



# MEMORANDUM

CITY OF WATERTOWN, NEW YORK  
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT  
245 WASHINGTON STREET, ROOM 305, WATERTOWN, NY 13601  
PHONE: 315-785-7741 – FAX: 315-782-9014

TO: Planning Commission Members

FROM: Michael A. Lumbis, Planning and Community Development Director

PRIMARY REVIEWER: Geoffrey T. Urda

SUBJECT: Site Plan Approval – 1067 Marble Street, VL-1 Marble Street and VL-8 Water Street

DATE: December 28, 2023

**Request:** Site Plan Approval to construct a 4,500 SF building addition and associated site improvements at 1067 Marble Street, VL-1 Marble Street and VL-8 Water Street, Parcel Numbers **4-27-330.000, 4-27-331.000 and 4-27-301.000**

**Applicant:** Mark Tompkins of G.Y.M.O. Architecture, Engineering and Land Surveying, D.P.C. on behalf of Stephen Hale of Hale’s Bus Garage, LLC

**Proposed Use:** Auto Repair

**Property Owners:** Hale’s Bus Garage, LLC; VL1 Marble Street, LLC; and Robert C. Freeman III

**Submitted:**

Property Survey: Yes	Preliminary Architectural Drawings: Yes
Site Plan: Yes	Preliminary Site Engineering Plans: Yes
Vehicle and Pedestrian Circulation Plan: Yes	Construction Time Schedule: Yes
Landscaping and Grading Plan: Yes	Description of Uses, Hours & Traffic Volume: Yes

SEQRA: Unlisted

Jefferson County 239-m Review: Yes

**Zoning Information:**

District: Neighborhood Mixed Use	Maximum Lot Coverage: 70 percent
Setback Requirements: F: 0’ Min. 10’ Max or Average, S: 10’, R: 10’	Buffer Zones Required: Yes

**Application Status UPDATE:** At its December 5, 2023 meeting, the Planning Commission voted to table this application because of two concurrent Area Variance requests pending before the Zoning Board of Appeals (ZBA), one for reduced transparency and one for increased façade length. The ZBA granted both Variances at its December 20, 2023 meeting.

**Summary Items UPDATE:** In the interim, the applicant team worked to address some of the summary items in Staff’s November 30, 2023 memorandum to the Planning Commission. The applicant submitted revised plan sets depicting various changes in response to Staff’s review.

The applicant’s cover letter contains written responses for each of the thirteen summary items, alleviating most of Staff’s concerns. Based on the modifications, it is possible to remove seven of the twelve summary items. However, the Planning Board may wish to discuss some of the applicant’s responses further prior to deciding which summary items must remain as part of a motion.

The entire following lists identify which summary items the applicant has satisfied, and which summary items must remain or may benefit from further Planning Board discussion. Staff comments are in *italics*.

**The Planning Board may eliminate the following summary items:**

1. Prior to a Planning Commission vote, Hale’s Bus Garage, LLC shall either close on the properties at VL-1 Marble Street and VL-8 Water Street or submit a letter from the current property owners authorizing Hale’s to apply for Site Plan Approval on their behalf. *This item is satisfied. The applicant closed on VL-1 Marble Street and VL-8 Water Street on December 12, 2023 and now owns all properties involved in the proposed development.*
4. The applicant shall add the existing number of parking spaces on the site to the Planning Data table. *This item is satisfied. The Planning Data table on the resubmitted Site Plan drawing states that there are 134 existing parking spaces on the site. The Planning and Community Development Department will use this number on any potential future development reviews.*
5. The applicant must obtain an Area Variance from the Zoning Board of Appeals granting relief from the 60-foot maximum façade length restriction of the Neighborhood Mixed Use District. *This item is satisfied. The ZBA granted the Area Variance at its meeting on December 20, 2023.*
6. The applicant must obtain an Area Variance from the Zoning Board of Appeals granting relief from the 50 percent ground floor, front façade transparency requirement of the Neighborhood Mixed Use District. *This item is satisfied. The ZBA granted the Area Variance at its meeting on December 20, 2023*
7. The applicant shall diversify the tree species in the planting schedule to a minimum of seven (7) distinct species so that no individual species makes up more than 15 percent of the planting schedule and work with Staff to identify and confirm appropriate species and locations. *This item is satisfied. The applicant has revised the landscaping plan to include seven distinct species, including several species recommended by Staff.*
8. The applicant should establish tree protection around the existing deciduous trees adjacent to the western entrance drive and avoid parking construction vehicles or storing equipment or materials within their canopies. *This item is satisfied. The applicant has added tree protection to the Demolition Plan and a tree protection detail to the Site Detail sheet. The applicant should note that tree protection zones are most effective when communicated as a priority throughout all ranks of the construction team and installed prior to staging or storing of any project related equipment or materials.*

11. The Planning Commission must complete Part 2 of the Short EAF and reach a determination pursuant to SEQRA. *This item is satisfied. The Planning Commission completed Part 2 of the Short EAF and adopted a Negative Declaration pursuant to SEQRA at its meeting on December 5, 2023.*

**The following summary items are topics that either the Planning Board may wish to discuss further or that must remain as conditions to work out with Staff prior to the permitting process:**

2. The applicant shall assemble either assemble VL-8 Water Street, or a portion thereof containing the paved drive aisle, with 1067 Mable Street, by way of a new metes and bounds description filed with the County Clerk or record an access easement guaranteeing access across the lands of VL-8 Water Street to the parking area on 1067 Marble Street. *The applicant has acknowledged this requirement and communicated an intent to assemble all three parcels into a single parcel, but it must remain as a summary item.*
3. The applicant should strongly consider including VL-1 Water Street in any parcel assemblage. *The applicant has acknowledged this recommendation and communicated an intent to assemble all three parcels into a single parcel, but it must remain as a summary item.*
9. The applicant shall be prepared to discuss light spillage across property lines as it relates to the property owner's intentions for the three subject parcels. The Zoning Ordinance prohibits spillage of more than 0.5 footcandles across any property line. *The applicant has acknowledged this recommendation and communicated an intent to assemble all three parcels into a single parcel. Assembling the parcels would alleviate all concerns regarding light spillage over property lines. Staff suggests that the condition be modified as follows and remain as a summary item: **If the subject parcels are not combined by way of a new metes and bounds description, the applicant shall modify the lighting plan so that there is no more than 0.5 footcandles of light spillage across the property line.***
10. The property owner shall hire a third party to perform annual inspections of the holding tank and submit an annual report to the City Engineering Department. *The applicant has acknowledged this requirement and agreed to abide by it, but it must remain as a summary item.*
12. The applicant must obtain the following permits and other documentation, minimally, prior to construction: Building Permit, Water Permit, Sanitary Sewer Permit, Storm Sewer Permit, a Zoning Compliance Certificate and potentially an Outside Source Permit. *The applicant has acknowledged this requirement, but it must remain as a summary item.*

– COPY FROM ORIGINAL NOVEMBER 30, 2023 STAFF REPORT –

**Project Overview:** The applicant proposes to construct a 4,500 SF building addition and pave approximately 30,000 SF of reconstructed asphalt parking and internal drive aisle area on the collective footprint of three subject parcels. The proposed addition would extend the western end of the existing building by 50 linear feet of façade length and provide four additional interior service bays.

**Existing Conditions:** The primary subject parcel, 1067 Marble Street (4-27-330.000), contains the existing 25,944 SF garage building and a 3,150 SF accessory structure that is presently vacant office space. The primary building is surrounded by surface parking and there is additional angled bus parking in the rear, northeast corner of the site. There is an approximately 125’ wide lawn area in the front of the parcel that separates the parking lot from the street, approximately 30’ of which is in the Right-of-Way (ROW).

VL-1 Marble Street (4-27-331.000) is a 1,000 SF vacant parcel that exists almost entirely within the aforementioned 125’ wide lawn area, with only its northernmost edge containing pavement.

VL-8 Water Street (4-27-301.000) is a 6.69-acre, mostly vacant parcel that contains the westernmost edge of the existing pavement that surrounds the primary Hale’s garage building, as well as the western driveway connecting from Water Street. The applicant proposes significant additional pavement on this parcel, which is discussed in the “Vehicular and Pedestrian Circulation” section immediately below. Hale’s does not yet own VL-1 Marble Street and VL-8 Water Street. The applicant has submitted an attorneys letter stating that Hale’s Bus Garage, LLC is in the process of closing on these two parcels. However, the applicant must still submit letters from the owners of those two parcels authorizing the applicant to apply for Site Plan Approval.

The site abuts five residential properties and a doggie day care to the east, all of which front on Eastern Boulevard. Marble Street Park and the City Hydroelectric Plant are directly across Marble Street from the subject parcels. Bimbo Bakeries and Rust Check of Watertown, both of which front on Water Street, share rear parcel boundaries with the subject parcels.

**Vehicular and Pedestrian Circulation:** There are two existing driveways connecting from Marble Street, one on the primary subject parcel at the east end of the site and one on VL-8 Water Street at the western end of the site. The applicant has submitted a Vehicular and Pedestrian Circulation Plan that depicts a City fire truck circumnavigating the building within the site.

Since the western driveway crosses the lands of VL-8 Water Street to access the primary structure on 1067 Marble Street, the applicant has two options for how to proceed after closing on VL-8 Water Street. The first option would be to assemble VL-8 Marble Street (or a section thereof containing the driveway) with 1067 Marble Street, by way of a new metes and bounds description filed with the County Clerk. Alternatively, if the applicant wishes to keep the parcels separate, the applicant must record an access easement, such that 1067 Marble Street enjoys the benefit of access across the lands of VL-8 Water Street in perpetuity. The applicant should consider including VL-1 Marble Street in any assemblage but is under no obligation to do so.

There is no existing sidewalk on Marble Street. Therefore while the City’s Complete Streets Policy emphasizes pedestrian connectivity, it is impractical to require a pedestrian connection to the street. Additionally, while the Black River Trail extension to downtown Watertown is planned to parallel Marble Street, this land use does not benefit in any significant way from a connection with the trail.



**Parking:** The Neighborhood Mixed Use District allows a maximum of 16 parking spaces by right. The Planning Data table on the C104 drawing does not identify a number of existing parking spaces; only that “no new parking spaces are proposed.” It is evident from a site visit that the primary subject parcel contains well over 16 parking spaces. While the excess spaces existed prior to the adoption of the current Zoning Ordinance, and therefore enjoy legal-nonconforming (“grandfathered”) status, the applicant shall nonetheless provide a number in the Planning Data table, so that Staff can have that number on record when evaluating any potential future development on the site.

**Comprehensive Plan:** All the collective lands of the three subject parcels are in the Black River Waterfront future land use character area. The plan describes this future land use character area as follows:

*“The Black River is the spine of Watertown and a core part of the City’s identity. As the primary natural asset, it is the basis for economic development, education, recreation, and scenic beauty. The intention of this Character Area is to build on the setting of the river as a reinforcing asset to redevelopment. New development and redevelopment should be oriented around the river in all aspects of design, including preserving views, increased public access where feasible, and integrating green infrastructure or low impact development design (e.g., rain gardens, porous pavers, native plantings, etc.) to treat stormwater runoff before entering the river. Buildings should be placed on the site so that they do not obstruct the public’s enjoyment of the river whether physically or visually. Open space should be integrated and developed for all users regardless of abilities.”*

Regarding consistency with the Comprehensive Plan, the automotive repair land use is not what the plan envisions. However, since this is an expansion of an existing building, the current land use is an existing condition. While this land use does not enhance the river in any way, its design and orientation do not obstruct any views of the river, nor does it detract from the public’s enjoyment of the river in any way. It leaves sufficient open space in front of the primary building to maintain the quasi-rural feel of this section of Marble Street. Therefore, from a design perspective, this proposal is in harmony with the Comprehensive Plan.

**Zoning:** The proposed automotive repair use is an allowed use in the Neighborhood Mixed Use District with a Special Use Permit. However, since the use was legally established prior to the adoption of the current Zoning Ordinance (all three parcels were zoned Light Industry under the prior Zoning), the applicant does not need to obtain a Special Use Permit for this proposed expansion.

The applicant is seeking two Area Variances related to this site plan; one for relief from façade length restrictions and the other for reduced transparency. Per Section 310-21 of the Zoning Ordinance, which contains the form-based dimensions for each Zoning district, the Neighborhood Mixed Use District allows a maximum façade length of 60 linear feet and a minimum 50 percent transparency on the ground floor, front façade. The proposed façade length would be 337 linear feet and the proposed transparency would be only 5.7 percent.

The applicant has submitted both Area Variance requests to the Zoning Board of Appeals, which the ZBA heard at its November 15, 2023 meeting and tabled, pending the Planning Commission’s completion of the SEQRA review, which is discussed in the “SEQR” section below. The ZBA will take both requests from the table at its December 20, 2023 meeting.

There are three other aspects of the site that enjoy legal nonconforming (“grandfathered”) status pursuant to the dimensional requirements of the Neighborhood Mixed Use District. These include exceeding the 100’ maximum lot width, exceeding the 900 SF accessory structure maximum footprint and exceeding the maximum of 25 linear feet of frontage unbuilt.

**Landscaping:** The applicant proposes to plant twelve new large maturing deciduous trees along the western edge of the paved area at an interval of one large tree every 40 feet to fulfill the exterior parking lot landscaping requirements of Section 310-83 of the Zoning Ordinance. However, while this proposal meets the spatial interval requirement, the Zoning Ordinance also requires that no single species make up more than 15 percent of a site's planting schedule. For a planting schedule of 12 trees, this yields a requirement of planting at least seven (7) different species to satisfy landscaping requirements.

Currently, the applicant only proposes three different tree species on the Landscaping Plan; *Acer rubrum* (red maple), *Celtis occidentalis* (hackberry), and *Liriodendron tulipifera* (tulip tree). The applicant shall work with Staff to select four (4) additional site-appropriate tree species to diversify the planting schedule as well as selecting the most optimal locations for each species.

Although Red Maple and Hackberry can tolerate varying degrees of soil compaction, Tuliptrees do not tolerate compacted soils well. In the submitted Landscaping Plan, the applicant identifies a Red Maple and Tuliptree immediately and adjacent to the retention pond. Although Red Maple generally displays a moderate tolerance to soil compaction, the applicant currently anticipates compaction levels up to or exceeding 90 percent for areas 25-to-35 feet west of the paved asphalt parking. 90 percent compaction is not suitable for planting trees. Although that level of compaction may be necessary to secure underground structures and to achieve proper grading, trees should be planted in areas that receive a maximum compaction rate of 80-to-85 percent. Therefore, Staff does not recommend planting trees within the limits of disturbance. Trees should be planted west of the silt fencing and outside all disturbed areas as shown on the proposed plans.

Selecting appropriate planting sites and species will significantly improve long-term survival rates, as well as minimize future costs associated with tree removal and replacement as required by the City's Zoning Ordinance. To assist the applicant in selecting compaction tolerant species, the City has provided the following abbreviated list of species exhibiting higher success rates when planted in and adjacent to compacted soil: *Acer rubrum*, *Celtis occidentalis*, *Gleditsia triacanthos var. inermis*, *Platanus x acerifolia* 'Exclamation', *Quercus bicolor*, *Quercus macrocarpa*, *Taxodium distichum*, *Tilia americana*.

The applicant shall work with Staff to select the most optimal locations for each species.

The applicant should also protect the existing 12", 20", and 24" diameter deciduous trees located on the east side of the western entrance drive and to avoid parking or storage of construction related equipment or materials. Staff recommends a minimum protection zone to the outer limits of the canopy whenever practical. The applicant shall be prepared to discuss this recommendation.

While the remainder of the parking lot does not meet the interior parking lot landscaping requirements of the Zoning Ordinance, this is an existing condition.

**SEQR:** This project is considered an Unlisted Action under the State Environmental Quality Review Act (SEQRA). The applicant has submitted a completed Part 1 of a Short Environmental Assessment Form (EAF). The Planning Commission, as Lead Agency, must complete Part 2 of the Short EAF.

Because this proposed action also requires two Area Variance, this requires a coordinated review with the Zoning Board of Appeals, which is an Involved Agency. It is also necessary for the SEQRA review to consider all facets (Site Plan and Variances) as a "whole action."

At its November 15, 2023 meeting, the ZBA adopted a motion stating that it has no objections to the Planning Commission designating itself as Lead Agency. The ZBA also communicated to Staff at that

meeting that in its capacity as in Involved Agency, that it had no formal environmental comments to communicate to the Planning Commission regarding the SEQRA review.

The Planning Commission should complete Part 2 of the Short EAF and make its finding pursuant to SEQRA at its December 5, 2023 meeting so that the ZBA is free to vote on both Variances at its December 20, 2023 meeting.

The Planning Commission should then table the Site Plan Approval until its January 2024 meeting, pending the ZBA's decisions on the requested Area Variances. Even though it will not vote on the Site Plan Approval at its December 5, 2023 meeting, the Planning Commission should still thoroughly discuss the proposed site plan with the applicant and communicate any concerns at that time to give the applicant adequate time to make any revisions prior to the January Planning Commission meeting.

**Stormwater and Drainage:** The Engineering Department is satisfied with all proposed stormwater drainage as depicted on the Grading and Drainage Plan.

**Lighting:** The applicant submitted a Photometric Plan. Section 310-84 (C)(2) of the Zoning Ordinance requires that light trespass shall not exceed 0.5 footcandles at the property line. The Photometric Plan depicts up to 2.0 footcandles of spillage across the western property line onto VL-8 Water Street. This will not be an issue if the applicant chooses to assemble the properties after closing on VL-8. However, this will become an issue if they remain separate. The applicant shall be prepared to discuss the property owner's intentions for parcel assemblage and the implications of light spillage if the lines remain where they are. The Planning Commission is not able to approve a Site Plan that will result in permanent illegal light spillage.

**Utilities:** The applicant proposes a 2,000 gallon oil/water separator to the north of the building addition. The property owner shall be responsible for hiring a third party to perform annual inspections of this separator, including all records of pump-outs and maintenance and submitting an annual report to the City Engineering Department.

Using an oil/water separator will also require regular pump outs. If the applicant plans to dispose of the contents at the City's Wastewater Treatment Plant, they will need to apply for an Outside Source Permit from the City Water Department to do so.

**Permits:** The applicant must obtain the following permits and other documentation, minimally, prior to construction: Building Permit, Water Permit, Sanitary Sewer Permit, Storm Sewer Permit, a Zoning Compliance Certificate and potentially an Outside Source Permit.

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**Planning Commission Action:** With the ZBA having granted both necessary Area Variances at its December 20, 2023 meeting, the Planning Commission is now free to act on this application.

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cc: Thomas Maurer, Civil Engineer II  
Meredith Griffin, Civil Engineer II  
Mark Tompkins, Project Engineer, GYMO Architecture, Engineering and Land Surveying, D.P.C.,  
18969 U.S. Route 11, Watertown, NY 13601  
Stephen Hale, Hale's Bus Garage, LLC, 37 Kirkland Avenue, Clinton, NY 13323




**Legend**

-  Black River
-  City Boundary
-  Parcels
-  ROADS

N



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Author: Web

Date: 11/29/2023

Title:

Above: A satellite view of the subject parcels and their surrounding lands



## Site Photos



**Above:** A view of the existing front façade of the Hale’s bus garage building on the site (looking east).  
**Below:** A view of the western end of the Hale’s bus garage where the applicant proposes to construct the addition (looking north).





**Above:** A view of the western end of the paved area on the site in the foreground with the proposed footprint of the addition behind it and the existing Hale's bus garage in the background (looking northeast).  
**Below:** A reverse shot of the paved area at the western end of the site with Marble Street in the background (looking southwest).







**Above:** A view of the existing western façade of the Hale’s bus garage building (looking east)  
The proposed building addition would bring the façade 50 feet closer to the camera.

**Below:** A view of the approximately 125’ lawn area at the front of the site, taken from Marble Street (looking northeast).



December 18, 2023

Mr. Michael Lumbis  
Planning & Community Development Director  
City of Watertown  
245 Washington Street  
Watertown, NY 13601

Re: Site Plan Approval – Hale Transportation Building Addition

File: 2023-045

Dear Mr. Lumbis:

Hale's Bus Garage, LLC ("Hale") and GYMO Architecture, Engineering, & Land Surveying, D.P.C. ("GYMO") are in receipt of the memorandum dated November 30<sup>th</sup>, 2023 regarding site plan review of the Hale Transportation Building Addition Project. The summary items listed on pages five and six of the memo are provided in a numbered list below, with a response to each item provided in bold.

1. Prior to a Planning Commission vote, Hale's Bus Garage, LLC shall either close on the properties at VL-1 Marble Street and VL-8 Water Street or submit a letter from the current property owners authorizing Hale's to apply for Site Plan Approval on their behalf.
  - a. **Hale has closed on both properties. Copies of the updated deeds are attached.**
2. The applicant shall assemble either assemble VL-8 Water Street, or a portion thereof containing the paved drive aisle, with 1067 Mable Street, by way of a new metes and bounds description filed with the County Clerk or record an access easement guaranteeing access across the lands of VL-8 Water Street to the parking area on 1067 Marble Street.
  - a. **Hale plans to assemble VL-8 Water Street, VL-1 Water Street, and 1067 Marble Street into one parcel now that they own all properties. We would like to request that assemblage of the properties be a contingency of Site Plan Approval.**
3. The applicant should strongly consider including VL-1 Water Street in any parcel assemblage.
  - a. **See the response to Summary Item 2 above.**
4. The applicant shall add the existing number of parking spaces on the site to the Planning Data table.
  - a. **A count of the existing parking spaces and existing parking areas has been added to the Site Plan. Note that no new parking areas are proposed.**
5. The applicant must obtain an Area Variance from the Zoning Board of Appeals granting relief from the 60-foot maximum façade length restriction of the Neighborhood Mixed Use District.
  - a. **Noted. The variance has been requested.**

Patrick J. Scordo, PE  
Matthew J. Cervini, PE  
Scott W. Soules, AIA  
Brandy W. Lucas, MBA  
Gregory F. Ashley, PLS  
Peter S. Clough  
Kevin M. Bamann, PE  
Zachary P. Scordo

18969 US Route 11  
Watertown, New York 13601

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Fax: (315) 788-0668

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6. The applicant must obtain an Area Variance from the Zoning Board of Appeals granting relief from the 50 percent ground floor, front façade transparency requirement of the Neighborhood Mixed Use District.
  - a. **Noted. The variance has been requested.**
  
7. The applicant shall diversify the tree species in the planting schedule to a minimum of seven (7) distinct species so that no individual species makes up more than 15 percent of the planting schedule and work with Staff to identify and confirm appropriate species and locations.
  - a. **The planting schedule has been revised to diversify the species. Trees that were able to be relocated to outside the area of disturbance to avoid impacts from compacted fill materials have been moved. Note that some trees were unable to be relocated outside the area of disturbance, however a note has been added to detail 4/C503 to specify a maximum of 80% - 85% compaction in tree planting areas.**
  
8. The applicant should establish tree protection around the existing deciduous trees adjacent to the western entrance drive and avoid parking construction vehicles or storing equipment or materials within their canopies.
  - a. **Tree protection has been added to the Demolition Plan, and a tree protection detail has been added to C503.**
  
9. The applicant shall be prepared to discuss light spillage across property lines as it relates to the property owner's intentions for the three subject parcels. The Zoning Ordinance prohibits spillage of more than 0.5 footcandles across any property line.
  - a. **See the response to Summary Item 2 above.**
  
10. The property owner shall hire a third party to perform annual inspections of the holding tank and submit an annual report to the City Engineering Department.
  - a. **Understood. The Owner has agreed to hire a company to perform the requested inspections and will provide copies of the inspection forms to the City.**
  
11. The Planning Commission must complete Part 2 of the Short EAF and reach a determination pursuant to SEQRA.
  - a. **Understood. It is our understanding that this has been completed.**
  
12. The applicant must obtain the following permits and other documentation, minimally, prior to construction: Building Permit, Water Permit, Sanitary Sewer Permit, Storm Sewer Permit, a Zoning Compliance Certificate and potentially an Outside Source Permit.
  - a. **Based on discussions with the City Engineering Department, we are not anticipating needing a Water Permit, Sanitary Sewer Permit, or Storm Sewer Permit, as the project does not propose new water or sewer facilities, and no connection to the municipal storm sewer system is proposed. The Owner understands that a Building Permit and Zoning Compliance Certificate will be required prior to construction and plans to pursue these permits after site plan approval is obtained. An Outside source permit**

**will be applied for if the owner elects to dispose of Oil/Water separator contents at the City WWTP.**

GYMO is submitting ten (10) collated sets of the following documents regarding the above-mentioned project:

- Revised Drawings, (four 24"x36" sets and six 11"x17" sets);
- Property Deeds for VL-1 and VL-8

Upon completion of your review, GYMO will provide final stamped drawings and plans. If you have any questions or require any additional information, please do not hesitate to contact our office at your earliest convenience.

Sincerely,  
GYMO Architecture, Engineering, and Land Surveying, D.P.C.



Mark Tompkins  
*Project Engineer*

*Enclosure;*

CC: Stephen Hale – Hale's Bus Garage  
Philip Bond Jr. – Hale's Bus Garage  
David Kleps – C2C  
Geoff Urda – City of Watertown  
Matthew Cervini, PE – GYMO



JEFFERSON COUNTY - STATE OF NEW YORK  
 GIZELLE J. MEEKS, JEFFERSON COUNTY CLERK  
 175 ARSENAL STREET  
 WATERTOWN, NEW YORK 13601

COUNTY CLERK'S RECORDING PAGE

\*\*\*THIS PAGE IS PART OF THE DOCUMENT - DO NOT DETACH\*\*\*



INSTRUMENT #: 2023-00018989  
 Receipt#: 2023036390  
 Clerk: SB  
 Rec Date: 12/13/2023 03:12:17 PM  
 Doc Grp: DEE  
 Descrip: DEED  
 Num Pgs: 4  
 Rec'd Frm: BROWNELL ABSTRACT CORPORATION  
 Party1: FREEMAN ROBERT C III  
 Party2: HALESS BUS GARAGE LLC  
 Town: WATERTOWN-CITY OF  
 4-27-301.000

Recording:

Cover Page	5.00
Recording Fee	35.00
Cultural Ed	14.25
Records Management - Coun	1.00
Records Management - Stat	4.75
TP584	5.00
RP5217 All others - State	241.00
RP5217 - County	9.00
<b>Sub Total:</b>	<b>315.00</b>
Transfer Tax	
Transfer Tax - State	240.00
<b>Sub Total:</b>	<b>240.00</b>
<b>Total:</b>	<b>555.00</b>

\*\*\*\* NOTICE: THIS IS NOT A BILL \*\*\*\*

\*\*\*\*\* Transfer Tax \*\*\*\*\*  
 Transfer Tax #: 1742  
 Transfer Tax  
 Consideration: 60000.00  
 Transfer Tax - State 240.00  
**Total: 240.00**

WARNING\*\*\*

\*\*\*Information may change during the verification process and may not be reflected on this page

*Gizelle J. Meeks*

Gizelle J. Meeks  
 Jefferson County Clerk

Record and Return To:

BROWNELL ABSTRACT CORPORATION  
 OFFICE MAILBOX

BARGAIN AND SALE DEED  
with Covenant Against Grantor

THIS INDENTURE, made the 10 day of December, 2023.

BETWEEN Robert C. Freeman, III  
1067 Marble Street  
Watertown, New York 13601  
party of the first part,

and

Hales's Bus Garage, LLC a New York Limited Liability Company with a  
place of business at 37 Kirkland Ave., Clinton, New York 13323  
party of the second part,

WITNESSETH, that the grantors, in consideration of ONE DOLLAR lawful money of the  
United States and other good and valuable consideration, paid by the grantee do(es) hereby grant  
and release unto the grantee, its heirs, successors and assigns forever.

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of  
Jefferson, State of New York, more fully described in SCHEDULE A attached hereto and made a  
part hereof.

TOGETHER with the appurtenances and all the estate and rights of the grantors in and to said  
premises.

TO HAVE AND TO HOLD the premises herein granted unto the grantee, its heirs, successors  
and assigns forever.

This deed is subject to the trust provisions of Section 13 of the Lien Law.

AND the said grantor covenants that it has not done or suffered anything whereby the said  
premises have been encumbered in any way whatever.

FELT EVANS LLP

IN WITNESS WHEREOF, the grantor has hereunto set its hand and seal the day and year first above written.

Robert C. Freeman, III

STATE OF COLORADO )  
: ss.:  
COUNTY OF JEFFERSON

On this 6 day of December, 2023, before me, the undersigned, a Notary Public in and for said state, personally appeared Robert C. Freeman, III, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person on behalf of which the individual acted, executed the instrument.



Notary Public

AARON DOUGHERTY  
Notary Public  
State of Colorado  
Notary ID # 20234016687  
My Commission Expires 05-04-2027

Schedule A  
(VL-8 Water Street)

ALL THAT CERTAIN PIECE OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York, and being all that parcel of land which was conveyed to Robert C. Freeman by Alice A. Freeman by deed dated December 20, 1974 and recorded in the Jefferson County Clerk's Office on January 3, 1975 in Book 881 of Deeds at page 468, said parcel being bounded and described as follows:

Beginning at a 1/2" rebar set in the northerly margin of Marble Street and the easterly margin of Walnut Avenue;

Thence, from said point of beginning, N. 01 deg. 54 min. 40 sec. W., along the easterly margin of Walnut Street, a distance of 349.87' to a 1/2" rebar set on the southerly margin of Water Street;

Thence N. 82 deg. 51 min. 32 sec. E., along the southerly margin of Water Street, a distance of 8.56' to a Watertown City Monument;

Thence continuing N. 82 deg. 51 min. 32 sec. E., along the southerly margin of Water Street, a distance of 564.44' to a 1/2" rebar set to mark the northwest corner of the parcel of land conveyed to Charles Frehofer Baking Company, Inc. by Bouyea-Fassetta, Inc. by deed recorded in the Jefferson County Clerk's Office on October 10, 1995 in Book 1478 of Deeds at page 183;

Thence S. 07 deg. 08 min. 28 sec. E., along the westerly boundary of the said parcel conveyed to the Charles Frehofer Baking Company, Inc., a distance of 400.00' to a 1/2" rebar set to mark the southwest corner of the said parcel, and also marking the northwest corner of the 6.18 acre parcel of land conveyed to Marble St. Garage, Ltd. by Alice A. Freeman and Robert C. Freeman by deed recorded in the Jefferson County Clerk's Office on September 8, 1972 in Book 839 of Deeds at page 864;

Thence S. 35 deg. 13 min. 38 sec. W., along the westerly boundary of the said 6.18 acre conveyance, a distance of 211.45' to a 1/2" rebar set to mark the northwest corner of the 0.23 acre parcel of land conveyed to Niagara Mohawk Power Corporation by the City of Watertown by deed recorded in the Jefferson County Clerk's Office on March 19, 1991 in Book 1234 of Deeds at page 66;

Thence S. 28 deg. 07 min. 08 sec. W., along the westerly boundary of the said 0.23 acre conveyance, a distance of 100.00' to a 1/2" rebar set in the northerly margin of Marble Street and also marking the southwest corner of the said 0.23 acre parcel;

Thence N. 60 deg. 52 min. 54 sec. W., along the northerly margin of Marble Street, a distance of 487.70' to the point of beginning.

Intending to describe the same premises conveyed by Trustees Deed between Gary R. Freeman, as Trustee of the Article Fourth Trust under the Will of Robert C. Freeman, Sr., to Robert C. Freeman, III dated August 4, 2011 and recorded in the Jefferson County Clerk's Office on August 31, 2011 at Instrument #2011-12473.



JEFFERSON COUNTY - STATE OF NEW YORK  
 GIZELLE J. MEEKS, JEFFERSON COUNTY CLERK  
 175 ARSENAL STREET  
 WATERTOWN, NEW YORK 13601

COUNTY CLERK'S RECORDING PAGE

\*\*\*THIS PAGE IS PART OF THE DOCUMENT - DO NOT DETACH\*\*\*



INSTRUMENT #: 2023-00018990

Receipt#: 2023036396  
 Clerk: SB  
 Rec Date: 12/13/2023 03:33:43 PM  
 Doc Grp: DEE  
 Descrip: DEED  
 Num Pgs: 4  
 Rec'd Frm: BROWNELL ABSTRACT CORPORATION

Party1: VL1 MARBLE STREET LLC  
 Party2: HALES BUS GARAGE LLC  
 Town: WATERTOWN-CITY OF  
 4-27-331.000

Recording:

Cover Page	5.00
Recording Fee	35.00
Cultural Ed	14.25
Records Management - Coun	1.00
Records Management - Stat	4.75
TP584	5.00
RP5217 All others - State	241.00
RP5217 - County	9.00

Sub Total: 315.00

Transfer Tax  
 Transfer Tax - State 80.00

Sub Total: 80.00

Total: 395.00

\*\*\*\* NOTICE: THIS IS NOT A BILL \*\*\*\*

\*\*\*\*\* Transfer Tax \*\*\*\*\*  
 Transfer Tax #: 1743  
 Transfer Tax  
 Consideration: 20000.00

Transfer Tax - State 80.00

Total: 80.00

WARNING\*\*\*

\*\*\*Information may change during the verification process and may not be reflected on this page

Gizelle J. Meeks  
 Jefferson County Clerk

Record and Return To:

BROWNELL ABSTRACT CORPORATION  
 OFFICE MAILBOX

WARRANTY DEED WITH LIEN COVENANT

THIS INDENTURE made the 6 day of December, Two Thousand Twenty Three (2023),

BETWEEN VL1 Marble Street, LLC a New York Limited Liability Company having an address of 1067 Marble Street, Watertown, New York 13601 (Referred to as Grantor),

AND Hales's Bus Garage, LLC a New York Limited Liability Company with a place of business at 37 Kirkland Ave., Clinton, New York 13323 (Referred to as Grantee),

WITNESSETH that the Grantor, in the consideration of One Dollar (\$1.00) lawful money of the United States and other good and valuable consideration, paid by the Grantee does hereby grant and release unto the Grantee, his heirs, distributees and assigns forever,

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson, State of New York, more particularly described in the attached Schedule A description.

TOGETHER with appurtenances and all the estate and rights of the Grantor in said premises,

TO HAVE AND TO HOLD the premises herein granted unto the Grantee, his heirs, distributees and assigns forever,

AND said Grantor covenants as follows:

FIRST, that the Grantee shall quietly enjoy the said premises;

SECOND, that said Grantor will forever Warrant the title to said premises;

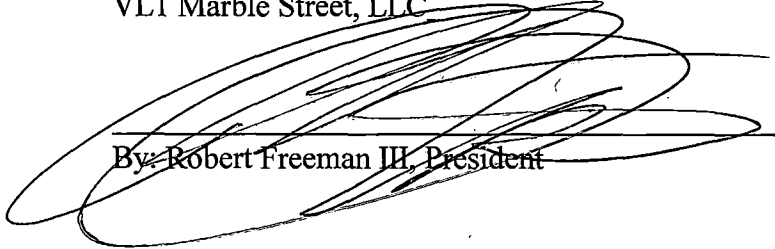
THIRD, that, in Compliance with Sec. 13 of the Lien Law, the Grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

FELT EVANS LLP



IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal the day and year first above written.

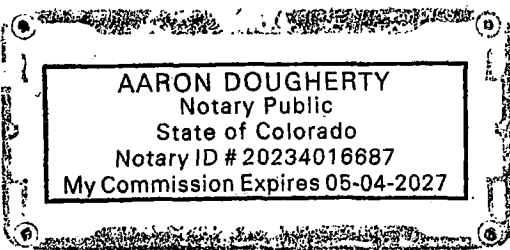
VL1 Marble Street, LLC

  
By: Robert Freeman III, President

STATE OF Colorado )

COUNTY OF Jefferson )ss.:

On this 6 day of December, 2023 before me, the undersigned, a Notary Public, personally appeared Robert Freeman III, President of VL1 Marble Street, LLC personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person on behalf of which the individual acted, executed the instrument.



  
\_\_\_\_\_  
Notary Public

## Schedule A

ALL that certain plot, piece or parcel of land situate, lying and being in the City of Watertown, County of Jefferson and State of New York bounded and described as follows:

**BEGINNING** at a point in the (now 1991) northerly monumented margin of Marble Street, which point of beginning is approximately 802.7 feet northwesterly along said northerly margin of Marble Street from its intersection with the westerly margin of Eastern Boulevard;

**THENCE** turning northeasterly 90 degrees from the northerly margin of Marble Street and running northeasterly 100 feet to a point; thence turning 90 degrees northwesterly and running parallel with the northerly margin of Marble Street 100 feet to a point; thence turning 90 degrees southwesterly and running parallel with the first described boundary 100 feet to a point in the northerly margin of Marble Street; thence turning 90 degrees southeasterly and running along the northerly margin of Marble Street 100 feet to the point of beginning.

**BEING** a parcel of land 100 feet square, containing approximately 0.23 acres, and known in 1991 as the "Marble Street Substation" of the "City of Watertown's electrical distribution system. Intending to describe the second parcel of land conveyed by Mason M. Swan to the City of Watertown in a deed dated April 16, 1946 and recorded in the Jefferson County Clerk's Office on December 31, 1947, in Liber 494 of Deeds at page 198. The premises are designated on the tax rolls of the City of Watertown in 1991 as tax parcel number 427331.

**BEING** the same premises as conveyed from the City of Watertown to the Niagara Mohawk Power Corporation, party of the first part's predecessor corporation, by way of Quit Claim Deed dated March 19, 1991 and recorded in the Jefferson County Clerk's Office on March 19, 1991, in Liber 1254 of Deeds at page 56.

**EXCEPTING AND RESERVING** to Niagara Mohawk Power Corporation, its successors and assigns, from the parcel(s) described in this deed, the permanent right of way and easement to operate, maintain, replace and/or remove any and all existing gas and electric facilities, if any, as are now erected upon the premises above described, including the full right, privileges and authority to cut and remove all trees, structures, and other obstructions within the permanent right-of-way, together with the right to cut and remove any trees outside the permanent right-of-way which in the sole opinion of Niagara Mohawk Power Corporation, its successors and assigns, are deemed likely to interfere with or pose a hazard to the facilities.

**ALSO, EXCEPTING AND RESERVING** to Niagara Mohawk Power Corporation, its successors and assigns, the permanent right of way and easement to operate, maintain, build, construct, replace/or remove electric and gas distribution facilities within twenty (20) feet of the edge of any highway(s) abutting the premises herein deemed necessary by said Niagara Mohawk Power Corporation, its successors and assigns, said easement to include the full right, privilege, and authority to cut and remove all trees, structures, and obstructions within said easement deemed necessary by Niagara Mohawk Power Corporation.

**SUBJECT** to easements, reservations, covenants and restrictions of record.

Intending to describe the same premises conveyed by Warranty Deed between Riverside Gardens LLC to VL1 Marble Street, LLC dated September 13, 2017 and recorded in the Jefferson County Clerk's Office on September 14, 2017 at Instrument #2017-14239.



# HALE TRANSPORTATION BUILDING ADDITION

1067 MARBLE STREET, WATERTOWN NY, 13601  
 CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK  
 DATED: NOVEMBER 14, 2023  
**SITE PLAN REVIEW**

PREPARED BY: GYMO ARCHITECTURE, ENGINEERING & LAND SURVEYING, DPC  
 18969 US ROUTE 11 WATERTOWN, NY 13601



## INDEX OF DRAWING:

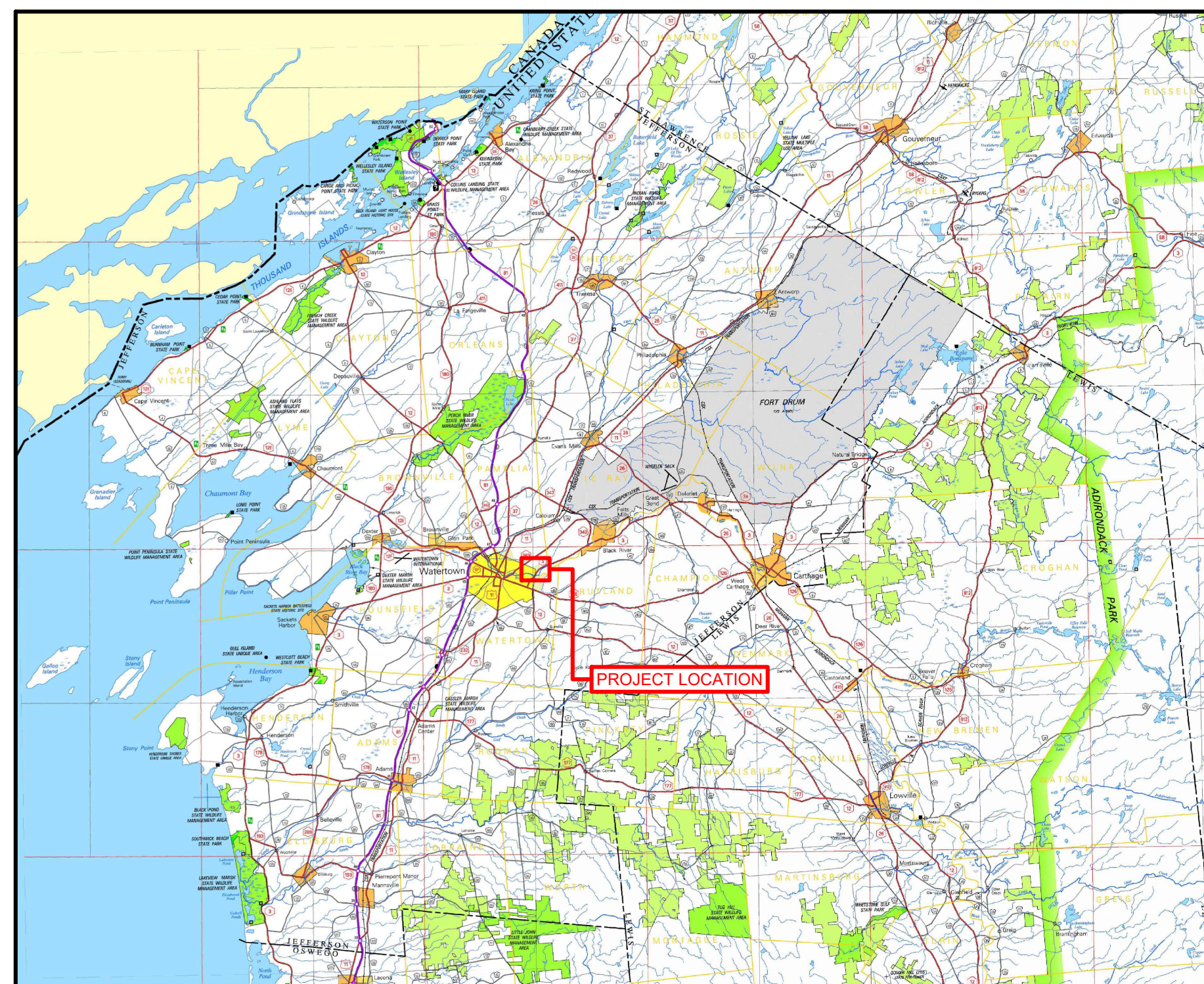
### CIVIL ENGINEERING SHEETS

- COVER SHEET
- G001 - GENERAL NOTES AND ABBREVIATIONS
- △ C101 - EXISTING CONDITIONS PLAN
- C102 - EROSION AND SEDIMENT CONTROL PLAN
- △ C103 - DEMOLITION PLAN
- △ C104 - SITE PLAN
- C105 - UTILITY PLAN
- C106 - GRADING AND DRAINAGE PLAN
- △ C107 - LANDSCAPING PLAN
- C108 - PHOTOMETRICS PLAN
- C109 - VEHICULAR AND PEDESTRIAN CIRCULATION PLAN
- C501 - DETAILS
- C502 - DETAILS
- △ C503 - DETAILS

### ARCHITECTURAL SHEETS

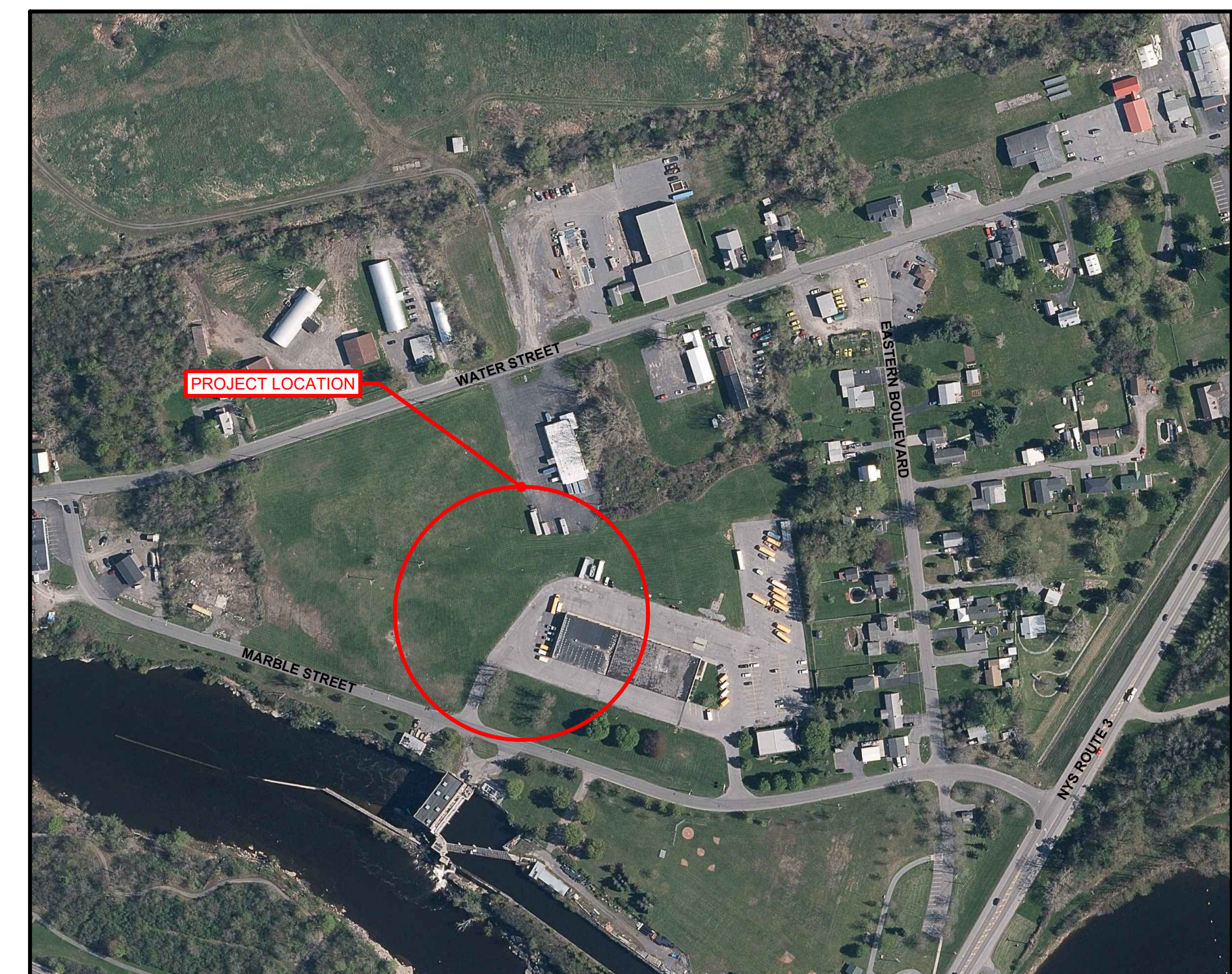
- A-1 - LAYOUT PLAN
- A-2 - OVERALL PLAN
- A-3 - EXTERIOR ELEVATIONS
- E-1 - OVERALL ELECTRICAL PLAN
- M-1 - OVERALL MECHANICAL PLAN

REVISIONS		
NUMBER	DESCRIPTION	DATE
△	CITY OF WATERTOWN COMMENTS - SEE INDIVIDUAL SHEETS FOR DETAILS	12-18-2023



VICINITY MAP - JEFFERSON COUNTY

NOT TO SCALE



LOCATION MAP

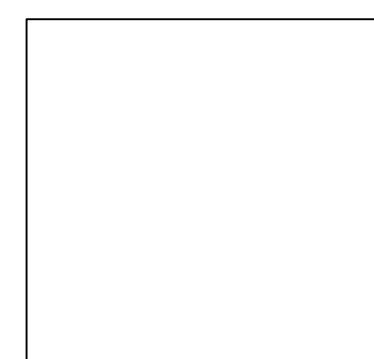
NOT TO SCALE

PREPARED BY:



WWW.GYMODPC.COM  
 18969 US Route 11 Watertown, NY 13601  
 315.788.3900

COPYRIGHT © 2022 GYMO ARCHITECTURE, ENGINEERING & LAND SURVEYING, P.C. IT IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, SUCH LICENSEE SHALL AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE, DATE AND A SPECIFIC DESCRIPTION OF ALTERATION.



MATTHEW J. CERVINI - PE  
 NEW YORK STATE REGISTRATION NO. 080973

PREPARED FOR:



HALE TRANSPORTATION - HALE'S BUS GARAGE, LLC

1067 MARBLE STREET  
 WATERTOWN, NY 13601

CONTACT:

MR. STEPHEN HALE  
 PHONE: (315) 624-7407

2023-045 - NOVEMBER 14, 2023  
 REVISED: DECEMBER 18, 2023  
 HALE TRANSPORTATION BUILDING ADDITION  
 CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK



FOR APPROVALS ONLY  
 NOT FOR CONSTRUCTION



PLT JOB TIME: 12/10/2023 9:42:29 AM

**GENERAL CONSTRUCTION NOTES:**

- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. PRIOR TO CONSTRUCTION CONTACT UNDERGROUND UTILITIES CALL CENTER OF NEW YORK FOR EXACT LOCATION OF ALL UNDERGROUND UTILITIES. (1-800-962-7962). CONTRACTOR IS RESPONSIBLE FOR LOCATING AND WORKING WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- THE TOPOGRAPHIC AND PLANIMETRIC SURVEY WAS PERFORMED BY GYMO, DPC IN SEPTEMBER OF 2023.
- PARCEL BOUNDARIES ARE BASED ON A SURVEY PERFORMED BY LAFAYE, WHITE & MCGIVERN, L.S., P.C.. FIELD WORK AND SURVEY WERE COMPLETED IN JUNE AND JULY OF 2019.
- ALL OUT-OF-SCOPE AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS WILL BE RESTORED TO CONDITIONS EQUAL TO OR BETTER THAN THAT PRIOR TO CONSTRUCTION. OUTSIDE OF PROPERTY BOUNDARIES AND EASEMENT AREAS THE CONTRACTOR IS REMINDED TO OBTAIN WRITTEN AUTHORIZATION TO USE PRIVATE PROPERTY AND ASSUMES ALL LIABILITY WHEN ACCESSING THOSE PROPERTIES.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL DAMAGE CAUSED BY HIS OPERATIONS TO EXISTING FACILITIES. ALL DAMAGE TO THE EXISTING FACILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE, AT NO ADDITIONAL COST.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CHARACTERISTICS AND EXTENT OF SUBSURFACE SOILS, ROCK, WATER TABLE LEVELS, ETC., PRIOR TO BIDDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, SECURITY, BONDS, FEES, AND PAYMENTS TO OBTAIN SAID PERMITS WHERE APPLICABLE.
- WHEN THE PERFORMANCE OF THE CONTRACTOR'S WORK REQUIRES THE INTERRUPTION OF UTILITY SERVICES, HE/SHE SHALL ISSUE A 48 HOUR PRIOR NOTICE TO THE GOVERNING MUNICIPALITY.
- A SWPPP PLAN IS NOT NECESSARY FOR THIS PROJECT
- SITE CONTRACTOR TO PROVIDE EROSION AND SEDIMENT CONTROL AND DUST CONTROL.
- UPON COMPLETION OF ESTABLISHMENT OF VEGETATION, ALL AREAS RECEIVING RUNOFF FROM THIS SITE SHALL BE CLEANED OF DEBRIS. ONLY AT THIS TIME SHALL THE EROSION AND SEDIMENTATION CONTROL MEASURES BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL LOCAL ROADS, DRIVEWAYS, INTERSECTIONS, PARKING LOTS, AND ADJOINING PROPERTIES ARE CLEAR OF DEBRIS AND MUD ON A DAILY BASIS DURING THE ENTIRE CONSTRUCTION PROCESS.
- A LICENSED LAND SURVEYOR SHALL BE RETAINED FOR ALL UTILITY AND FIELD STAKEOUT AND AS-BUILTS AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL ESTABLISHMENT OF VEGETATIVE COVER. RUN-OFF CONTAINING SEDIMENTS FROM DISTURBED AREAS OF THE SITE SHALL NOT BE ALLOWED DIRECTLY OFF SITE OR INTO NATURAL STREAM CHANNELS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. CONSTRUCTION ACTIVITIES ADJACENT TO TREES SHALL BE CONDUCTED TO REDUCE THE IMPACT TO TREES TO THE MAXIMUM EXTENT PRACTICAL. ANY DAMAGE TO EXISTING TREES SHALL BE REPAIRED OR THE TREE REPLACED, AS DIRECTED BY THE OWNER AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING, GRUBBING, CUTTING AND DISPOSING OF VEGETATION, TREES AND DEBRIS IN A NYSDEC ACCEPTABLE LOCATION.
- DISPOSAL OF ALL CONSTRUCTION DEMOLITION DEBRIS SHALL BE IN ACCORDANCE WITH THE LOCAL CODES AND 6 NYS CRR PART 360, PLUS OTHER APPLICABLE CODES. DISPOSAL SHALL BE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PERFORM ALL NECESSARY EARTHWORK, INCLUDING THE STRIPPING, STOCKPILING AND REPLACING OF TOPSOIL IN ACCORDANCE WITH THE PLANS. EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE.
- EXCAVATIONS SHALL BE TO DEPTHS SHOWN ON DRAWINGS. ALL UNSTABLE OR UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REMOVED TO SUCH DEPTH AS REQUIRED TO PROVIDE SUFFICIENT BEARING CAPACITY. OVER-EXCAVATED AREAS SHALL BE BACKFILLED WITH SUITABLE MATERIAL.
- COMPACTION OF PIPE BEDDING AND BACKFILL MATERIAL SHALL BE BY MEANS OF HAND-GUIDED POWER DRIVEN OR DRUM-TYPE OR PLATE TAMPERS. BACKFILLING SHOULD PROCEED IN ACCORDANCE WITH LIFT THICKNESS AND COMPACTION REQUIREMENTS AS SHOWN ON THE DRAWINGS. UNLESS OTHERWISE NOTED ON THE DRAWINGS, COMPACTION REQUIREMENTS REFER TO PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM STANDARD D-1557 MODIFIED PROCTOR. CARE SHALL BE TAKEN TO SHAPE PIPE BEDDING TO FIT THE LOWER PART OF THE PIPE. BACKFILLING AND COMPACTION SHOULD PROGRESS EVENLY ALONG THE PIPE SIDEWALLS AND TO THE TOP OF THE PIPE BEDDING.
- COMPACTION SHALL BE 90% MAXIMUM DRY DENSITY IN GRASS AREAS, 95% MAXIMUM DRY DENSITY IN TRAFFIC AREAS, AND 98% MAXIMUM DRY DENSITY UNDER AND AROUND STRUCTURES. MAXIMUM DRY DENSITY SHALL BE AS DETERMINED BY ASTM - D1557 MODIFIED PROCTOR. THE CONTRACTOR SHALL HIRE AN INDEPENDENT TESTING AGENCY TO PERFORM TESTING AND PROVIDE THE RESULTS TO THE OWNER FOR REVIEW PRIOR TO FINAL PAYMENT.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF DIMENSIONS, ELEVATIONS AND LOCATIONS DURING PRECONSTRUCTION FIELD VERIFICATION. SUCH INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR VERIFICATION OR MODIFICATION OF THE PLANS.
- THE CONTRACTOR SHALL DELIVER TO THE OWNER, AN AS-BUILT SURVEY, SIGNED AND SEALED BY A LAND SURVEYOR OR ENGINEER LICENSED IN THE STATE OF NEW YORK. AS-BUILT RECORD DRAWINGS SHALL INCLUDE, AS A MINIMUM, THE FOLLOWING INFORMATION AS WELL AS ALL REQUIREMENTS OF THE SPECIFICATION:
  - RECORD OF ALL UTILITIES ENCOUNTERED IN TRENCH EXCAVATION. INFORMATION SHALL INCLUDE DIAMETER OF UTILITY, DEPTH OF BURIAL AND LOCATION WITH REFERENCE TO NEAREST STRUCTURE SHOWN ON DRAWINGS. THIS INFORMATION SHALL BE KEPT CURRENT ON A WEEKLY BASIS. FAILURE TO DO SO MAY RESULT IN WITHHOLDING OF PAYMENTS.
  - DISTANCE TIES TO ALL BENDS, VALVES, CORPORATION STOPS, WYES, MANHOLES, CLEAN OUTS, CATCH BASINS, ETC.
  - UTILITY REPAIRS, SIDEWALK, AND DRIVEWAY REPLACEMENTS CENTERLINE.
  - RIM AND INVERT ELEVATIONS AND HORIZONTAL LOCATION OF MANHOLES, CATCH BASINS, AND CLEANOUTS.
  - STATIONS OF BENDS AND VALVES.
  - FINAL GRADE ELEVATIONS TO NEAREST 0.1-FOOT AND FINISHED FLOOR ELEVATIONS.
  - DENOTED BENCH MARK REFERENCES USED.
  - PERIODIC OFFSETS
  - NOTATION FROM THE ENGINEER OR SURVEYOR THAT THE GRADES ARE IN CONFORMANCE WITH THE SITE PLANS.
  - RECORD DETAILS NOT SHOWN ON THE ORIGINAL CONTRACT DOCUMENTS. ANY FIELD CHANGES OF DIMENSIONS AND DETAILS AND ANY CHANGES MADE BY CHANGE ORDER OR FIELD ORDER.
  - CERTIFICATE OF SUBSTANTIAL COMPLETION SHALL NOT BE ISSUED UNTIL AS-BUILT INFORMATION IS ACCEPTABLE.
  - CONTRACTOR SHALL FURNISH AS-BUILT DATA ON PLAN SHEETS
  - CONTRACTOR SHALL PROVIDE A PDF COPY OF THE FINAL COMPLETE RECORD DRAWINGS
- CONTRACTOR SHALL PROVIDE SATISFACTORY DEWATERING AND DRAINAGE OF EXCAVATIONS. SEE DEWATERING AND DRAINAGE IN THE TECHNICAL SPECIFICATIONS FOR MORE DETAILED INFORMATION.
- THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION OPERATIONS WITH ANY AND ALL OTHER CONSTRUCTION ACTIVITIES WHICH MAY BE OCCURRING SIMULTANEOUSLY IN THE VICINITY OF THE SITE.
- EXCAVATIONS AND TRENCHING SHALL BE PERFORMED IN ACCORDANCE WITH STATE OF NEW YORK INDUSTRIAL CODE, RULE 23, O.S.H.A. TITLE 29, PART 1926, NEW YORK STATE DEPARTMENT OF LABOR, TITLE 12, PART 23, AND ALL OTHER APPLICABLE SAFETY STANDARDS AND CODES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL RULES AND RESPONSIBILITIES ASSOCIATED WITH PROVIDING A SAFE WORK PLACE. THE CONTRACTOR MUST COMPLY WITH OSHA 29 CFR PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL POST WARNING SIGNS AT ALL APPROACHES TO THE PROJECT AND AT CONSTRUCTION ENTRANCES. THE CONTRACTOR TO PROVIDE FLAGMEN WHEN NECESSARY.
- ALL R.O.W. CONNECTION AND/OR ADJACENT WORK SHALL BE PERFORMED IN ACCORDANCE WITH NYSDOT STANDARDS AND SPECIFICATIONS. ALL R.O.W. WORK SHALL BE IN ACCORDANCE WITH NYSDOT WORK ZONE TRAFFIC CONTROL REGULATIONS, INCLUDING FLAGMEN, BARRICADES, WARNING SIGNS/LIGHTS, ETC., WHERE WARRANTED.
- PAVED AREAS WILL BE SAWCUT PRIOR TO EXCAVATION AND PAVING OPERATIONS. SAWCUT AREAS WILL BE TACK COATED PRIOR TO PAVING. TACK COAT SHALL MEET THE REQUIREMENTS OF ASPHALT EMULSION FOR TACK COAT, NYSDOT TABLE 702-7.
- SURCHARGE LOADS FROM EXCAVATED MATERIAL, BACKFILL MATERIAL, EQUIPMENT, TRAFFIC LOADING ETC., MUST BE KEPT AWAY A DISTANCE EQUAL TO THE DEPTH OF EXCAVATION.
- TRAFFIC OFFSET SHALL BE MAINTAINED AT A MINIMUM OF TEN FEET FROM ANY OPEN EXCAVATION TO AVOID UNWANTED SURCHARGE LOADS.
- THE CONTRACT DOCUMENTS ALWAYS SUPERCEDE SUBMITTALS, SHOP DRAWINGS, OR ANY "OTHER" DOCUMENTS UNLESS INDICATED OTHERWISE BY THE ENGINEER. IN THE EVENT OF "OTHER" DOCUMENTS CONFLICTING WITH THE CONTRACT DOCUMENTS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING IT TO THE ATTENTION OF THE ENGINEER AS SOON AS IT IS DISCOVERED.
- THE DETAIL PLANS AND SPECIFICATIONS FOR THE CONTRACT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN NOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. WORK UNDER ALL ITEMS IN THE CONTRACT MUST BE CARRIED OUT TO MEET THESE FIELD CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND IN ACCORDANCE WITH HIS INSTRUCTIONS AND THE CONTRACT SPECIFICATIONS
- THE PRESENCE OF HAZARDOUS MATERIALS SHALL BE BROUGHT TO THE ENGINEERS OR OWNERS IMMEDIATE ATTENTION.
- THE CONTRACTOR SHOULD NOTE THAT ADDITIONAL WORK MAY BE REQUIRED AS THE CONTRACT PROGRESSES WHICH IS NOT SHOWN OR NOTED ON PLANS. THIS WORK SHALL BE PERFORMED BY THE CONTRACTOR ONLY AFTER BEING AUTHORIZED BY THE OWNER AND ENGINEER WITH ADDITIONAL PAYMENT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE CONTRACT AGREEMENT WITH THE OWNER.

**CITY OF WATERTOWN GENERAL PLAN NOTES:**

- ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN WILL REQUIRE SIGN-OFF FROM A PROFESSIONAL ENGINEER, LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK. THAT THE WORK WAS BUILT ACCORDING TO THE APPROVED SITE PLAN AND APPLICABLE CITY OF WATERTOWN STANDARDS.
- COMPACTION TESTING WILL BE REQUIRED FOR ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN AND MUST BE SUBMITTED TO THE CITY OF WATERTOWN CODES DEPARTMENT.

**ABBREVIATIONS**

AC	ACRES
BC	BOTTOM OF CURB
BLDG	BUILDING
BOT	BOTTOM
BW	BOTTOM OF WALL
C	CURVE
CB	CATCH BASIN
CF	CUBIC FEET
CI	CUBIC INCHES
CL OR $\epsilon$	CENTERLINE
CO	COUNTY
CONC	CONCRETE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
DA	DELTA ANGLE
DA# OR DA NO.	DRAINAGE AREA NUMBER
DI	DUCTILE IRON
DIA	DIAMETER
DWG	DRAWING
DYLL	DOUBLE YELLOW LANE LINE
E	EAST
EG	EXISTING GRADE
EL	ELEVATION
ESC	EROSION AND SEDIMENT CONTROL
FF	FINISHED FLOOR
FG	FINISHED GRADE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HYD	HYDRANT
IPF	IRON PIPE FOUND
IPS	IRON PIPE SET
INT	INTERSECTION
INV	INVERT
L	LENGTH
LF	LINEAR FEET
MAX	MAXIMUM
MEG	MATCH EXISTING GRADE
MIN	MINIMUM
N	NORTH
N/A	NOT APPLICABLE
NO. OR #	NUMBER
NTS	NOT TO SCALE
NYSDEC	NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NYSDOT	NEW YORK STATE DEPARTMENT OF TRANSPORTATION
NYSDOH	NEW YORK STATE DEPARTMENT OF HEALTH
OU	OVERHEAD UTILITY LINE
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVE
PT	POINT OF TANGENT
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS OR RADII
RCP	REINFORCED CONCRETE PIPE
ROC	RUN OF CRUSHER
ROW	RIGHT OR WAY
S	SOUTH
SAN	SANITARY
SB	SETBACK
SDR	STANDARD DIMENSION RATIO
SMH	SANITARY MANHOLE
STMH	STORM MANHOLE
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
SWLL	SINGLE WHITE LANE LINE
TC	TOP OF CURB
TL	TANGENT LENGTH
TOC	TOP OF CONCRETE
(TYP)	TYPICAL
TW	TOP OF WALL
TS & V	TAPPING SLEEVE AND VALVE
UNO	UNLESS NOTED OTHERWISE
W	WEST



Architecture  
Engineering  
Land Surveying  
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Watertown, NY 13601  
315.788.3900

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ACTING UNDER THE DIRECTION  
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"ALTERED BY" FOLLOWED BY  
HIS OR HER SIGNATURE, DATE  
AND A SPECIFIC DESCRIPTION  
OF ALTERATION.

SEAL:

PROJECT NO: 2023-045  
SCALE: N/A  
DRAWN BY: MT  
DESIGNED BY: MT  
CHECKED BY: MJC  
DATE ISSUED: 11-14-2023

**GENERAL NOTES AND ABBREVIATIONS**

HALE TRANSPORTATION BUILDING ADDITION  
1067 MARBLE STREET, WATERTOWN NY, 13601  
CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK

LAST REVISED: N/A

**FOR APPROVALS ONLY  
NOT FOR CONSTRUCTION**

DRAWING NO.

**G001**

PROJECT LOCATION: C:\Users\matt\OneDrive\Documents\1140 DPC\2023\045 HALE Transportation Site\Construction\Site\Engineering\Site\Drawings\General Notes and Abbreviations.dwg

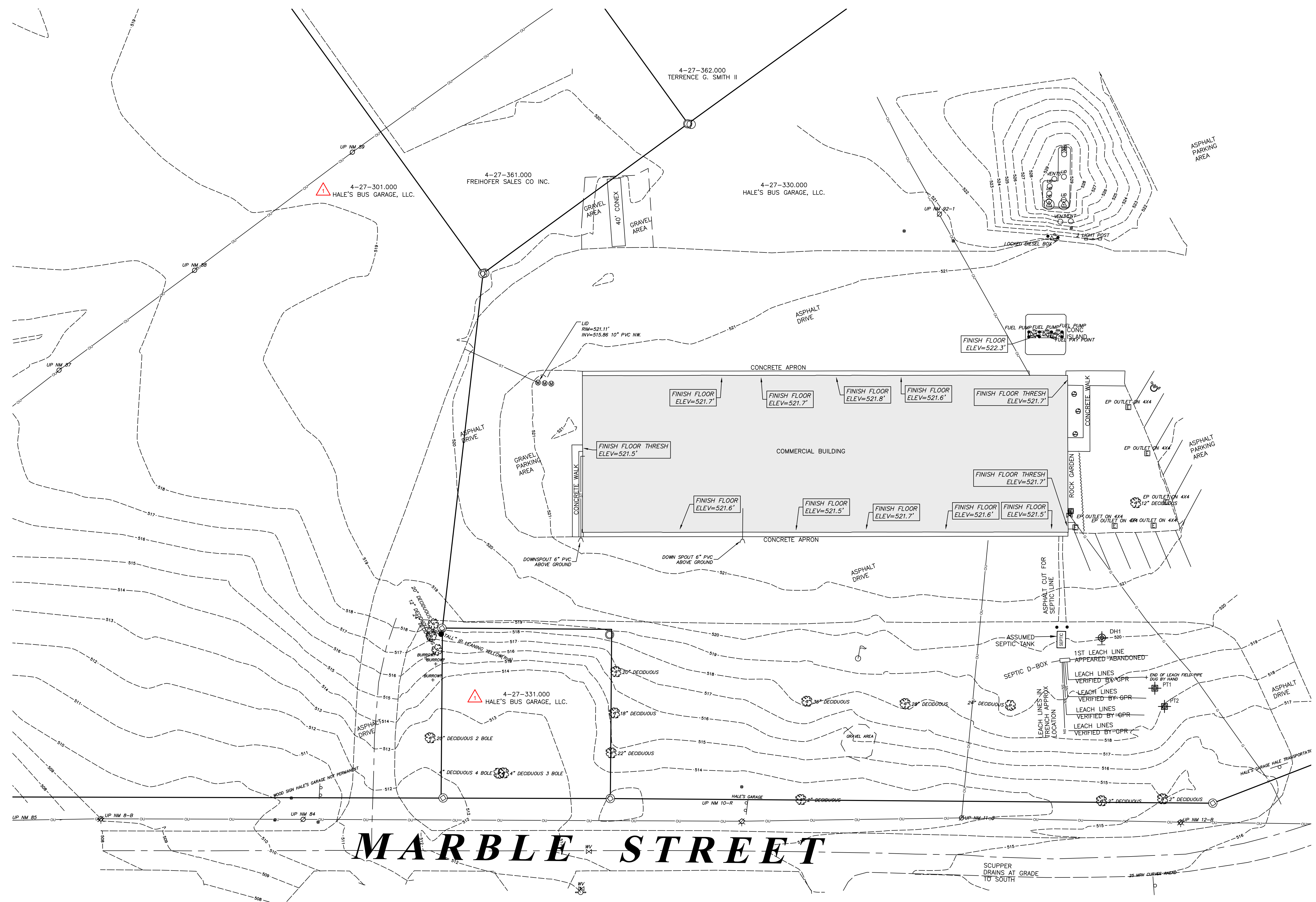


**GENERAL SURVEY NOTES:**

- EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY GYMO ARCHITECTURE, ENGINEERING, & LAND SURVEYING D.P.C.. FIELD WORK AND SURVEY WERE COMPLETED IN SEPTEMBER OF 2023.
- PARCEL BOUNDARIES ARE BASED ON A SURVEY PERFORMED BY LAVAFE, WHITE & MCGIVERN, L.S., P.C.. FIELD WORK AND SURVEY WERE COMPLETED IN JUNE AND JULY OF 2019.
- THE SURVEY IS TIED HORIZONTALLY INTO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).
- THE SURVEY IS TIED VERTICALLY INTO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

**PERCOLATION TEST NOTES:**

- PERCOLATION TESTS WERE PERFORMED ON NOVEMBER 8, 2023 BY M. TOMPKINS AND C. BERND.



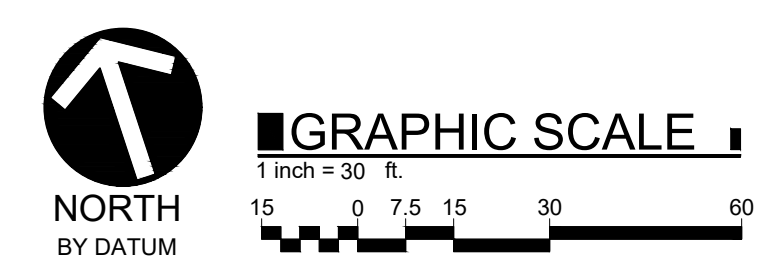
EXISTING LEGEND	
	CENTERLINE OF STREET
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	PARCEL BOUNDARY
	BUILDING
	MINOR GROUND CONTOUR
	MAJOR GROUND CONTOUR
	EDGE OF CONCRETE
	TRAFFIC SIGNS
	UTILITY POLE
	GUY WIRE
	MANHOLE
	CLEANOUT
	SEPTIC TANK
	OVERHEAD UTILITY
	WATER VALVE
	GAS VALVE
	UNDERGROUND GAS LINE
	STORM SEWER LINE
	STORM END SECTION
	SANITARY SEWER LINE
	OVERHEAD LIGHT FIXTURE
	ELECTRIC METER
	ELECTRIC BOX
	HVAC UNIT
	GAS METER
	PIPE BOLLARD
	FLAG POLE
	LID
	DOUBLE LIGHT POST
	IRON PIPE (BY L.W.M.)
	IRON ROD (BY L.W.M.)
	REBAR (BY L.W.M.)

PERCOLATION TEST 1 - PT1 (24" DEPTH)	
RUN NUMBER	TIME FOR 1 INCH DROP (MINUTES)
1	40
2	42
3	42

DEEP HOLE 1 - DH1	
DEPTH INTERVAL	SOIL DESCRIPTION
0' - 0.75'	TOPSOIL
0.75' - 5'	CLAYEY SAND
NO BEDROCK OR GROUNDWATER OBSERVED	

PERCOLATION TEST 2 - PT2 (24" DEPTH)	
RUN NUMBER	TIME FOR 1 INCH DROP (MINUTES)
1	12
2	14
3	16
	17

REVISIONS		
NUMBER	DESCRIPTION	DATE
1	UPDATED PARCEL OWNERSHIP	12-18-2023



PROJECT LOCATION: C:\Users\mcmcd\OneDrive\Documents\Projects\2023\1067 Marble Street\1067 Marble Street.dwg



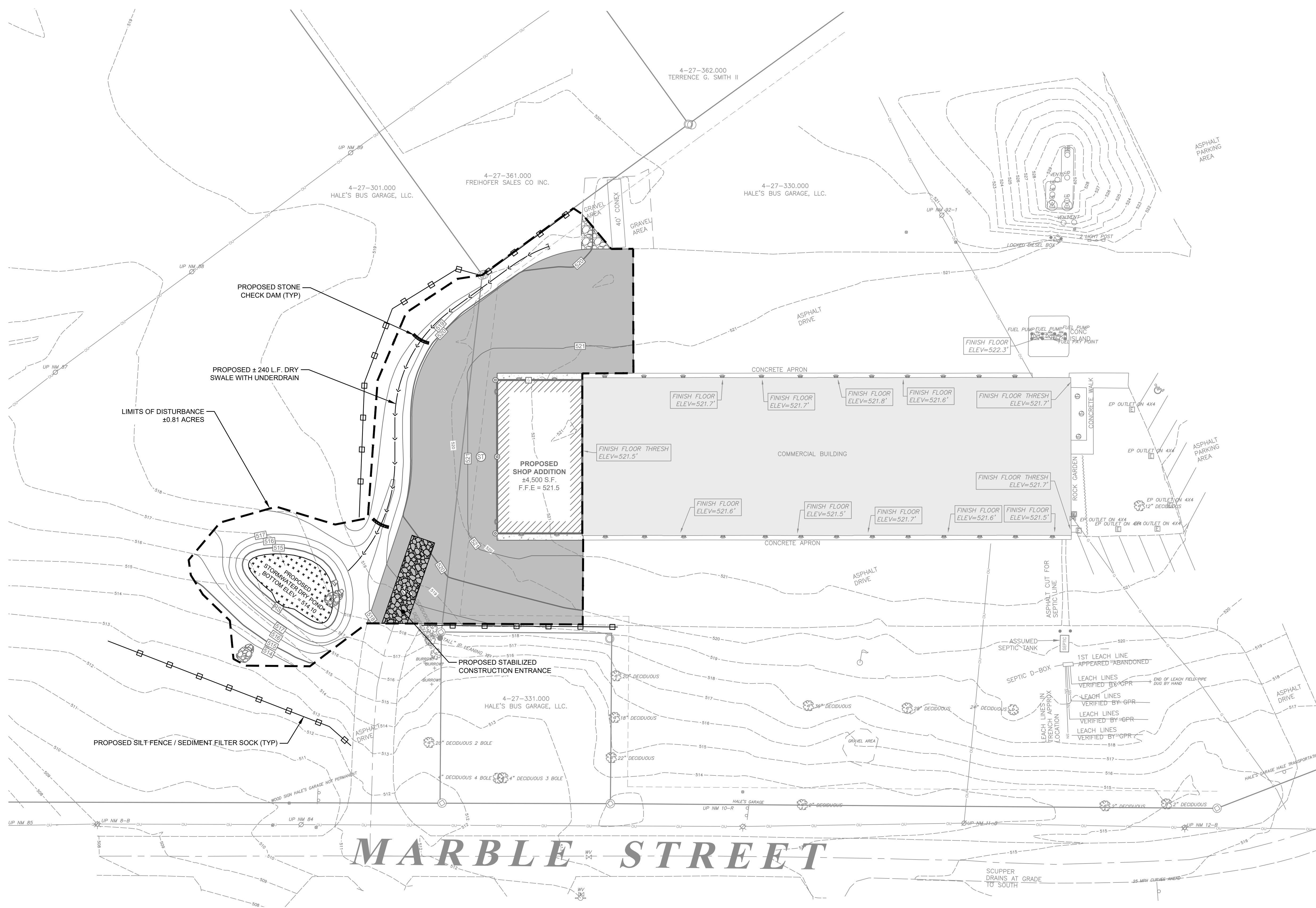
PROJECT LOCATION: C:\Users\mjs\Documents\GYMO\2023\2023-045\1067 Marble Street\1067 Marble Street.dwg

**GENERAL DATUM NOTES:**  
 1. THE DRAWING IS TIED HORIZONTALLY INTO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).  
 2. THE DRAWING IS TIED VERTICALLY INTO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

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SEAL:  
 PROJECT NO: 2023-045  
 SCALE: 1" = 30'  
 DRAWN BY: MT  
 DESIGNED BY: MJC  
 CHECKED BY: MJC  
 DATE ISSUED: 11-14-2023



EXISTING LEGEND	
	CENTERLINE OF STREET
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	PARCEL BOUNDARY
	BUILDING
	MINOR GROUND CONTOUR
	MAJOR GROUND CONTOUR
	EDGE OF CONCRETE
	TRAFFIC SIGNS
	UTILITY POLE
	GUY WIRE
	MANHOLE
	CLEANOUT
	SEPTIC TANK
	OVERHEAD UTILITY
	WATER VALVE
	GAS VALVE
	UNDERGROUND GAS LINE
	STORM SEWER LINE
	STORM END SECTION
	SANITARY SEWER LINE
	OVERHEAD LIGHT FIXTURE
	ELECTRIC METER
	ELECTRIC BOX
	HVAC UNIT
	GAS METER
	PIPE BOLLARD
	FLAG POLE
	LID
	DOUBLE LIGHT POST
	IRON PIPE (BY L.W.M.)
	IRON ROD (BY L.W.M.)
	REBAR (BY L.W.M.)

PROPOSED LEGEND	
	SILT FENCE / SEDIMENT FILTER SOCK
	STONE CHECK DAM
	DRY SWALE WITH UNDERDRAIN
	STORMWATER MANAGEMENT AREA
	STABILIZED CONSTRUCTION ENTRANCE
	LIMITS OF DISTURBANCE

NORTH BY DATUM  
**GRAPHIC SCALE**  
 1 inch = 30 ft  
 0 7.5 15 30 60

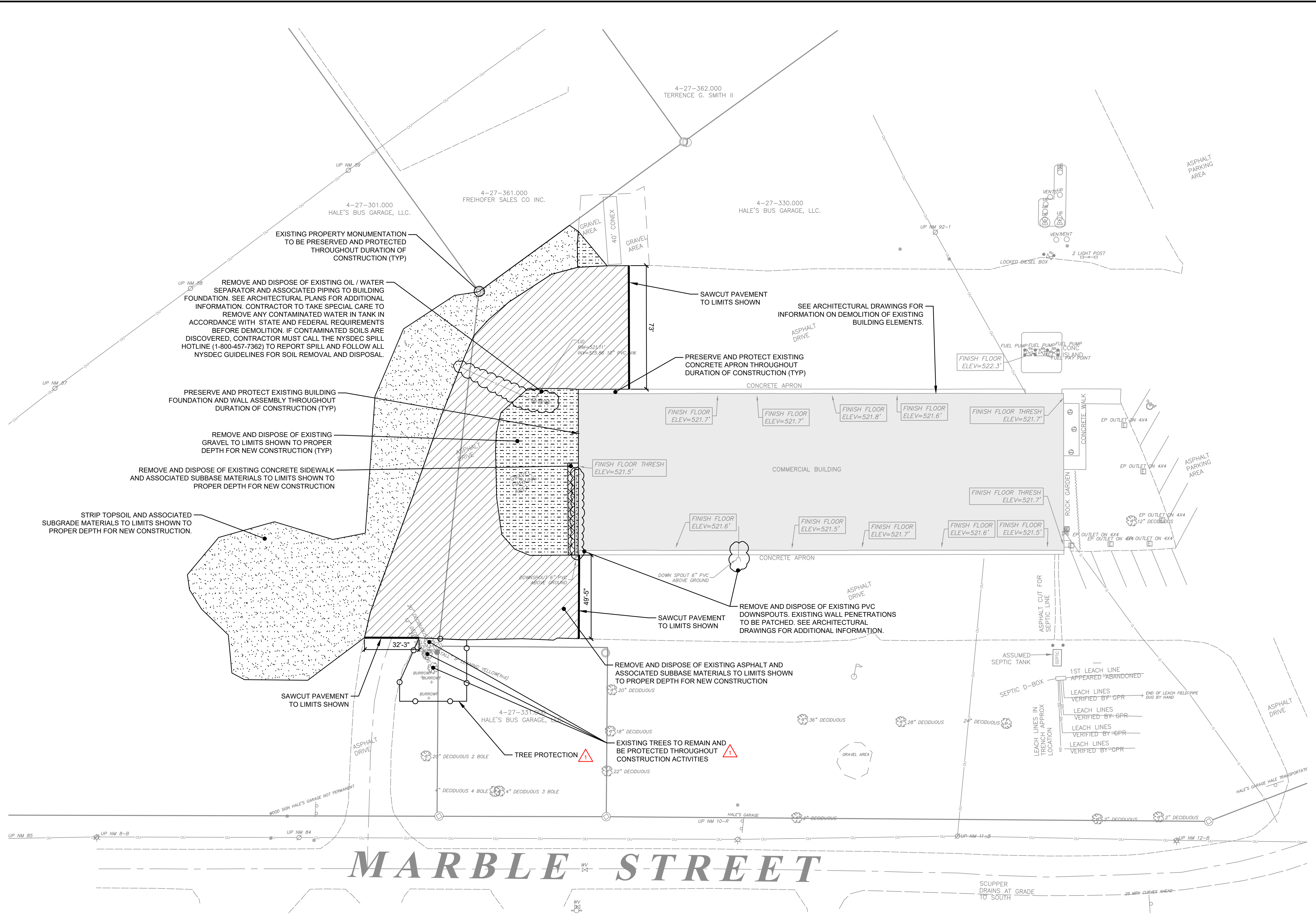
**EROSION AND SEDIMENT CONTROL PLAN**  
**HALE TRANSPORTATION BUILDING ADDITION**  
**1067 MARBLE STREET**  
**CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK**

LAST REVISED: N/A  
**FOR APPROVALS ONLY**  
**NOT FOR CONSTRUCTION**  
 DRAWING NO. **C102**

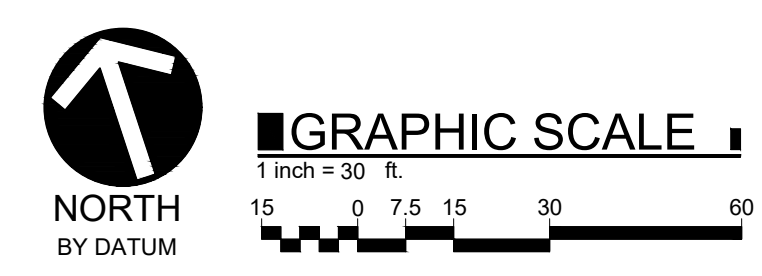


EXISTING LEGEND	
	CENTERLINE OF STREET
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	PARCEL BOUNDARY
	BUILDING
	MINOR GROUND CONTOUR
	MAJOR GROUND CONTOUR
	EDGE OF CONCRETE
	TRAFFIC SIGNS
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	GUY WIRE
	MANHOLE
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	OVERHEAD UTILITY
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	ELECTRIC BOX
	HVAC UNIT
	GAS METER
	PIPE BOLLARD
	FLAG POLE
	LID
	DOUBLE LIGHT POST
	IRON PIPE (BY L.W.M.)
	IRON ROD (BY L.W.M.)
	REBAR (BY L.W.M.)

PROPOSED LEGEND	
	ASPHALT PAVEMENT REMOVAL
	GRAVEL REMOVAL
	CONCRETE REMOVAL
	STRIP TOPSOIL AND SUBGRADE



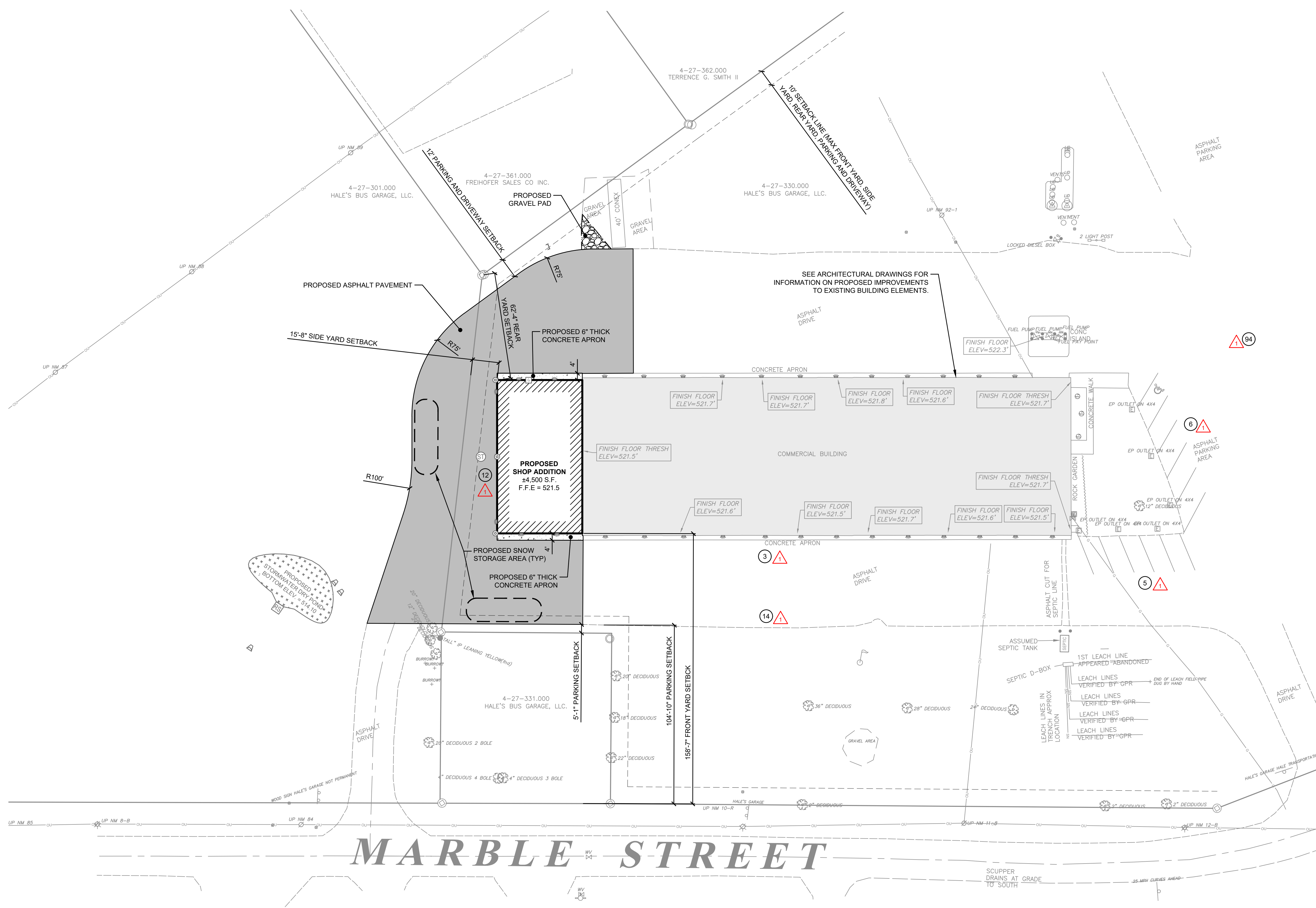
REVISIONS		
NUMBER	DESCRIPTION	DATE
1	CITY OF WATERTOWN COMMENTS - ADDITION OF TREE PROTECTION NOTES	12-18-2023





PROJECT LOCATION: C:\Users\mcm\Documents\GYMO\2023\12-18-2023\1067 Marble Street - Transportation Building Addition - Drawings\Site Plan.dwg

**GENERAL DATUM NOTES:**  
 1. THE DRAWING IS TIED HORIZONTALLY INTO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).  
 2. THE DRAWING IS TIED VERTICALLY INTO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

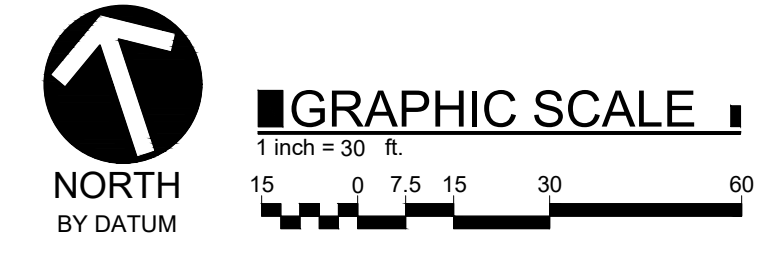


EXISTING LEGEND	
---	CENTERLINE OF STREET
⊗	TREE
⊕	GAS VALVE
---	EDGE OF PAVEMENT
---	PAINTED PAVEMENT MARKING
---	PARCEL BOUNDARY
▭	BUILDING
---	MINOR GROUND CONTOUR
---	MAJOR GROUND CONTOUR
---	EDGE OF CONCRETE
⊕	TRAFFIC SIGNS
UP ⊕	UTILITY POLE
⊕	GUY WIRE
⊕	MANHOLE
⊕	CLEANOUT
SEPTIC	SEPTIC TANK
---	OVERHEAD UTILITY
⊕	WATER VALVE
⊕	GAS VALVE
---	UNDERGROUND GAS LINE
---	STORM SEWER LINE
---	STORM END SECTION
---	SANITARY SEWER LINE
⊕	OVERHEAD LIGHT FIXTURE
⊕	ELECTRIC METER
⊕	ELECTRIC BOX
⊕	HVAC UNIT
⊕	GAS METER
⊕	PIPE BOLLARD
⊕	FLAG POLE
LID ⊕	LID
⊕	DOUBLE LIGHT POST
⊕	IRON PIPE (BY L.W.M.)
⊕	IRON ROD (BY L.W.M.)
⊕	REBAR (BY L.W.M.)

PROPOSED LEGEND	
▭	CONCRETE
▭	ASPHALT PAVEMENT
▭	GRAVEL
▭	BUILDING ADDITION
▭	SNOW STORAGE AREA
---	SETBACK LINE
⊕	PARKING COUNT

PLANNING DATA		
ZONING CLASSIFICATION: NEIGHBORHOOD MIXED USE PARCEL #: 4-27-330.000 / 4-27-301.000		
ITEM	REQUIRED / ALLOWED	PROPOSED
BUILDING AREA	N/A	±31,071 SQ. FT.
MAX BUILDING HEIGHT	3 STORIES	1 STORY
MINIMUM LOT SIZE	1,000 S.F.	6.16 ACRES / 6.66 ACRES
LOT WIDTH	10' MIN - 100' MAX	NO CHANGE
FRONT YARD SETBACK	0' MIN - 10' MAX	158'-7"
SIDE YARD SETBACK	10'	15'-8"
REAR YARD SETBACK	10'	62'-4"
PARKING LOT AND DRIVEWAY SETBACKS	10'	104'-10", 5'-1" (EXISTING), 0'-0" (EXISTING), 12'-0"
PARKING SPACES	0 - 16	134 (EXISTING) ⚠
IMPERVIOUS SURFACE COVERAGE	70%	±58% / ±3%
FACADE LENGTH (MAX.)	60'	337'
GROUND FLOOR TRANSPARENCY, FRONT FACADE (MIN.)	50%	± 5.87%

REVISIONS		
NUMBER	DESCRIPTION	DATE
⚠	CITY OF WATERTOWN COMMENTS - ADDITION OF PARKING COUNT	12-18-2023



LAST REVISED: 12-18-2023  
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**C104**





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PROJECT NO: 2023-045  
SCALE: 1" = 30'  
DRAWN BY: MT  
DESIGNED BY: MJC  
CHECKED BY: MJC  
DATE ISSUED: 11-14-2023

**UTILITY PLAN**  
**HALE TRANSPORTATION BUILDING ADDITION**  
**1067 MARBLE STREET**  
**CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK**

LAST REVISED: N/A

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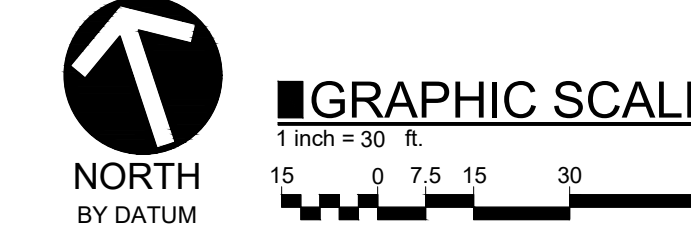
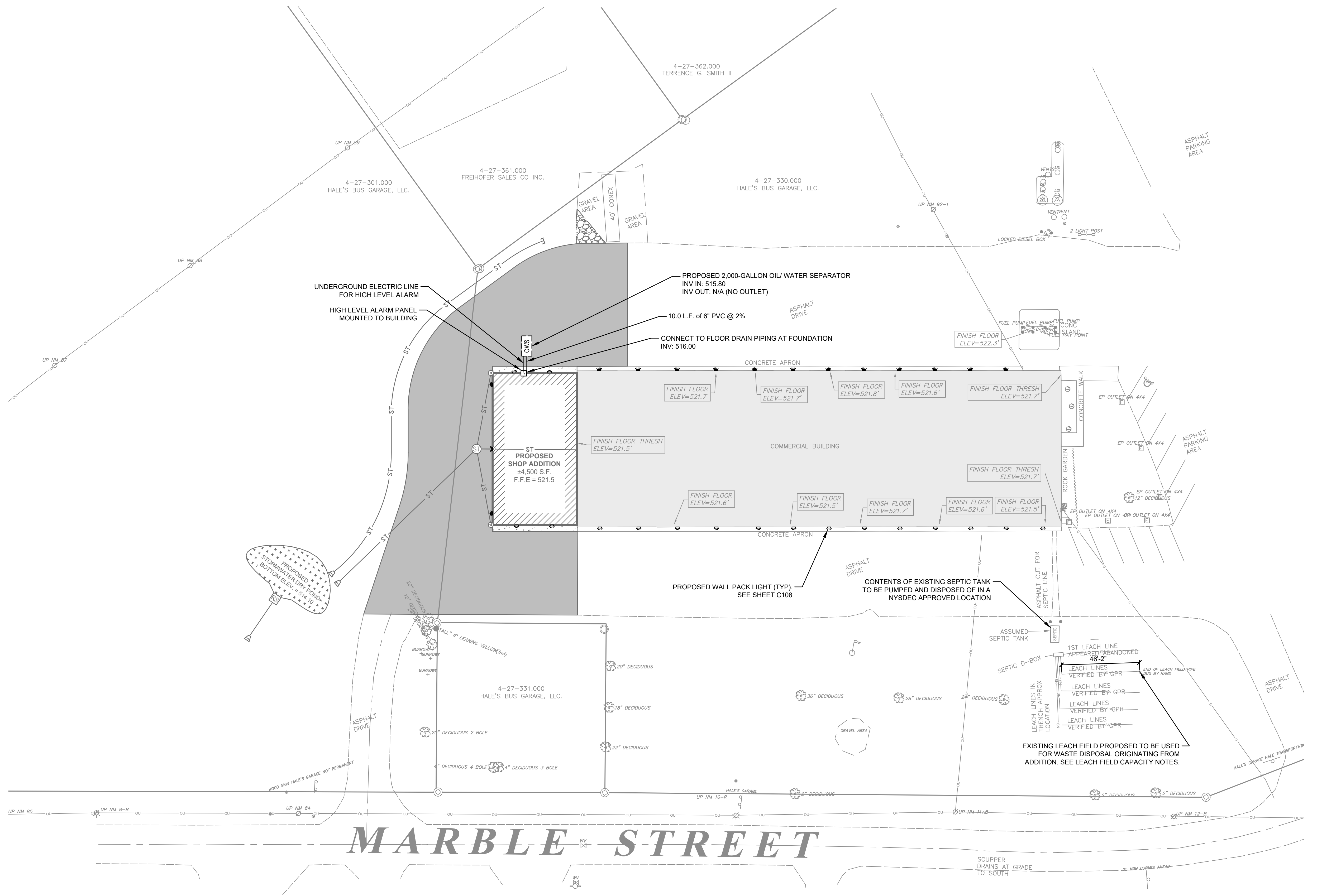
DRAWING NO.

**C105**

- LEACH FIELD CAPACITY NOTES:**
- EXISTING LEACH FIELD APPEARS TO CONSIST OF (4) 46' LONG ABSORPTION TRENCHES.
  - USING THE SLOWEST OBSERVED PERCOLATION RATE OF THE SOIL ADJACENT TO THE LEACH FIELD (42 MINUTES PER INCH), THE ALLOWABLE APPLICATION RATE OF THE EXISTING LEACH FIELD IS 0.50 GAL/DAY/SF.
  - THE CAPACITY OF THE LEACH FIELD IS CALCULATED TO BE  $(4)(46')(2')(0.50 \text{ GAL/DAY/SF}) = 184 \text{ GAL/DAY}$
  - FLOW TO THE LEACH FIELD IS EXPECTED TO BE  $(6 \text{ EMPLOYEES})(15 \text{ GPD/EMPLOYEE}) + (5 \text{ BUS LAVATORIES})(5 \text{ GAL/BUS}) = 115 \text{ GPD}$

EXISTING LEGEND	
	CENTERLINE OF STREET
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	PARCEL BOUNDARY
	BUILDING
	MINOR GROUND CONTOUR
	MAJOR GROUND CONTOUR
	EDGE OF CONCRETE
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	ELECTRIC BOX
	HVAC UNIT
	GAS METER
	PIPE BOLLARD
	FLAG POLE
	LID
	DOUBLE LIGHT POST
	IRON PIPE (BY L.W.M.)
	IRON ROD (BY L.W.M.)
	REBAR (BY L.W.M.)

PROPOSED LEGEND	
	FLOOR DRAIN PIPING
	OIL WATER SEPARATOR
	WALL PACK LIGHT FIXTURE
	UNDERGROUND ELECTRIC LINE
	ALARM PANEL



PROJECT LOCATION: C:\Users\james\Documents\GYMO\2023\1067 Marble Street - Transportation Site - Engineering - Drawings\Sheet\... FILE NAME: 1067 Marble Street - Transportation Site - Engineering - Drawings\Sheet\... DATE: 11-14-2023 10:58 AM



EXISTING LEGEND	
—	CENTERLINE OF STREET
⊗	TREE
⊗	GAS VALVE
---	EDGE OF PAVEMENT
---	PAINTED PAVEMENT MARKING
---	PARCEL BOUNDARY
▭	BUILDING
---	MINOR GROUND CONTOUR
---	MAJOR GROUND CONTOUR
---	EDGE OF CONCRETE
⊕	TRAFFIC SIGNS
UP ⊕	UTILITY POLE
⊙	GUY WIRE
⊙	MANHOLE
⊙	CLEANOUT
⊙	SEPTIC TANK
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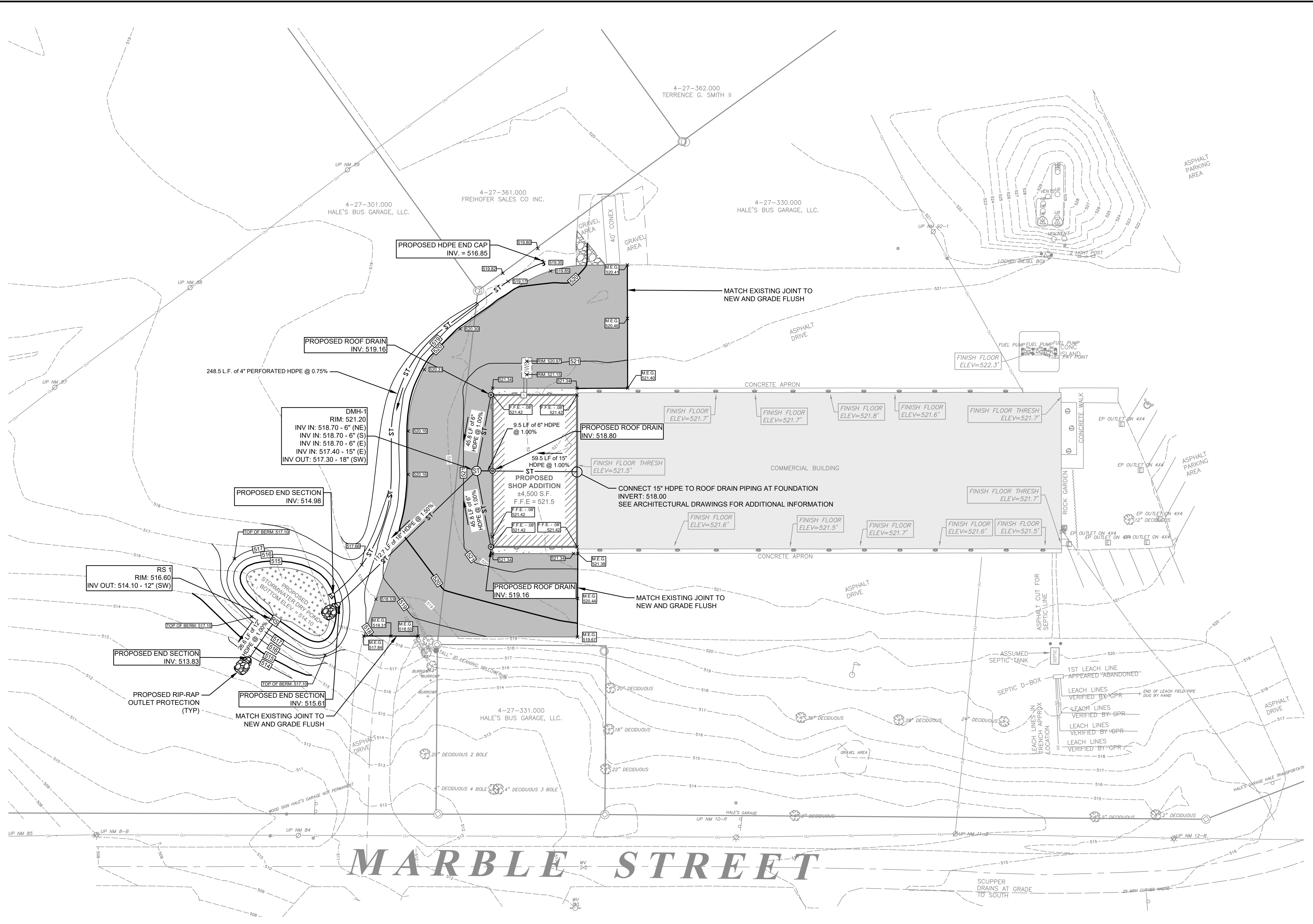
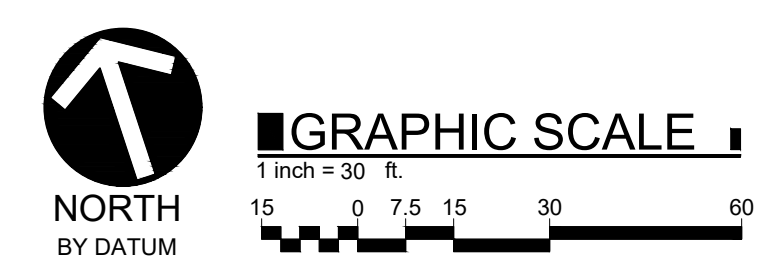
PROPOSED LEGEND	
520	MAJOR CONTOUR
517	MINOR CONTOUR
x 522.25	SPOT GRADE
M.E.G. 521.2	SPOT GRADE - MATCH EXISTING GRADE
⊕	RIP-RAP
ST	STORM PIPE
⊕	END SECTION
⊕	STORM MANHOLE
⊕	RISER STRUCTURE
⊕	ROOF DRAIN
⊕	STORM END CAP

**GENERAL DATUM NOTES:**

1. THE DRAWING IS TIED HORIZONTALLY INTO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).
2. THE DRAWING IS TIED VERTICALLY INTO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

**GENERAL GRADING AND ELEVATION NOTES:**

1. AT SOME INSTANCES WHERE NEW WORK AND EXISTING WORK TIE TOGETHER, THE CONTRACTOR IS PROVIDED A SPOT ELEVATION AND INSTRUCTED TO MATCH EXISTING GRADE. THE INTENT OF THE SPOT ELEVATION IS TO PROVIDE A REFERENCE FOR THE CONTRACTOR, HOWEVER MATCHING EXISTING GRADE AT THESE LOCATIONS TAKES PRIORITY OVER ACHIEVING THE SPECIFIED ELEVATION.
2. BEFORE ANY GRADING, UTILITY, OR OTHER ELEVATION DEPENDENT ACTIVITIES COMMENCE, THE CONTRACTOR SHALL VERIFY TIE-IN ELEVATIONS WITH THE PLANS AND REPORT TO ENGINEER SHOULD THE FIELD ELEVATION AND SPECIFIED ELEVATION VARY BY MORE THAN 0.05'.

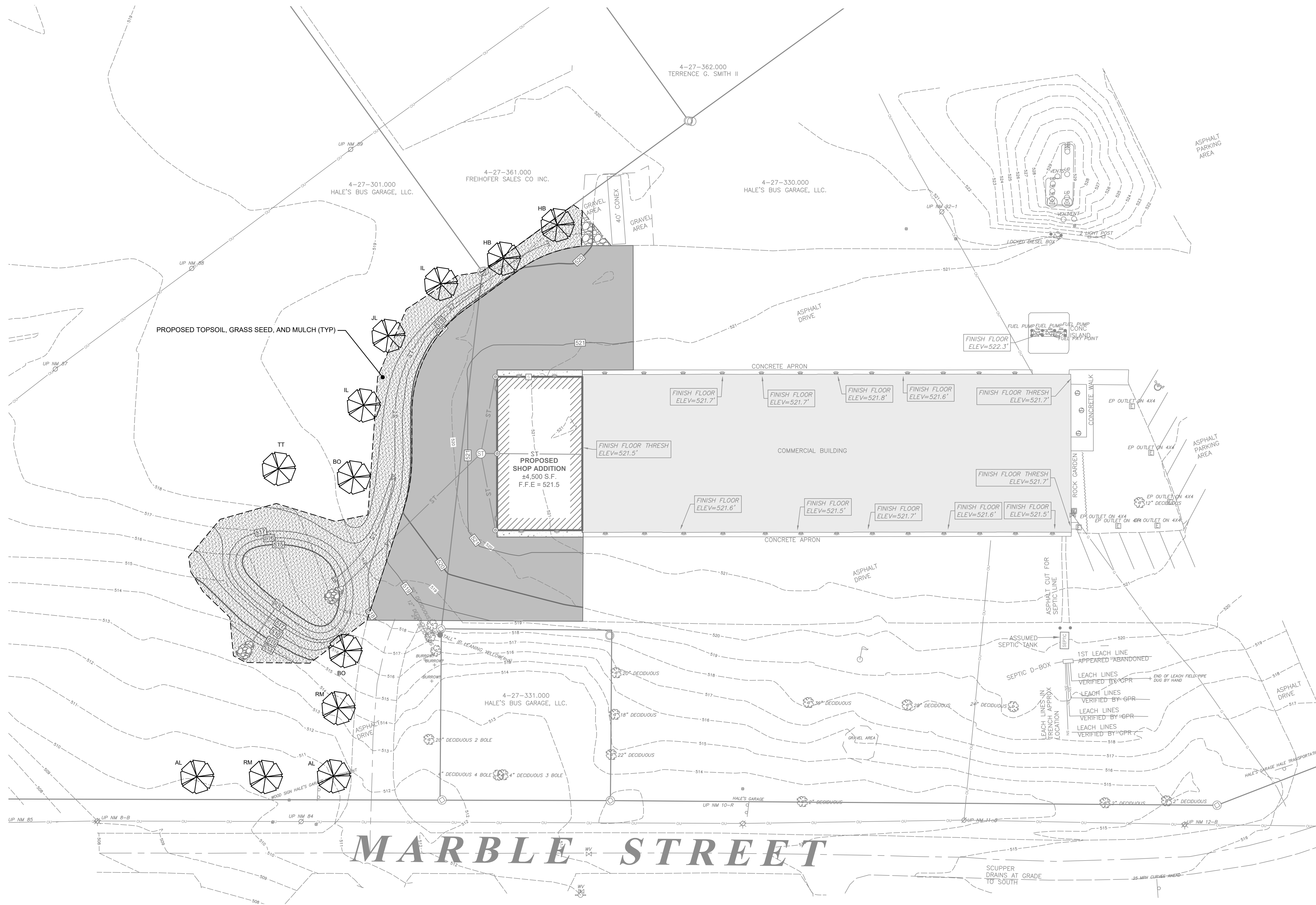


PROJECT LOCATION: C:\Users\mjc\Documents\GYMO\2023\2023-045 HALE Transportation Building Addition\Drawings\Site\



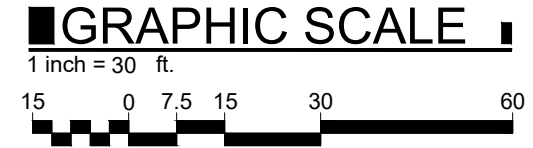
EXISTING LEGEND	
	CENTERLINE OF STREET
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	PARCEL BOUNDARY
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	FLAG POLE
	LID
	DOUBLE LIGHT POST
	IRON PIPE (BY L.W.M.)
	IRON ROD (BY L.W.M.)
	REBAR (BY L.W.M.)

PROPOSED LEGEND	
	TOPSOIL, GRASS SEED, AND MULCH
	TREE

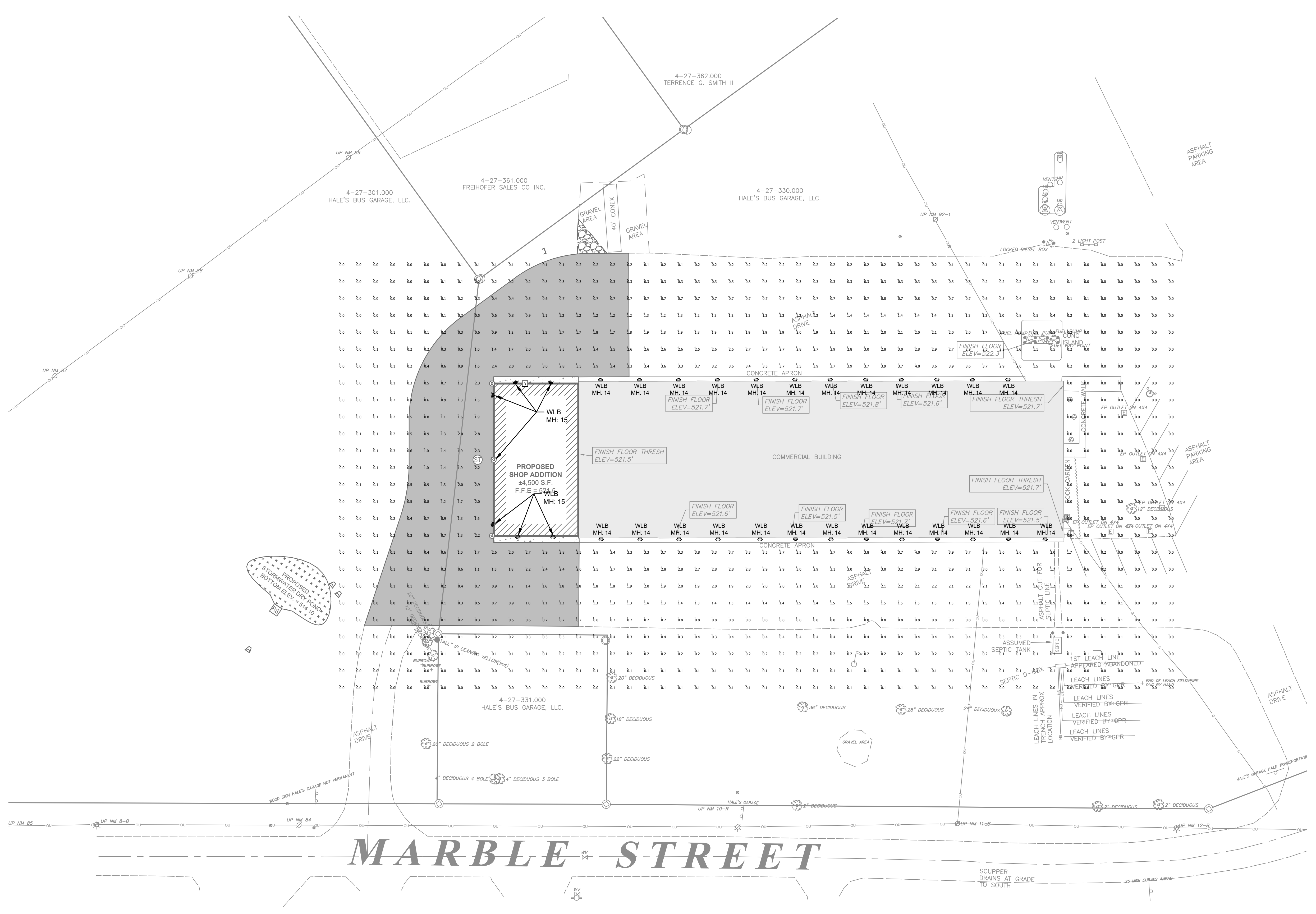


PLANT MATERIAL SCHEDULE			
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
RM	ACER RUBRUM	RED MAPLE	2.5" CAL.
BO	QUERCUS MACROCARPA	BURR OAK	2.5" CAL.
AL	TILIA AMERICANA	AMERICAN LINDEN	2.5" CAL.
HB	CELTIS OCCIDENTALIS	HACKBERRY	2" CAL.
TT	LIRIODENDRON TULIPIFERA	TULIPTREE	2" CAL.
IL	GLEDITSIA TI 'IMPCOLE'	IMPERIAL HONEY LOCUST	2" CAL.
JL	SRINGA RETICULATA	JAPANESE TREE LILAC	2" CAL.

REVISIONS		
NUMBER	DESCRIPTION	DATE
1	CITY OF WATERTOWN COMMENTS - REVISED TREE SPECIES TO INCREASE DIVERSITY	12-18-2023



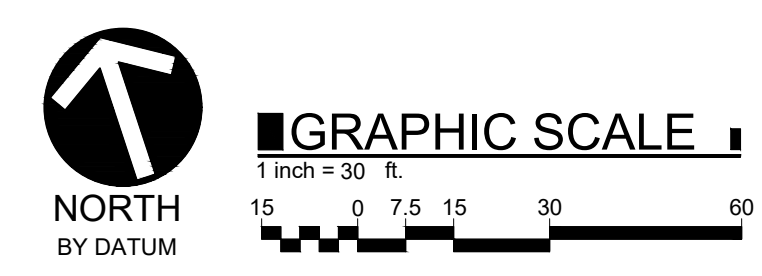




EXISTING LEGEND	
---	CENTERLINE OF STREET
⊙	TREE
⊗	GAS VALVE
---	EDGE OF PAVEMENT
---	PAINTED PAVEMENT MARKING
---	PARCEL BOUNDARY
---	BUILDING
---	MINOR GROUND CONTOUR
---	MAJOR GROUND CONTOUR
---	EDGE OF CONCRETE
---	TRAFFIC SIGNS
UP ⊙	UTILITY POLE
⊙	GUY WIRE
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⊙	CLEANOUT
SEPTIC	SEPTIC TANK
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⊗	REBAR (BY L.W.M.)

Luminaire Schedule															
Symbol	Qty	Label	Arrangement	Lum Lumens	Arrgmt Lum Lumens	Lum Watts	Arrgmt Watts	Total Watts	LLD	LDD	BF	LLF	BUG Rating	Description	MOUNT HEIGHT (MH)
⊗	32	WLB	Single	3535	3535	34	34	1088	0.950	0.950	1.000	0.903	B1-U0-G1	GWC-SA1A-740-U-T4FT-HSS	14, 15

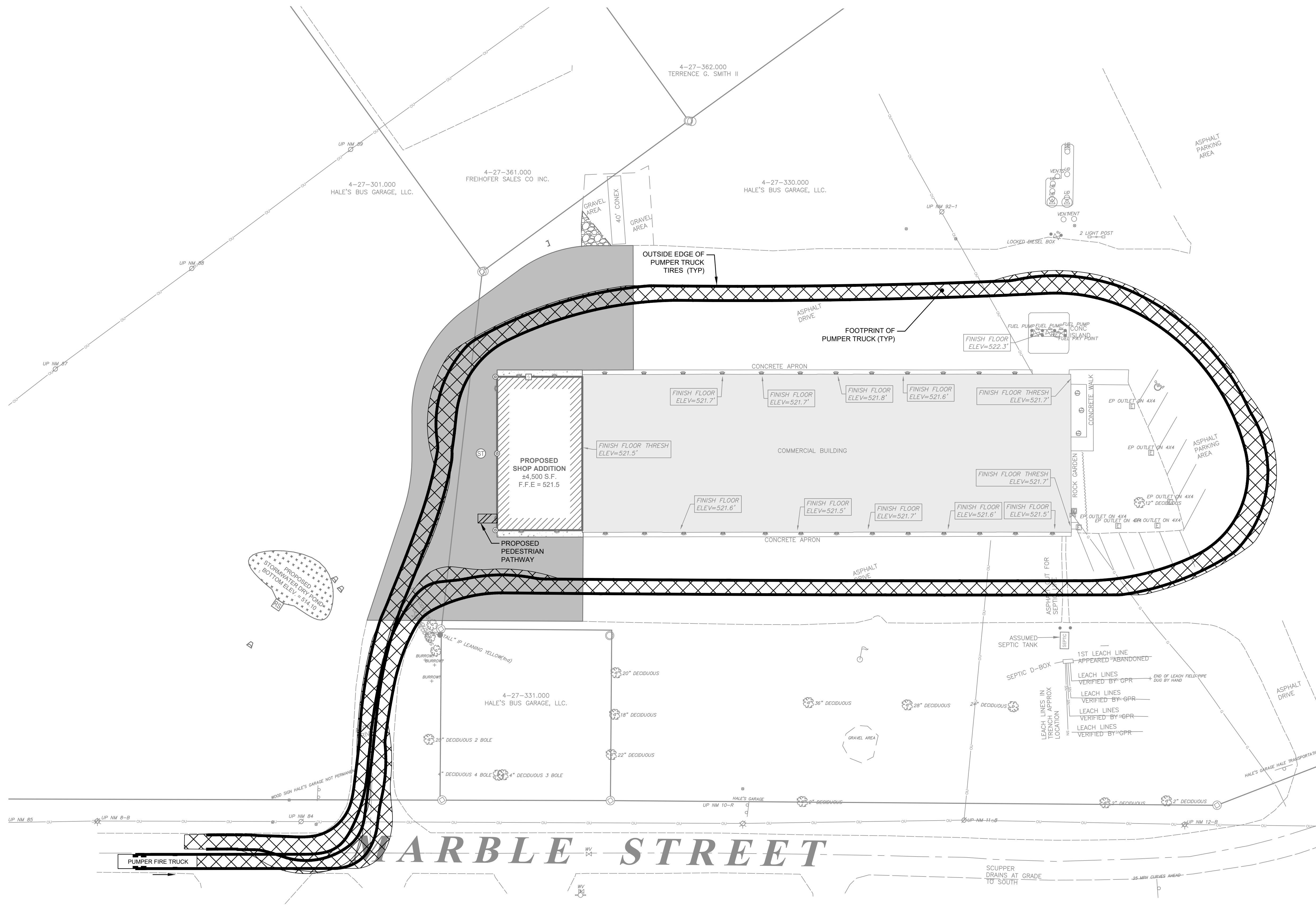
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Object_3_Planar	Illuminance	Fc	0.82	4.0	0.0	N.A.	N.A.



PROJECT LOCATION: C:\Users\mjc\Documents\GYMO\2023\2023-045-Hale-Transportation-Building-Addition\Drawings\Site\Main.dwg

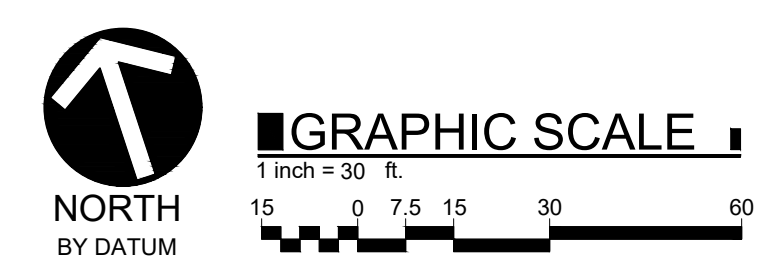


**VEHICULAR AND PEDESTRIAN CIRCULATION PLAN**  
HALE TRANSPORTATION BUILDING ADDITION  
1067 MARBLE STREET  
CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK



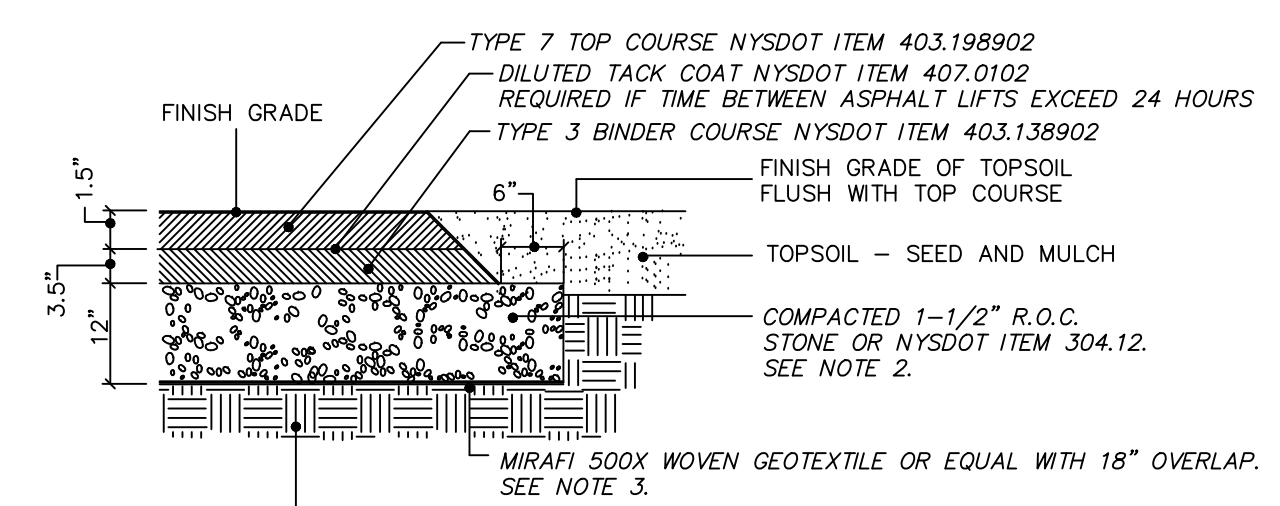
EXISTING LEGEND	
---	CENTERLINE OF STREET
⊙	TREE
⊕	GAS VALVE
---	EDGE OF PAVEMENT
---	PAINTED PAVEMENT MARKING
---	PARCEL BOUNDARY
█	BUILDING
---	MINOR GROUND CONTOUR
---	MAJOR GROUND CONTOUR
---	EDGE OF CONCRETE
⊕	TRAFFIC SIGNS
UP ⊙	UTILITY POLE
•	GUY WIRE
⊕	MANHOLE
⊕	CLEANOUT
SEPTIC	SEPTIC TANK
---	OVERHEAD UTILITY
⊕	WATER VALVE
⊕	GAS VALVE
---	UNDERGROUND GAS LINE
---	STORM SEWER LINE
---	STORM END SECTION
---	SANITARY SEWER LINE
⊕	OVERHEAD LIGHT FIXTURE
⊕	ELECTRIC METER
⊕	ELECTRIC BOX
⊕	HVAC UNIT
⊕	GAS METER
•	PIPE BOLLARD
⊕	FLAG POLE
LID ⊕	LID
⊕	DOUBLE LIGHT POST
⊕	IRON PIPE (BY L.W.M.)
⊕	IRON ROD (BY L.W.M.)
⊕	REBAR (BY L.W.M.)

PROPOSED LEGEND	
XXXX	FIRE TRUCK FOOTPRINT
---	FIRE TRUCK TIRE PATH
---	PEDESTRIAN PATHWAY



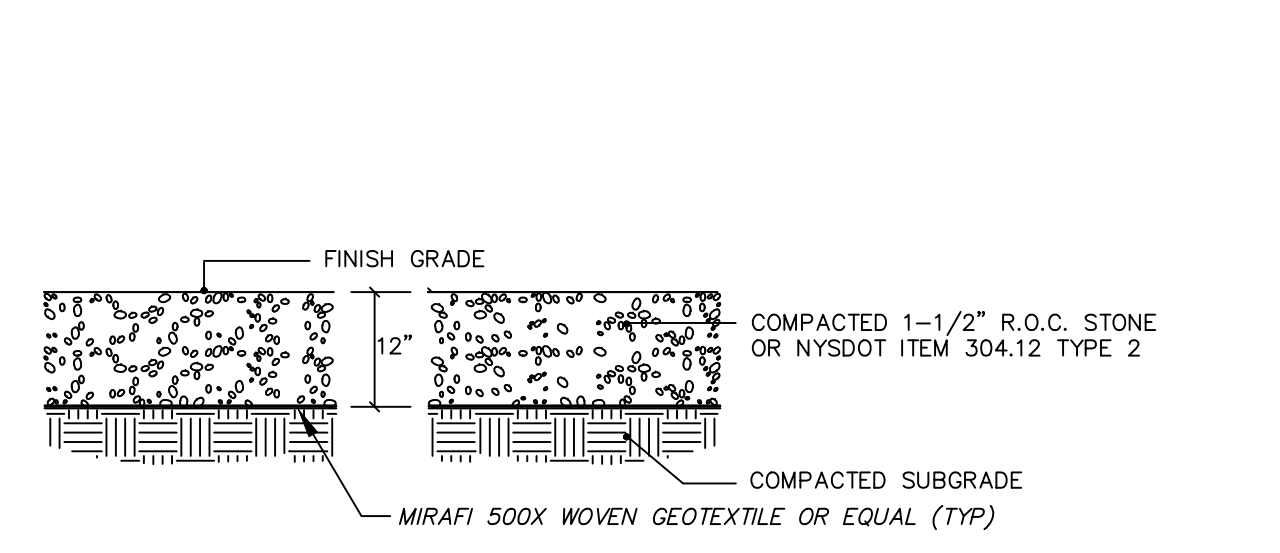


PROJECT LOCATION: C:\Users\mcm\Documents\GYMO\Projects\2023\2023-045\HALE\_TRANSPORTATION\_BUILDING\_ADDITION\Drawings\Site\Drawings\Details\Details.dwg



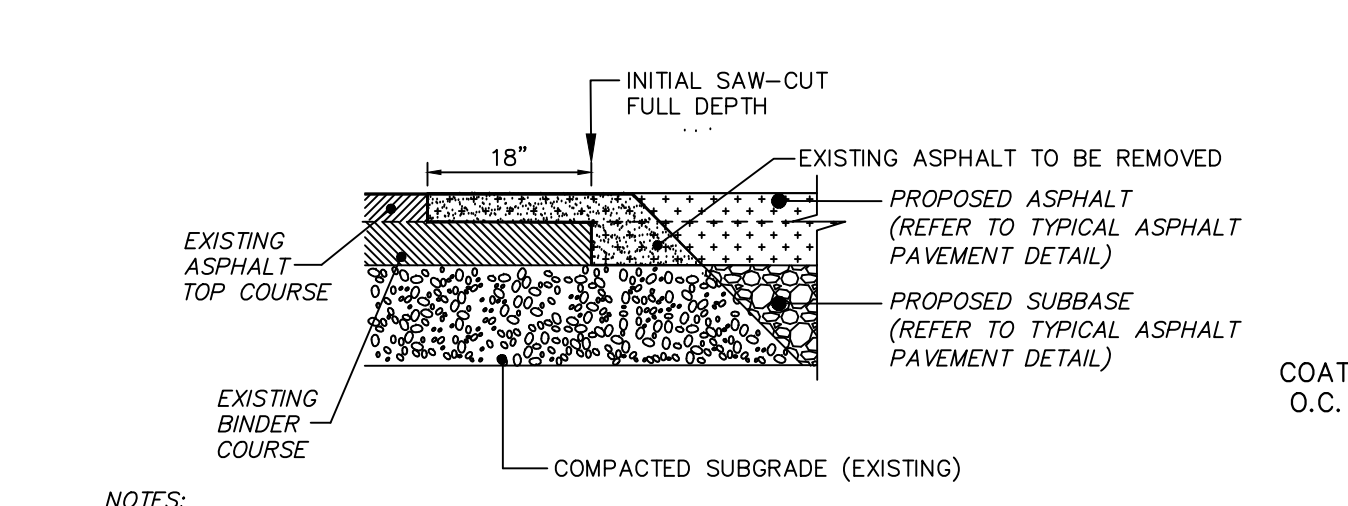
NOTES:  
 1. ITEM NUMBERS FOR ASPHALT PAVEMENTS FROM NYSDOT STANDARDS AND SPECIFICATIONS DATED SEPTEMBER 4, 2008.

1	TYPICAL ASPHALT PAVEMENT DETAIL	
C501	NOT TO SCALE	D153-01



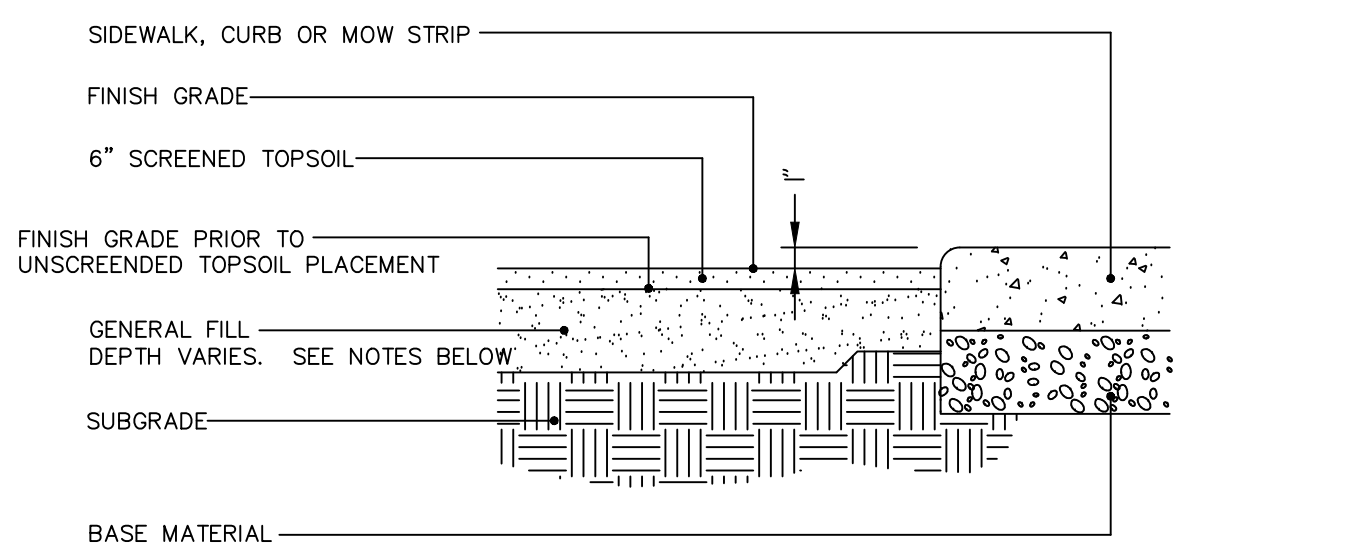
NOTES:  
 1. ABOVE THICKNESS ARE MINIMUM REPLACEMENT VALUES. REPLACEMENT OF MATERIALS ARE TO DIMENSIONS ENCOUNTERED IN FIELD OR AS INDICATED ABOVE, WHICHEVER IS GREATER.  
 2. GROSS SLOPE IN PAD TO BE 1/4" PER FOOT MIN. UNLESS NOTED OTHERWISE

4	TYPICAL GRAVEL PAD SECTION	
C501	NOT TO SCALE	D172-01



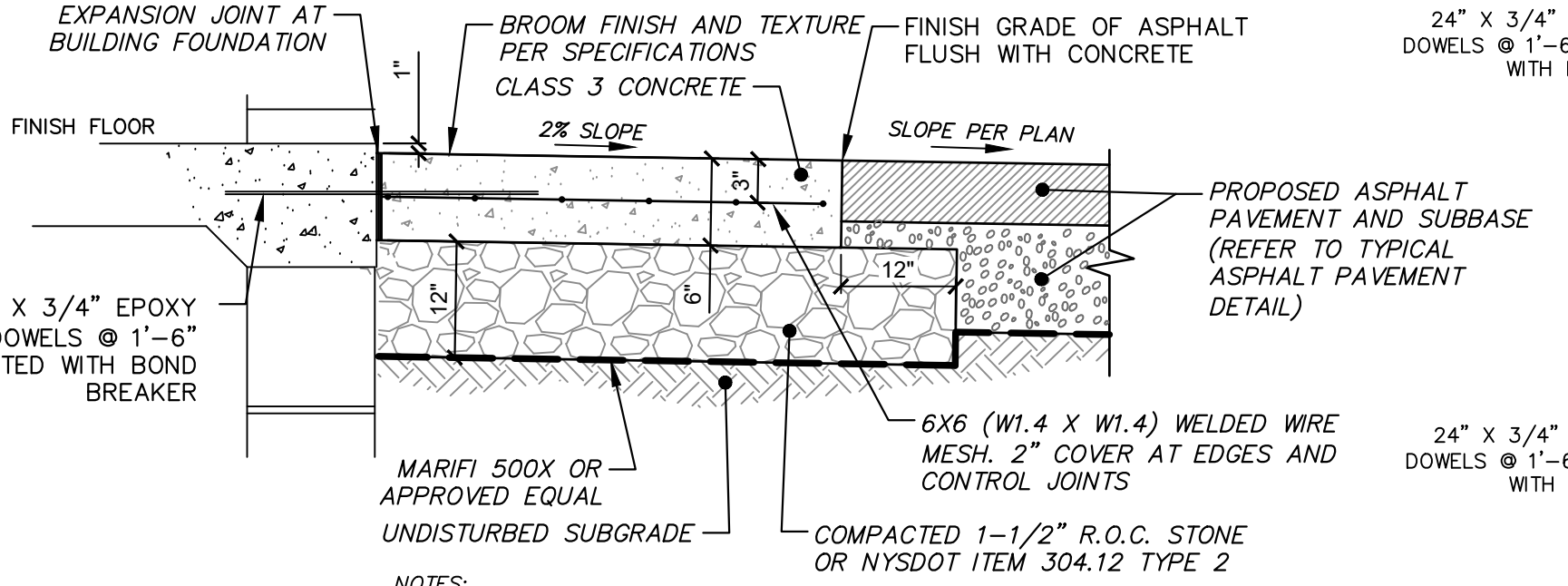
NOTES:  
 1. CONTRACTOR IS TO REMOVE EXISTING ASPHALT AS SHOWN  
 2. APPLY TACK COAT TO NEWLY CUT SURFACE PRIOR TO PLACING NEW ASPHALT  
 3. INSTALL TACK COAT TO APPROPRIATE PAVEMENT SECTION OF CONTRACT DOCUMENTS

2	PAVEMENT TRANSITION DETAIL	
C501	NOT TO SCALE	



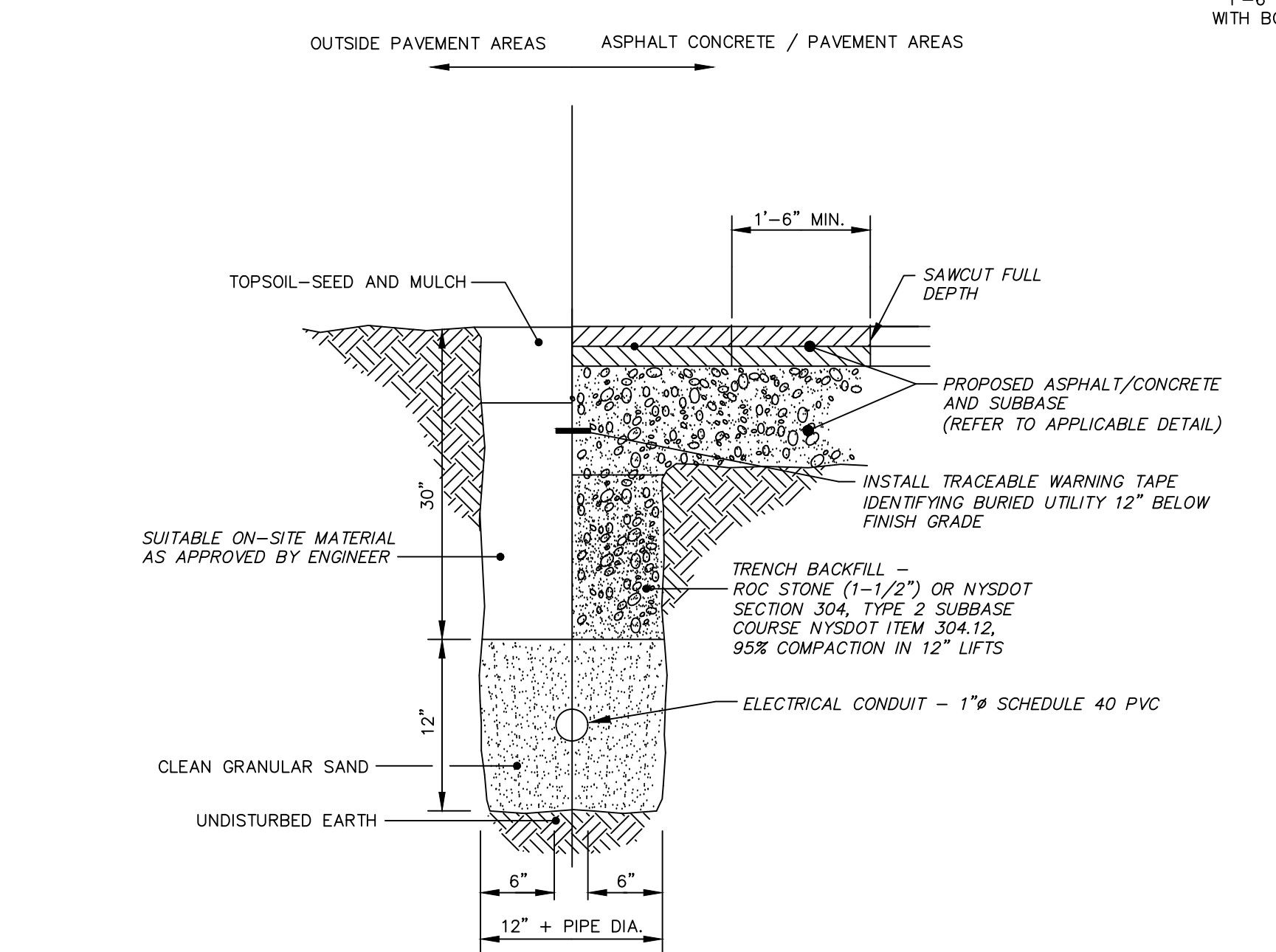
NOTES:  
 1. GRASSED AREAS - NO GENERAL FILL REQUIRED  
 2. PLANTING AREAS - GENERAL FILL SHALL BE 14" IN DEPTH  
 3. TREE PLANTING AREAS - GENERAL FILL SHALL BE 20" IN DEPTH & 10" IN DIAMETER.

5	SOIL PROFILE - VARIOUS AREAS	
C501	NOT TO SCALE	D132-02



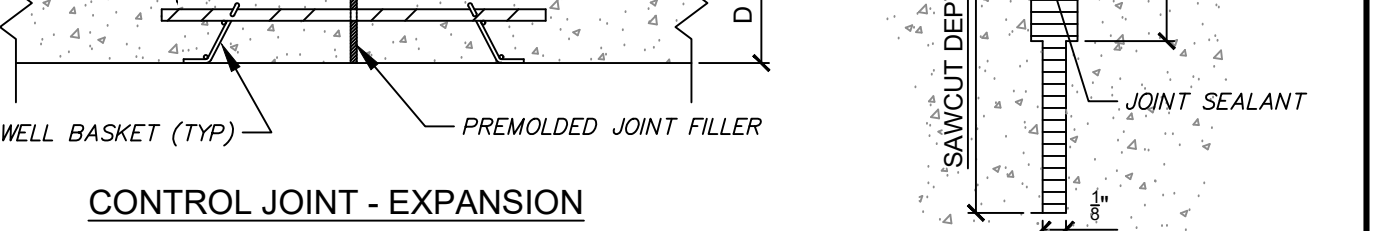
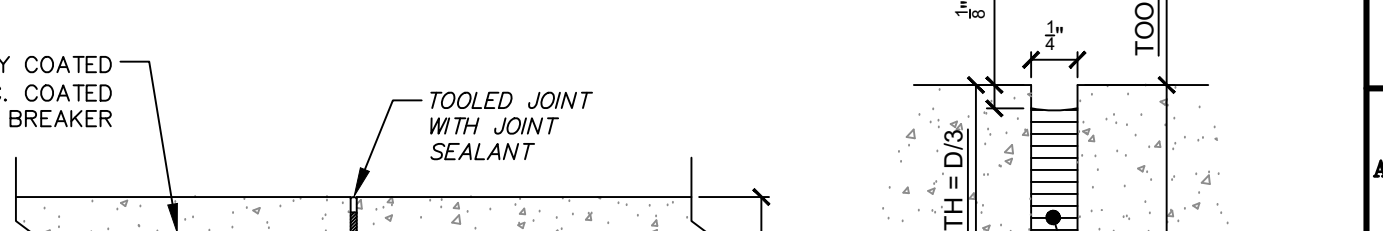
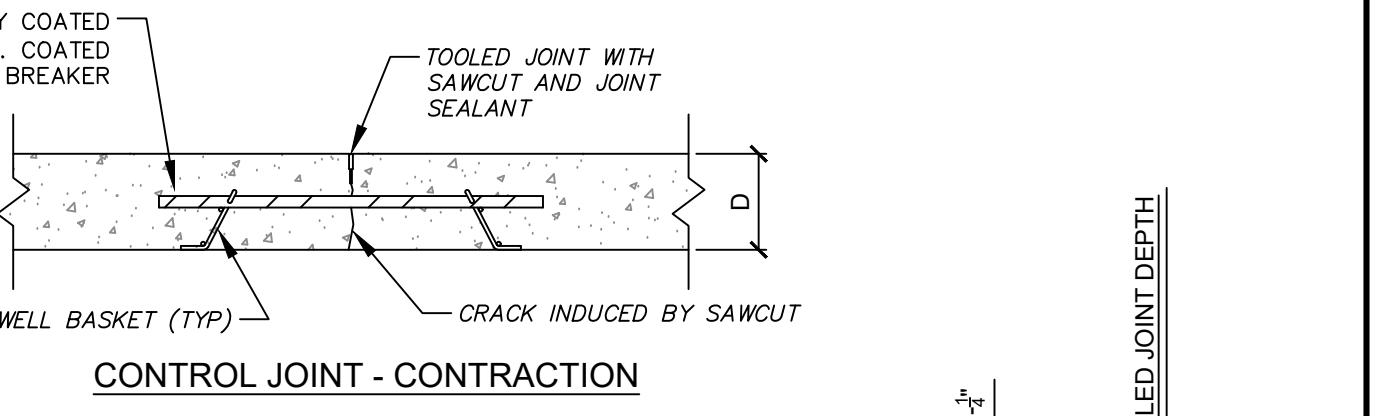
NOTES:  
 1. CONSTRUCTION AND CONTROL JOINTS ARE TO BE SPACED AND CONSTRUCTED AS DETAILED IN TYPICAL CONCRETE PAD JOINT/SEALANT DETAIL

3	TYPICAL CONCRETE APRON DETAIL	
C501	NOT TO SCALE	



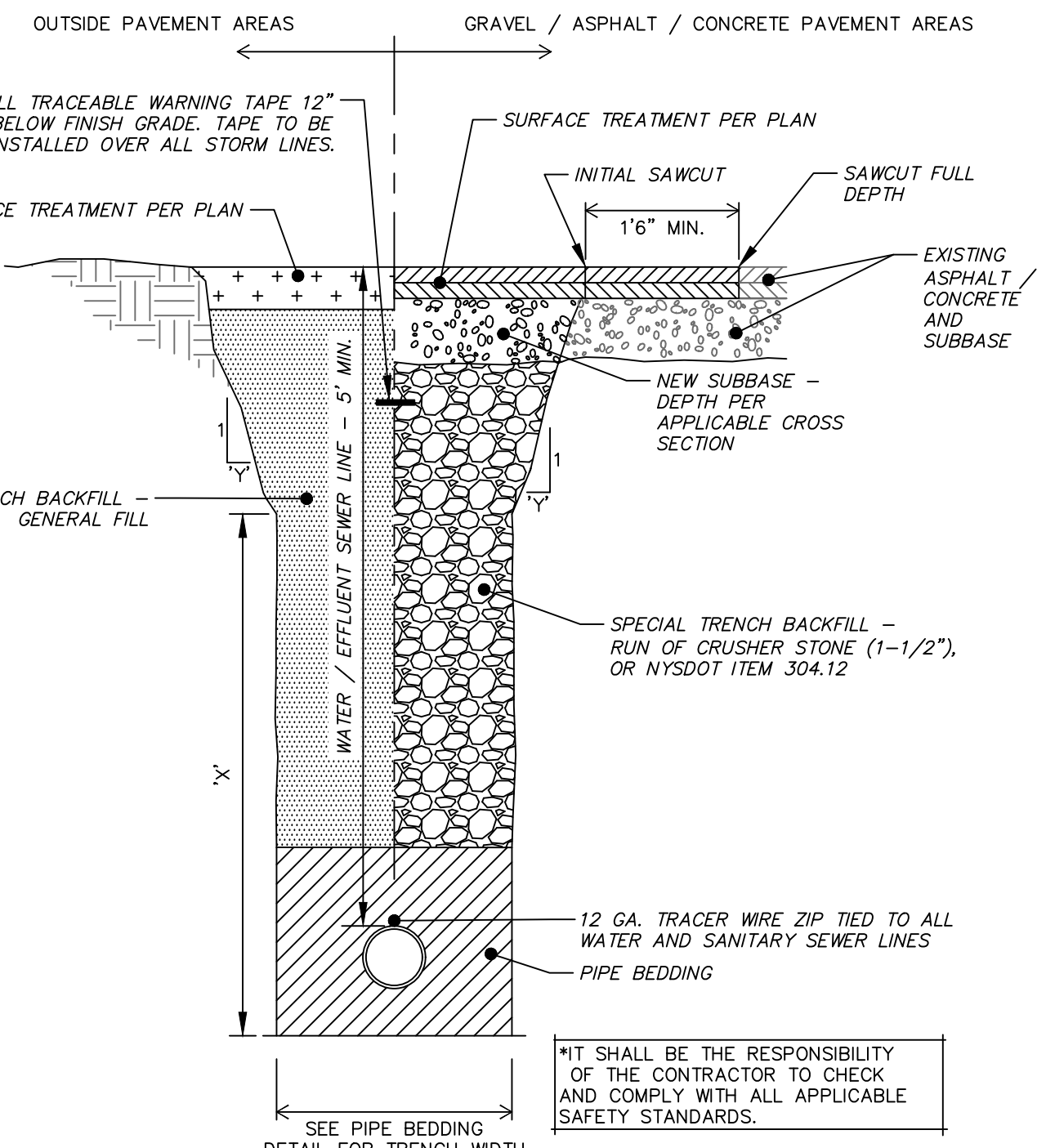
NOTES:  
 1. TRENCHES LOCATED ON ROAD SHOULDERS SHALL BE TREATED THE SAME AS UNDER PAVEMENT  
 2. ELECTRICAL LINE TRENCH TO BE LOCATED A MINIMUM OF 2 FT. FROM COMMUNICATION LINE TRENCH

6	TYPICAL ELECTRICAL TRENCH DETAIL	
C501	NOT TO SCALE	E102-01



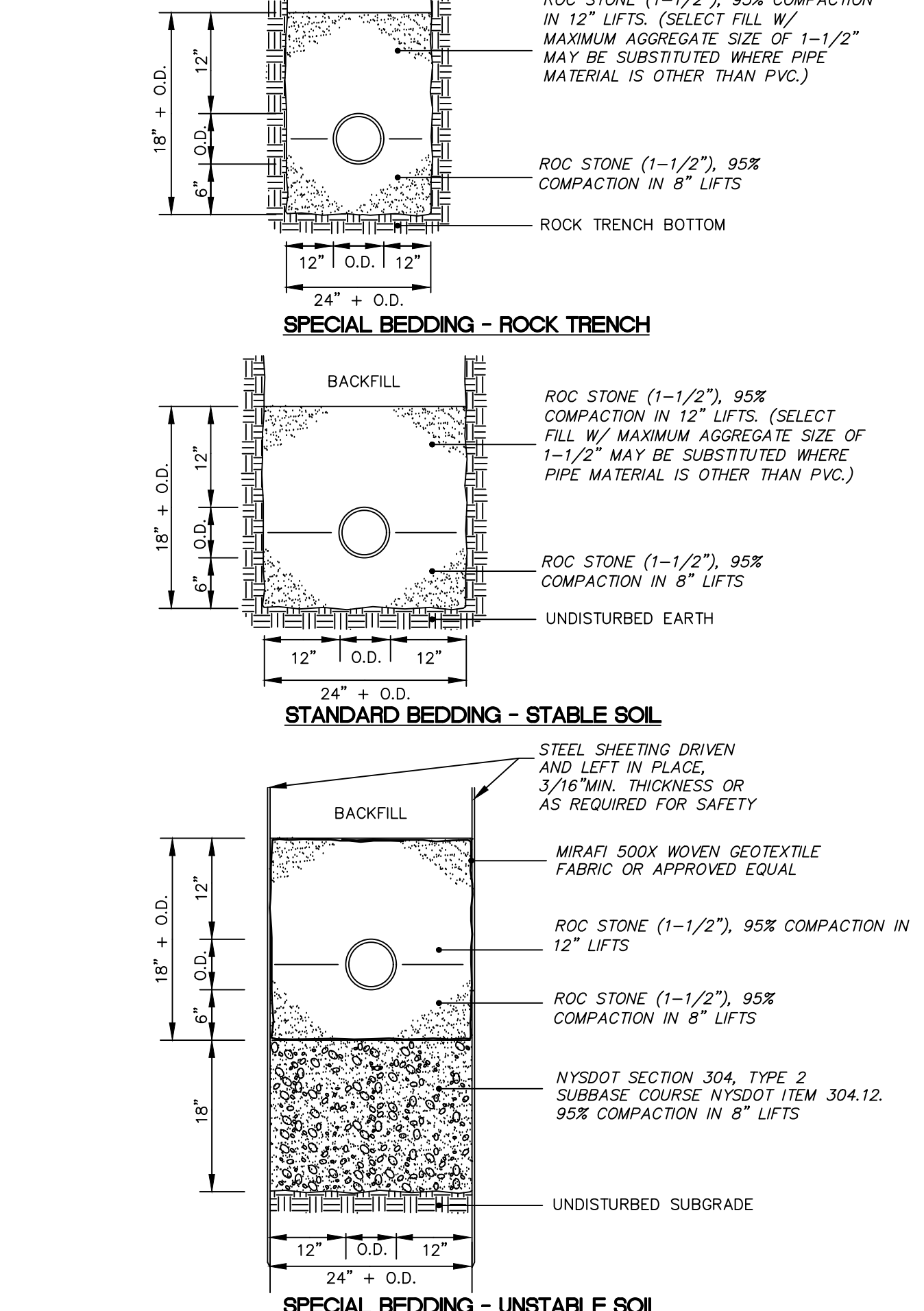
NOTES:  
 1. CONSTRUCTION JOINTS ARE TO BE USED WHERE THERE IS AN INTERRUPTION OF MORE THAN 30 MINUTES IN CONCRETE PLACEMENT.  
 2. CONTRACTION JOINTS TO BE SPACED 5' O.C. MAX.  
 3. EXPANSION JOINTS TO BE SPACED 20' O.C. MAX.  
 4. EDGES AND TOOLED JOINTS SHALL BE FINISHED AFTER BROOMING TO PROVIDE A "PICTURE FRAME" FINISH.  
 5. ALL JOINTS TO BE TOOLED DURING THE CONCRETE FINISHING PROCESS AND PRIOR TO SAWCUTTING.  
 6. MAKE SAWCUTS AS SOON AS THE CONCRETE HAS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT CAUSING RAVELING WIDER THAN 1/4".  
 7. CLEAN SAWCUTS PRIOR TO ADDING JOINT SEALANT.

7	TYPICAL CONCRETE PAD JOINT / SEALING DETAIL	
C501	NOT TO SCALE	

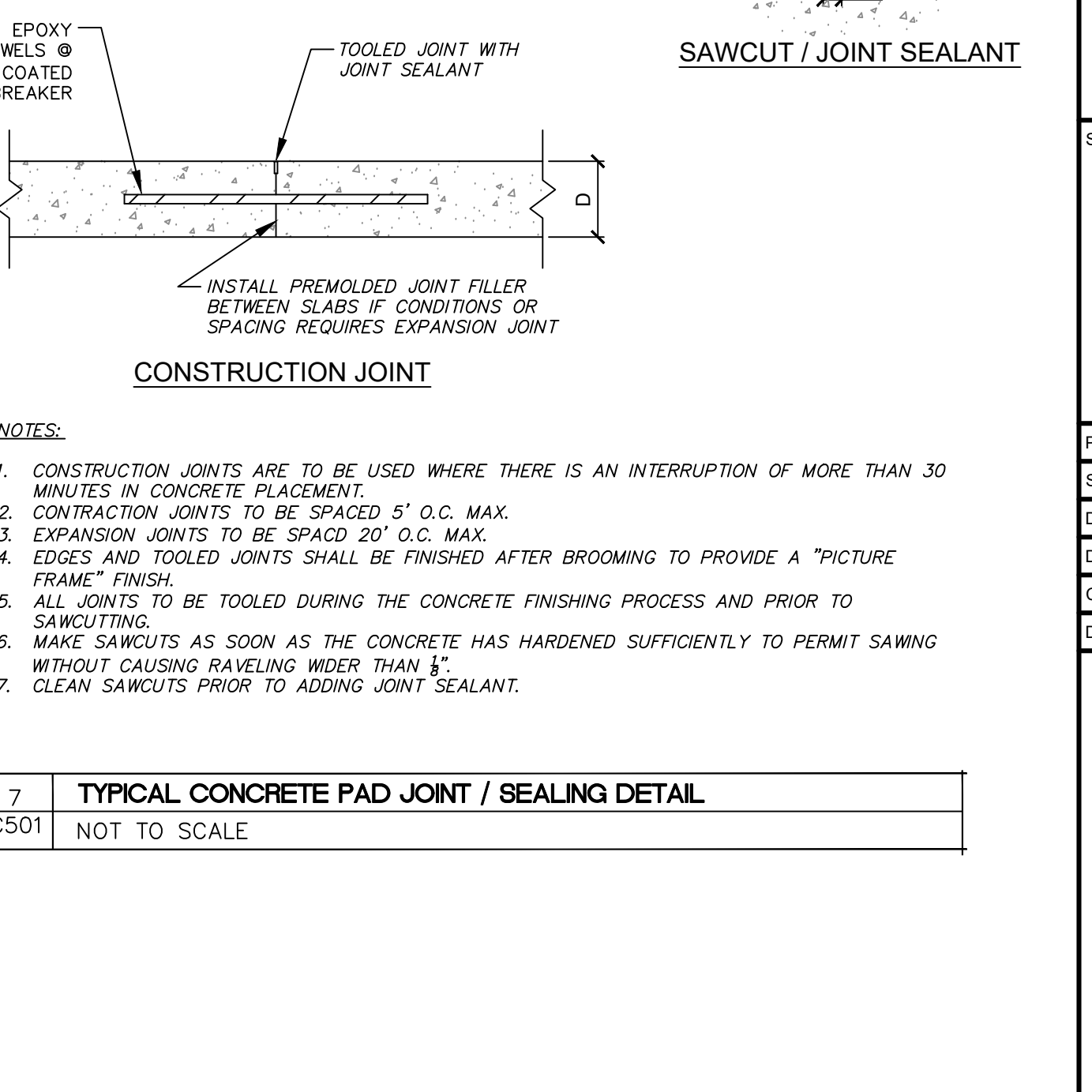


NOTES:  
 1. DIMENSIONS "X" AND "Y" SHOWN ABOVE SHALL BE DETERMINED BY CONTRACTOR TO COMPLY WITH O.S.H.A., NEW YORK STATE DEPARTMENT OF LABOR, NEW YORK STATE INDUSTRIAL CODE AND ALL OTHER APPLICABLE SAFETY STANDARDS.  
 2. SAFETY SHEETING OR TRENCH BOX MAY BE USED IN PLACE OF SLOPED TRENCH WALLS.  
 3. SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER.  
 4. TRENCHES LOCATED ON ROAD SHOULDERS SHALL BE TREATED THE SAME AS UNDER PAVT.  
 5. NATIVE MATERIAL MAY BE USED AS BACKFILL WHEN OUTSIDE OF GRAVEL / ASPHALT / CONCRETE AREAS

8	TYPICAL UTILITY LINE TRENCH DETAIL AND PAYMENT LIMITS	
C501	NOT TO SCALE	D101-02



9	TYPICAL PIPE BEDDING DETAILS AND PAYMENT LIMITS	
C501	NOT TO SCALE	U102-01



NOTES:  
 1. ALL OIL/WATER SEPARATOR SECTIONS TO BE HS-20 LOAD RATED, MINIMUM  
 2. CONSTRUCTION JOINT - SEALED WITH 7/8" DIA. BUTYL SEALANT  
 3. HIGH LEVEL ALARM AND FLOAT TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS

10	TYPICAL OIL / WATER SEPARATOR WITH ALARM DETAIL	
C501	NO SCALE	

Architecture  
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NEW YORK STATE EDUCATION  
LAW FOR ANY PERSON, UNLESS  
ACTING UNDER THE DIRECTION  
OF A LICENSED PROFESSIONAL  
ENGINEER OR LAND SURVEYOR  
TO ALTER THIS DOCUMENT IN  
ANY WAY. IF ALTERED, SUCH  
LICENSEE SHALL AFFIX HIS OR  
HER SEAL AND THE NOTATION  
"ALTERED BY FOLLOWED BY  
HIS OR HER SIGNATURE, DATE  
AND A SPECIFIC DESCRIPTION  
OF ALTERATION."

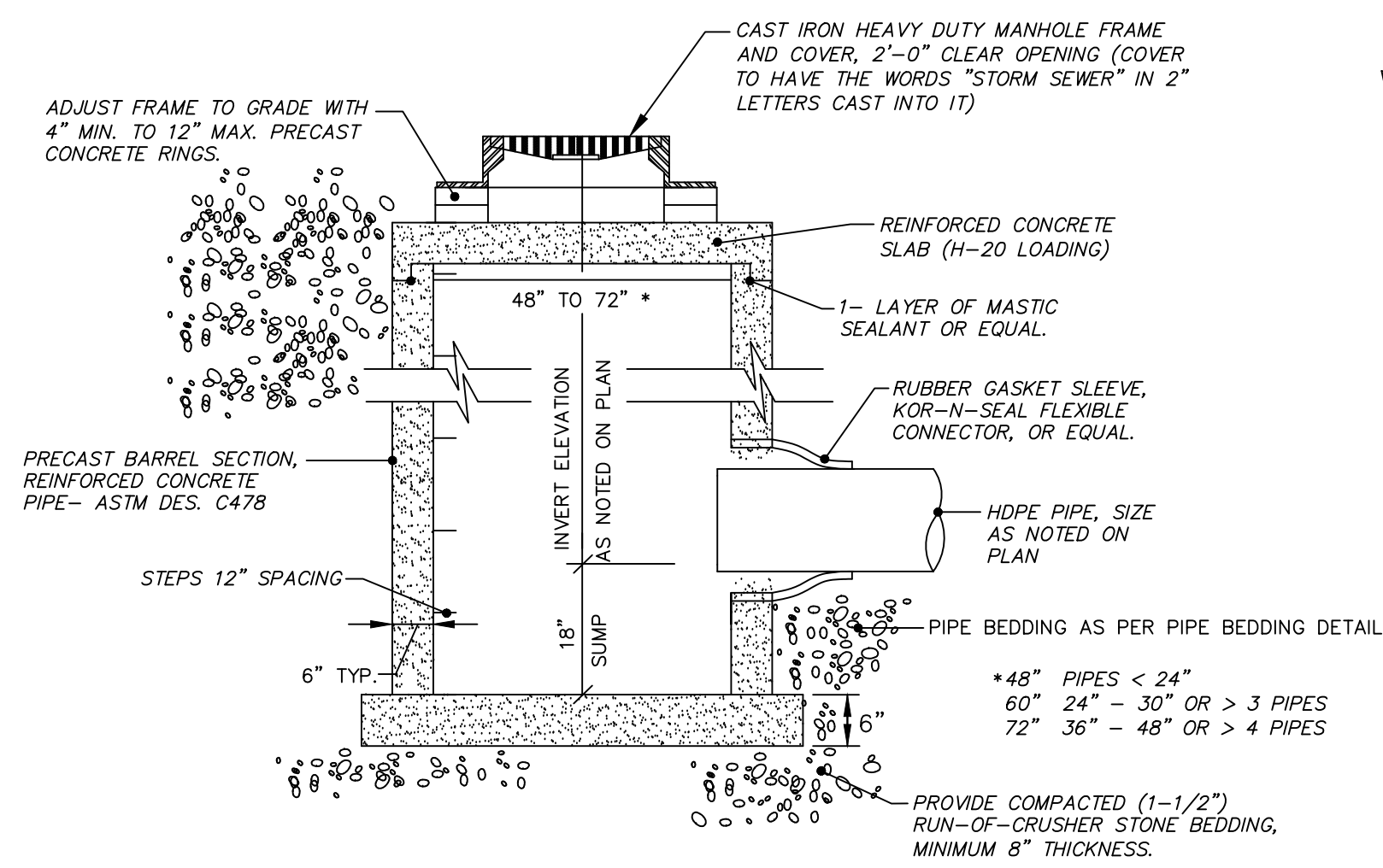
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 DESIGNED BY: MJC  
 CHECKED BY: MJC  
 DATE ISSUED: 11-14-2023

PROJECT NO: 2023-045

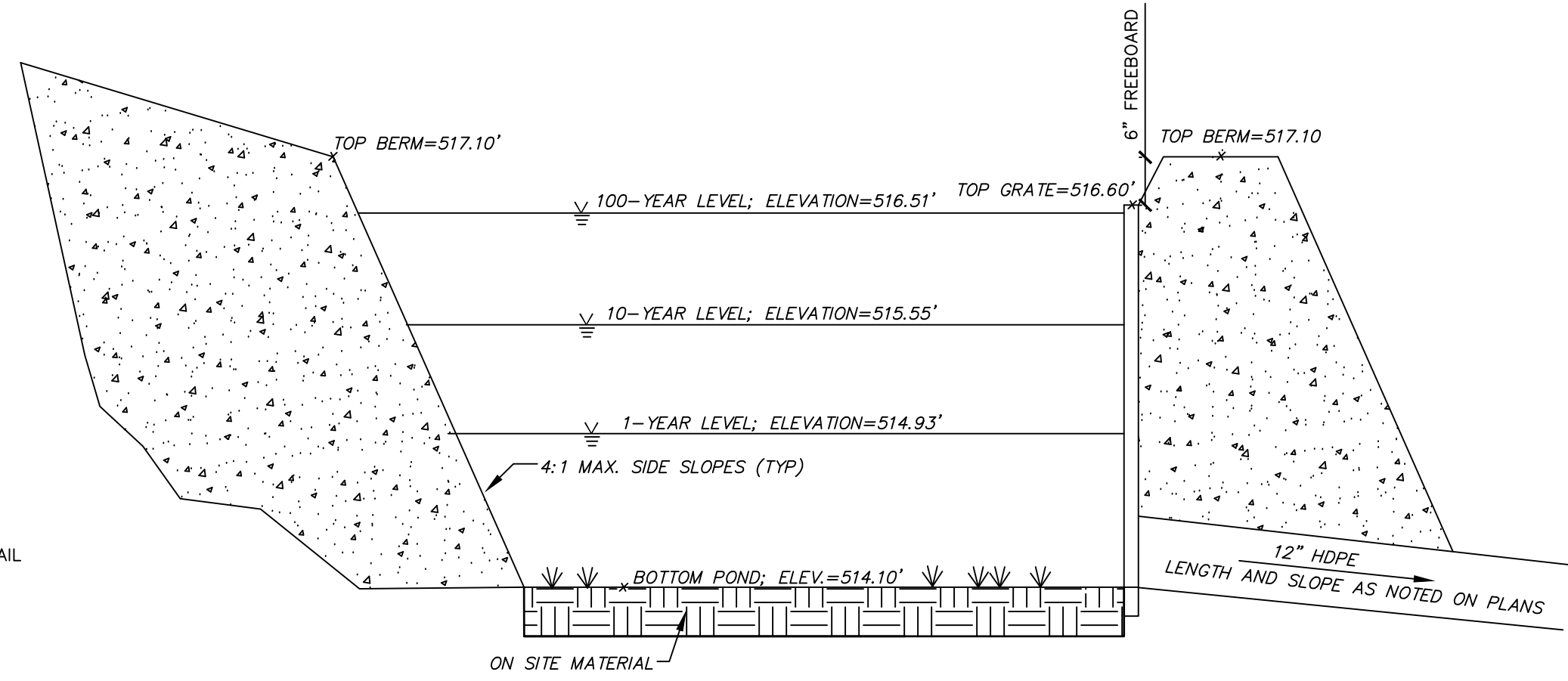
SITE DETAILS  
 HALE TRANSPORTATION BUILDING ADDITION  
 1067 MARBLE STREET  
 CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK

LAST REVISED: N/A  
 FOR APPROVAL ONLY  
 NOT FOR CONSTRUCTION  
 DRAWING NO.  
C501

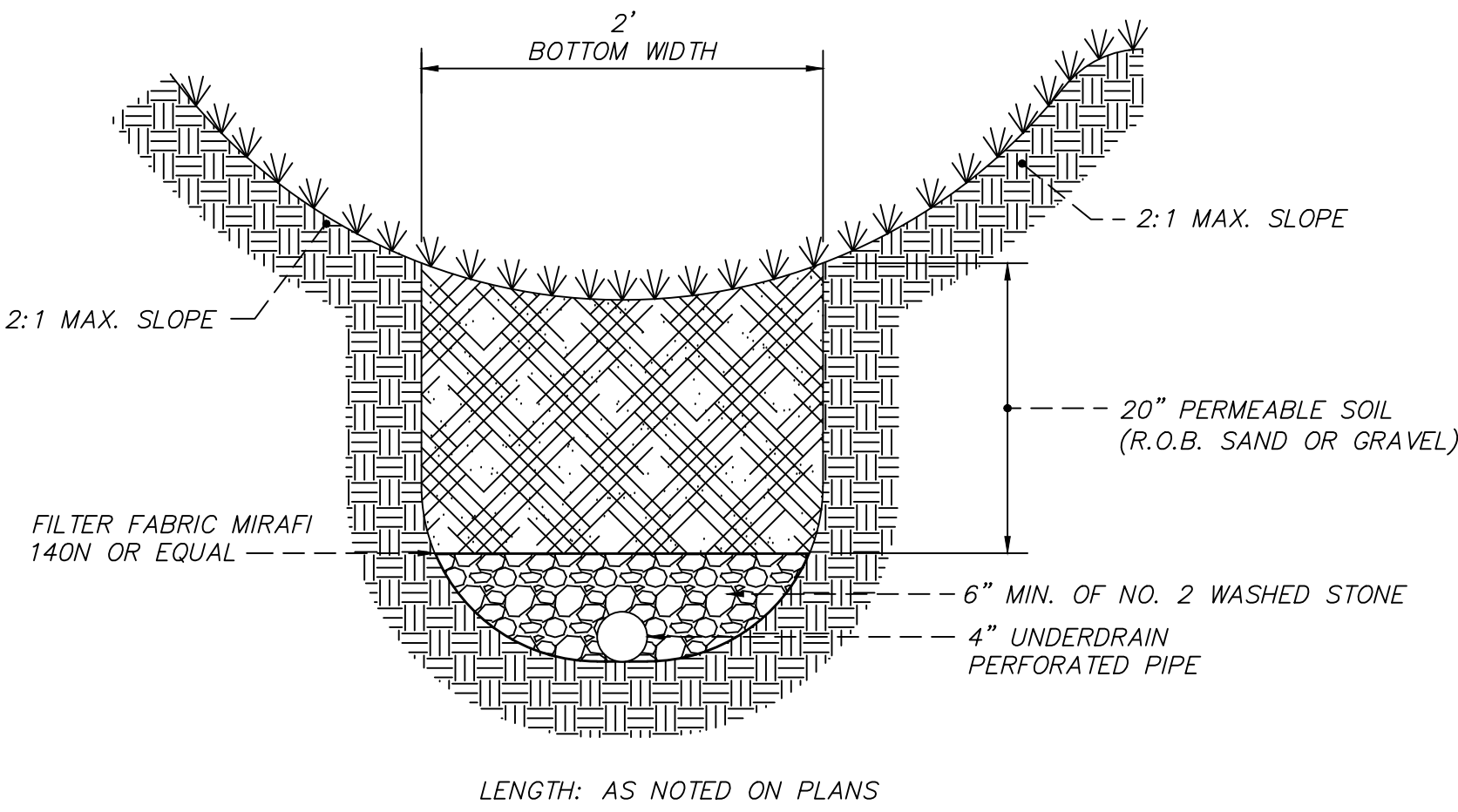




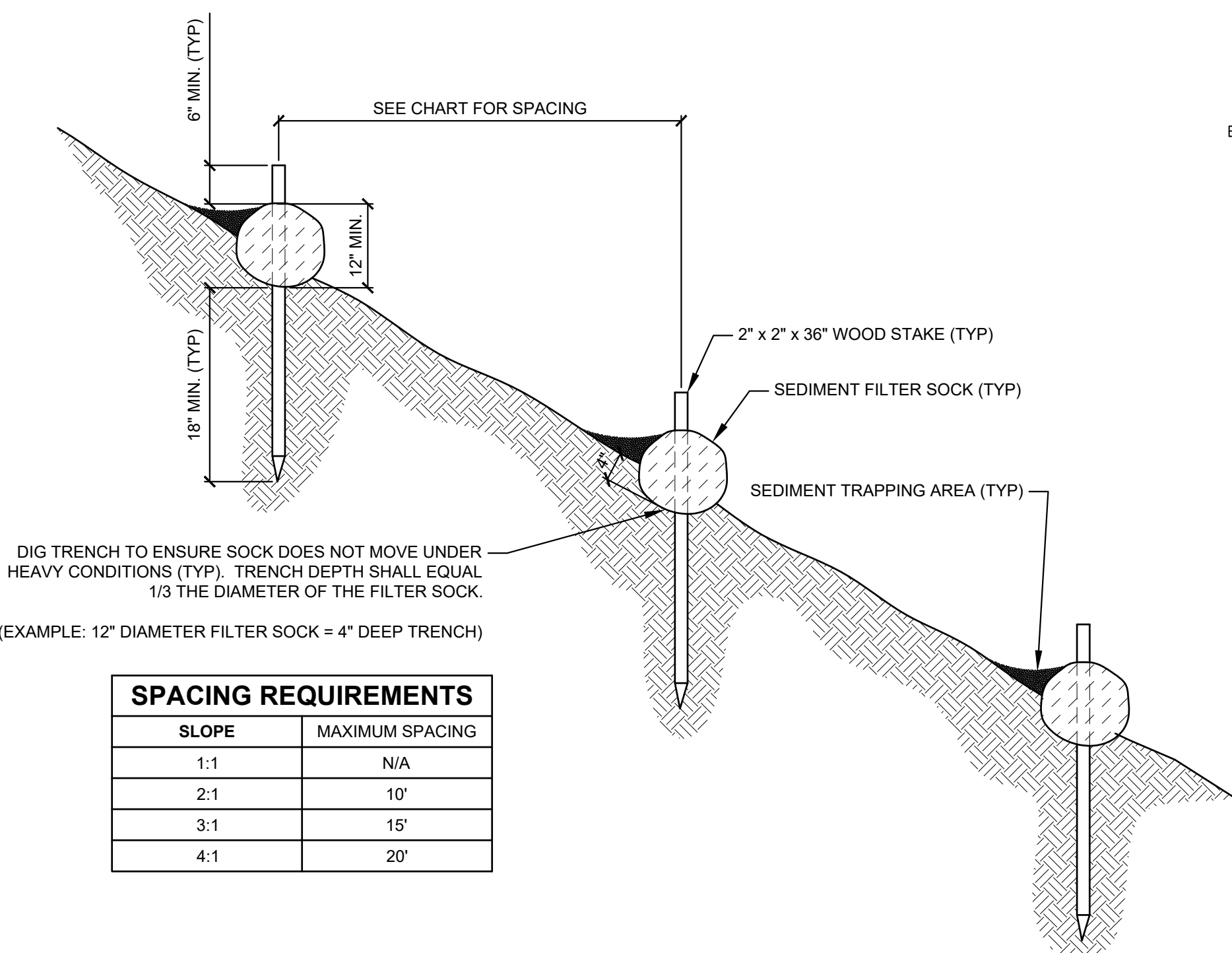
1 **TYPICAL STORM MANHOLE DETAIL**  
C502 NOT TO SCALE



2 **SWM AREA #1 - POND AND PRECAST RISER STRUCTURE SKETCH**  
C502 NOT TO SCALE

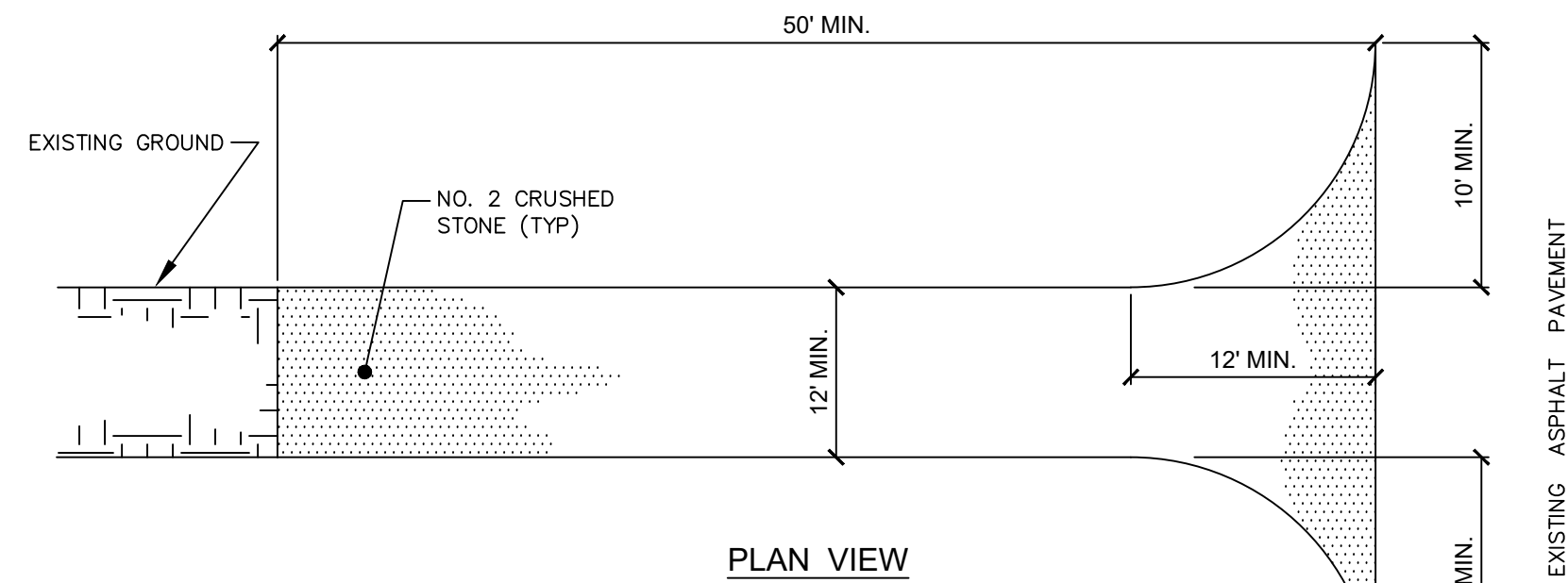
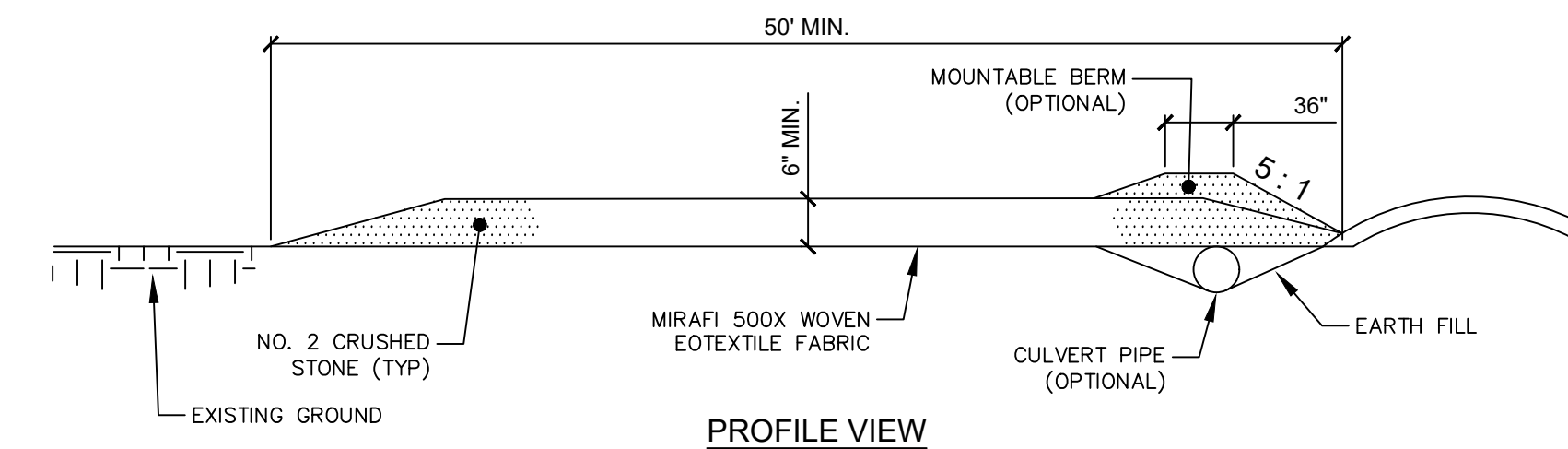


4 **DRY SWALE DETAIL**  
C502 NOT TO SCALE



SPACING REQUIREMENTS	
SLOPE	MAXIMUM SPACING
1:1	N/A
2:1	10'
3:1	15'
4:1	20'

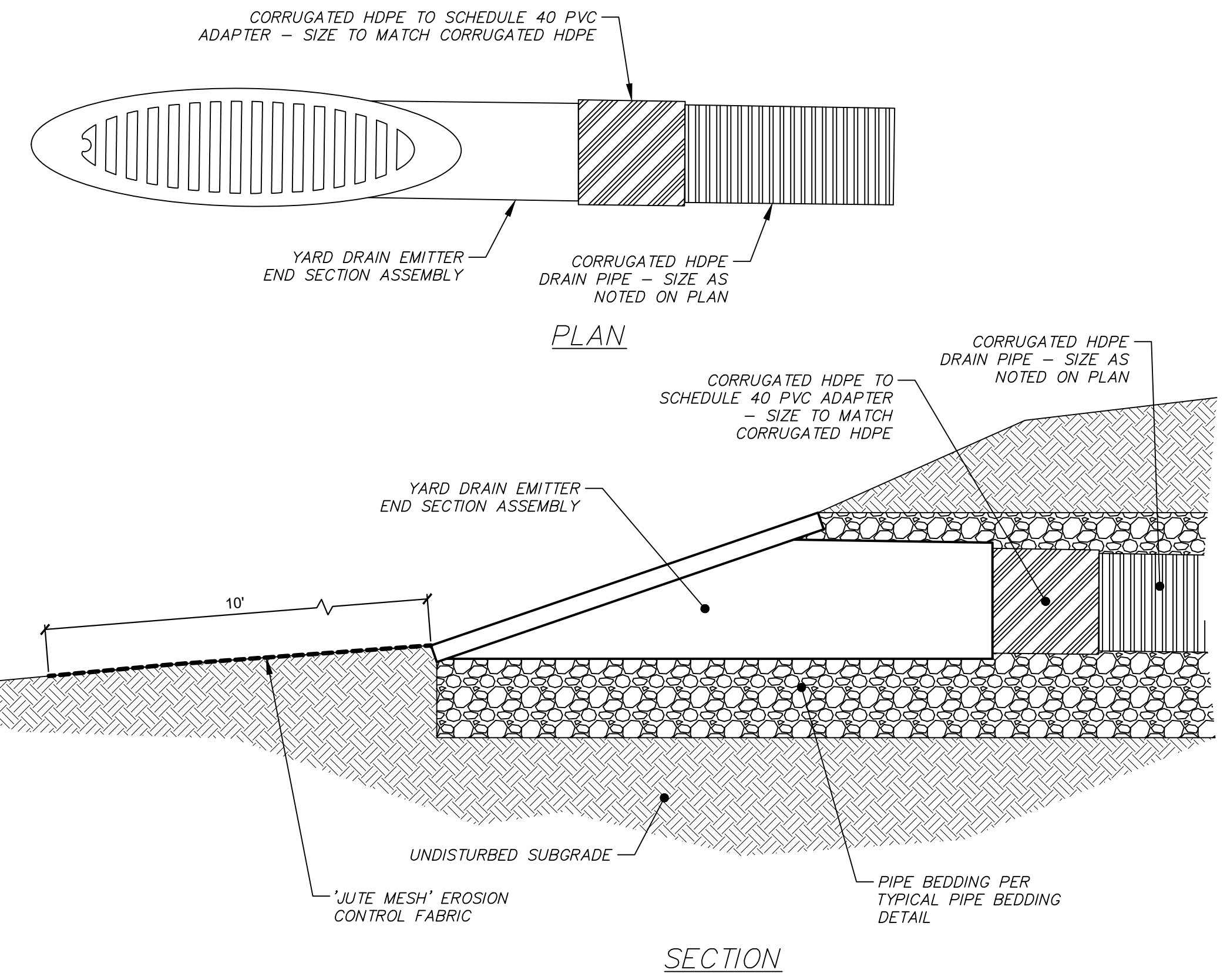
5 **SEDIMENT FILTER SOCK DETAIL**  
C502 NOT TO SCALE



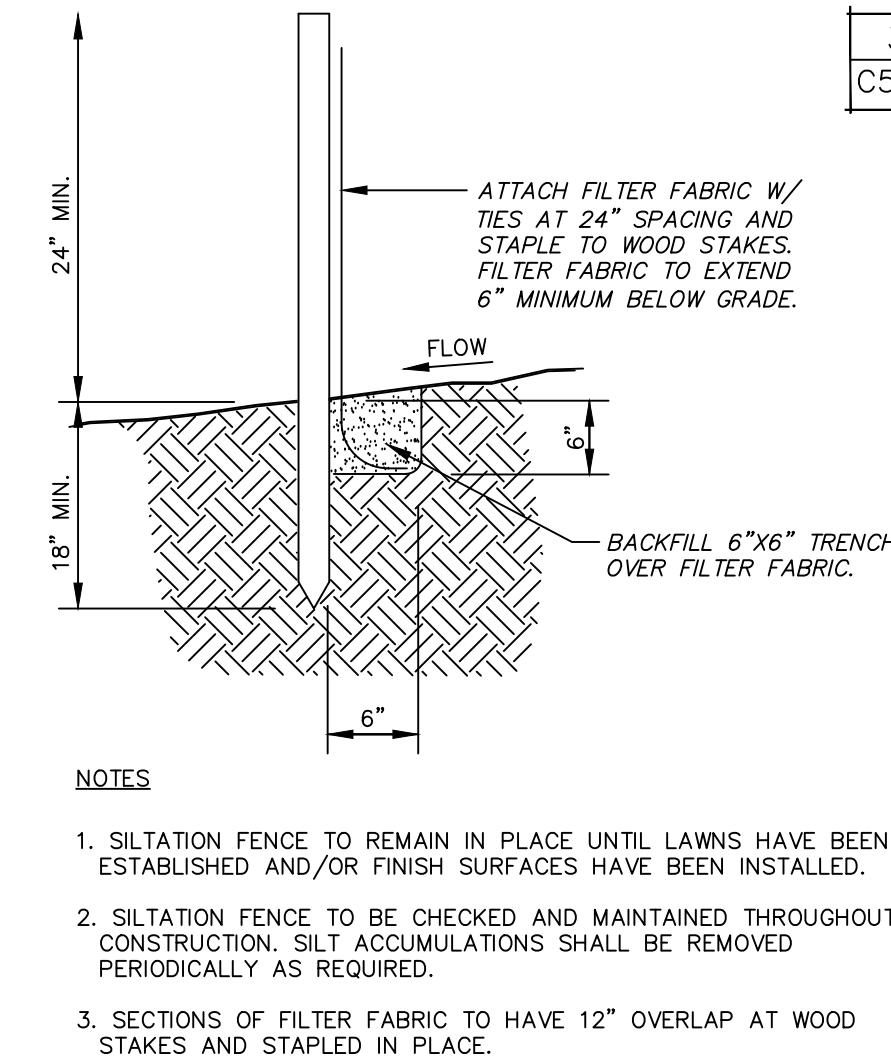
**CONSTRUCTION SPECIFICATIONS**

- STONE SIZE - USE 1" - 4" STONE OR RECLAIMED / RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
- THICKNESS - NOT LESS THAN SIX (6) INCHES
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AN WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPED DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

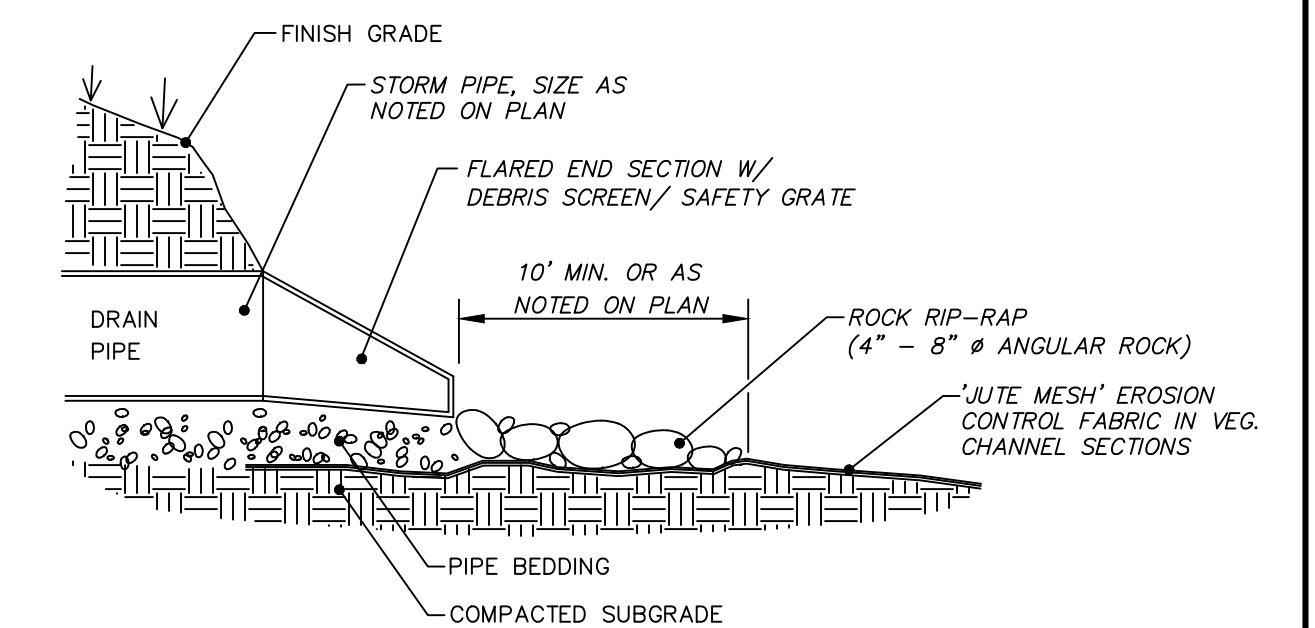
6 **STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
C502 NOT TO SCALE D132-02



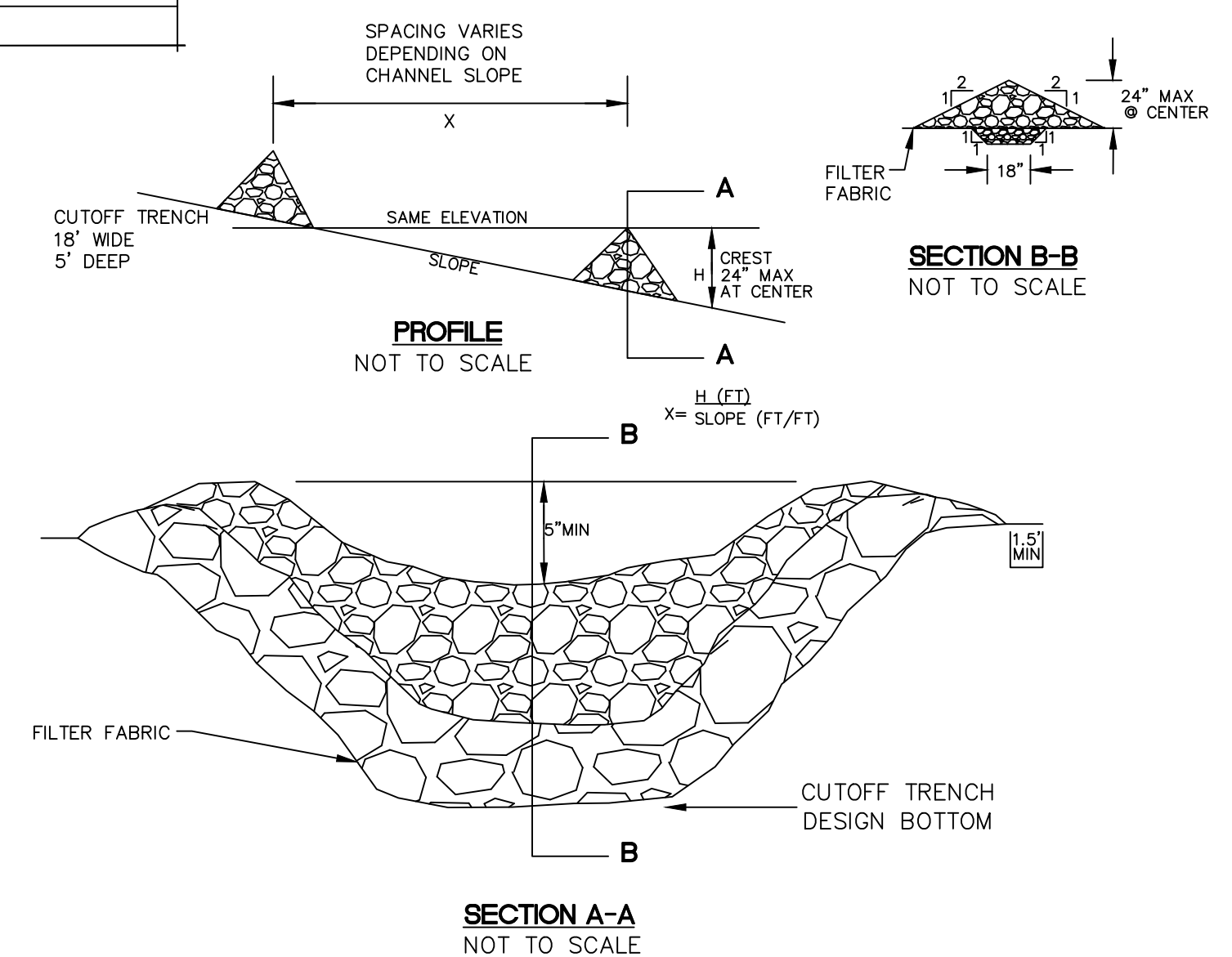
3 **4' - 6' DRAINAGE PIPE END SECTION DETAIL**  
C502 NOT TO SCALE



7 **TYPICAL SILTATION FENCE DETAIL**  
C502 NOT TO SCALE



8 **DRAINAGE PIPE END SECTION / ROCK RIP-RAP DETAILS**  
C502 NOT TO SCALE



9 **TYPICAL CHECK DAM DETAIL**  
C502 NOT TO SCALE

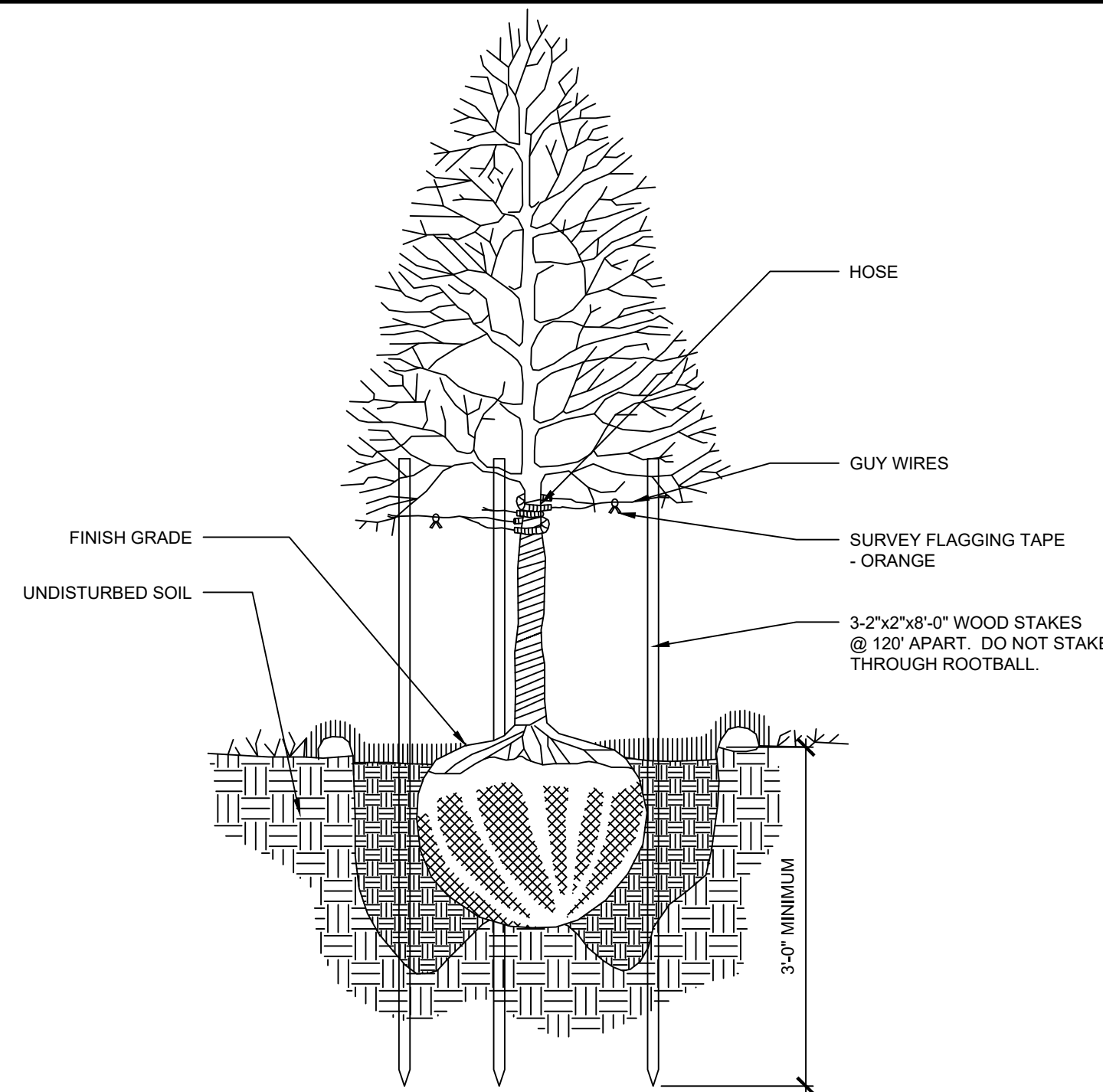


**GENERAL TREE PLANTING NOTES:**

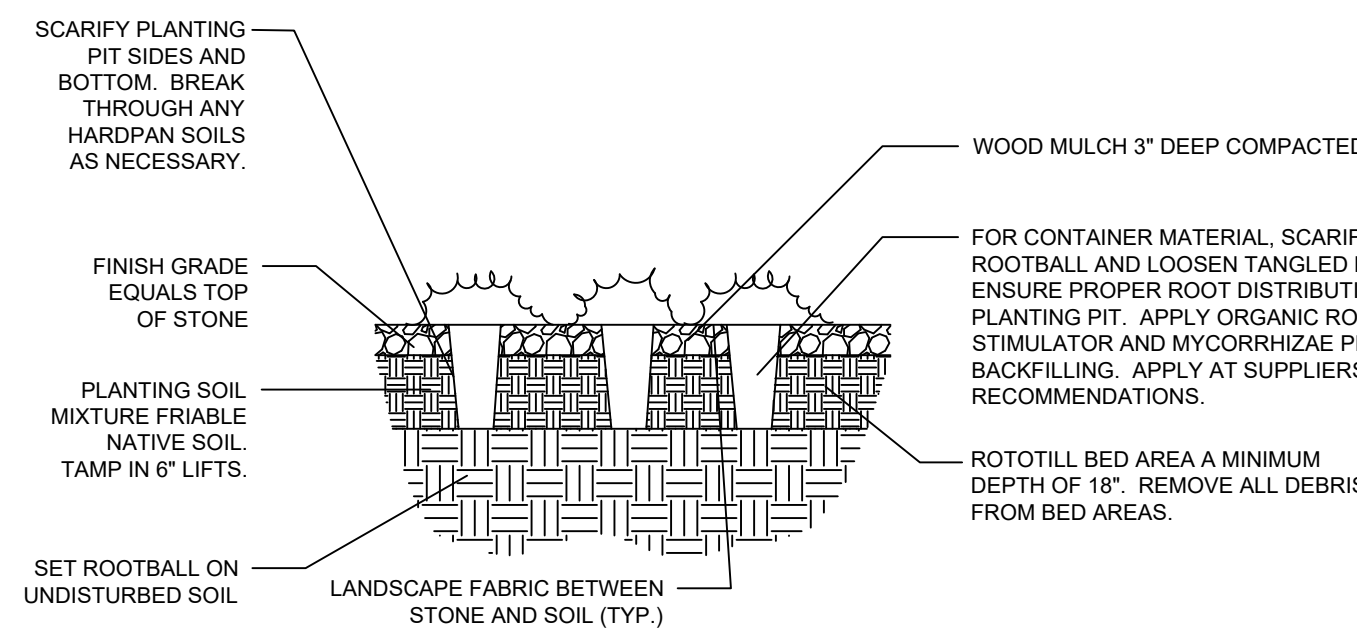
- THESE NOTES ARE PRESENTED AS A "SUMMARY" OF THE WRITTEN SPECIFICATIONS ISSUED FOR THE PROJECT. REFER TO THE WRITTEN SPECIFICATIONS FOR ADDITIONAL DETAIL AND FULL PROJECT REQUIREMENTS.
- ANY QUANTITIES INDICATED ON THE DRAWINGS OR ON THE TREE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE SUBCONTRACTOR BUT SHOULD NOT BE ASSUMED TO BE CORRECT. THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES INDICATED. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLATION. IN THE EVENT OF A DISCREPANCY, THE GRAPHIC REPRESENTATIONS SHOWN ON THE DRAWINGS SHALL GOVERN.
- NO SUBSTITUTIONS AS TO SIZE, TYPE, SPACING, QUANTITY OR QUALITY OF TREE MATERIAL SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES IN TREE MATERIAL MAY CONSTITUTE PLAN RE-APPROVAL.
- TREES SHALL BE SUPPLIED AT THE SIZES SPECIFIED ON THE DRAWINGS. THE SIZES SHOWN ARE THE MINIMUMS FOR EACH CATEGORY (HEIGHT, SPREAD, CALIPER, CONTAINER SIZE, ETC.) WHEN A RANGE OF SIZE IS GIVEN, 75% OF THE PLANTS SUPPLIED MUST MEET THE MAXIMUM RANGE SIZE, AND 25% OF THE PLANTS SUPPLIED SHALL BE THE MINIMUM RANGE SIZE SPECIFIED. THE PLANTS SUPPLIED MUST CONFORM TO ALL OF THE MINIMUM DIMENSIONS INDICATED. PLANTS OF LARGER SIZE MAY BE USED IF ACCEPTABLE TO THE ENGINEER AT NO ADDITIONAL COST AND IF SIZES OF CONTAINER OR ROOT BALLS, HEIGHT, AND SPREAD ARE INCREASED PROPORTIONATELY IN ACCORDANCE WITH ANSI Z60.1. ALL OTHER QUALITY REQUIREMENTS OF THE TREE MATERIAL MUST ALSO BE ADHERED.
- ALL TREES MUST BE NURSERY GROWN, BALL AND BURLAP (B&B) OR CONTAINER GROWN AS-SPECIFIED IN THE MATERIALS SCHEDULE. CONTAINER GROWN MATERIAL CAN BE SUBSTITUTED FOR B&B MATERIAL WITH WRITTEN APPROVAL BY THE D/B CONTRACTOR PRIOR TO INSTALLATION. ALL TREE MATERIALS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z-60.1, LATEST EDITION. ALL TREES SHALL COMPLY WITH ANSI Z-60.1 AND THE URBAN TREE FOUNDATION GUIDELINE FOR NURSERY TREE QUALITY, 2009 EDITION. ALL TREES SHALL BE HIGHEST QUALITY, FIRST CLASS REPRESENTATIVES OF THEIR SPECIES. SECONDS, CULLS, OR PARK GRADE MATERIAL WILL BE REJECTED.
- CALIPER SIZE IS NOT TO BE REDUCED. CALIPER MEASUREMENTS SHALL BE TAKEN IN ACCORDANCE WITH ANSI STANDARDS.
- ALL TREES MUST BE STRAIGHT TRUNK, HAVE A STRONG CENTRAL LEADER, FULL HEADED, AND MEET THE MINIMUM REQUIREMENTS. TREES WITH A "Y" SHAPE ARE NOT ACCEPTABLE. TREES THAT HAVE BEEN FRESHLY PRUNED TO MEET THESE SPECIFICATIONS SHALL BE REJECTED.
- THE TREES VEGETATIVE CANOPY SHOULD BE MOSTLY SYMMETRICAL AND FREE OF LARGE VOIDS OR FLAT SURFACE AREAS ON ONE SIDE.
- ALL STREET AND SHADE TREES SHALL HAVE A MINIMUM SIX FEET (6') CLEAR TRUNK UNLESS OTHERWISE NOTED ON PLANS OR PLANT LISTS.
- TREES MOVED DURING PERIODS OF HIGH TRANSPIRATION SHALL BE SPRAYED WITH AN ANTI-DESSICANT PRIOR TO MOVING. APPLY AND REMOVE ANTI-DESSICANTS AT THE MANUFACTURER'S RECOMMENDATIONS.
- TREES SHALL BE STAKED AND GUYED AS DETAILED AND SPECIFIED ONLY IF THE TREE CANNOT STAND ON ITS OWN AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. STAKE AND GUYED MATERIALS SHALL BE REMOVED BY THE LANDSCAPE SUBCONTRACTOR SIX (6) MONTHS AFTER FINAL ACCEPTANCE.
- ALL TREES ARE SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER AT ANY TIME PRIOR TO FINAL ACCEPTANCE. REJECTED PLANTS SHALL BE REPLACED IMMEDIATELY AT NO ADDITIONAL COST.
- THE LANDSCAPE SUBCONTRACTOR SHALL FIELD STAKE ALL TREES PRIOR TO INSTALLATION. THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL STAKED LOCATIONS PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO APPROVAL BY THE OWNER'S REPRESENTATIVE ARE SUBJECT TO REJECTION AND REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO COMMENCEMENT OF INSTALLATION, THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND SHALL AVOID DAMAGING UTILITIES DURING INSTALLATION. ANY UTILITIES DAMAGED DURING INSTALLATION SHALL BE REPAIRED BY THE LANDSCAPE SUBCONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY AND THE ENGINEER. ALL REPAIRS SHALL BE AT NO COST TO THE OWNER.
- NO TREES SHALL BE PLANTED WITHIN 10' OF SITE UTILITY LINES. TREE LOCATIONS PROPOSED WITHIN 10' SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO EXCAVATING. FIELD ADJUSTMENT OF TREE LOCATIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. PLANTS RELOCATED AND INSTALLED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT WILL BE REMOVED, REPLACED, AND RELOCATED AT NO ADDITIONAL COST.
- THE LANDSCAPE CONTRACTOR SHALL UTILIZE ON-SITE TOPSOIL AS AVAILABLE FROM THE EARTHWORK SUBCONTRACTOR. ALL TOPSOIL SHALL BE APPROVED BY THE ENGINEER.
- NO TREES SHALL BE INSTALLED IN POOR DRAINAGE CONDITIONS. LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR TESTING SUSPECT TREE PITS PRIOR TO TREE INSTALLATION. REFER TO THE LANDSCAPE SPECIFICATIONS FOR TREE PIT TESTING PROCEDURES.
- ALL TREES SHALL BE PLACED WITH THE BEST FACE FORWARD, TOWARDS THE STREET WHENEVER POSSIBLE.
- ALL TREES SHOULD BE PRUNED AS NECESSARY PRIOR TO INSTALLATION.
- PRE-EMERGENT HERBICIDES, TREFLAN, PREEN, OR APPROVED EQUAL, SHALL BE APPLIED TO ALL TREE PLANTING BEDS PRIOR TO MULCHING. APPLY AT MANUFACTURER'S RECOMMENDATIONS. HERBICIDES SHALL BE INCORPORATED INTO THE SOIL AT THE RECOMMENDATION OF THE MANUFACTURER.
- APPLY ORGANIC ROOT STIMULATOR, CONTINUING MYCORRHIZAE, TO ALL TREES PRIOR TO BACKFILLING. APPLY AT MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO SUBMIT SAMPLES OF ROOT STIMULATOR TO THE ENGINEER FOR APPROVAL PRIOR TO USE.
- THE LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE PLANT INSTALLATIONS UNTIL ACCEPTED BY THE OWNER. MAINTENANCE SHALL INCLUDE RE-MULCHING, WATERING, APPLICATIONS OF HERBICIDES, FUNGICIDES, INSECTICIDES AND PESTICIDES AS NECESSARY. MAINTENANCE SHALL INCLUDE ALL TREES, SEEDING AREAS AND SOD.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL TREES SHALL BE IN A HEALTHY AND THRIVING CONDITION ACCORDING TO THE NATURAL GROWTH HABITS OF THE INDIVIDUAL SPECIES AT THE TIME OF THE PROJECT COMPLETION.

**GENERAL LANDSCAPE AND SEEDING NOTES:**

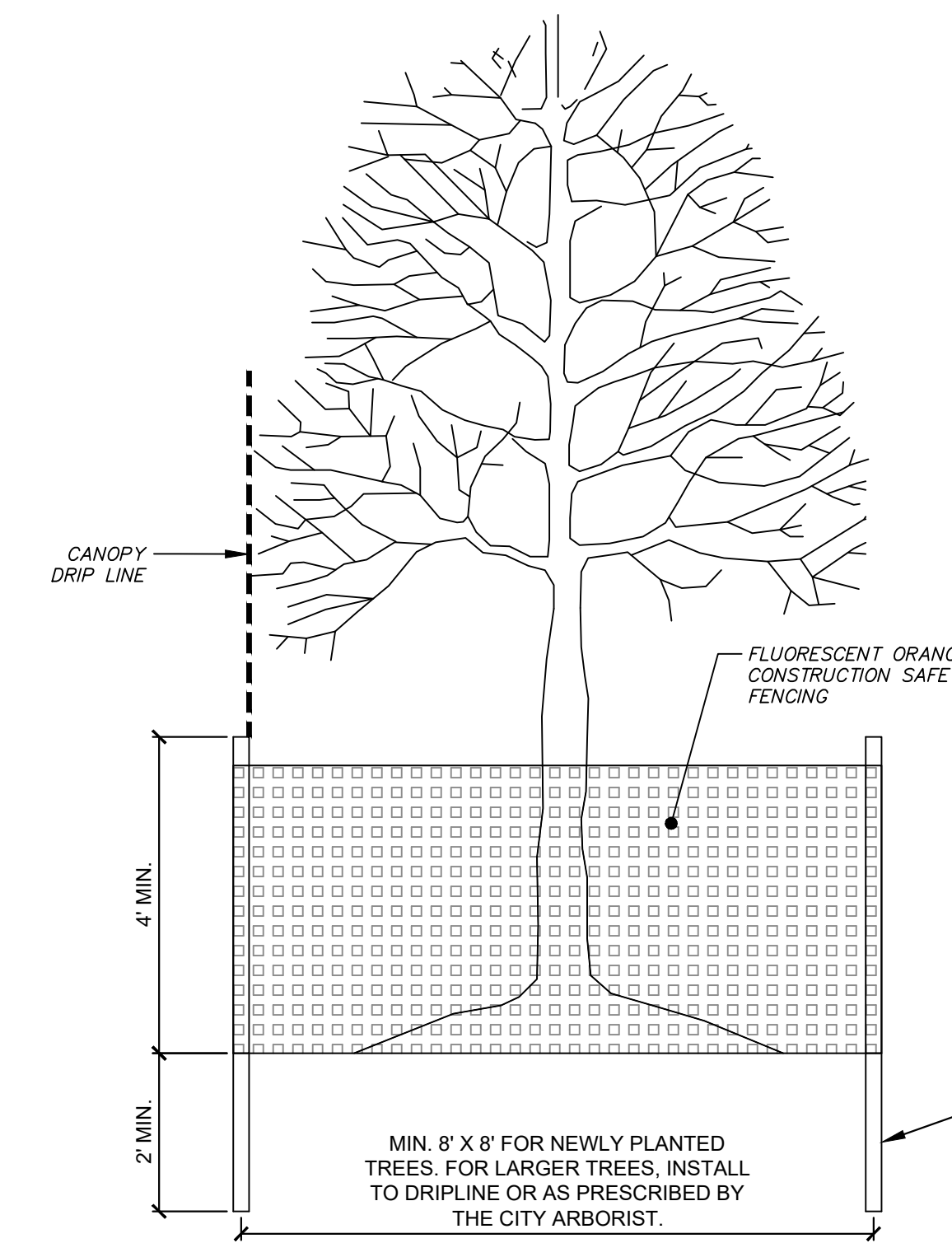
- SCARIFY, LOOSEN, FLOAT AND DRAG THE UPPER FOUR INCHES (4") OF SOIL TO BRING IT TO PROPER CONDITION AND GRADE PRIOR TO SEEDING / SODDING. REMOVE STONES LARGER THAN ONE INCH (1"), STICKS, ROOTS, RUBBISH, ETC. FINISHED GRADE SHALL BE LOOSE AND FREE DRAINING PRIOR TO SEEDING / SODDING.
- STRIP EXISTING GRASS AND WEEDS, INCLUDING ROOTS, PRIOR TO SEEDING. APPLY HERBICIDES AS NECESSARY TO SPOT TREAT UNWANTED SPECIES.
- INSTALL SEED PER THE WRITTEN SPECIFICATIONS. LANDSCAPE SUBCONTRACTOR MUST ADJUST APPLICATION RATES TO PURE LIVE SEED RATES AS INDICATED.
- ALL SEEDED AREAS MUST BE MAINTAINED BY THE LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE DESIGN BUILD CONTRACTOR.



**1 TREE STAKING DETAIL**  
C503 NOT TO SCALE



**3 PLANTING BED DETAIL**  
C503 NOT TO SCALE

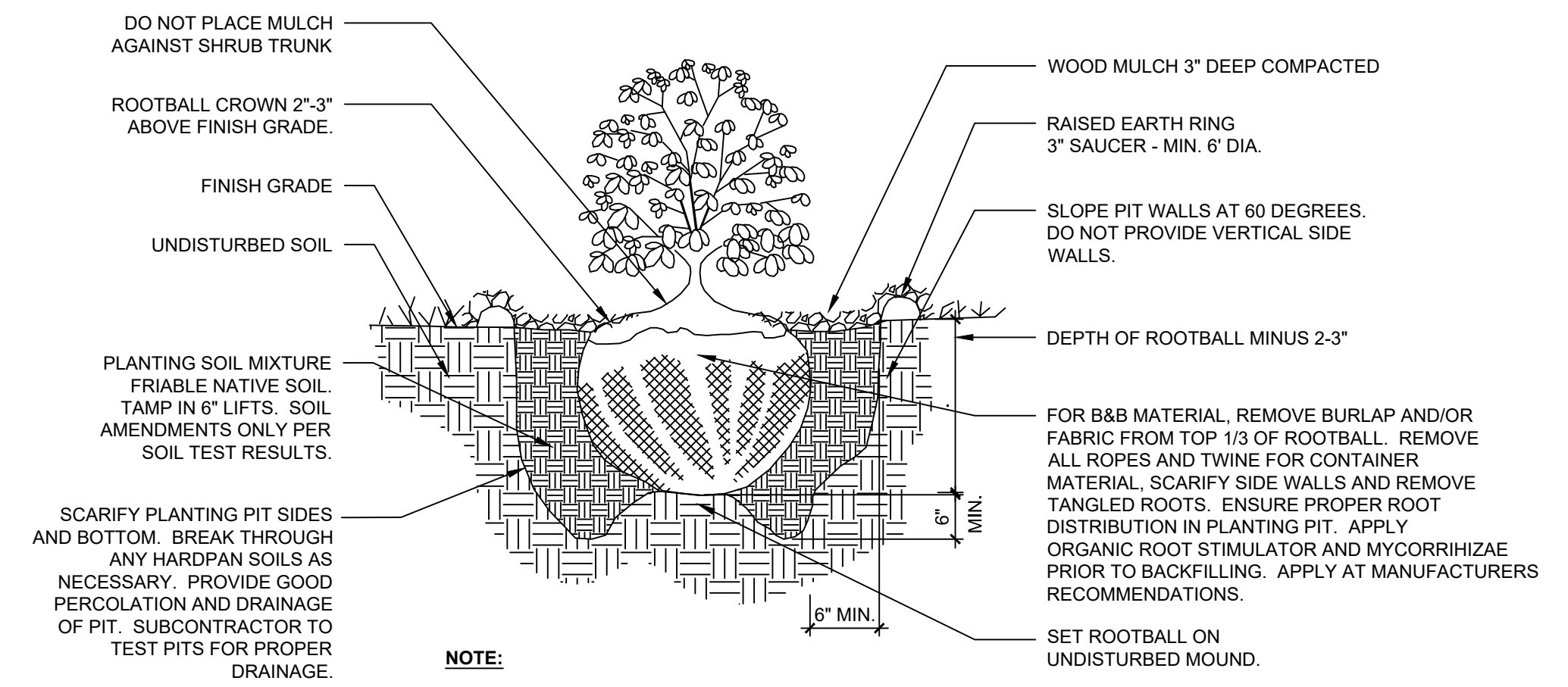


**ELEVATION VIEW**

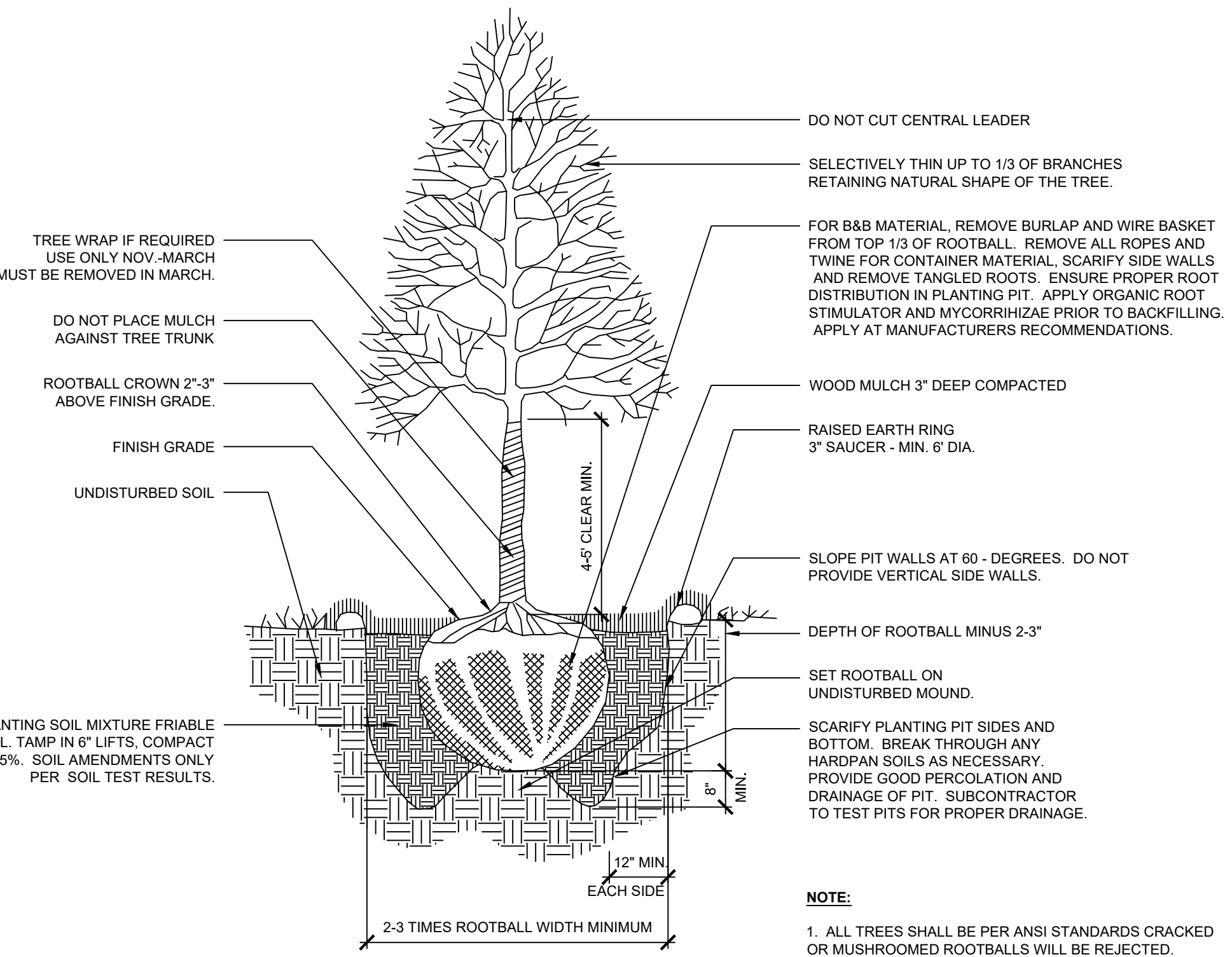
**NOTES:**

- FOR TREES WITH A CROWN SPREAD OF EIGHT (8) FEET OR LESS, A SUBSTANTIAL FENCE, FRAME, OR BOX NOT LESS THAN FOUR (4) FEET HIGH AND EIGHT (8) FEET SQUARE SHALL BE INSTALLED AND MAINTAINED PRIOR TO THE COMMENCEMENT OF, AND FOR THE DURATION OF, THE PROJECT EXTENDING TO THE DRIP LINE OR TO A DISTANCE PRESCRIBED BY THE CITY ARBORIST.
- FOR TREES WITH A CROWN SPREAD OF EIGHT (8) FEET, A SUBSTANTIAL FENCE, FRAME, OR BOX NOT LESS THAN FOUR (4) FEET HIGH SHALL BE PLACED AT THE TREES DRIPLINE DISTANCE OR AT A DISTANCE PRESCRIBED BY THE CITY ARBORIST.
- ALL BUILDING MATERIALS, GRAVEL, SOIL, OR DEBRIS SHALL BE KEPT OUTSIDE THESE BARRIERS.
- NO PERSON OR CONTRACTED ENTITY SHALL DEPOSIT, PLACE, OR STORE OR MAINTAIN UPON ANY PUBLIC PLACE OR THE CITY ANY STONE, BRICK, SAND, CONCRETE, OR OTHER MATERIALS, WHICH MAY IMPEDE THE FREE PASSE OF WATER, AIR AND FERTILIZER TO THE ROOTS OF ANY TREE GROWING THEREON.

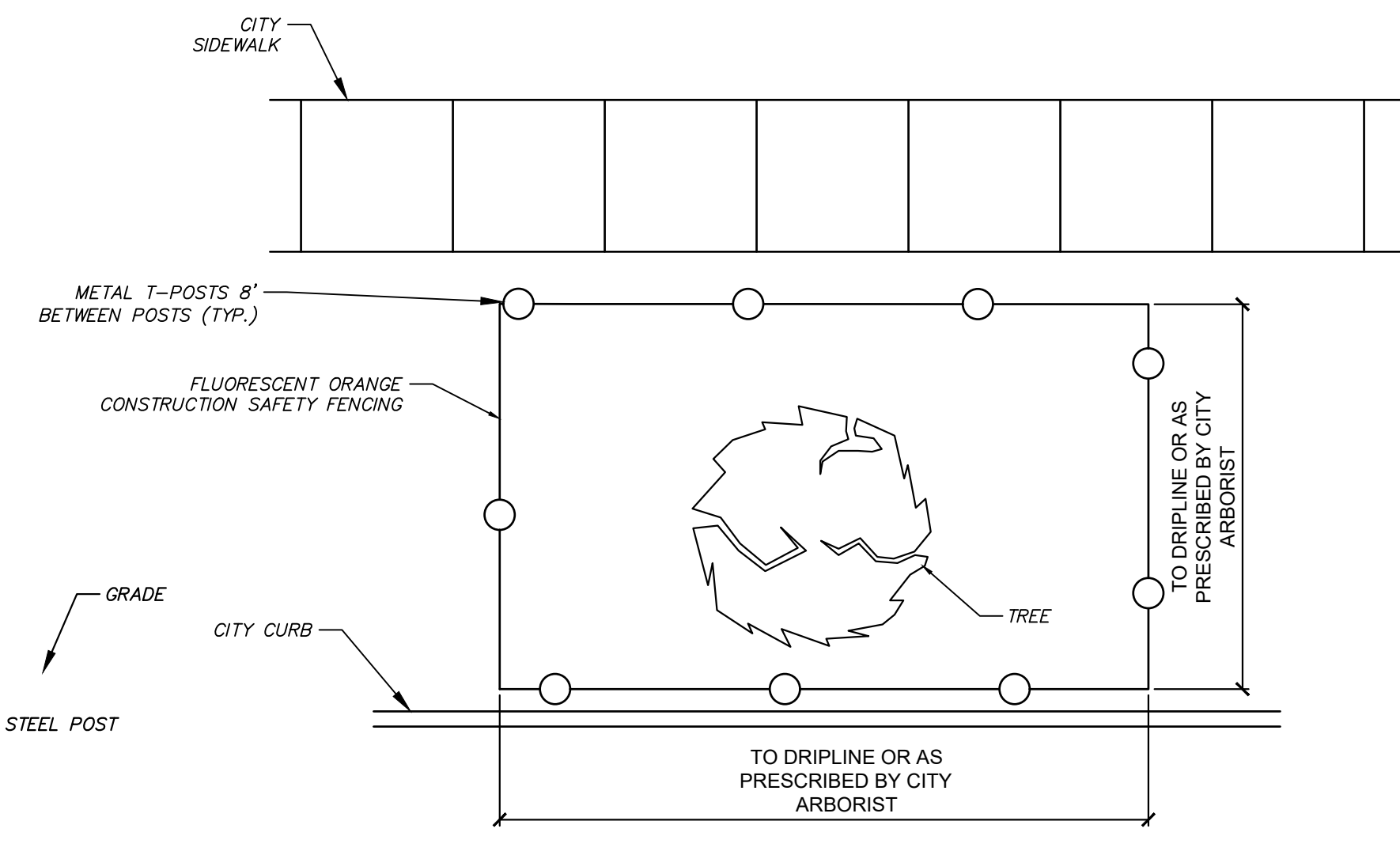
**5 TYPICAL TREE PROTECTION DETAIL**  
C503 NOT TO SCALE



**2 SHRUB PLANTING DETAIL**  
C503 NOT TO SCALE



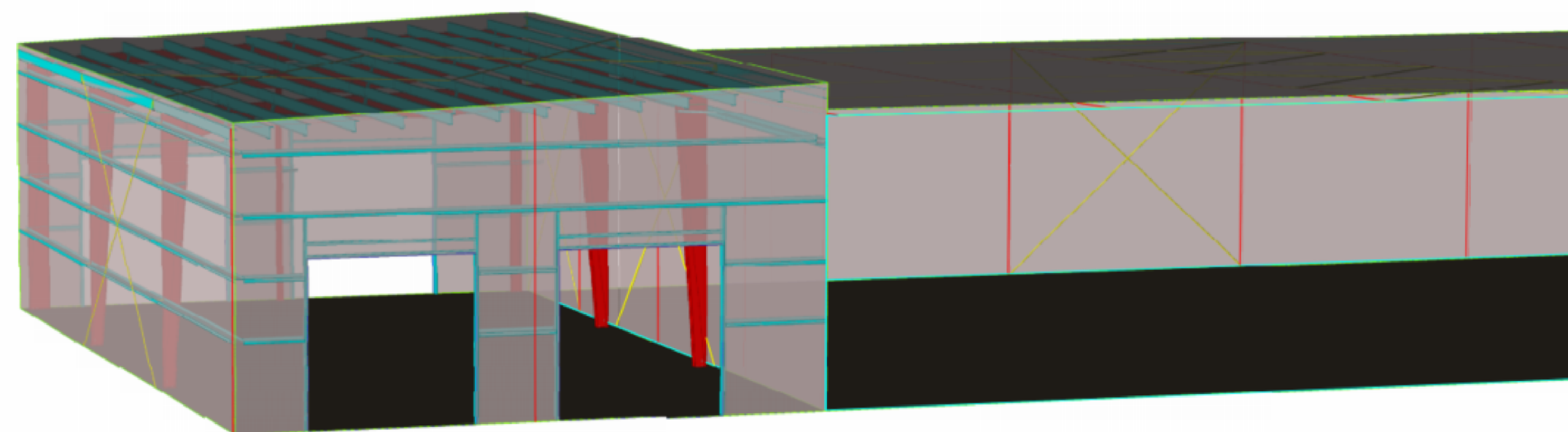
**4 TREE PLANTING DETAIL**  
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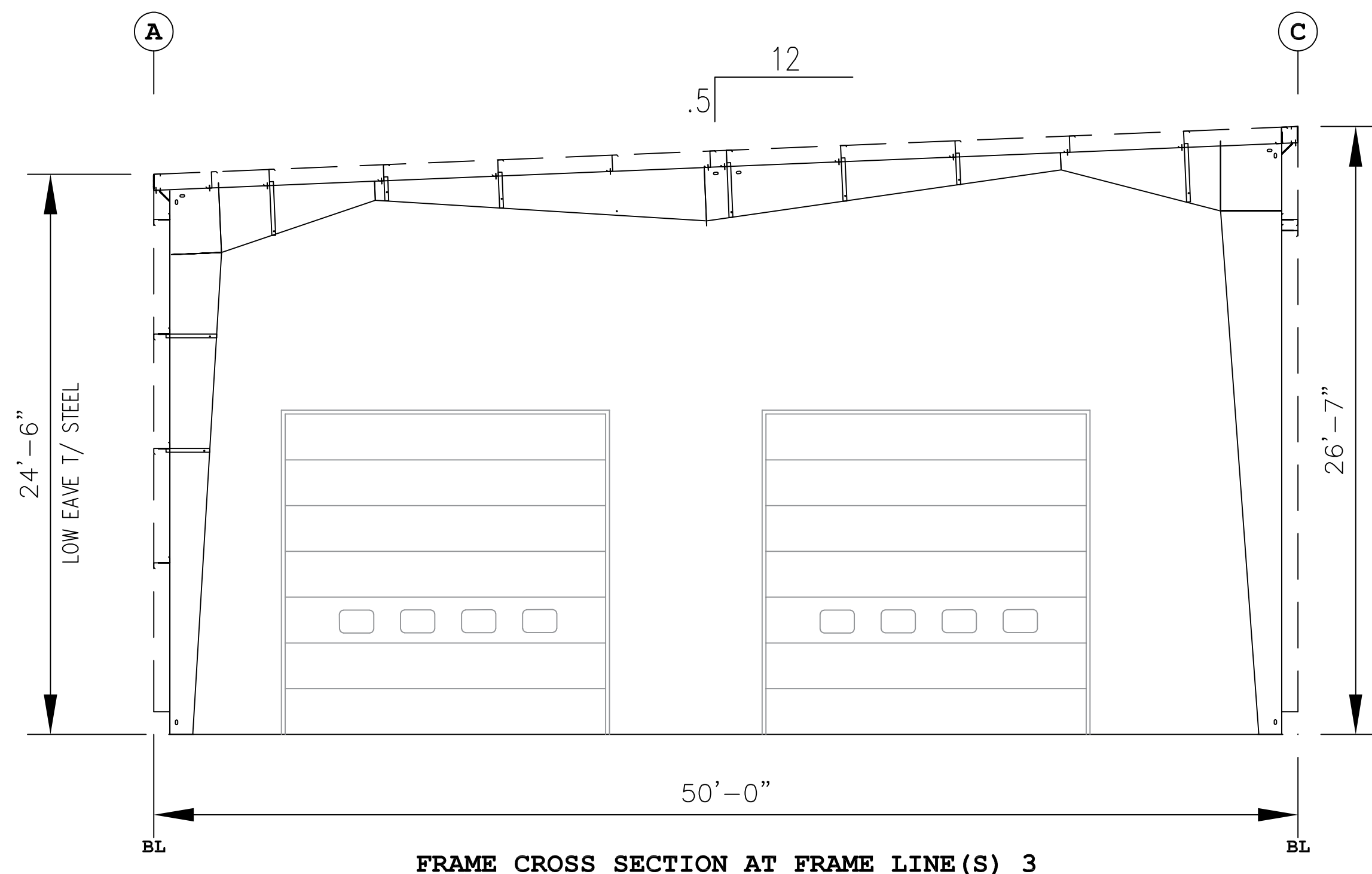
**PLAN VIEW**

REVISIONS		
NUMBER	DESCRIPTION	DATE
△	CITY OF WATERTOWN COMMENTS - ADDITION OF TREE PROTECTION DETAIL / SPECIFICATION OF SOIL COMPACTION IN TREE PLANTING AREAS	12-18-2023

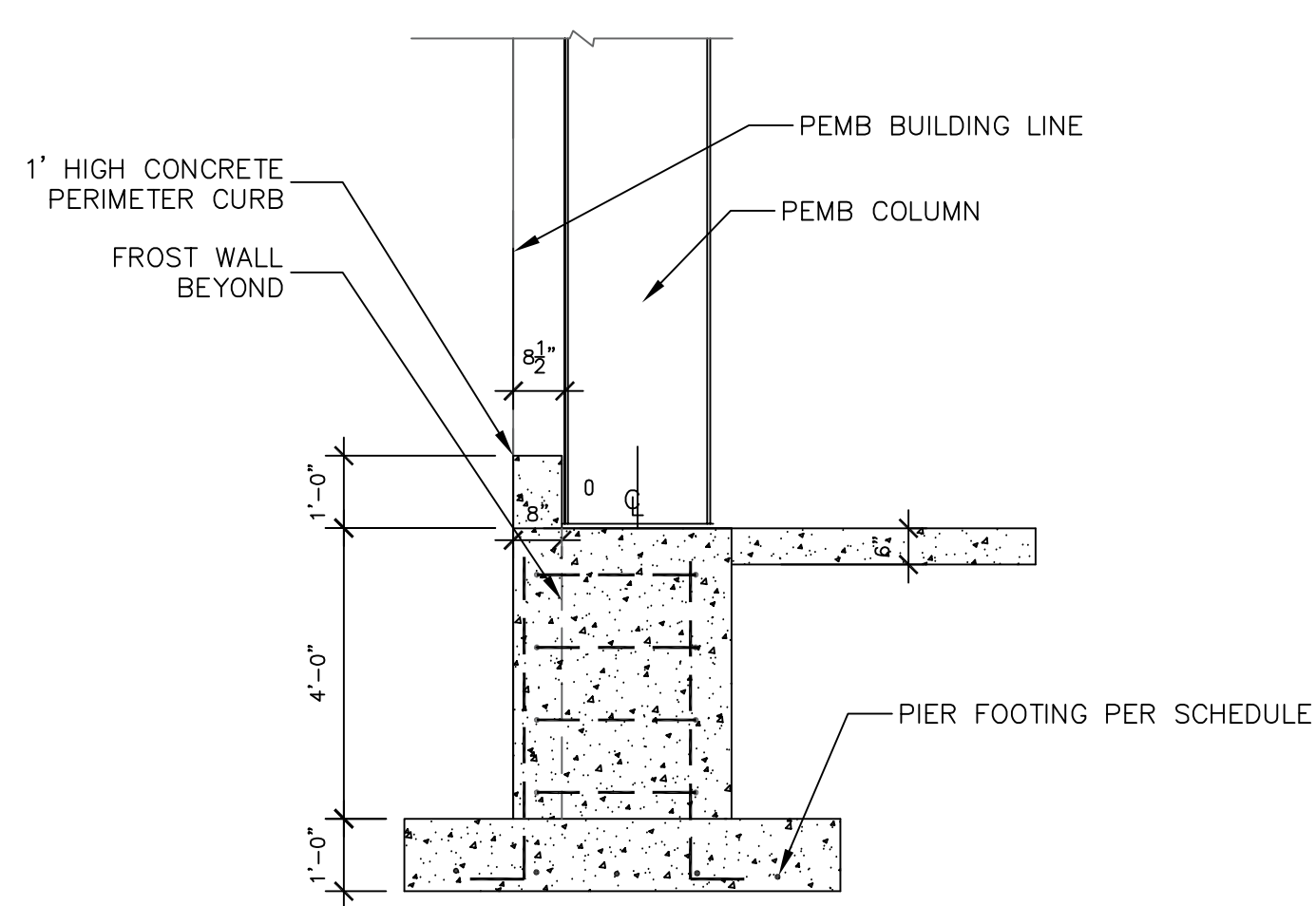




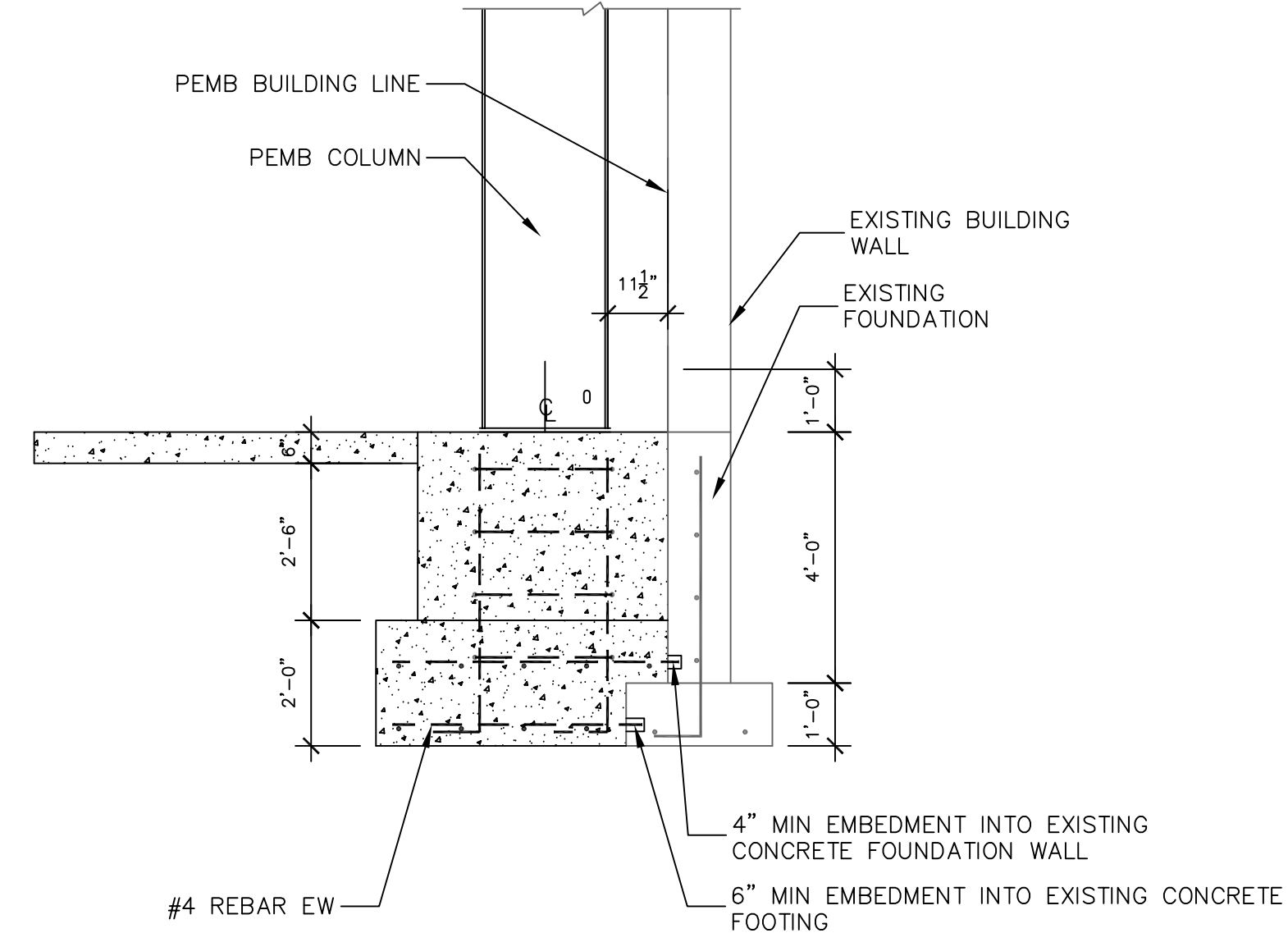
3 BUILDING 3D  
SCALE: NTS



2 BUILDING SECTION  
SCALE: NTS

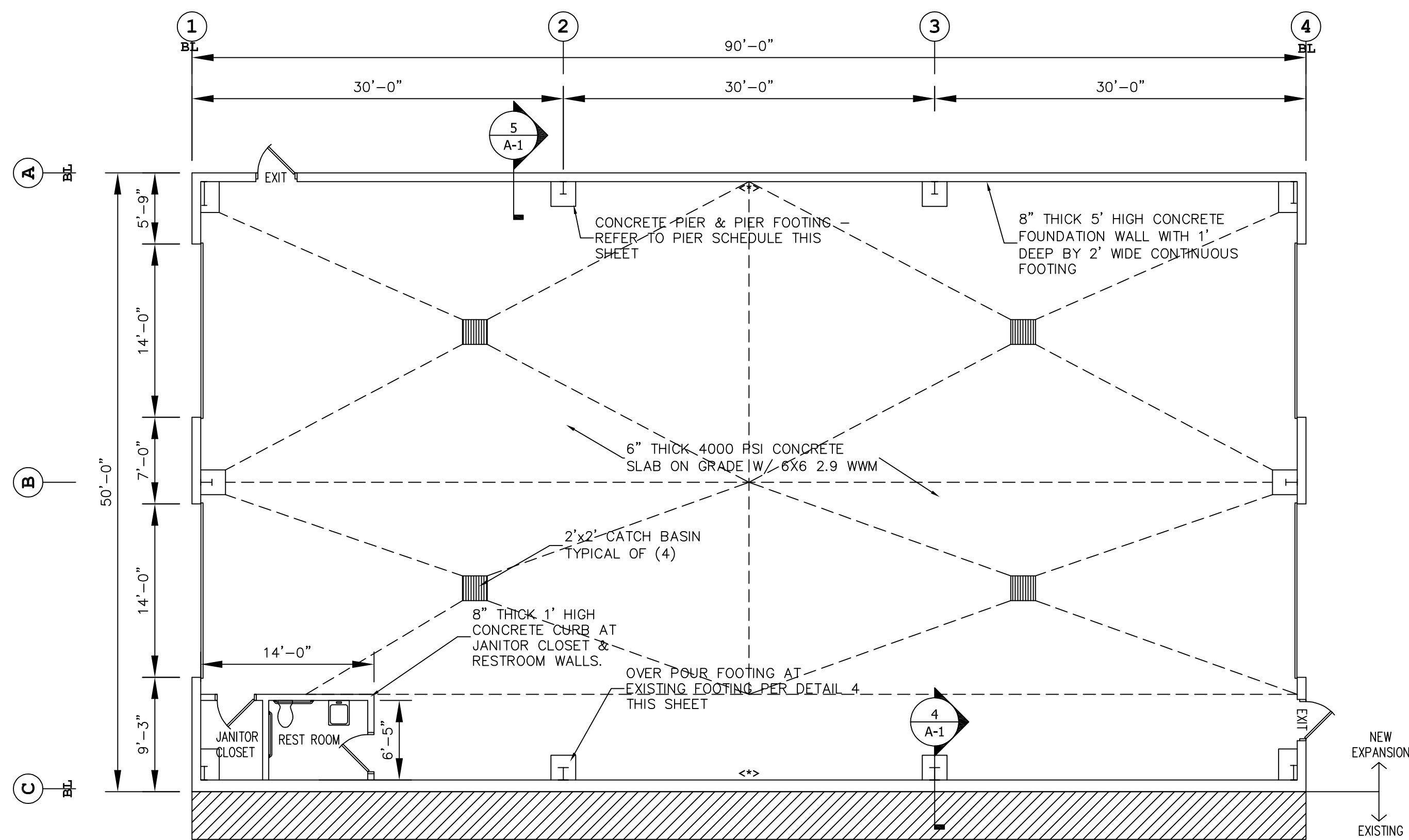


5 PIER DETAIL AT EXTERIOR WALL  
SCALE: NTS



4 PIER DETAIL AT MARRIAGE WALL  
SCALE: NTS

PIER AND PIER FOOTING SCHEDULE			
COUNT	TYPE	SIZE	REINFORCING
6	P1	2'X2'X4'	(10) #6 BAR VERTICAL W/ #3 TIES @12"OC
6	F1	6'X6'X1'	(8) #5 BAR EACH WAY
4	P2	2'-6"X2'-6"X4'	(10) #6 BAR VERTICAL W/ #3 TIES @12"OC
4	F2	7'X7'X1'	(9) #5 BAR EACH WAY



1 LAYOUT PLAN  
SCALE: 1/8" = 1'-0"

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NO.	REVISIONS	DATE

**PROJECT TITLE:**  
HALE SHOP EXPANSION

**PROJECT LOCATION:**  
1067 MARBLE ST.  
WATERTOWN, NY 13601

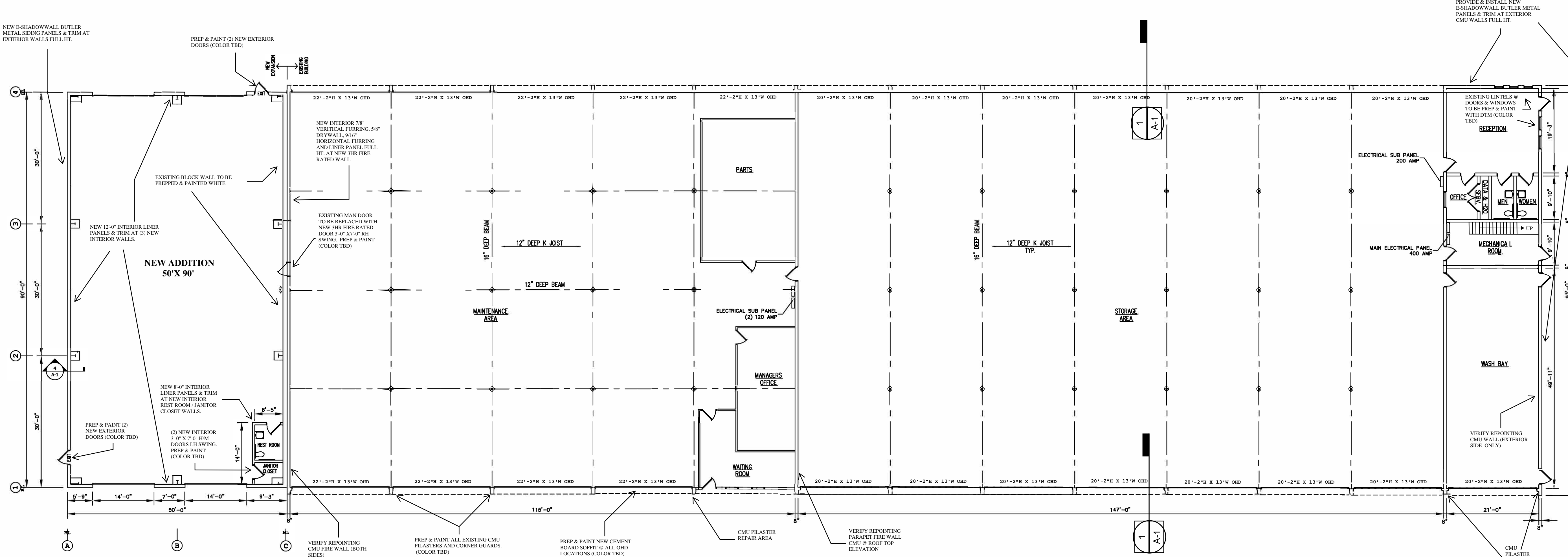
**DRAWING TITLE:**  
LAYOUT PLAN

**PROJECT NUMBER:** 000000  
**DATE:** 08-31-23  
**DRAWN BY:** BWS  
**CHECKED BY:** DLK

**A-1**

**SCALE:** AS NOTED





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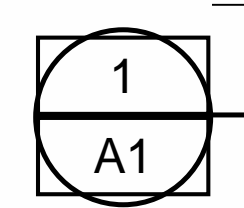
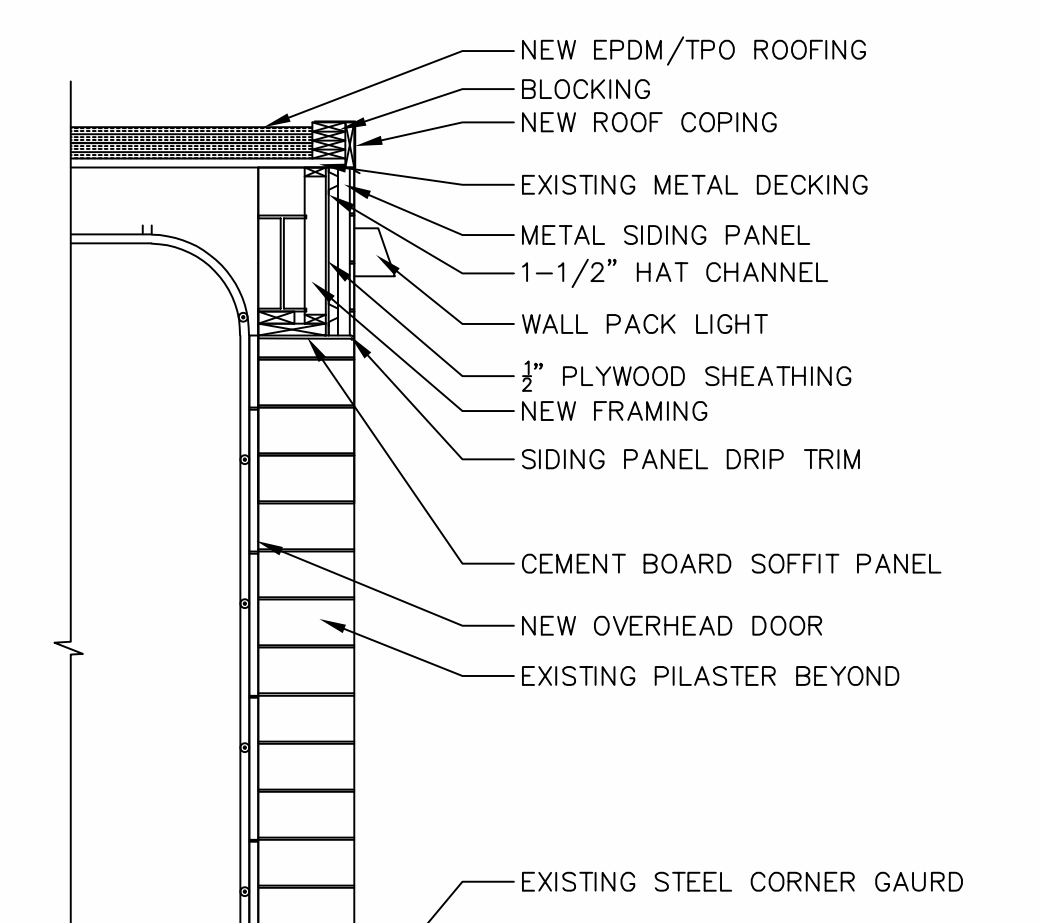
NO.	REVISIONS	DATE

**NEW ADDITION FRAMING/FINISH NOTES:**

- PROVIDE & INSTALL NEW ESHADOW WALL BUTLER METAL SIDING PANELS TO NEW EXTERIOR WALLS.
- PROVIDE & INSTALL NEW 12'-0" LINER PANEL TO (3) INTERIOR WALLS OF NEW ADDITION.
- PROVIDE & INSTALL NEW 8'-0" LINER PANEL TO NEW RESTROOM WALLS AND JANITOR CLOSET.
- PROVIDE & INSTALL (1) NEW 3 HR FIRE RATED H/M DOOR AND FRAME 3'-0" X 7'-0" AT MARRIAGE WALL TO REPLACE THE EXISTING DOOR. PREP & PAINT (COLOR TBD)
- PROVIDE & INSTALL (2) NEW H/M DOORS AND FRAMES 3'-0" X 7'-0" AT NEW REST ROOM AND JANITOR CLOSET. ADA HAND-CAP REST ROOM DOOR TO BE PRIVACY LEVER WITH CLOSURE. PREP & PAINT (COLOR TBD)
- PROVIDE & INSTALL (2) NEW H/M DOORS AND FRAMES 3'-0" X 7'-0" AT EXTERIOR. PREP & PAINT (COLOR TBD)

**EXISTING BUILDING FRAMING/FINISH NOTES:**

- REMOVE ALL EXISTING OVERHEAD DOOR OVERHANGS & DISPOSE.
- REMOVE ALL EXISTING OVERHEAD DOORS, OPERATORS AND HARDWARE. INSTALL NEW OVERHEAD DOORS, OPERATORS & HARDWARE. (EQ. SIZE)
- RESTORE DAMAGED CMU PILASTERS & RE-POINT ANY DAMAGED MORTAR JOINTS AT CMU BLOCK (V.I.F. MORTAR JOINTS @ 3 LOCATIONS - ROOF ELEVATION FIRE WALL, EXTERIOR SOUTH ELEVATION (MARRIAGE WALL), EXTERIOR NORTH/WEST ELEVATIONS).
- PROVIDE & INSTALL NEW E-SHADOWWALL BUTLER METAL PANELS TO EXISTING CMU WALLS AT BOTH NORTH AND WEST ELEVATIONS. (COLOR TBD)
- PROVIDE & INSTALL NEW VERTICAL E-SHADOWWALL BUTLER METAL PANELS ABOVE NEW OVERHEAD DOORS. SEE ATTACHED WALL SECTION AT OHD. INSTALL NEW LT. GAUGE OR 2X FRAMING, 1/2" ZIP SHEATHING, 1-1/2" HAT CHANNEL FRAMING PRIOR TO NEW VERTICAL METAL PANELS. (COLOR TBD)
- PROVIDE & INSTALL NEW 7/8" VERTICAL HAT CHANNEL FRAMING, 1 SINGLE LAYER OF 5/8" DRYWALL (TAPED 1ST COAT), 9/16" RESILIENT HAT OR Z-FURRING CHANNEL HORIZONTAL FRAMING, METAL LINER PANEL FULL HT. AT NEW INTERIOR FIRE RATED WALL \*MARRIAGE WALL\* (COLOR TBD)
- PROVIDE & INSTALL NEW HARDIE CEMENT BOARD SOFFIT BETWEEN CMU PILASTERS. PRIME & PAINT (COLOR TBD)
- PREP & PAINT WINDOW & DOOR LINTELS WITH DTM PAINT AT RECEPTION AREA. (COLOR TBD)
- NO WORK AT EXISTING OFFICE SPACE, RECEPTION, OR EXISTING BATHROOMS.



**PROJECT TITLE:**  
**HALE SHOP EXPANSION**

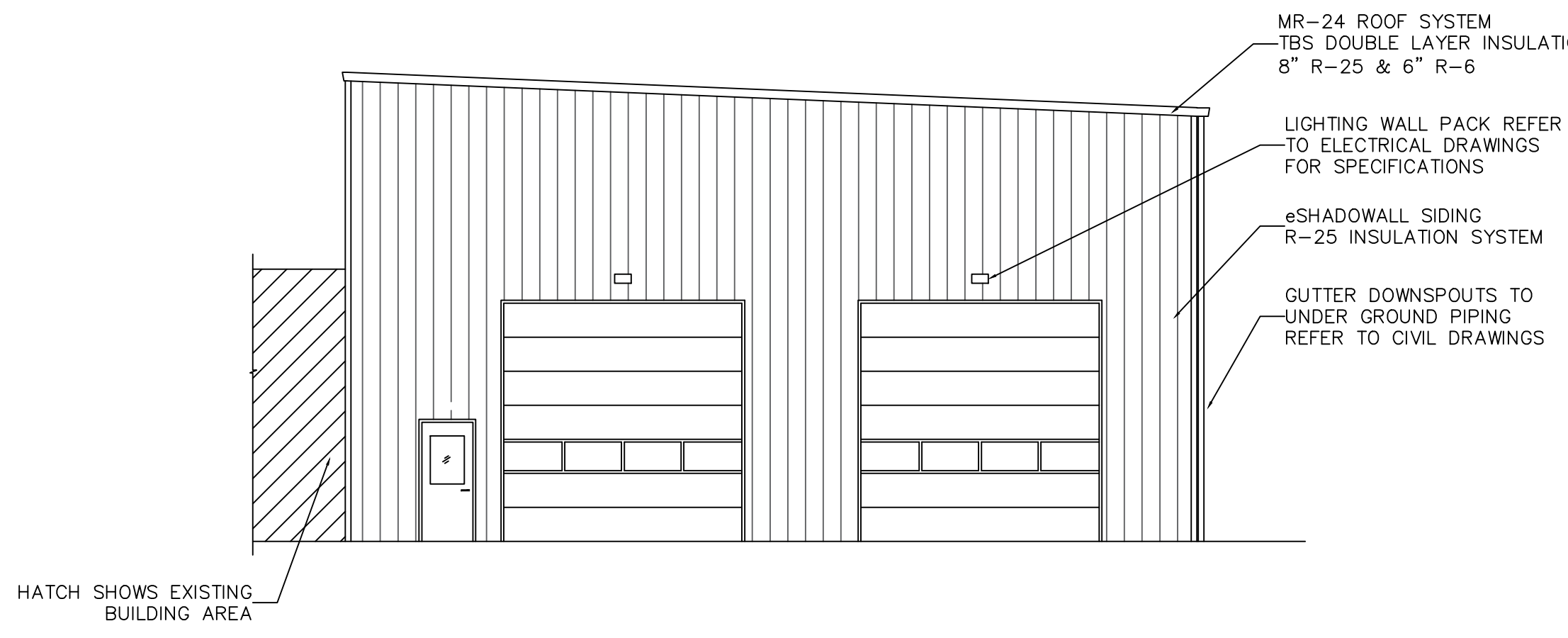
**PROJECT LOCATION:**  
 1067 MARBLE ST.  
 WATERTOWN, NY 13601

**DRAWING TITLE:**  
**OVERALL PLAN**

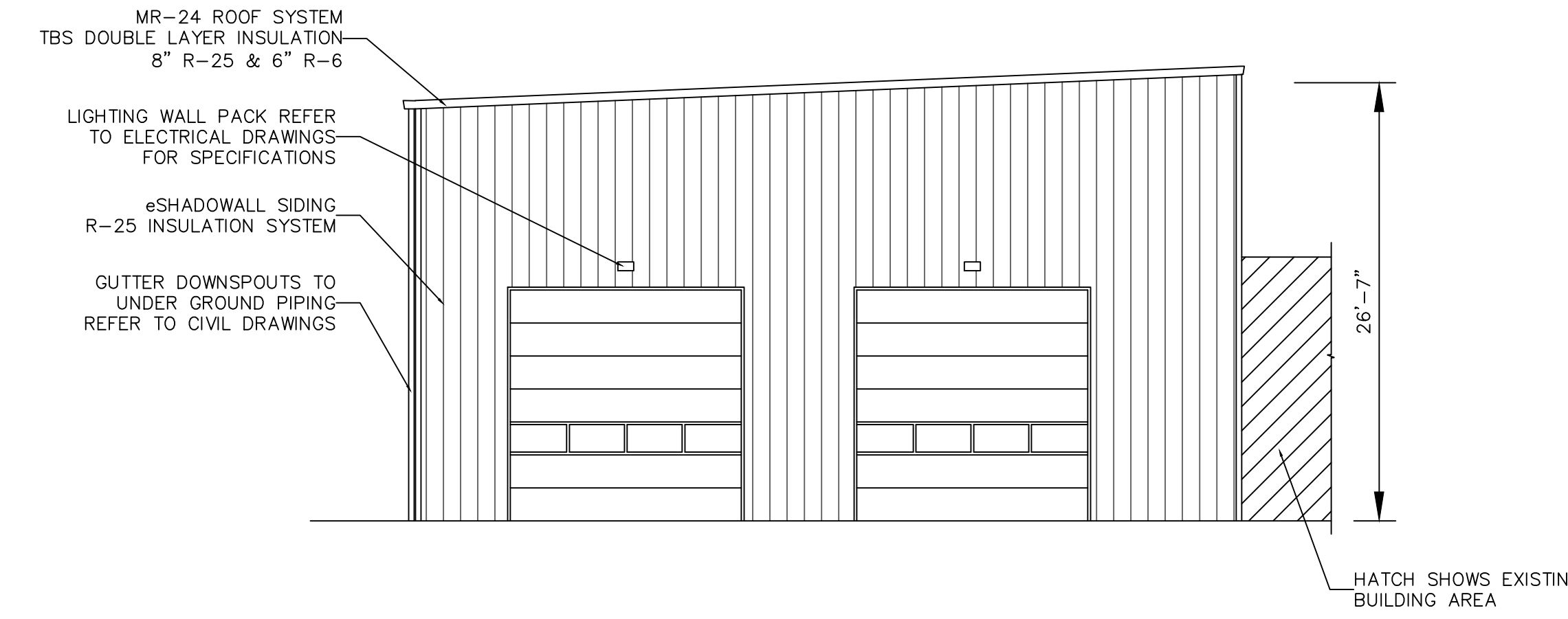
**PROJECT NUMBER:** 000000  
**DATE:** 08-31-23  
**DRAWN BY:** BWS  
**CHECKED BY:** DLK

**A-2**

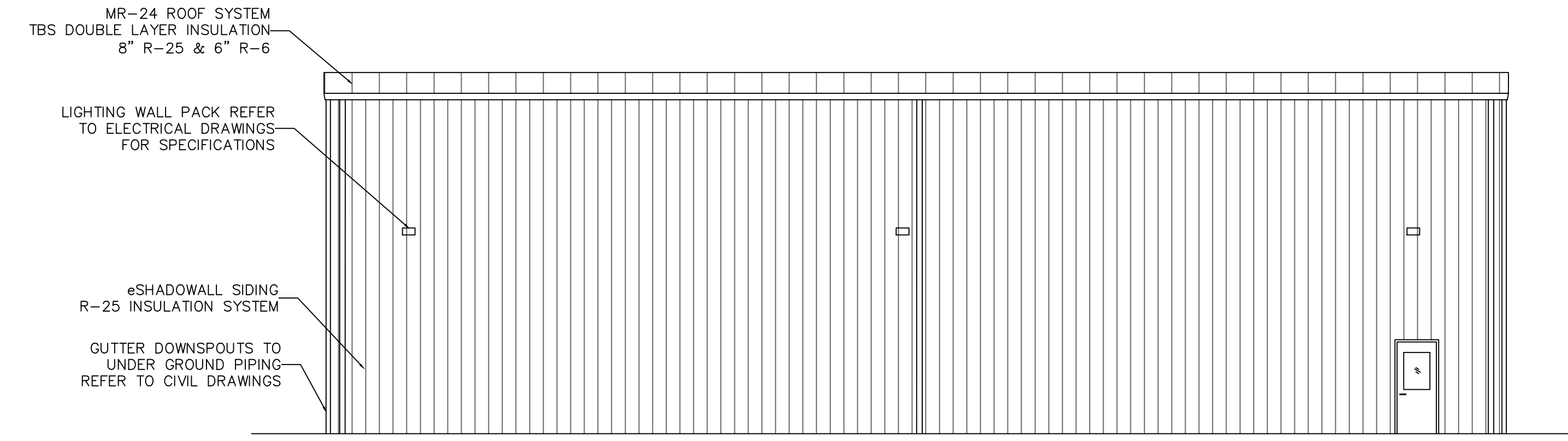
**SCALE:** NTS



**3** NORTH ELEVATION  
SCALE:  $\frac{3}{16}'' = 1'-0''$



**2** SOUTH ELEVATION  
SCALE:  $\frac{3}{16}'' = 1'-0''$



**1** WEST ELEVATION  
SCALE:  $\frac{3}{16}'' = 1'-0''$




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NO.	REVISIONS	DATE

**PROJECT TITLE:**  
**HALE SHOP EXPANSION**

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**PROJECT LOCATION:**  
**1067 MARBLE ST.  
WATERTOWN, NY 13601**

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**DRAWING TITLE:**  
**EXTERIOR ELEVATIONS**

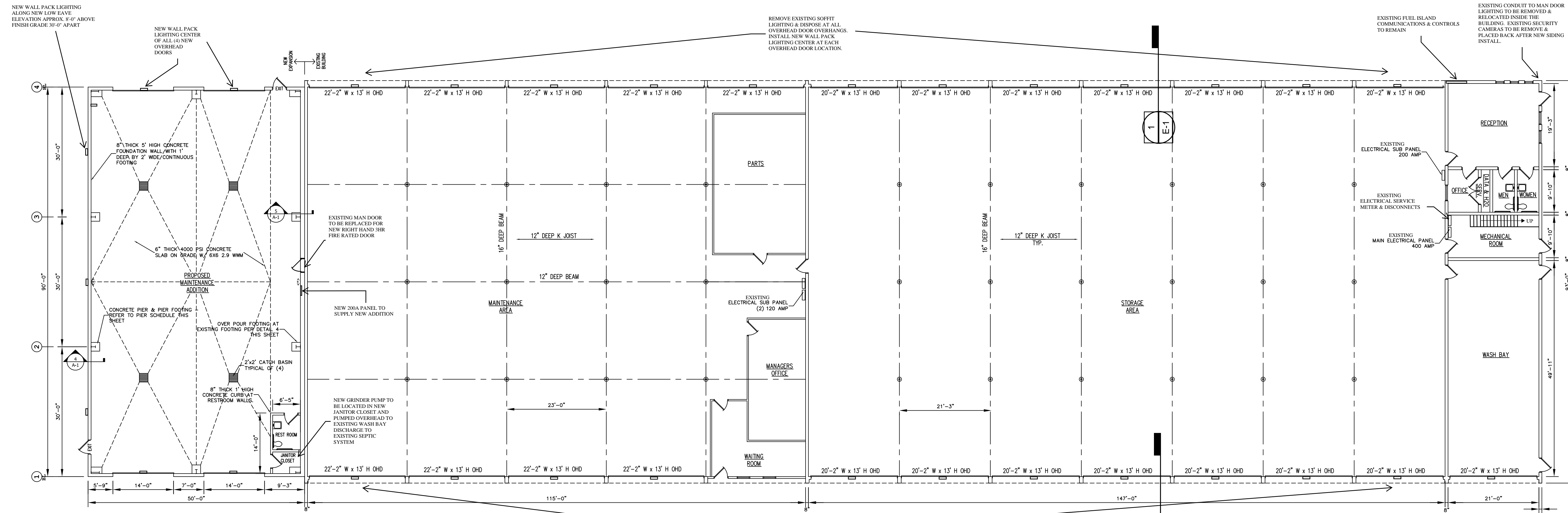
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**PROJECT NUMBER:** 000000  
**DATE:** 10-10-23  
**DRAWN BY:** BWS  
**CHECKED BY:** DLK

**A-3**

**SCALE:** NTS



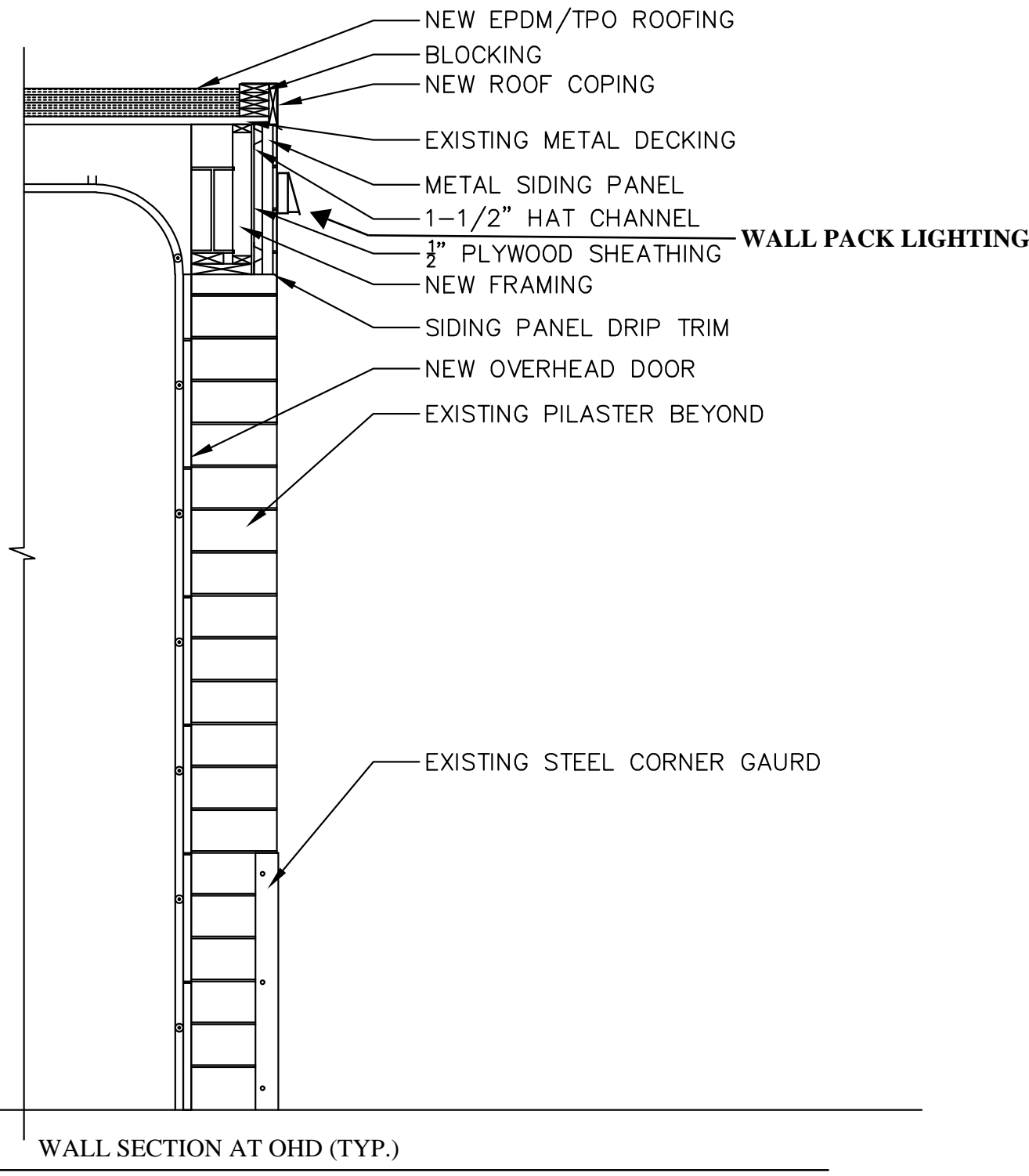


### NEW ADDITION ELECTRICAL NOTES:

- NEW PROPOSED 200A SERVICE PANEL TO BE LOCATED ON 3-HR FIRE RATED WALL PIPED FROM EXISTING MECHANICAL ROOM. (NEW 3HR FIRE RATED MARRIAGE WALL - EXISTING BUILDING TO NEW ADDITION)
- HIGH BAY LIGHT FIXTURES - NEW LIGHTING TO ACCOMMODATE A TOTAL OF 4,650 SQ FT OF SPACE.
- SURFACE MOUNTED FIXTURES - NEW LIGHTING TO ACCOMMODATE NEW RESTROOM AND JANITOR CLOSET.
- OVERHEAD STANDARD DUTY DOOR OPERATORS - POWER REQUIREMENTS: SINGLE PHASE 115/208/230V (1/2 HP OPERATORS) SUPPLY & INSTALL RECEPTACLE FOR EACH OVERHEAD DOOR (4) TOTAL.
- HEATING & VENTILATION - POWER REQUIREMENTS: 208V/3-PHASE POWER ROOFTOP DIRECT FIRE NATURAL GAS CAMBRIDGE HEATING UNIT/MAKE-UP AIR UNIT SIZED BY MEP ENGINEER.
- NEW RECEPTACLE & SWITCHING TO ACCOMMODATE 4,650 SQ FT OF SPACE. ADD (1) QUAD OUTLET RECEPTACLE TO EACH COLUMN. FOUR WAY SWITCHING FROM (3) DOOR LOCATIONS.
- NEW EXIT SIGN DEVICES OVER EACH EXIT DOOR.
- POWER SUPPLY FOR NEW EXHAUST FAN IN ADA UNISEX BATHROOM.
- SEPERATE DEDICATED CIRCUIT FOR NEW GRINDER PUMP AT JANITOR CLOSET.
- SUPPLY & INSTALL NEW WALL PACK LIGHTING. TOTAL OF 7 FIXTURES.
- TIE-IN NEW FIRE ALARM TO EXISTING FIRE ALARM SYSTEM.
- TIE-IN NEW SECURITY CAMERAS INTO EXISTING SECURITY SYSTEM.

### EXISTING BUILDING ELECTRICAL NOTES:

- ALTERNATE PRICE: NEW LIGHT FIXTURES - NEW LIGHTING TO ACCOMMODATE A TOTAL OF 10,695 SQ FT OF EXISTING SPACE @ MAINTENANCE AREA.
- ALTERNATE PRICE: NEW LIGHT FIXTURES - NEW LIGHTING TO ACCOMMODATE A TOTAL OF 13,671 SQ FT OF EXISTING SPACE @ STORAGE AREA.
- ALTERNATE PRICE: NEW LIGHT FIXTURES - NEW LIGHTING TO ACCOMMODATE A TOTAL OF 1,050 SQ FT OF EXISTING SPACE @ WASH BAY AREA.
- OVERHEAD TROLLEY SYLE OPERATORS - POWER REQUIREMENTS: THREE PHASE 208/230/460V (3/4 HP OPERATORS). VERIFY EXISTING RECEPTACLE FOR EACH OVERHEAD DOOR ACCOMMODATES NEW OPERATORS (24) TOTAL.
- RECEPTACLE & SWITCHING TO BE EVALUATED (IF FUTURE LIGHTING IS TO OCCURS.)
- REMOVE EXISTING SOFFIT LIGHTING & DISPOSE AT ALL OVERHEAD DOOR OVERHANG STRUCTURES.
- PROVIDE & INSTALL NEW WALL PACK LIGHTING. (1) FIXTURE OVER EACH OVERHEAD DOOR.
- REMOVE EXISTING CONDUIT FOR MAN DOOR LIGHTS. RELOCATE TO INSIDE THE BUILDING.
- REMOVE & RE-MOUNT EXISTING SECURITY CAMERAS. (NEW RECEPTION AREA EXTERIOR AND EXTERIOR ENDWALL WILL BE FURRED OUT AND SIDED WITH NEW BUTLER SIDING PANELS.)
- REMOVE EXISTING CABLE AND POWER SUPPLY TO FSS COMMUNICATION TOWER AT ROOFTOP. REMOVAL FROM STREET TO BUILDING AND TERMINATED AT BUILDING FROM TOWER.
- TIE-IN NEW SECURITY CAMERAS INTO EXISTING SECURITY SYSTEM.
- NO WORK AT EXISTING OFFICE SPACE, RECEPTION, OR EXISTING BATHROOMS.



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NO.	REVISIONS	DATE

**PROJECT TITLE:**  
**HALE SHOP EXPANSION**

**PROJECT LOCATION:**  
**1067 MARBLE ST. WATERTOWN, NY 13601**

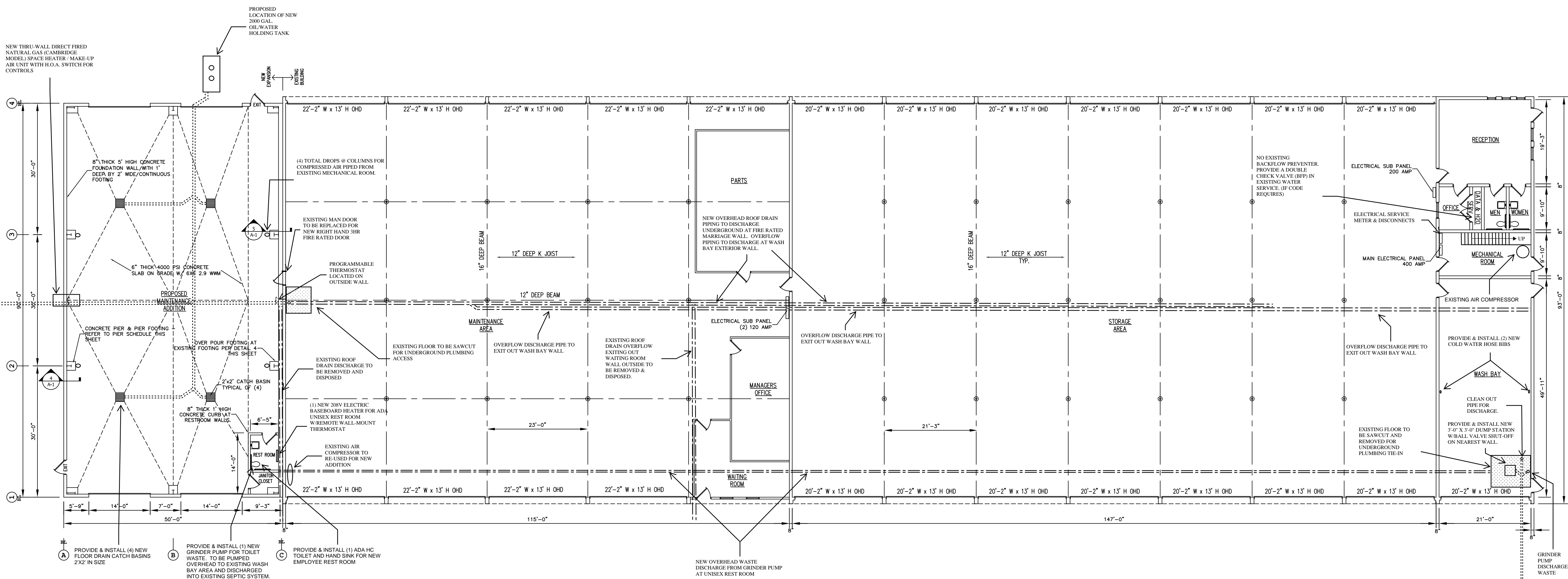
**DRAWING TITLE:**  
**OVERALL ELECTRICAL PLAN**

**PROJECT NUMBER:** 000000  
**DATE:** 08-31-23  
**DRAWN BY:** BWS  
**CHECKED BY:** DLK

E-1

**SCALE:** NTS





**NEW ADDITION MECHANICAL/PLUMBING NOTES:**

- NEW PROPOSED THRU-WALL DIRECT FIRED NATURAL GAS SPACE HEATER / MAKE-UP AIR UNIT TO BE LOCATED CENTER OF NEW ADDITION. SIZE TBD BY MEP ENGINEER FOR 4,650 SQ FT SPACE.
- NEW PROGRAMMABLE THERMOSTAT LOCATED AT OUTSIDE WALL FOR UNIT HEATER.
- (1) NEW 208V ELECTRIC BASEBOARD HEATER FOR ADA UNISEX BATHROOM. TO HAVE REMOTE WALL-MOUNT THERMOSTAT.
- COMPRESSED AIR PIPING WITH (4) NEW DROPS AT COLUMNS. THESE DROPS WILL BE PIPED FROM EXISTING COMPRESSOR LOCATED NEAR OVERHEAD DOOR AT MARRIAGE WALL IN EXISTING BUILDING.
- PROVIDE & INSTALL (4) NEW FLOOR DRAIN STRUCTURES AND PIPE OUT INTO NEW OIL/WATER HOLDING TANK SIZED BY ENGINEER.
- PROVIDE & INSTALL (1) ADA UNISEX TOILET AND HAND SINK IN NEW EMPLOYEE REST ROOM.
- PROVIDE & INSTALL (1) NEW GRINDER PUMP PIPING DISCHARGE WASTE TO EXISTING SEPTIC SYSTEM.

**EXISTING BUILDING MECHANICAL/PLUMBING NOTES:**

- DETERMINE IF EXISTING COMPRESSOR TANK IS SIZED APPROPRIATE TO HANDLE COMPRESSED AIR FOR NEW ADDITION.
- PROPOSE DOUBLE CHECK VALVE BACKFLOW PREVENTER. (IF REQUIRED BY WATERTOWN WATERBOARD)
- ALTERNATE PRICE: INSTALL REDUCED PRESSURE ZONE BACKFLOW PREVENTER WITH 4" RELIEF DRAIN (IF REQUIRED BY WATERTOWN WATERBOARD)
- PROVIDE & INSTALL (1) NEW DUMP STATION APPROXIMATELY 3'-0" X 3'-0" IN SIZE. LOCATE (1) BALL VALVE SHUT-OFF TO CONTROL WASH OUT OF NEW DUMP STATION ON NEAREST WALL. DISCHARGE FOR DUMP STATION INTO EXISTING SEPTIC SYSTEM.
- PROVIDE & INSTALL (2) COLD WATER HOSE BIBS AT WASH BAY CENTER OF EACH LONG WALL.
- REMOVE EXISTING CAST/PVC ROOF DRAIN PIPING IN ITS ENTIRETY AND DISPOSE. RE-PIPE FROM EXISTING (4) ROOF DRAIN LOCATIONS WITH NEW DISCHARGE WASTE PIPING AND DUAL OVERFLOW PIPING.
- DISCHARGE OF ROOF DRAIN SYSTEM WILL DRAIN TO FIRE RATED MARRIAGE WALL. FROM THIS LOCATION, PIPING WILL TURN DOWN THE MARRIAGE WALL AND EXIT UNDERGROUND UNDER THE NEW ADDITION SLAB INTO THE NEW DETENTION AREA.
- OVERFLOW DISCHARGE WASTE WILL BE REVERSE PITCHED BACK TO THE WASH BAY AREA AND DRAIN OUT THE EXTERIOR WALL.

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**PROJECT TITLE:**  
**HALE SHOP EXPANSION**

**PROJECT LOCATION:**  
**1067 MARBLE ST. WATERTOWN, NY 13601**

**DRAWING TITLE:**  
**OVERALL MECHANICAL PLAN**

**PROJECT NUMBER:** 000000  
**DATE:** 08-31-23  
**DRAWN BY:** BWS  
**CHECKED BY:** DLK

**M-1**

**SCALE:** NTS