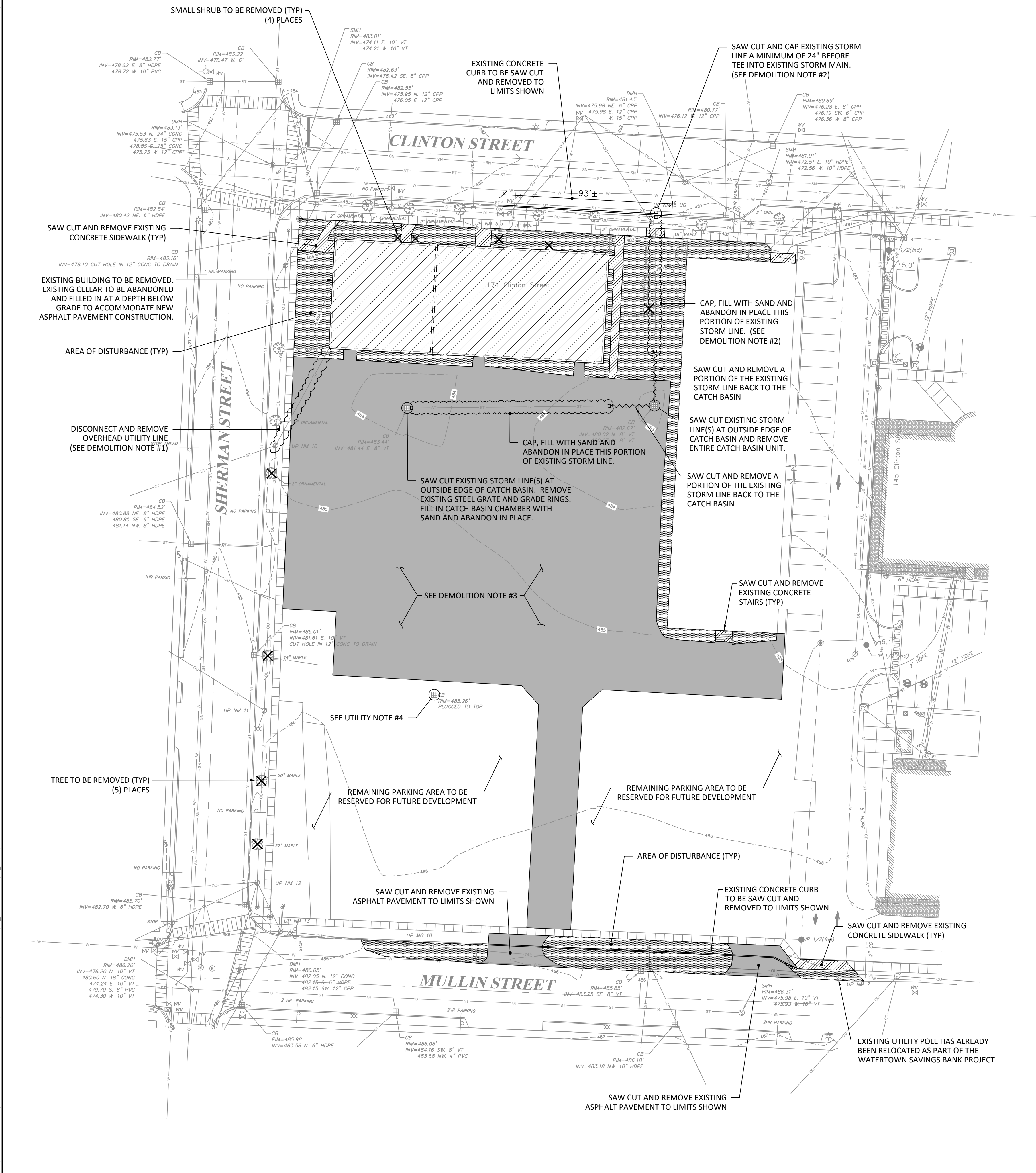
2021028587
7950
12/02/2021 11:10:10 AM
9 Pages
MAP
Gizelle J Meeks, Jefferson County Clerk
Clerk SB

It is hereby certified that subdivision final plat approval was granted on 11/1/2021 pursuant to Sections 32, 33 and 34 of the General City Law.
Michael A. Lumbis Date 11/1/2021
Planning and Community Development Director
Clerk of the City of Watertown Planning Board

**FINAL SUBDIVISION PLAT OF THE LANDS AT
155 CLINTON STREET AND ASSEMBLAGE WITH THE LANDS AT
145 AND 111 CLINTON STREET
CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF NEW YORK**

DATE ISSUED: N/A
DRAWING NO:
S101

PLOTTED: 7/19/2023 10:57:24 AM
 C:\USERS\DICKINSON\LAWMAN\COMPROJECT\WORK - DOCUMENTS\05-22-2023\LOT #155 CLINTON\DWG3_CIVIL\PROPOSED SITE PLAN.DWG

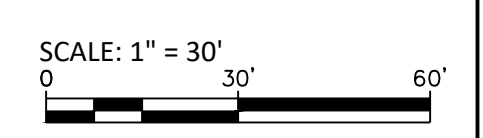


LEGAL DISCLAIMER:
 THIS DRAWING IS THE PROPERTY OF LAWMAN HEATING AND COOLING, INC. AND / OR DBI, LLC. IT MAY NOT BE DUPLICATED OR DISTRIBUTED IN ANY FORM TO ANY OUTSIDE PARTY WITHOUT THE WRITTEN CONSENT OF LAWMAN HEATING AND COOLING, INC. AND / OR DBI, LLC.

EXISTING LEGEND	
	PROPERTY LINE
	CONCRETE SIDEWALK
	PAINTED CROSSWALK
	EXISTING CONTOUR
	EDGE OF PAVEMENT
	CURB LINE
	STORM LINE
	CATCH BASIN
	DRAINAGE MANHOLE
	SANITARY SEWER MANHOLE
	SANITARY LINE
	FIRE HYDRANT
	WATER VALVE
	WATER LINE
	TELECOMMUNICATIONS MANHOLE
	TRAFFIC SIGNAL POLE
	UTILITY POLE
	UTILITY POLE WITH GUY WIRE AND GUY POLE
	LIGHT POLE
	ELECTRIC MANHOLE
	OVERHEAD UTILITY LINE
	CABLE TV LINE
	COMMUNICATIONS LINE
	UNDERGROUND ELECTRIC LINE
	GAS VALVE
	GAS LINE
	TRAFFIC SIGNS
	TREE
	SHRUB OR BUSH
	PROPERTY LINE MONUMENTATION
	PAINTED EV PARKING
	PAINTED TRAFFIC ARROW

PROPOSED LEGEND	
	ASPHALT PAVEMENT TO BE REMOVED
	CONCRETE TO BE REMOVED
	BUILDING TO BE REMOVED
	AREA OF DISTURBANCE
	CONCRETE CURB TO BE REMOVED
	UTILITY LINE TO BE REMOVED
	CUT AND CAP
	SHRUB OR TREE TO BE REMOVED

- DEMOLITION NOTES:**
- THE LOCAL ENERGY PROVIDER SHALL OVERSEE AND CONDUCT ALL WORK INVOLVING THE DISCONNECT AND REMOVAL OF OVERHEAD UTILITY LINE(S) FROM THE EXISTING BUILDING AS WELL AS THE ASSOCIATED UTILITY POLE TO WHICH IT CONNECTS TO.
 - TAKE CAUTION TO PRESERVE AND PROTECT EXISTING STORM MAIN, UNDERGROUND COMMUNICATION LINE(S), AND EXISTING UTILITY POLE DURING DEMOLITION OF STORM LINE IN THIS AREA.
 - THE EXISTING ASPHALT PAVEMENT SHALL RECEIVE MINOR REPAIRS AND BE RE-PAVED AS NEEDED TO APPROXIMATE LIMITS SHOWN. THE AREAS LABELED "REMAINING PARKING AREA TO BE RESERVED FOR FUTURE DEVELOPMENT" SHALL BE REPAIRED AND RE-PAVED AT A LATER DATE AND TIME. ANY DEMOLITION THAT MAY TAKE PLACE WILL HAVE TO BE DETERMINED IN THE FIELD.
 - THE EXISTING CATCH BASIN WAS PLUGGED WITH DEBRIS AT THE TIME OF THE FIELD SURVEY. THEREFOR ANY STORM LINES IF ANY, THAT RUN IN A NORTHERLY DIRECTION TO THE OTHER EXISTING CATCH BASIN SHALL BE CUT, FILLED WITH SAND, CAPPED, AND ABANDONED IN PLACE. ANY STORM LINES THAT RUN IN A WESTERLY DIRECTION TOWARDS SHERMAN STREET SHALL BE LEFT IN PLACE UNDISTURBED.



DESIGN BUILD INNOVATIONS

PLAN VIEW:

NO.	DATE	NOTES
1	07-03-2023	REVISED TO SHOW SITE DEMOLITION PLAN, VEHICULAR AND PEDESTRIAN CIRCULATION PLAN, AND OTHER SITE IMPROVEMENTS FOR THE CITY OF WATERTOWN PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DATED JUNE 1, 2023

CLINTON CENTER DEVELOPMENT, LLC
 CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

SHEET TITLE:
SITE DEMOLITION PLAN
 ADDRESS:
 155 CLINTON STREET
FOR APPROVALS ONLY
NOT FOR CONSTRUCTION
 STAMP:

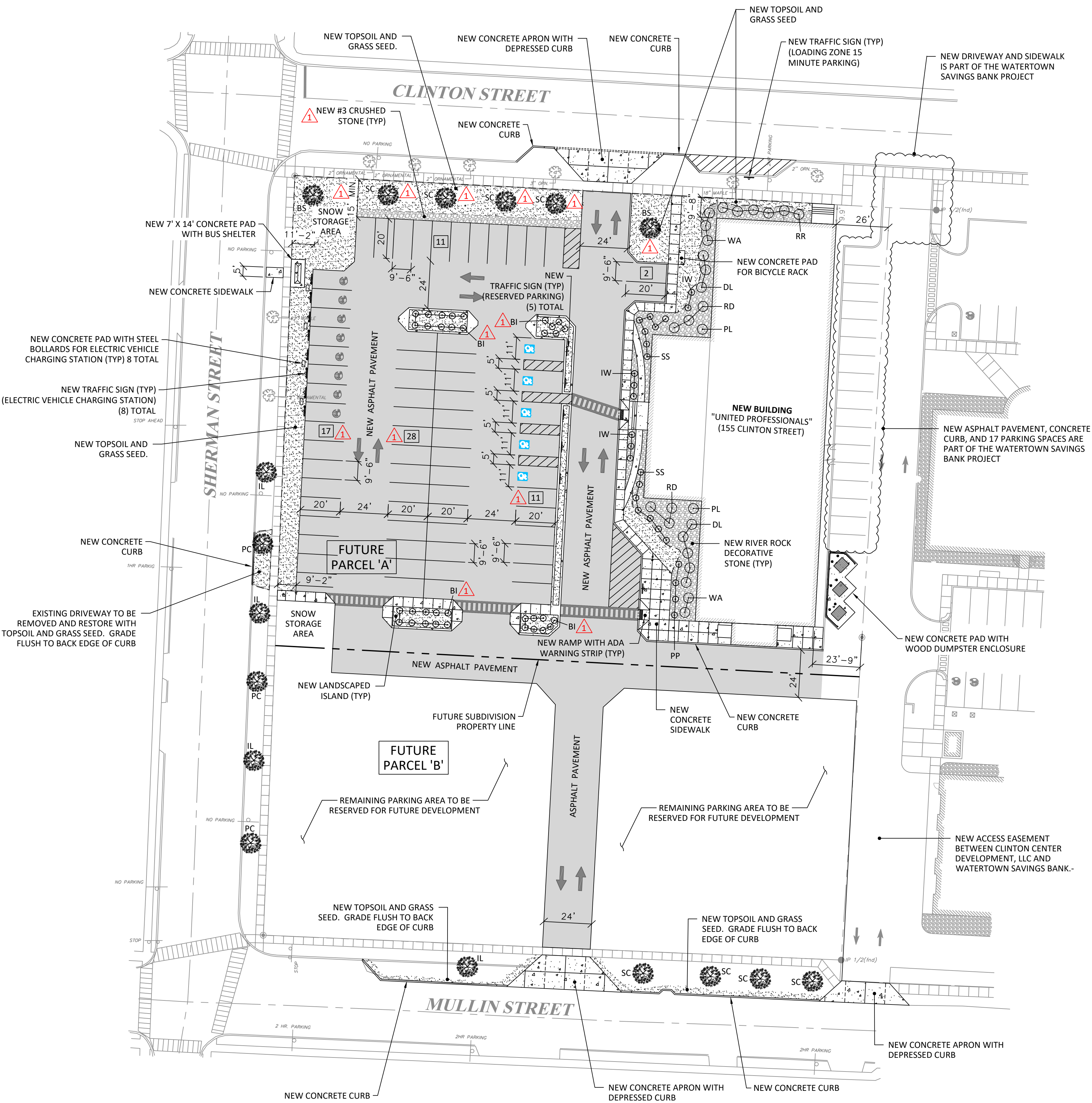
JOB NO:	055-22-009
ISSUE DATE:	05-23-2023
DRAWN BY:	J. DICKINSON
CHECKED BY:	M. LUNDY
APPROVED BY:	
SCALE:	1" = 30'
DRAWING NO:	

C101

PLOTTED: 7/19/2023 10:57:29 AM

C:\USERS\DICKINSON\LAWMAN\COM\PROJECT WORK - DOCUMENTS\05-22-003\LOT #155 CLINTON\03_CIVIL\PROPOSED SITE PLAN.DWG

LEGAL DISCLAIMER: THIS DRAWING IS THE PROPERTY OF LAWMAN HEATING AND COOLING, INC. AND J. DR. DBI, LLC. IT MAY NOT BE DUPLICATED OR DISTRIBUTED IN ANY FORM TO ANY OUTSIDE PARTY WITHOUT THE WRITTEN CONSENT OF LAWMAN HEATING AND COOLING, INC. AND J. DR. DBI, LLC.



ZONING REGULATIONS

ITEM	REQUIRED / ALLOWED	NEW
LOT SIZE	N/A	N/A
FRONT YARD SETBACK	0	0
SIDE YARD SETBACK	0	9'-8" SAME AS EXISTING
REAR YARD SETBACK	0	23'-9"
MAX % BUILDING	100%	N/A
PARKING SPACES	N/A	86

PLANT MATERIAL SCHEDULE

NOTE	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
BS	PICEA PUNGENS	COLORADO BLUE SPRUCE	50'-75'
IL	SYRINGA RETICULATA	'IVORY SILK' TREE LILAC	2 CAL
AM	ACER X FREMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2" CAL
SC	MALUS 'SPRING SNOW'	'SPRING SNOW' CRABAPPLE	2" CAL
PC	MALUS 'PRAIRFIRE'	'PRAIRFIRE' CRABAPPLE	2" CAL
EVERGREEN			
WA	THUJA OCCIDENTALIS 'WOODWARDII'	WOODWARDII ARBORVITAE	24" B.B
IW	EUONYMUS FORTUNEI 'IVORY JADE'	WOODWARDII ARBORVITAE	24" B.B
SHRUBS			
DL	SYRINGA PATULA 'MISS KIM'	DWARF KOREAN LILAC	3 GAL
RD	CORNUS ALBA SIBERICA	RED TWIG DOGWOOD	3'-4'
AS	SPIREA BULMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	3 GAL
PP	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	3 GAL
LS	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	3 GAL
SS	SPIREA NIPPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	3 GAL
RR	RUGOSA ROSE	PINK RUGOSA ROSE	3 GAL
PL	PRUNUS CISTENA	PURPLE LEAF SAND CHERRY	3'-4'
BI	IRIS VERSICOLOR	BLUE FLAG IRIS	2'-3'
RAIN GARDEN			
LANDSCAPED ISLANDS SHALL CONTAIN A MIX OF PERENNIALS AND ORNAMENTAL GRASSES			

EXISTING LEGEND

---	PROPERTY LINE
=====	CONCRETE SIDEWALK
	PAINTED CROSSWALK
----	EXISTING CONTOUR
----	EDGE OF PAVEMENT
----	CURB LINE
ST	STORM LINE
■	CATCH BASIN
⊙	DRAINAGE MANHOLE
⊙	SANITARY SEWER MANHOLE
—S—	SANITARY LINE
—F—	FIRE HYDRANT
—WV—	WATER VALVE
—W—	WATER LINE
⊙	TELECOMMUNICATIONS MANHOLE
⊙	TRAFFIC SIGNAL POLE
⊙	UTILITY POLE
⊙	UTILITY POLE WITH GUY WIRE AND GUY POLE
★	LIGHT POLE
⊙	ELECTRIC MANHOLE
—OU—	OVERHEAD UTILITY LINE
—C—	CABLE TV LINE
—COM—	COMMUNICATIONS LINE
—UE—	UNDERGROUND ELECTRIC LINE
—GV—	GAS VALVE
—G—	GAS LINE
—	TRAFFIC SIGNS
⊙	TREE
⊙	SHRUB OR BUSH
⊙ 1/2(IN)	PROPERTY LINE MONUMENTATION
⊙	PAINTED EV PARKING
↑	PAINTED TRAFFIC ARROW

GENERAL NOTES:

- THE EXISTING ASPHALT PAVEMENT SHALL RECEIVE MINOR REPAIRS AND BE RE-PAVED AS NEEDED TO APPROXIMATE LIMITS SHOWN. THE AREAS LABELED "REMAINING PARKING AREA TO BE RESERVED FOR FUTURE DEVELOPMENT" SHALL BE REPAIRED AND RE-PAVED AT A LATER DATE AND TIME. ANY DEMOLITION THAT MAY TAKE PLACE WILL HAVE TO BE DETERMINED IN THE FIELD.

PROPOSED LEGEND

■	ASPHALT PAVEMENT
■	CONCRETE
■	TOPSOIL WITH GRASS SEED
■	DECORATIVE STONE GRAVEL
■	PAVEMENT PAINT
■	BUILDING
XXXXXX	BUILDING DEMOLITION
----	CURB LINE
-----	LOW CURB LINE
	PAINTED CROSSWALK
→	PAINTED TRAFFIC ARROW
♿	PAINTED ADA PARKING
⊙	PAINTED 'EV' PARKING
••	BOLLARDS
—	EV DUAL CHARGING STATION
—	TRAFFIC SIGN
—	BUS SHELTER
⊙	TREE
⊙	SHRUB OR BUSH
18	PARKING COUNT
X	TREE DEMOLITION
---	FUTURE SUBDIVISION PROPERTY LINE

SCALE: 1" = 30'



PLAN VIEW:

DATE	REVISIONS:
07-03-2023	1

REVISED TO SHOW SITE DEMOLITION PLAN, VEHICULAR AND PEDESTRIAN CIRCULATION PLAN, AND OTHER SITE IMPROVEMENTS. THE CITY OF WATERTOWN PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DATED JUNE 1, 2023.

CLINTON CENTER DEVELOPMENT, LLC
 CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

SHEET TITLE:
SITE PLAN AND LANDSCAPING PLAN

ADDRESS:
155 CLINTON STREET

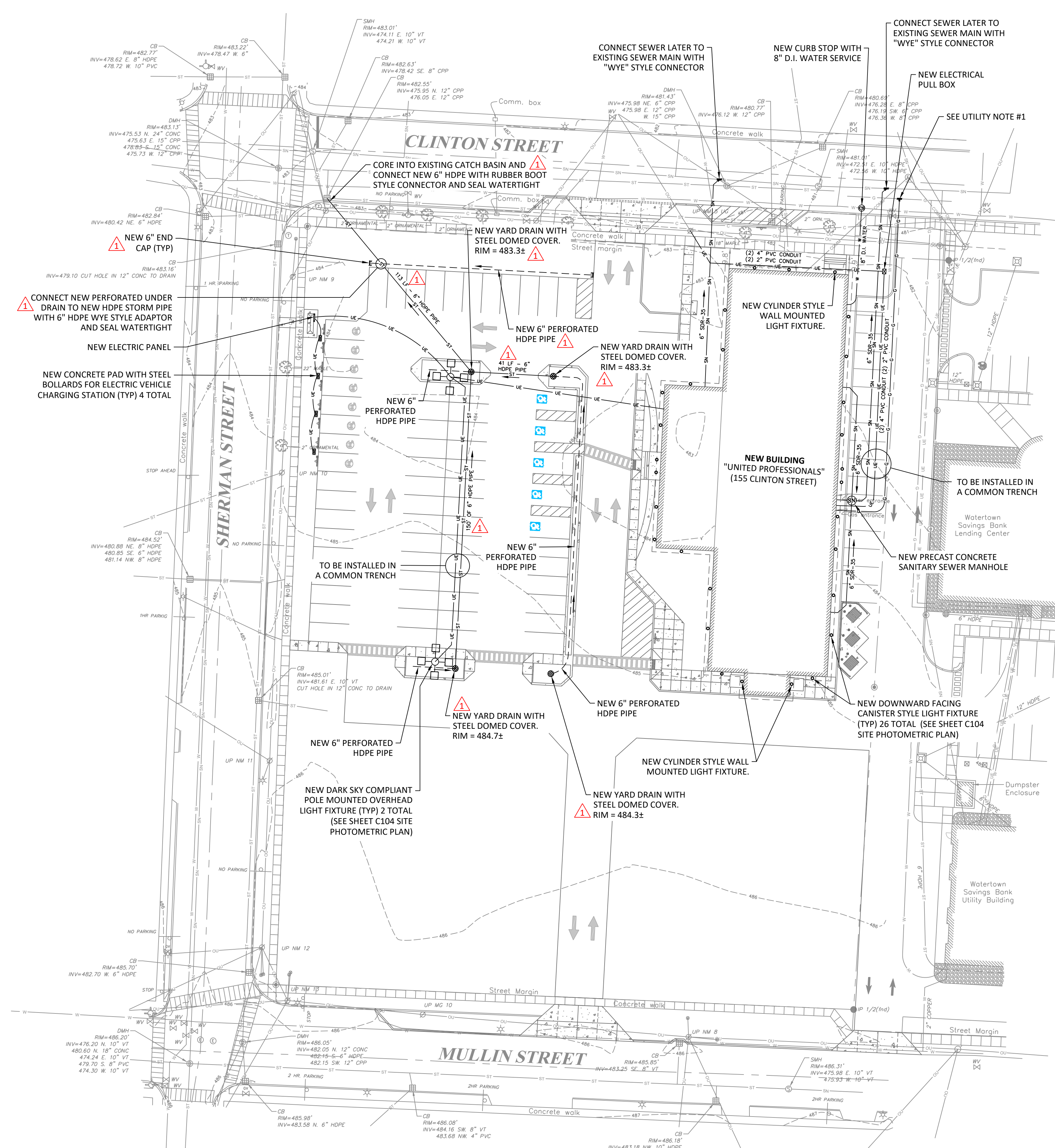
**FOR APPROVALS ONLY
 NOT FOR CONSTRUCTION**

STAMP:

JOB NO: 055-22-009
 ISSUE DATE: 05-23-2023
 DRAWN BY: J. DICKINSON
 CHECKED BY: M. LUNDY
 APPROVED BY:
 SCALE: 1" = 30'
 DRAWING NO:

C102

PLOTTED: 7/19/2023 10:57:34 AM
 C:\USERS\DICKINSON\LAWMAN\COMPROJECT\WORK - DOCUMENTS\05-22-2023\LOT #155 CLINTON\03 - CIVIL\PROPOSED SITE PLAN.DWG

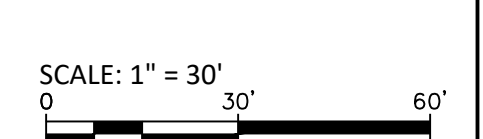


SITE UTILITY NOTES:

- THE GAS SERVICE PROVIDER SHALL FIELD LOCATE AND MARK THE EXISTING GAS LINES AND ANY ASSOCIATED APPURTENANCES. ANY OF WHICH THAT MAY NEED TO BE REMOVED AND / OR RELOCATED SHALL BE DONE SO BY THE GAS SERVICE PROVIDER. IN ADDITION THE SERVICE PROVIDER SHALL CONDUCT AND OVERSEE ANY GAS SERVICE IMPROVEMENTS OR ADDITIONS ENTIRELY.

EXISTING LEGEND	
---	PROPERTY LINE
▬▬▬	CONCRETE SIDEWALK
▬▬▬▬▬	PAINTED CROSSWALK
---	EXISTING CONTOUR
---	EDGE OF PAVEMENT
---	CURB LINE
ST	STORM LINE
CB	CATCH BASIN
⊙	DRAINAGE MANHOLE
⊙	SANITARY SEWER MANHOLE
—S—	SANITARY LINE
⊙	FIRE HYDRANT
⊙	WATER VALVE
—W—	WATER LINE
⊙	TELECOMMUNICATIONS MANHOLE
⊙	TRAFFIC SIGNAL POLE
⊙	UTILITY POLE
⊙	UTILITY POLE WITH GUY WIRE AND GUY POLE
⊙	LIGHT POLE
⊙	ELECTRIC MANHOLE
—OU—	OVERHEAD UTILITY LINE
—C—	CABLE TV LINE
—COMM—	COMMUNICATIONS LINE
—UE—	UNDERGROUND ELECTRIC LINE
⊙	GAS VALVE
—G—	GAS LINE
⊙	TRAFFIC SIGNS
⊙	TREE
⊙	SHRUB OR BUSH
⊙	PROPERTY LINE MONUMENTATION
⊙	PAINTED EV PARKING
↑	PAINTED TRAFFIC ARROW

PROPOSED LEGEND	
⊙	OVERHEAD LIGHT FIXTURE
⊙	EV DUAL CHARGING STATION
⊙	ELECTRIC PANEL
⊙	ADS INLET BASIN
ST	STORM LINE
---	PERFORATED HDPE PIPE
⊙	SANITARY MANHOLE
—S—	SANITARY SEWER LINE
⊙	CURB STOP
—W—	WATER LINE
⊙	ELECTRIC PULL BOX
—UE—	UNDERGROUND ELECTRIC LINE
—G—	GAS LINE
⊙	CANISTER LIGHT



DESIGN BUILD INNOVATIONS

PLAN VIEW:

NO.	DATE	NOTES
1	07-03-2023	REVISED TO SHOW SITE DEMOLITION PLAN, VEHICULAR AND PEDESTRIAN CIRCULATION PLAN, AND OTHER SITE IMPROVEMENTS. PREPARED BY THE CITY OF WATERTOWN PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DATED JUNE 1, 2023

CLINTON CENTER DEVELOPMENT, LLC

CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

SHEET TITLE:
△ SITE UTILITY AND GRADING PLAN

ADDRESS:
155 CLINTON STREET

**FOR APPROVALS ONLY
 NOT FOR CONSTRUCTION**

STAMP:

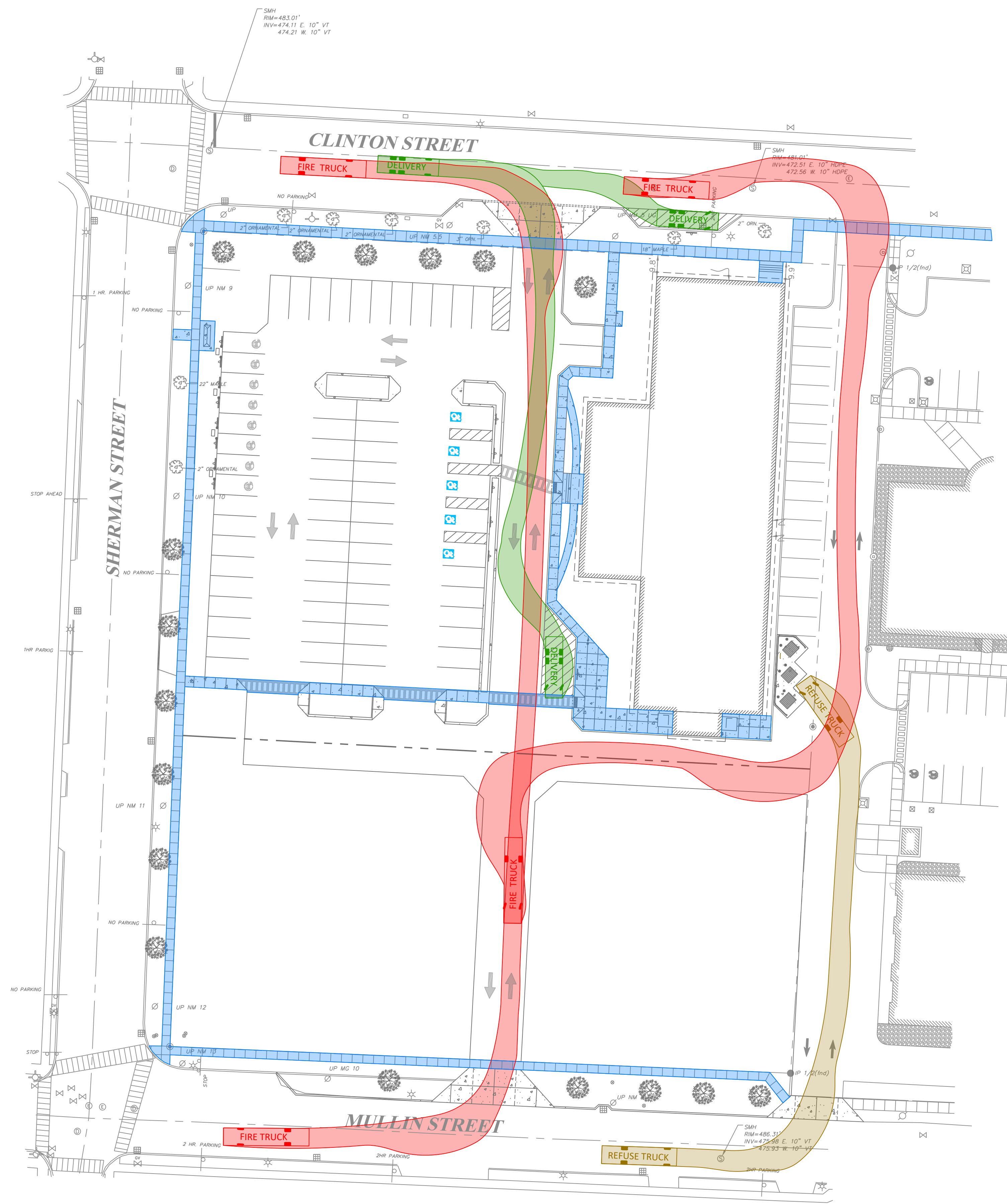
JOB NO: 055-22-009
 ISSUE DATE: 05-23-2023
 DRAWN BY: J. DICKINSON
 CHECKED BY: M. LUNDY
 APPROVED BY:
 SCALE: 1" = 30'
 DRAWING NO:

C103

LEGAL DISCLAIMER:
 THIS DRAWING IS THE PROPERTY OF LAWMAN HEATING AND COOLING, INC. AND / OR DBI, LLC. IT MAY NOT BE DUPLICATED OR DISTRIBUTED IN ANY FORM TO ANY OUTSIDE PARTY WITHOUT THE WRITTEN CONSENT OF LAWMAN HEATING AND COOLING, INC. AND / OR DBI, LLC.

PLOTTED: 7/19/2023 10:57:56 AM

C:\USERS\DICKINSON\LAWMAN\COM\PROJECT WORK - DOCUMENTS\05-22-2023\LOT #155 CLINTON\03 - CIVIL\PROPOSED SITE PLAN.DWG



EXISTING LEGEND	
---	PROPERTY LINE
▬▬▬	CONCRETE SIDEWALK
▨▨▨	PAINTED CROSSWALK
---	EXISTING CONTOUR
---	EDGE OF PAVEMENT
---	CURB LINE
---	STORM LINE
▣	CATCH BASIN
⊙	DRAINAGE MANHOLE
⊙	SANITARY SEWER MANHOLE
⊙	SANITARY LINE
⊙	FIRE HYDRANT
⊙	WATER VALVE
⊙	WATER LINE
⊙	TELECOMMUNICATIONS MANHOLE
⊙	TRAFFIC SIGNAL POLE
⊙	UTILITY POLE
⊙	UTILITY POLE WITH GUY WIRE AND GUY POLE
⊙	LIGHT POLE
⊙	ELECTRIC MANHOLE
---	OVERHEAD UTILITY LINE
---	CABLE TV LINE
---	COMMUNICATIONS LINE
---	UNDERGROUND ELECTRIC LINE
⊙	GAS VALVE
---	GAS LINE
⊙	TRAFFIC SIGNS
⊙	TREE
⊙	SHRUB OR BUSH
⊙	PROPERTY LINE MONUMENTATION
⊙	PAINTED EV PARKING
↑	PAINTED TRAFFIC ARROW

PROPOSED LEGEND	
█	FIRE TRUCK ACCESS
█	PEDESTRIAN ACCESS
█	DELIVERY VEHICLE ACCESS
█	REFUSE / GARBAGE TRUCK ACCESS



DESIGN BUILD
INNOVATIONS

PLAN VIEW:

REVISIONS:	NO.	DATE	NOTES
	1	07-03-2023	REVISED TO SHOW SITE DEMOLITION PLAN, VEHICULAR AND PEDESTRIAN CIRCULATION PLAN, AND OTHER SITE IMPROVEMENTS. APPROVED BY THE CITY OF WATERTOWN PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DATED JUNE 1, 2023

CLINTON CENTER DEVELOPMENT, LLC
CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

SHEET TITLE:
VEHICULAR AND PEDESTRIAN CIRCULATION PLAN

ADDRESS:
155 CLINTON STREET

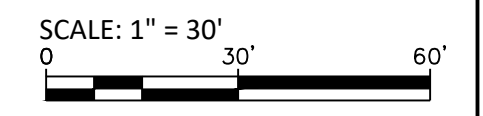
FOR APPROVALS ONLY
NOT FOR CONSTRUCTION

STAMP:

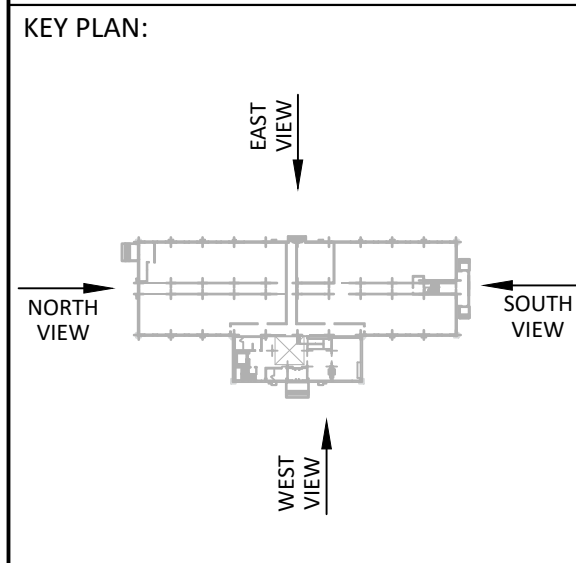
JOB NO: 055-22-009
ISSUE DATE: 05-23-2023
DRAWN BY: J. DICKINSON
CHECKED BY: M. LUNDY
APPROVED BY:
SCALE: 1" = 30'

DRAWING NO:
C105

LEGAL DISCLAIMER:
THIS DRAWING IS THE PROPERTY OF LAWMAN HEATING AND COOLING, INC. AND / OR DBI, LLC. IT MAY NOT BE DUPLICATED OR DISTRIBUTED IN ANY FORM TO ANY OUTSIDE PARTY WITHOUT THE WRITTEN CONSENT OF LAWMAN HEATING AND COOLING, INC. AND / OR DBI, LLC.



PLOTTED: 5/22/2023 10:33:46 AM
 C:\USERS\JARED\DRAWING\PROJECT WORK - DOCUMENTS\055-22-003\LOT #155\CLINTON\03 - DESIGN FILES\03 - CIVIL\FLOOR PLANS AND ELEVATION VIEW.DWG



NO.	DATE	NOTES

PROPOSED PROFESSIONAL BUILDING AND REMODEL

CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

SHEET TITLE:
ELEVATION VIEWS

ADDRESS:
155 CLINTON STREET

PRELIMINARY NOT FOR CONSTRUCTION

STAMP:

JOB NO: 055-22-010
 ISSUE DATE: 03-09-2023
 DRAWN BY: J. DICKINSON
 CHECKED BY: M. LUNDY
 APPROVED BY:
 SCALE: AS NOTED
 DRAWING NO:

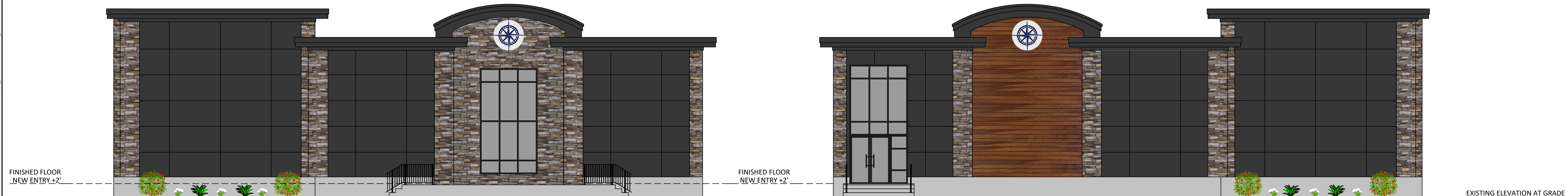
EV-1



WEST EXTERIOR ELEVATION VIEW
SCALE: 1/8" = 1'-0"



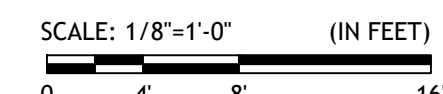
EAST EXTERIOR ELEVATION VIEW
SCALE: 1/8" = 1'-0"



SOUTH EXTERIOR ELEVATION VIEW
SCALE: 1/8" = 1'-0"

NORTH EXTERIOR ELEVATION VIEW
SCALE: 1/8" = 1'-0"

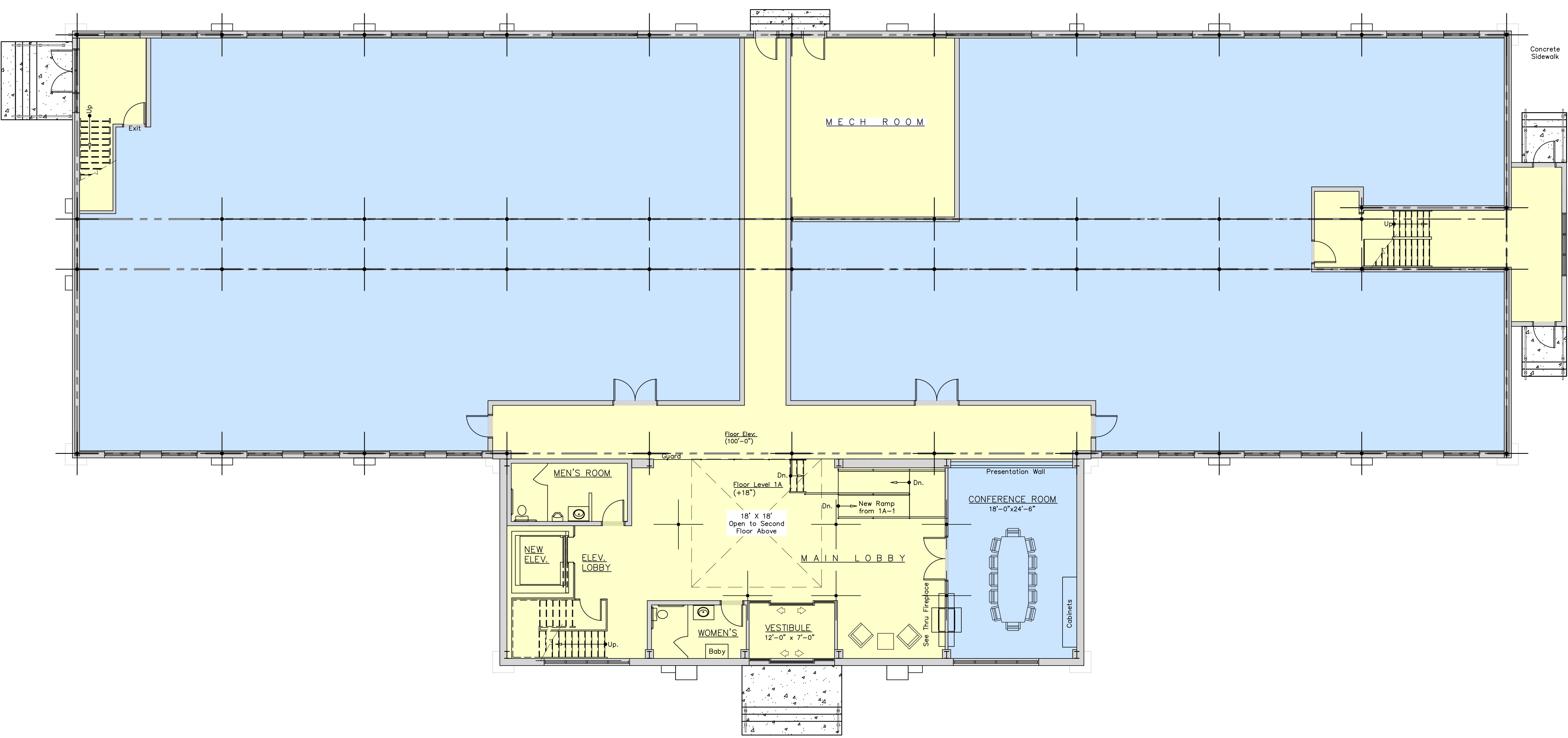
COLOR SCHEME	
	SYNTHETIC WOOD SIDING
	ALUMINUM COMPOSITE PANEL
	VERSETTE STONE SIDING
	DOOR, WINDOW AND ROOF TRIM
	CONCRETE PARKING
	GLASS WINDOW OR GLASS DOOR



LEGAL DISCLAIMER:
 THIS DRAWING IS THE PROPERTY OF LAWMAN HEATING AND COOLING, INC. AND / OR DBI, LLC. IT MAY NOT BE REPRODUCED OR DISTRIBUTED IN ANY FORM TO ANY OUTSIDE PARTY WITHOUT THE WRITTEN CONSENT OF LAWMAN HEATING AND COOLING, INC. AND / OR DBI, LLC.

PLOTTED: 5/22/2023 10:42:29 AM

C:\USERS\JARED\ONEPLAN\PROJECT WORK - DOCUMENTS\055-22-003\LOT #155\CLINTON\03 - DESIGN FILES\03 - CIVIL\FLOOR PLANS AND ELEVATION VIEW.DWG



FIRST FLOOR PLAN VIEW
SCALE: 1/8" = 1'-0"

LEGEND	
	TENANT SUITES
	COMMON AREAS
	WALLS
	CONCRETE

SCALE: 1/8"=1'-0" (IN FEET)
0 4 8 16'



DESIGN BUILD
INNOVATIONS

PLAN VIEW:

REVISIONS:	NO.	DATE	NOTES

PROPOSED PROFESSIONAL BUILDING AND REMODEL

CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

SHEET TITLE:
SCHEMATIC FIRST FLOOR PLAN

ADDRESS:
155 CLINTON STREET

PRELIMINARY NOT FOR CONSTRUCTION

STAMP:

JOB NO: 055-22-010
ISSUE DATE: 03-03-2023
DRAWN BY: J. DICKINSON
CHECKED BY: M. LUNDY
APPROVED BY:
SCALE: AS NOTED
DRAWING NO:

SK-1

LEGAL DISCLAIMER:
THIS DRAWING IS THE PROPERTY OF LAWMAN HEATING AND COOLING, INC. AND J. DR. DBI, LLC. IT MAY NOT BE REPRODUCED OR DISTRIBUTED IN ANY FORM TO ANY OUTSIDE PARTY WITHOUT THE WRITTEN CONSENT OF LAWMAN HEATING AND COOLING, INC. AND J. DR. DBI, LLC.

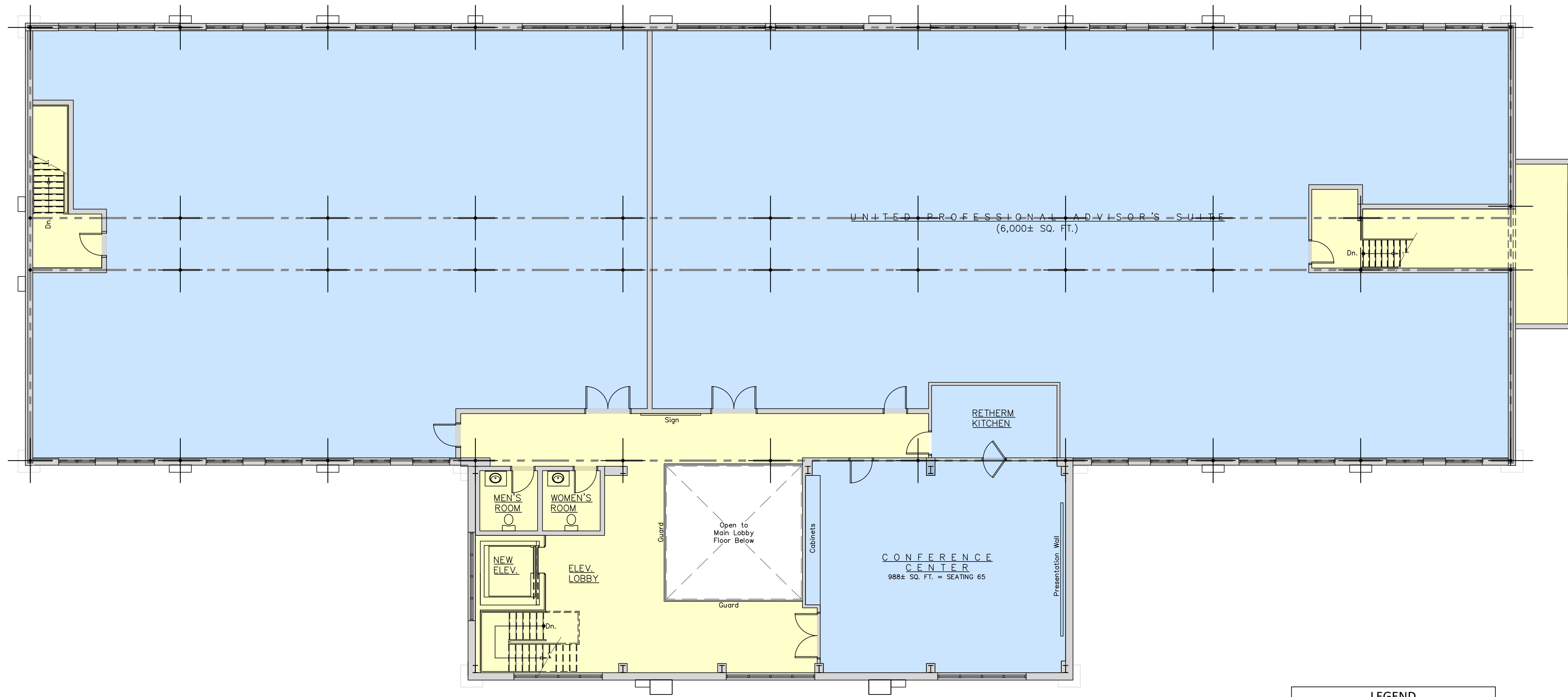
PLOTTED: 5/22/2023 10:42:38 AM

C:\USERS\JARED\CLAWMAN\CAD\PROJECT WORK - DOCUMENTS\055-22-003\LOT #155\CLINTON\03 - DESIGN FILES\03 - CIVIL\FLOOR PLANS AND ELEVATION VIEW.DWG



DESIGN BUILD INNOVATIONS

PLAN VIEW:



SECOND FLOOR PLAN VIEW
SCALE: 1/8" = 1'-0"

LEGEND	
	TENANT SUITES
	COMMON AREAS
	WALLS

REVISIONS:	NO.	DATE	NOTES

PROPOSED PROFESSIONAL BUILDING AND REMODEL

CITY OF WATERTOWN - JEFFERSON COUNTY - STATE OF NEW YORK

SHEET TITLE: SCHEMATIC SECOND FLOOR PLAN

ADDRESS: 155 CLINTON STREET

PRELIMINARY NOT FOR CONSTRUCTION

STAMP:

JOB NO: 055-22-010
 ISSUE DATE: 03-03-2023
 DRAWN BY: J. DICKINSON
 CHECKED BY: M. LUNDY
 APPROVED BY:
 SCALE: AS NOTED
 DRAWING NO:

LEGAL DISCLAIMER:
THIS DRAWING IS THE PROPERTY OF LAWMAN HEATING AND COOLING, INC. AND J. DR. DBI, LLC. IT MAY NOT BE REPRODUCED OR DISTRIBUTED IN ANY FORM TO ANY OUTSIDE PARTY WITHOUT THE WRITTEN CONSENT OF LAWMAN HEATING AND COOLING, INC. AND J. DR. DBI, LLC.

SCALE: 1/8"=1'-0" (IN FEET)
0 4 8 16'

SK-2