



# MEMORANDUM

CITY OF WATERTOWN, NEW YORK  
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT  
245 WASHINGTON STREET, ROOM 305, WATERTOWN, NY 13601  
PHONE: 315-785-7741 – FAX: 315-782-9014

TO: Planning Commission Members

FROM: Geoffrey T. Urda, Senior Planner

PRIMARY REVIEWER: Joseph Albinus, Planner

SUBJECT: Site Plan Approval – 1068 Arsenal Street

DATE: July 31, 2025

**Request:** Site Plan Approval to construct a 510 square-foot (SF), drive-through coffee shop, a 388 SF storage building and associated site improvements at **1068 Arsenal Street**, Parcel Number 8-47-106.200

**Applicant:** Brian Evans of Brew Team NY, LLC

**Proposed Use:** Restaurant with Drive Through, Accessory

**Property Owners:** 1068 Arsenal St RE, LLC

## Submitted:

Property Survey: Yes	Preliminary Architectural Drawings: Yes
Site Plan: Yes	Preliminary Site Engineering Plans: Yes
Vehicle and Pedestrian Circulation Plan: Yes	Construction Time Schedule: Yes
Landscaping and Grading Plan: Yes	Description of Uses, Hours & Traffic Volume: Yes

SEQRA: Unlisted

Jefferson County 239-m Review: Yes

## Zoning Information:

District: Commercial	Maximum Lot Coverage: 70
Setback Requirements: F: 20', S: 5', R: 10'	Buffer Zones Required: Yes

**Application Status UPDATE:** The Planning Board considered this application at its July 1, 2025 meeting and voted to table the application.

The applicant submitted an updated drawing set that included a revised Area Plan, Landscape Plan, Utility Plan, Photometric Plan as well as a revised Detail Sheet and an updated Engineering Report. The applicant also included a response letter with responses to each of the summary items that appeared in Staff's June 26, 2025 memorandum to the Planning Commission.

It was evident from Staff's initial review that the proposed Site Plan would exceed the 70 percent lot coverage maximum in a Commercial District, as contained in Section 310-21 of the Zoning Ordinance. The applicant has since applied for a Subdivision Final Plat Approval to subdivide a western portion of the parcel, for which Staff has prepared a memorandum under separate cover. If approved, the Subdivision would bring the proposed development's lot coverage under 70 percent and into compliance. The Planning Commission should act on the Subdivision prior to the taking the Site Plan from the table.

**Summary Items UPDATE:** Staff's initial June 26, 2025 memorandum to the Planning Board contained eight summary items. The resubmission alleviates most of Staff's concerns, and based on the modifications, it is possible to remove three of the summary items. However, several items remain unsatisfied, particularly relating to stormwater mitigation and vehicular access, both of which also necessitate approval from the New York State Department of Transportation (NYSDOT).

The following lists identify which summary items the applicant has satisfied, and which summary items must remain or may benefit from further Planning Commission discussion. Staff comments are in italics.

**The Planning Commission may eliminate the following summary items:**

2. The applicant shall clarify whether they intend to seek a future Subdivision Approval for the westernmost 20 feet of the subject parcel. *This item is satisfied. The applicant stated their intent at the July 1, 2025 Planning Commission meeting and has subsequently applied for Subdivision Approval.*

3. The applicant shall modify the landscape plan to ensure that no one tree species takes up more than fifteen (15) percent of the total amount of the proposed tree plantings. *This item is satisfied. The initial Site Plan submission depicted only three different species of trees across 23 proposed tree plantings, which did not conform to Section 310-83 (B)(1) of the Zoning Ordinance, which requires that no single species may make up more than 15 percent of the total proposed tree plantings. The resubmitted landscaping plan depicts eight different species, with each species making up no more than 13 percent of the total, which therefore conforms to the species diversity requirement.*

5. The applicant shall reduce light spillage onto 1056 Arsenal Street to less than 0.5 footcandles. *This item is satisfied. The applicant has submitted an updated Photometric Plan that depicts no light spillage equal to or greater than 0.5 footcandles onto any adjacent property.*

**The following summary items are topics that either the Planning Commission may wish to discuss further or that must remain as conditions to work out with Staff Prior to the permitting process:**

1. The applicant shall either achieve conformity with the 70 percent lot area coverage requirement or obtain an Area Variance from the Zoning Board of Appeals. *The applicant has submitted a Subdivision Approval application, which appears as a separate item on the Planning Commission's August 5, 2025 meeting agenda. However, any motion to approve that Subdivision will be conditioned on submitting a Subdivision Final Plat Drawing and on filing deeds for subsequent assemblages with the County Clerk. Therefore, this summary item must remain but should be reworded as the following: "The applicant shall fulfill all conditions of the Subdivision Approval granted by the City of Watertown Planning Commission at its August 5, 2025 meeting."*

4. The applicant shall increase the size of the snow storage area located along the rear property line by shifting the proposed plantings further north. *The applicant has increased the width of the snow storage area from 5 feet to 10 feet wide. However, the entire snow storage area is still only 10' x 72' for a total of 720 SF. In particular, the 10-foot width still leaves the potential for plowed snow to affect the rear landscaped buffer. The applicant should be aware that if snow removal operations damage the required landscaping, the applicant is responsible for replacing all irreparably damaged trees and shrubs. Given the unused space between the rear perimeter landscaping and the property line, the Planning Commission may wish to discuss with the applicant the potential for increasing the snow storage area further.*

6. The applicant shall address and provide required information as outlined in the "Engineering Comments" section of this report. *The applicant has submitted revised drawings. However, several Engineering requirements still remain, which are detailed in the "Engineering" section under Additional Staff Comments (Resubmission) below. This condition must remain, but should be reworded as: "The applicant shall fulfill all requirements identified in the "Engineering" section of the Additional Staff Comments of Staff's July 31, 2025 memorandum to the Planning Commission to the satisfaction of the City Engineer."*

7. The applicant must obtain the following permits, minimally, prior to construction: Building Permit, Sanitary Sewer Connection Permit, Water Supply Permit and a Zoning Compliance Certificate. *The applicant has acknowledged this requirement, but it must remain as a summary item*

8. The applicant must obtain a Highway Work Permit from the New York State Department of Transportation (NYSDOT) for any work to be performed within the Arsenal Street Right-of-Way. *The applicant has submitted a package to NYSDOT, but the need to obtain a Highway Work Permit must remain as a summary item.*

#### ----- **Additional Staff Comments (Resubmission)** -----

**Planning:** As discussed in the report for the associated Subdivision Approval, the Planning Commission must consider the "whole action" of the Subdivision and Site Plan when evaluating the environmental impacts pursuant to SEQRA and completing Part 2 of the Short Environmental Assessment Form (EAF).

**Engineering:** The drawing set, as submitted, is missing or deficient in several required elements. The applicant must address all of the following requirements to satisfy the Engineering summary item above:

- Sheet C2.1 – Site Plan
  - *Note 15 calls for new signs and references sheet C6.1, which calls for coordination with NYSDOT for final location(s). Provide a detail consistent with a NYSDOT break-a-way sign post base detail.*
- Sheet C1.1 – Demolition Plan
  - *Note 11 calls for the removal and relocation of the "NO STANDING ANYTIME" sign. Where is the sign proposed to be located?*
  - *Note 9 calls for the removal of the sanitary clean out.*

- Sheet C4.1 – Utility Plan
  - *Note 7 calls for connection of the 4” sanitary sewer, however no cleanout is called for. It is typical for the contractor to provide a sanitary cleanout at the reconnection point.*
  - *The stormwater discharge is directed to a NYSDOT drainage swale. The City will require acknowledgement and acceptance from the Department prior to site plan approval.*
  - *Note 26 references a nonexistent detail on sheet C7.2*
  - *Note 28 references a detail for concrete end section on sheet C7.3. The connecting pipe is 12” HDPE. How do the two connect?*
- Sheet C6.1 – Striping Plan
  - *Paint striping at the entrance delineating site circulation is insufficient during winter months and will likely wear. Consider concrete curb installation with delineation markers. This could provide additional green space and/or snow storage and increase on-site infiltration.*
  - *The 36’ wide access is excessive and unwarranted. NYSDOT has jurisdiction over this. The apron should be constructed as a tapered entrance which is consistent with the surrounding access drives.*
- Sheet C7.3 – Details
  - *A sanitary sewer cleanout detail is included on this sheet, however one is not indicated on the utility plan. Please call out a location near the property margin for a cleanout.*
- Sheet C7.4 – ROW Details
  - *Detail no. 4.12 should be removed. This was provided as an example of a City typical for hydrant installation. It was not intended to be included on the design set prepared by your professional consultant. Attached please find the standard specification and brochure for Kennedy hydrants, which is the City required hydrant. Our spec is for a Kennedy K-81D and we also require the factory Storz connection (not detailed on this cut sheet).*
- *The project will require a Stormwater Discharge Easement (and maintenance agreement) from the adjacent property owner and the NYSDOT. A water quality basin is required to treat stormwater leaving the site.*
- *The project will require NYSDOT Highway Work permit and approval for discharge into the DOT drainage swale.*
- *All plans shall bear the stamp and signature of a NYS licensed Professional Engineer.*

**Staff Recommendation:** Staff’s comments in *italics* in the Summary Item UPDATE section above represent Staff’s conclusions regarding the status of all summary items. The nature of the outstanding stormwater and driveway channelization concerns may result in significant alterations to the drawings from the current versions that the Planning Commission is voting on, including the potential for changes necessitated by NYSDOT requirements. Because of this, Staff recommends that the Planning Commission table this application until the applicant can provide a drawing set that more accurately depicts the site as it will ultimately be developed.



**Project Overview:** The applicant proposes to purchase the existing parcel at 1068 Arsenal Street and construct an approximately 510 (SF) drive-through coffee shop and associated site improvements, including a 410 SF cooler/storage building. The coffee shop structure and storage building structure would be in the center of the site, surrounded by the vehicular drive-through lanes.

**Existing Conditions:** The existing site is almost entirely paved asphalt with little to no vegetation, except for a five-foot wide grass buffer strip adjacent to the sidewalk and along the eastern property line. Currently 97 percent of the parcel is covered by impervious surfaces.

The parcels surrounding the property are all zoned Commercial. 1084 Arsenal Street, which is also vacant, abuts the subject parcel to the west and north. The adjacent parcels to its east and north are both currently in use as commercial properties. The parcel to the east is the WPBS-TV station, the parcels across Arsenal Street to the south consist of a Burger King and a small commercial strip mall.

**Comprehensive Plan:** The City's adopted Comprehensive Plan recommends the future land use character area of this block as Commercial Corridor, an area that the plan only applies to the segment of Arsenal Street between Haney Street and the CSX Railroad tracks, and the perpendicular streets that extend south from this segment. The plan describes the Commercial Corridor land use area as follows:

*"As opposed to Coffeen, Washington and State Streets, Arsenal Street from the western edge of downtown west toward Interstate 81 is primarily commercial and serves a much broader regional population. Arsenal Street is also a high-volume arterial road, carrying 30,000 vehicles per day into the City from Interstate 81. As the regional retail center for the North Country, Arsenal Street provides a land area capable of higher density commercial and retail uses including modestly sized franchise companies. Parking is generally in front of these buildings and signage is prominent. While the desire is to maintain this land use, a higher standard of design to create a uniform/uncluttered look is anticipated. This can be accomplished with good site design and sign standards. Sidewalks, bike lanes, and transit stops should also be integrated in the design."*

The proposed franchise drive-through restaurant use is a typical use found along a high-volume arterial road. The existing sidewalks on Arsenal Street will remain and the internal pedestrian network is well integrated into the site design. The proposed landscaping will also improve the aesthetics of the site immensely. This proposal is in harmony with the Comprehensive Plan

**Zoning:** The proposed use is allowed through site plan review in a Commercial District. The proposal also meets all setback and landscaping requirements of the Commercial District. While the applicant does not label the A2.1 drawing (Exterior Elevations) with a transparency percentage calculation, it is evident from the drawing that the front windows occupy more than half of the Arsenal Street-facing ground-floor façade and therefore comply with the Commercial District's minimum 35 percent transparency requirement.

However, the site plan, as submitted, exceeds the maximum lot area coverage in a Commercial District. The proposed landscaping plan depicts a decrease in impervious area compared to existing conditions. However, it remains nonconforming as depicted on the drawing, as it would still exceed the 70 percent lot area coverage maximum in a Commercial District.

The C2.1 Drawing (Site Plan) contains a note that reads, “*Calculations provided for impervious surface limits are the limits of disturbance.*” The applicant therefore calculated the post-project lot coverage only for the 40,072 SF being developed. However, the 70 percent lot area coverage maximum applies to the entire parcel, which is 48,000 SF, yielding a maximum lot area coverage of 33,600 SF. This means that the unimproved areas around the north and west edges of the site may not remain as hardscape, as at least 14,400 SF of the parcel must be permeable surface.

The applicant could achieve compliance by planting grass on the unimproved north and west sections to reduce the lot area coverage into conformity, thus “developing” the entire site. However, planting grass would still qualify as “disturbing” that land, and as 48,000 SF is over an acre, would place the project above the 1-acre threshold for requiring a Stormwater Pollution Prevention Plan (SWPPP).

The drawings, as submitted, also appear to depict an intent to subdivide the westernmost 20 feet of the existing parcel. 1068 Arsenal Street (Parcel Number 8-47-106.200), as it exists today, was created by a 2021 Subdivision and is 160’ wide. The boundary survey included in the application also depicts it as 160’ wide. The drawings all show a proposed property line just inside the western limits of disturbance and the C2.1 (Site Plan) drawing contains a note on the northern property line that indicates a “proposed” 140’ lot width.

If the applicant subdivided the westernmost 20’ of the parcel and conveyed it to the adjacent landowner, they would remain under an acre and would conform to the 70 percent lot area coverage maximum, as only 29,400 SF would need to be permeable on a 42,000 SF parcel. However, if this is the applicant’s intent, the applicant must confirm this to the Planning Commission as well as Planning and Engineering Staff. Additionally, if this is the solution that the applicant wishes to pursue, then Site Plan Approval would be contingent on obtaining Subdivision Approval and filing the new deeds.

It is the City’s practice when a proposed development requires both a Subdivision and a Site Plan Approval either to approve the Subdivision first or concurrently at the same meeting. Staff does not recommend approving Site Plans contingent on applicants submitting future Subdivision applications. The applicant should plan to apply for the August 5, 2025 Planning Commission meeting. The City would withhold issuance of a Zoning Compliance Certificate and all requisite permits, including a Building Permit, until these steps are fulfilled.

Alternatively, if the applicant does not intend to subdivide, the applicant must prepare a SWPPP, as the previous applicant did when seeking Site Plan Approval for a car wash or apply for an Area Variance from the Zoning Board of Appeals for exceeding the maximum lot coverage in a Commercial District.

The applicant shall be prepared to discuss these requirements, clarify their intent for future parcel boundaries, and how they plan to achieve compliance with the Zoning Ordinance, and whether the proposed solution will require a SWPPP.

**Vehicular and Pedestrian Circulation:** Vehicular access to the site would be via a curb cut providing ingress and egress from Arsenal Street. Customers would drive around the main buildings and would not be expected to park, as drive-through service will be the only sales method. The applicant proposes 12 parking spaces.

While they will offer walk-up ordering, the applicant anticipates it being less than one percent of their sales, as they do not plan to provide customer seating. The applicant proposes an internal sidewalk that will provide a pedestrian connection from the Arsenal Street sidewalk, which is a requirement of the Zoning Ordinance.

While there is an existing curb cut where the proposed entrance and exit would be, the amount of work would still require a Curb Cut Permit. The proposed curb cut would have three lanes, one for an entrance, one left turning exit and one right turning exit.

Additionally, the applicant proposes an internal sidewalk and a striped internal crosswalk from the primary structure to the dumpster for employees completing trash runs. This is laudable and demonstrates a commitment to employee safety; particularly the crosswalk that will alert customers in their vehicles to the potential presence of employees on foot crossing the drive aisle. This is consistent with the intent of the City's adopted Complete Streets Policy, which applies to private development.

**Landscaping and Buffers:** Section 310-83 of the Zoning Ordinance requires a landscape plan to be submitted with every Site Plan Review application. Drawing number C5.1 labeled Landscape Plan is proposing a total of twenty-three new shade trees, along with a series of shrubs and groundcovers throughout the site. However, of those trees, fifteen of them are northern red oaks, two of them are eastern Hophornbeam's and six of them are white pine trees. The Ordinance States: *"A tree planting schedule shall be included on each landscape plan. No one (1) species of trees may take up more than fifteen (15) percent of the total amount of the proposed tree plantings."* The proposed plan does not meet the species diversity requirement, and the applicant will need to change the species of trees used in the proposed planting plan.

The northern (rear) portion of the site is likely to be the main snow storage location for the property. Currently, there is a proposed five foot wide "snow stack area" located along most of the rear portion of the site, except in the dumpster location. The required rear yard landscaping is directly behind the snow storage area and the proposed plantings will likely be damaged once snow is pushed into and likely beyond the snow storage area. Depending on how the maximum lot coverage issue noted above is resolved, Staff would recommend that the proposed plantings along the rear property line be moved further north to increase the size of the snow storage area and to avoid damage to the trees and shrubs.

**Engineering Comments:** The Engineering Department has reviewed the plans and has the following observations:

- The Project will require NYSDOT Highway Permit.
- Project will require a Stormwater Discharge Easement (and maintenance agreement) from the adjacent property owner and NYSDOT. A water quality basin is required to treat stormwater leaving the site.
- The City of Watertown requires the submittal of an Engineering report of sanitary discharge flows due to the City's Consent Order from the DEC.
- Sheet C3.1 – Pipe inverts are required.
- Sheet C7.2 - No concrete Blocking under Sewer Piping.
- Sheet C4.1 – Hydrant does not meet City of Watertown's Specification.

**Lighting:** The applicant submitted a Photometric Plan. Section 310-84 of the Zoning Ordinance states that light trespass shall not exceed 0.5 footcandles at the property line. The Photometric Plan depicts light spillage of up to 0.8 footcandles across the eastern portion property line, where the expanded site will share a parcel boundary with 1056 Arsenal Street. The applicant must modify the lighting design to limit the light trespass to less than 0.5 footcandles.

**SEQR:** This project is considered an Unlisted Action under the State Environmental Quality Review Act (SEQRA). The applicant has submitted a completed Part 1 of a Short Environmental Assessment Form

(EAF). The Planning Commission, as Lead Agency, must complete Parts 2 and 3 of the Short Environmental Assessment Form (EAF) and make a determination of significance.

**Permits:** The applicant must obtain the following permits and other documentation, minimally, prior to construction: Building Permit, Sanitary Sewer Connection Permit, and a Water Supply Permit. The applicant will also need a Highway Work Permit from NYSDOT for any work to be performed within the Arsenal Street Right-of-Way (ROW).

**Other:** As noted above, this project requires review by the Jefferson County Planning Board, pursuant to General Municipal Law, Section 239-m. The County Planning Board reviewed the application at its June 24, 2025, meeting. The attached letter from the Jefferson County Planning Department provides a summary of their comments on the project.

**Planning Commission Action:** Staff recommends that the Planning Commission table this application pending receipt of a Site Plan that provides sufficient clarity regarding how the applicant will satisfy the various issues and regulations cited in the “Zoning” and “Engineering Comments” sections above.

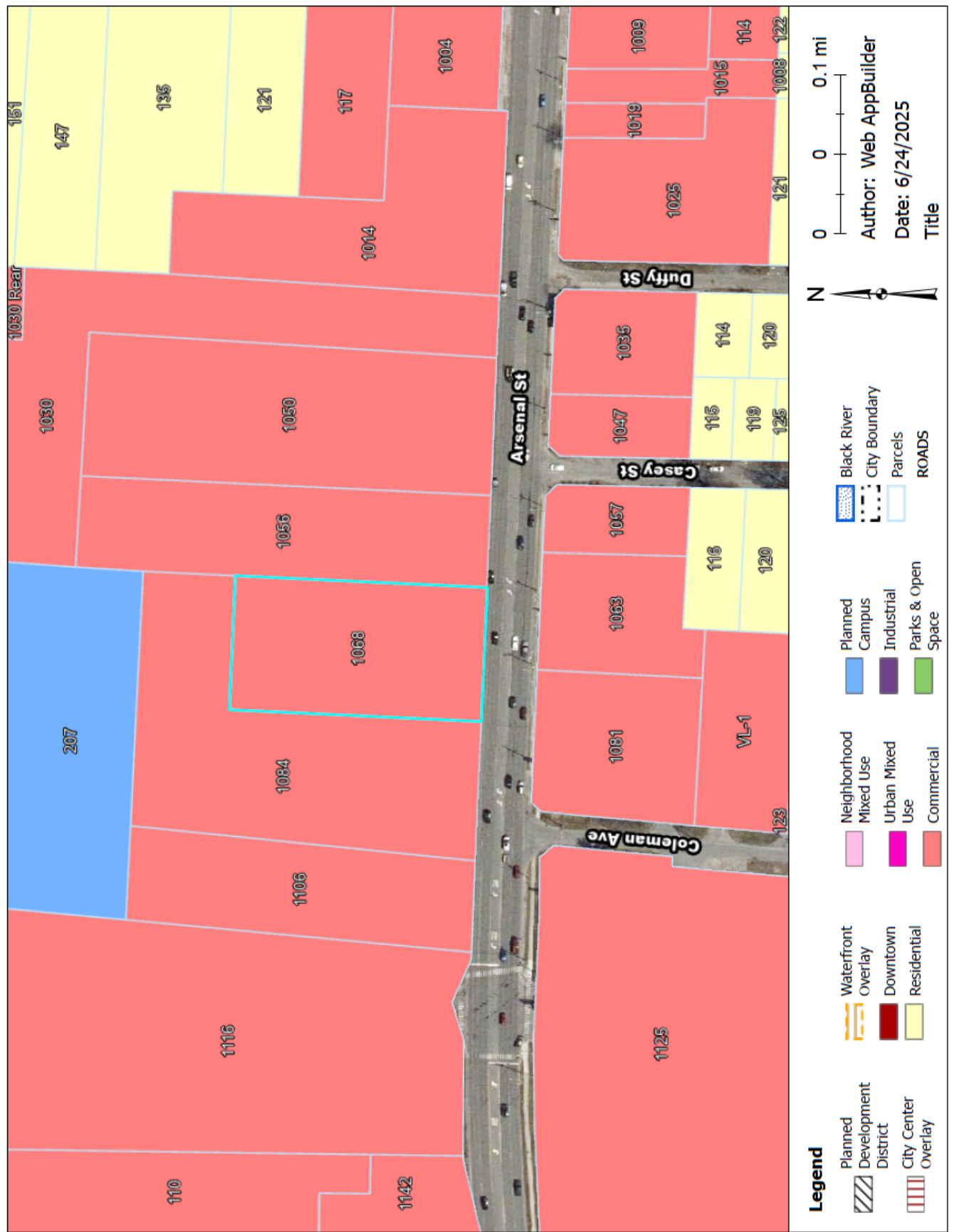
**Summary:** The following summary items are topics that the Planning Commission may wish to discuss further or that should be included as a condition of approval:

1. The applicant shall either achieve conformity with the 70 percent lot area coverage requirement or obtain an Area Variance from the Zoning Board of Appeals.
2. The applicant shall clarify whether they intend to seek a future Subdivision Approval for the westernmost 20 feet of the subject parcel.
3. The applicant shall modify the landscape plan to ensure that no one tree species takes up more than fifteen (15) percent of the total amount of the proposed tree plantings.
4. The applicant shall increase the size of the snow storage area located along the rear property line by shifting the proposed plantings further north.
5. The applicant shall reduce light spillage onto 1056 Arsenal Street to less than 0.5 footcandles.
6. The applicant shall address and provide required information as outlined in the “Engineering Comments” section of this report.
7. The applicant must obtain the following permits, minimally, prior to construction: Building Permit, Sanitary Sewer Connection Permit, Water Supply Permit and a Zoning Compliance Certificate.
8. The applicant must obtain a Highway Work Permit from the New York State Department of Transportation (NYSDOT) for any work to be performed within the Arsenal Street Right-of-Way.

cc: Thomas Compo, City Engineer  
Brian Evans, Director of Entitlements, Brew Team, NY, LLC, 3108 Vestal Parkway East,  
Vestal, NY 13850  
1068 Arsenal St RE, LLC, 1080 Pittsford Victor Rd Ste 300, Pittsford NY, 14534







Above: The zoning districts surrounding the parcel, highlighted in blue.



**Above:** View of the parcel from the front.

**Below:** View of the front of the parcel.







**Above:** A South Eastern view of the parcel.

**Below:** Western View of the Parcel.





July 3, 2025

091.164 - Watertown, NY 01 (Arsenal)

RE: Seven Brew Coffee – Watertown

Please accept this letter as our response to the City of Watertown Planning Commission review comments dated 06.26.2025 for the approval of civil construction documents for a 7—Brew drive-thru coffee kiosk. For your convenience, comments have been provided in italics and our response in blue. Construction drawings have been revised and noted as Revision 2, dated 07.01.2025, with the incorporated changes to the corresponding comments below.

1. *The applicant shall either achieve conformity with the 70 percent lot area coverage requirement or obtain an Area Variance from the Zoning Board of Appeals.*  
Response: An Area Summary has been added, see revised 0.2 Area Plan.
2. *The applicant shall clarify whether they intend to seek a future Subdivision Approval for the westernmost 20 feet of the subject parcel.*  
Response: A future subdivision application will be submitted to consolidate the westernmost 20 feet of the parcel with the adjacent parcel to the west, pending project approval.
3. *The applicant shall modify the landscape plan to ensure that no one tree species takes up more than fifteen (15) percent of the total amount of proposed tree plantings.*  
Response: Five distinct tree species have been added to the landscape plan, ensuring no individual species exceeds 15% of the total trees. See revised Sheet C5.1, Landscaping Plan.
4. *The applicant shall increase the size of snow storage area located along the rear property line by shifting the proposed plantings further north.*  
Response: The snow storage area along the rear property line has been increased from 5 feet to 10 feet to better protect plantings. See revised C5.1, Landscaping Plan.
5. *The applicant shall reduce light spillage onto 1056 Arsenal Street to less than 0.5 footcandles.*  
Response: An updated lighting plan demonstrating compliance with the spillage requirement has been provided as a separate attachment.
6. *The applicant shall address and provide required information as outlined in the "Engineering Comments" section of this report.*
  - a. *The Project will require NYSDOT Highway Permit.*  
Response: An application for a NYSDOT Highway Work Permit has been submitted to the District Office.
  - b. *Project will require a Stormwater Discharge Easement (and maintenance agreement) from the adjacent property owner and NYSDOT. A water quality basin*

*is required to treat stormwater leaving the site.*

Response: A legal description for the proposed drainage easement is attached. The project design achieves an estimated 33% reduction in impervious area compared to pre-developed site conditions. A water quality basin is also included to treat stormwater leaving the site.

- c. *The City of Watertown requires the submittal of an Engineering report of sanitary discharge flows due to the City's Consent order from the DEC.*

Response: A sanitary discharge flow report has been included as required by the City's DEC Consent Order.

- d. *Sheet C3.1 – pipe inverts are required.*

Response: All pipe inverts are labeled through keynotes on revised C4.1, Utility Plan.

- e. *Sheet C7.2 – No concrete Blocking under Sewer piping.*

Response: Concrete blocking under sewer piping has been removed. See revised C7.2, Details.

- f. *Sheet C4.1 – Hydrant does not meet City of Watertown's Specification.*

Response: The hydrant has been updated to meet City of Watertown specifications. See revised C4.1, Utility Plan.

7. *The applicant must obtain the following permits, minimally, prior to construction: Building Permit, Sanitary Sewer Connection permit, Water Supply Permit and a Zoning Compliance Certificate.*

Response: Acknowledged.

8. *The applicant must obtain a Highway Work Permit from the New York State Department of Transportation (NYSDOT) for any work to be performed within the Arsenal Street Right-of-Way.*

Response: Application has been submitted to NYSDOT District Office.

John Kelly



Professional Engineer

July 15, 2025

Engineering Report  
City of Watertown  
245 Washington St  
Watertown, NY 13601

RE: Site Plan Submission – 7 Brew Coffee at 1068 Arsenal Street, Watertown, NY 13601

Please accept this summary addressing expected sanitary sewer flows for the proposed 7-Brew Coffee development at 1068 Arsenal Street, Watertown NY 13601.

**Proposed Sanitary Sewer Summary:**

Seven Brew has over 425 stores located in 32 states. The brand uses a prefabricated 510 sf drive thru only concept that serves only drinks and no food. Service is thru the drive thru and the public are not allowed inside of the building. There is no indoor or outdoor seating areas for customers. The typical shift operates with approximately 6 employees. Hours of operation are Sunday thru Thursday 5:30am to 10:00pm and Friday and Saturday 5:30 am to 11:00 pm.

Sewage flows are estimated at 996 gallons per day based on water bills from a store located at 11100 N Rodney Parham Road in Little Rock, AR. Twenty two months of bills are attached for reference.

If you have additional comments or questions, please don't hesitate to call me at 417-888-0645.

A handwritten signature in blue ink, appearing to read 'John Kelly', with a stylized flourish at the end.

John Kelly  
Professional Engineer



SITE DEVELOPMENT PLANS FOR



WATERTOWN, NY

1068 ARSENAL STREET,  
WATERTOWN, NY 13601

PROJECT NUMBER:  
91164

SHEET INDEX	
SHEET NAME	NUMBER
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EROSION CONTROL PLAN	C1.2
TRAFFIC CONTROL PLAN	C1.3
SITE PLAN	C2.1
GRADING PLAN	C3.1
UTILITY PLAN	C4.1
LANDSCAPE PLAN	C5.1
STRIPING PLAN	C6.1
TRAFFIC CIRCULATION PLAN	C6.2
DETAILS	C7.1
DETAILS	C7.2
DETAILS	C7.3
ROW DETAILS	C7.4



KNOWN EXISTING UTILITIES		
UTILITY	PROVIDER	PHONE NUMBER
ELECTRIC	NATIONAL GRID	800-642-4272
WATER	CITY OF WATERTOWN	315-785-7757
SANITARY SEWER	CITY OF WATERTOWN	315-785-7757



JOHN W. KELLY III - ENGINEER  
PE# 084736

ENGINEER OF RECORD:

NAME: JOHN W. KELLY III

LICENSE NO. 084736

PROJECT NUMBER:

91164

REVISION:

06-10-2025 REVIEW / MINOR CHANGE

7 BREW COFFEE  
WATERTOWN, NY

1068 ARSENAL STREET,  
WATERTOWN, NY 13601

C0.0

COVER SHEET

DATE: MAY 29, 2025

JOHN W KELLY PE ENGINEERING D.P.C.

1070 W. SYCAMORE ST  
SPRINGFIELD, MO 65810  
Ph: 417-888-0645 Fax: 417-888-0657

CO# 017476  
EXPIRES: 06/30/2026



NOTE: DRAWING REPRODUCTION  
AND SCALING MAY CHANGE THE  
INDICATED GRAPHIC SCALES  
H. SCALE: 1" = 500'



ABBREVIATIONS

BC	BACK OF CURB
CC	STANDARD CATCH CURB
CL	CENTER LINE
CMP	CORRUGATED METAL PIPE
EP	EDGE OF PAVEMENT
EX	EXISTING
FES	FLARED END SECTION
FL	FLOW LINE
GT	GUTTER INVERT
GY	GUY WIRE
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LF	LINEAR FEET
MC	MOUNTABLE CURB
R/W	RIGHT-OF-WAY
RCP	REINFORCED CONCRETE PIPE
SC	SPILL CURB
TB	TOP OF BASE ROCK
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
TS	TOP OF SIDEWALK
TW	TOP OF WALL
TGV	TOP OF GRAVEL
EX TP	EXISTING TOP OF PAVEMENT

CIVIL LEGENDS

SYMBOLS

MARKER STONE	PL	PROPERTY LINE
RIGHT OF WAY MARKER	RW	RIGHT OF WAY LINE
IRON PIN FOUND	S	SANITARY SEWER LINE
IRON PIN SET	FM	SANITARY SEWER FORCE MAIN
CUT CROSS	ST	STORM SEWER LINE
CONTROL POINT	IRR	IRRIGATION WATER LINE
BENCHMARK	FL	FLOW LINE
SANITARY SEWER MANHOLE	OHE	OVERHEAD ELECTRIC LINE
STORM SEWER INLET	UE	UNDERGROUND ELECTRIC LINE
TELEPHONE MANHOLE	G	GAS LINE
POWER POLE	W	WATER LINE
GUY ANCHOR	C	COMMUNICATIONS LINE
LIGHT POLE	T	TELEPHONE LINE
TELEPHONE RISER	FO	FIBER OPTIC LINE
GAS VALVE	CTV	CABLE TELEVISION
GAS METER	O	CHAIN LINK FENCE
WATER VALVE	X	BARBED WIRE FENCE
WATER METER	D	WOOD FENCE
FIRE HYDRANT	1000	EXISTING MAJOR CONTOUR
SPRINKLER HEAD	1001	EXISTING MINOR CONTOUR
IRRIGATION VALVE	1000	PROPOSED MAJOR CONTOUR
WELL	1001	PROPOSED MINOR CONTOUR
MAIL BOX		TREE LINE
POST	FPL	FEMA FLOODPLAIN
CLEANOUT	FFW	FEMA FLOODWAY
SIGN		
AIR CONDITIONING UNIT		

LINETYPES

PROJECT CONTROL

BENCHMARKS

NEW YORK STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD '83 FOR HORIZONTAL VALUES AND NAVD'88 FOR VERTICAL VALUES.

SURVEY NOTES:

THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A SURVEY PERFORMED JULY 16, 2025 BY VINCENT P. AUSFELD, NY STATE PROFESSIONAL LAND SURVEYOR NO. 049697 AND IS NOT A PRODUCT OF TOTB & ASSOCIATES.

CONTROL POINT TABLE

POINT NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP 3003	1450131.1540	990208.0978	396.720	MAG NAIL FOUND
CP 3004	1450125.2250	990367.9803	398.230	MAG NAIL FOUND

FLOOD PLAIN INFORMATION:

FEMA PANEL #: 360354 0001 E - EFFECTIVE DATE: JANUARY 17, 1990  
FEMA ZONE - X: THE SUBJECT PROPERTY IS NOT WITHIN THE 100 YEAR FLOOD ZONE

DEVELOPER:

BREW TEAM NY, LLC  
ATTN: MR. LARRY WILSON  
3108 VESTAL PARKWAY EAST, SUITE 1  
VESTAL, NY 13850  
607-427-3221

OWNER:

1068 ARSENAL ST RE LLC  
1080 PITTSFORD VICTOR RD STE 300  
PITTSFORD NY 14534



GENERAL CIVIL NOTES

- THE GENERAL NOTES ON THE DRAWINGS ARE INTENDED TO SUPPLEMENT THE GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS. WHEN THE NOTES ON THE DRAWINGS CONFLICT WITH THE TECHNICAL REQUIREMENTS OUTLINED IN THE SPECIFICATIONS, THE MORE STRINGENT CRITERIA WILL GOVERN.
- CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THESE DRAWINGS, THE PROJECT TECHNICAL SPECIFICATIONS, AND THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE LOCAL AUTHORITY, UNLESS OTHERWISE NOTED.
- ALL TRAFFIC CONTROL SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). DURING CONSTRUCTION, ACCESS SHALL BE MAINTAINED FOR EMERGENCY VEHICLES AND LOCAL TRAFFIC. THE FIRE, POLICE AND AMBULANCE DEPARTMENTS, SCHOOL BUS COMPANIES AND POST OFFICE ARE TO BE NOTIFIED 48 HOURS PRIOR TO ANY ROAD CLOSINGS.
- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL THE STATE'S UTILITY LOCATE PHONE NUMBER AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. DURING CONSTRUCTION CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UTILITIES WHERE CONFLICTS MIGHT OCCUR WITH PROPOSED UTILITIES OR GRADING ACTIVITIES. IF A CONFLICT BECOMES APPARENT THE CONTRACTOR SHALL CONTACT ENGINEER FOR DIRECTION. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE UTILITY COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION BEING PERFORMED.
- EXISTING UNDERGROUND UTILITIES IN THE VICINITY OF THE WORK TO BE DONE ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT SUCH INFORMATION HAS BEEN MADE AVAILABLE OR DISCOVERED BY THE ENGINEER IN PREPARATION OF THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES, INCLUDING SERVICE CONNECTIONS, IN ADVANCE OF CONSTRUCTION ACTIVITIES BY CONTACTING THE OWNERS THEREOF AND BY PROSPECTING. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE OWNER AND ENGINEER IN WRITING OF ANY DISCREPANCIES WITH THE PLAN INFORMATION. ALL DAMAGE TO EXISTING UTILITIES, INCLUDING SERVICE CONNECTIONS, SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL NOT CHANGE OR DEViate FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND OWNER WILL PAY ALL FEES AS REQUIRED BY PERMITS FOR THIS CONSTRUCTION.
- ALL WORK WITHIN ROAD RIGHT OF WAY SHALL CONFORM TO EITHER THE LOCAL JURISDICTION OR THE STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS; WHICH EVER IS APPLICABLE.
- ALL TRENCHES CROSSING THROUGH PAVED AREAS OR AREAS TO BE PAVED SHALL BE BACKFILLED FULL DEPTH WITH COMPACTED CRUSHED STONE MATERIAL AS PER PROJECT DETAILS AND SPECIFICATIONS.
- ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- ANY ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS SHOWN ON PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS IN THE VICINITY OF THE JOB CLEAN AND FREE OF ROCKS, SOIL AND DEBRIS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE RIGHT OF WAY AND FOR DAMAGED IMPROVEMENTS SUCH AS CURBS, SIDEWALKS, STREET LIGHT AND TRAFFIC SIGNAL JUNCTION BOXES, TRAFFIC SIGNAL LOOP WIRING, SIGNAL POLES AND ETC. DAMAGED IMPROVEMENTS SHALL BE REPAIRED IN CONFORMANCE WITH THE LATEST CITY AND STATE REGULATIONS AND TO THEIR SATISFACTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION AS OUTLINED IN THE EROSION CONTROL PLAN AND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), IF APPLICABLE. EROSION CONTROL PROCEDURES SHALL BE IN PLACE PRIOR TO GRADING ACTIVITIES.
- THE CONTRACTOR SHALL CLEAN OUT ALL INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT THE COMPLETION OF SITE WORK. THIS WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER AND LOCAL JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE IN WHICH THE PROJECT IS LOCATED, AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE SITE AT ALL TIMES.
- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS AND/OR INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID. NO EXTRA COSTS WILL BE PAID TO THE CONTRACTOR DUE TO UNANTICIPATED EXISTING CONDITIONS AND/OR INSTALLATIONS. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.

DEMOLITION NOTES

JOB CONDITIONS

- THE OWNER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL CONDITION OF ANY STRUCTURES TO BE DEMOLISHED.
- ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED FROM THE PROJECT SITE AT THE APPROVAL OF THE OWNER. TRANSPORT THE SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED.
- THE USE OF EXPLOSIVES WILL NOT BE PERMITTED ON THIS PROJECT.
- THE CONTRACTOR SHALL CONDUCT THE DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- THE CONTRACTOR SHALL INSURE SAFE PASSAGE OF PERSONS AROUND THE DEMOLITION AREA. CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDING STRUCTURES AND OTHER FACILITIES THAT ARE TO REMAIN; AND INJURY TO PERSONS.
- PROVIDE INTERNAL AND EXTERNAL SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENTS OR COLLAPSE OF ANY STRUCTURES TO BE DEMOLISHED AND ANY ADJACENT FACILITIES TO REMAIN.
- MAINTAIN EXISTING UTILITIES INDICATED TO STAY IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DISCONNECT ALL UTILITIES SERVING ANY STRUCTURES TO BE DEMOLISHED, PRIOR TO START OF DEMOLITION WORK.

DEMOLITION

- POLLUTION CONTROLS: USE WATER SPRINKLING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR, COMPLY WITH GOVERNMENT REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITIONS AS THEY EXIST PRIOR TO START OF WORK.
- BREAK UP AND REMOVE CONCRETE SLABS ON GRADE, UNLESS OTHERWISE SHOWN TO REMAIN.
- BELOW-GRADE CONSTRUCTION: DEMOLISH FOUNDATION WALLS AND OTHER BELOW GRADE CONSTRUCTION, INCLUDING CONCRETE SLABS, TO A DEPTH OF NOT LESS THAN 12" BELOW THE LOWEST FOUNDATION LEVEL.
- FILLING VOIDS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION AS OUTLINED BELOW.
- USE SATISFACTORY SOIL MATERIALS AS DEFINED IN THE GEOTECHNICAL ENGINEERING REPORT, IF AVAILABLE. CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER.
- PRIOR TO PLACEMENT OF FILL MATERIAL, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST OR FROZEN MATERIAL, TRASH AND DEBRIS.
- PLACE FILL MATERIAL IN HORIZONTAL LAYERS AT DEPTHS AND MOISTURE CONTENTS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEERING REPORT, IF AVAILABLE.
- AFTER FILL PLACEMENT AND COMPACTION, GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE FLOW TO SURFACE STRUCTURES.
- ALL TREES INDICATED TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH THE STATE PARKS AND WILDLIFE'S WILD HABITAT ASSESSMENT PROGRAM FOR THE SITE PER THE STATE PARKS AND WILDLIFE'S WILD HABITAT ASSESSMENT REPORT, IF AVAILABLE. TREES ON THE SITE MAY BE SAFELY REMOVED FROM NOVEMBER 1 THROUGH MARCH 31. IF ANY TREES NEED TO BE REMOVED OUTSIDE OF THIS TIMEFRAME, CONTRACTOR SHALL FOLLOW BEST PRACTICES AS PRESCRIBED BY THE US FISH AND WILDLIFE SERVICE TO PRESERVE THE HABITAT OF ANY ENDANGERED SPECIES POTENTIALLY PRESENT ON SITE.

DISPOSAL OF DEMOLISHED MATERIALS

- REMOVE FROM SITE ACCUMULATED VEGETATION, DEBRIS, RUBBISH AND OTHER MATERIAL RESULTING FROM THE DEMOLITION OPERATION.
- BURNINGS OF COMBUSTIBLE MATERIALS FROM DEMOLISHED STRUCTURES AND VEGETATION WILL NOT BE PERMITTED ON SITE.
- REMOVAL: TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES, VEGETATION, PAVEMENT AND BASE ROCK AND LEGALLY DISPOSE OFF SITE.

PROTECTION OF EXISTING STRUCTURES AND VEGETATION

- CONTRACTOR SHALL INSTALL 6" STEEL FENCE POSTS, DRIVEN 18" INTO THE GROUND, AT 10' ON CENTER AT TREE DRIP LINES AND INSTALL 4" TENAX ORANGE WARNING BARRIER, OR EQUAL, ATTACHED AS RECOMMENDED BY THE MANUFACTURER, TO PROTECT EXISTING TREES DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE POSTS AND FENCE FABRIC AFTER ALL CONSTRUCTION IS COMPLETE.

SEDIMENT & EROSION CONTROL NOTES

- THE EROSION CONTROL PLAN SHOWS THE LOCATION AND DETAILS FOR PRIMARY EROSION CONTROLS TO BE CONSTRUCTED. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING EROSION AND DISCHARGE OF SEDIMENT FROM THE SITE AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE NECESSARY MEASURES DURING ALL PHASES OF HIS OPERATIONS REGARDLESS OF WHETHER THEY ARE SPECIFICALLY NOTED ON THE EROSION CONTROL PLAN AND SHALL MAINTAIN AND REPLACE CONTROLS AS NECESSARY DURING THE COURSE OF HIS OPERATIONS.
- INITIAL SEDIMENT CONTROLS SHOWN ON THE EROSION CONTROL PLAN MUST BE INSTALLED PRIOR TO ANY OTHER WORK.
- THE CONTRACTOR SHALL CLEAN ALL STREETS BOTH INTERIOR AND ADJACENT TO THE SITE, AS NEEDED AFTER EACH RAINFALL AND AT THE END OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST DURING CONSTRUCTION AND SHALL WATER CONSTRUCTION AREAS WHENEVER CONDITIONS WARRANT.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING SILT FROM STORM DRAINS, INLETS, CULVERTS, ETC. PRIOR TO APPROVAL OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT RECEIVING OTHER PERMANENT STABILIZATION SUCH AS PAVEMENT, ROOFS, SOD AND ETC. SHALL BE SEEDED AND MULCHED, AS PER THE PROJECT SPECIFICATIONS BEFORE TEMPORARY SEDIMENT CONTROLS CAN BE REMOVED AND PRIOR TO FINAL APPROVAL OF CONSTRUCTION.
- IF APPLICABLE THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS AS PUT FORTH IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP SHALL BE CONSIDERED AS A STARTING POINT FOR SEDIMENT AND EROSION CONTROLS AND THE CONTRACTOR WILL BE RESPONSIBLE FOR REVISING AND UPDATING EROSION CONTROLS AS SITE CONDITIONS CHANGE DURING THE COURSE OF CONSTRUCTION.

UTILITY CONSTRUCTION NOTES

- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL THE STATE'S UTILITY LOCATE PHONE NUMBER AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING UTILITY CONSTRUCTION ACTIVITIES. DURING CONSTRUCTION CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UTILITIES WHERE CONFLICTS MIGHT OCCUR WITH PROPOSED UTILITIES. IF A CONFLICT BECOMES APPARENT THE CONTRACTOR SHALL CONTACT ENGINEER FOR DIRECTION. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE UTILITY COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION BEING PERFORMED.
- ALL TRENCHES CROSSING PAVED AREAS OR AREAS TO BE PAVED SHALL BE BACKFILLED FULL DEPTH WITH COMPACTED BEDDING MATERIAL IN CONFORMANCE WITH PROJECT DETAILS AND SPECIFICATIONS.
- ALL UTILITY CONSTRUCTION AND MATERIALS SHALL BE IN CONFORMANCE WITH CITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS AND STANDARD PLANS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER.
- INSTALL TRACER WIRE WITH ALL SANITARY SEWER AND POTABLE WATER UTILITIES AS REQUIRED. CONNECT TRACER WIRE TO EXISTING TRACER WIRE AND STUB UP END OF THE TRACER WIRE AT THE ENDS OF RUNS IN ACCORDANCE WITH UTILITY OWNER'S SPECIFICATIONS.
- ALL HDPE PIPE, JOINTS AND FITTINGS SHALL BE ADS N-12 OR EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- COORDINATE THE INSTALLATION OF THE STORM SEWER WITH THE INSTALLATION OF THE POTABLE WATER, COMMUNICATION, ELECTRIC AND SANITARY SEWER TO AVOID CONFLICTS.
- EARTHWORK SHALL BE PLACED TO FINISH GRADE IN THE IMMEDIATE AREA OF UTILITIES PRIOR TO CONSTRUCTION OF UTILITIES TO INSURE PROPER DEPTH OF COVER FOR UTILITIES.
- ALL MATERIALS TO BE SUPPLIED AND LABOR TO BE DONE BY CONTRACTOR SHALL BE COMPLETED AS A PART OF THIS WORK, UNLESS STATED OTHERWISE.
- ALL UTILITY SERVICE LINES SHALL BE KEPT IN SERVICE AND PROTECTED DURING CONSTRUCTION OPERATIONS. THE DRAWINGS INDICATE THE LOCATION OF KNOWN EXISTING UTILITY SERVICE LINES AS COULD BE DETERMINED.
- ANY RELOCATION OF UTILITY SERVICE LINES THAT ARE REQUIRED TO COMPLETE THE PROJECT IS TO BE COMPLETED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AND IS TO BE CONSIDERED SUBSIDIARY TO OTHER PROJECT COSTS.
- ALL WATER, SEWER, FIBER OPTIC CABLE, GAS SERVICE AND OTHER UTILITY REQUIREMENTS SHALL BE COORDINATED WITH THE APPROPRIATE LOCAL UTILITY PROVIDERS PRIOR TO INSTALLATION. ALL COSTS ASSOCIATED WITH THE WATER, SEWER, FIBER OPTIC CABLE, GAS SERVICE ENTRANCE AND OTHER UTILITY REQUIREMENTS SHALL BE BORNE BY THE CONTRACTOR, INCLUDING THOSE COSTS, IF ANY, FROM THE LOCAL UTILITY PROVIDERS AND INCLUDE ALL COSTS ASSOCIATED WITH WORK PERFORMED BY THE LOCAL UTILITY PROVIDERS AND CONNECTION FEES INTO THEIR BID.

SITE GRADING NOTES

- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL THE STATE'S UTILITY LOCATE PHONE NUMBER AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING SITE GRADING ACTIVITIES. DURING GRADING ACTIVITIES THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UTILITIES WHERE CONFLICTS MIGHT OCCUR. IF A CONFLICT BECOMES APPARENT THE CONTRACTOR SHALL CONTACT ENGINEER FOR DIRECTION. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE UTILITY COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION BEING PERFORMED.
- CONTRACTOR SHALL USE CAUTION AROUND ALL EXISTING UTILITIES LOCATED ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF SUCH STRUCTURES WHEN BROKEN OR OTHERWISE DAMAGED BY CONSTRUCTION.
- SEDIMENT AND EROSION CONTROLS IN CONFORMANCE WITH THE EROSION CONTROL PLAN AND THE APPLICABLE SPECIFICATIONS SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF SITE GRADING ACTIVITIES.
- CONTRACTOR SHALL STRIP THE TOPSOIL FROM ALL AREAS TO BE DISTURBED AND STOCKPILE IT IN A LOCATION CHOSEN BY THE OWNER PRIOR TO BEGINNING SITE GRADING. OWNER SHALL BE CONTACTED TO DETERMINE WHAT SHALL BE DONE WITH EXCESS TOPSOIL. PROPER DRAINAGE OF THE STOCKPILES SHALL BE MAINTAINED.
- THE SUBGRADE FOR THE PROJECT SITE SHALL BE COMPACTED TO 95% STANDARD PROCTOR AS DETERMINED BY ASTM-D698. COMPACTION SHALL BE ACCOMPLISHED AT MOISTURE CONTENTS AS SPECIFIED IN THE GEOTECHNICAL ENGINEER'S REPORT. ALL SOFT AREAS FOUND DURING COMPACTION SHALL BE REMEDIATED IN CONFORMANCE WITH THE GEOTECHNICAL ENGINEERING REPORT, IF AVAILABLE.
- STONES OR BOULDERS MEASURING GREATER THAN 12" IN ANY DIMENSION SHALL NOT BE PLACED IN THE UPPER 3 FEET OF THE FILL. IN STUMP HOLES, AROUND PIPE AND STRUCTURES AND IN OTHER RESTRICTED AREAS WHERE IT IS NOT PRACTICAL TO USE A ROLLER, THE MATERIAL SHALL BE COMPACTED BY HAND.
- CONTRACTOR IS RESPONSIBLE FOR ADDRESSING AND CORRECTING UNSUITABLE SOIL CONDITIONS RELATED TO WET SOILS AND OTHER CONDITIONS. THE UNSUITABLE CONDITIONS MUST BE CORRECTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT, IF AVAILABLE, TO MEET PROJECT NEEDS.
- CONTRACTOR SHALL NOTIFY THE OWNERS OR THEIR REPRESENTATIVE FOR INSPECTION PRIOR TO PLACEMENT OF CRUSHED STONE BASE AND ALSO PRIOR TO PLACEMENT OF PAVEMENT MATERIALS.
- THE CONTOURS, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS.
- CONTRACTOR SHALL FINISH GRADE EARTH SLOPES AS SHOWN TO NO STEEPER THAN 1 FOOT VERTICAL TO 3 FEET HORIZONTAL.
- CONTRACTOR SHALL GRADE LANDSCAPED AREAS AT A MINIMUM OF 1% TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS AS SHOWN ON THE PLANS. NO EXTRA PAYMENT WILL BE MADE FOR OBTAINING FILL MATERIAL FROM OFF-SITE AREAS REQUIRED TO CONSTRUCT FILL TO THE LINES AND GRADES INDICATED ON THE DRAWINGS.
- NO CLASSIFICATION OF EXCAVATED MATERIALS WILL BE MADE UNLESS OTHERWISE SPECIFIED IN THE PROJECT DOCUMENTS. EXCAVATION WORK SHALL INCLUDE THE REMOVAL AND SUBSEQUENT HANDLING OF ALL MATERIALS EXCAVATED OR OTHERWISE REMOVED FOR THE PERFORMANCE OF THE WORK, REGARDLESS OF TYPE, CHARACTER, COMPOSITION OR CONDITION THEREOF. NO ADDITIONAL PAYMENT WILL BE MADE FOR ROCK EXCAVATIONS UNLESS OTHERWISE SPECIFIED IN THE PROJECT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE AMOUNT OF ROCK EXCAVATION, IF ANY, TO BE INCLUDED IN HIS BID.
- ALL DISTURBED AREAS, NOT RECEIVING PERMANENT STABILIZATION, SHALL HAVE 4" OF TOPSOIL REPLACED, TO LEAVE A SMOOTH SEEDBED SUITABLE TO RECEIVE SEED. SURFACE ROCK 1-1/2" OR GREATER IN ANY DIMENSION SHALL BE REMOVED FROM ALL FINISH GRADED AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEEDING WORK.
- THE CONTRACTOR SHALL GRADE ALL AREAS DISTURBED DURING THE COMPLETION OF THIS PROJECT TO PREVENT PONDING OR EROSION ON THIS SITE OR ADJACENT UNDISTURBED AREAS.
- ALL ITEMS REMOVED SHALL BE DISPOSED OFF SITE BY THE CONTRACTOR IN ACCORDANCE WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- PRIOR TO MOVING OFF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO MAKE A FINAL REVIEW OF THE CONSTRUCTION SITE.
- IN THE EVENT THAT BLASTING IS PERMITTED ON THE PROJECT, THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, APPLICABLE SAFETY CODE REQUIREMENTS AND REGULATIONS RELATIVE TO THE HANDLING, STORAGE AND USE OF EXPLOSIVES AND THE PROTECTION OF LIFE AND PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE CAUSED BY HIS BLASTING OPERATIONS.

SAFETY NOTICE TO CONTRACTOR

- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DUTY OF THE ENGINEER OR OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

UTILITY DISCLAIMER

- INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

USE OF CONSTRUCTION DOCUMENTS

- DRAWINGS AND SPECIFICATIONS ARE PROVIDED AS A SERVICE. DRAWINGS AND SPECIFICATIONS ARE NOT INTENDED FOR USE ON OTHER PROJECTS AT THIS SITE OR OTHER SITES WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
- DRAWING REPRODUCTION AND SCALING MAY ALTER THE INDICATED GRAPHIC SCALES.



JOHN W. KELLY III - ENGINEER  
PE# 084736

ENGINEER OF RECORD:

NAME: JOHN W. KELLY III

LICENSE NO. 084736

PROJECT NUMBER:

91164

REVISION:

7 BREW COFFEE  
WATERTOWN, NY

1068 ARSENAL STREET,  
WATERTOWN, NY 13601



Call 811  
In New York City or Long Island  
newyork-811.com  
Outside New York City or Long Island  
digsafelynewyork.com

JOHN W KELLY PE ENGINEERING D.P.C.

1070 W. SYCAMORE ST  
SPRINGFIELD, MO 65810  
Ph: 417-888-0645 Fax: 417-888-0657

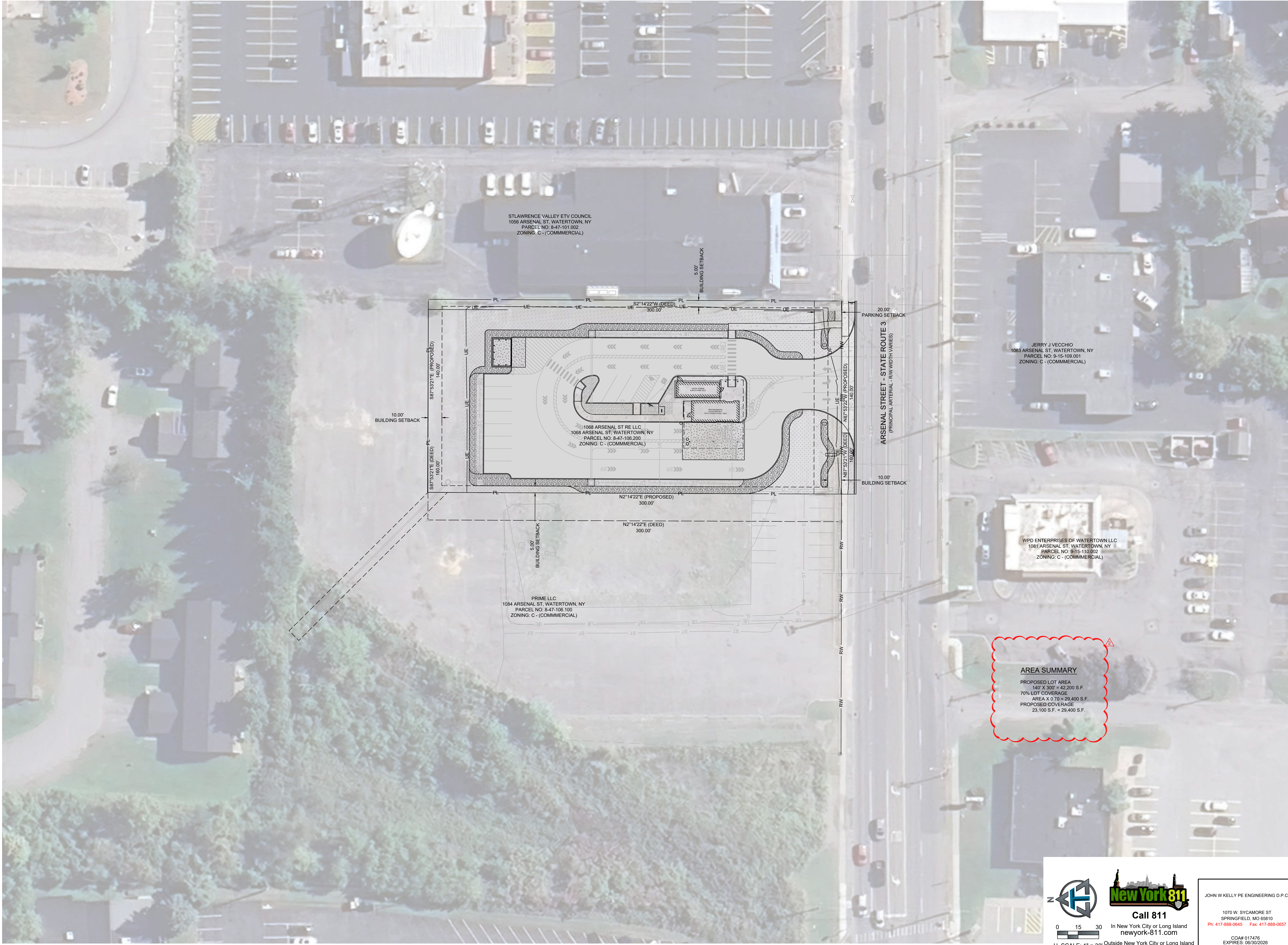
COAR 017478  
EXPIRES: 06/30/2026

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GENERAL NOTES

DATE: MAY 29, 2025





JOHN W. KELLY III - ENGINEER  
PE# 084736  
ENGINEER OF RECORD:  
NAME: JOHN W. KELLY III  
LICENSE NO. 084736

PROJECT NUMBER:  
91 164

REVISION:  
07-02-2025 PLANNING COMMISSION

7 BREW COFFEE  
WATERTOWN, NY  
1068 ARSENAL STREET,  
WATERTOWN, NY 13601

C0.2  
AREA PLAN

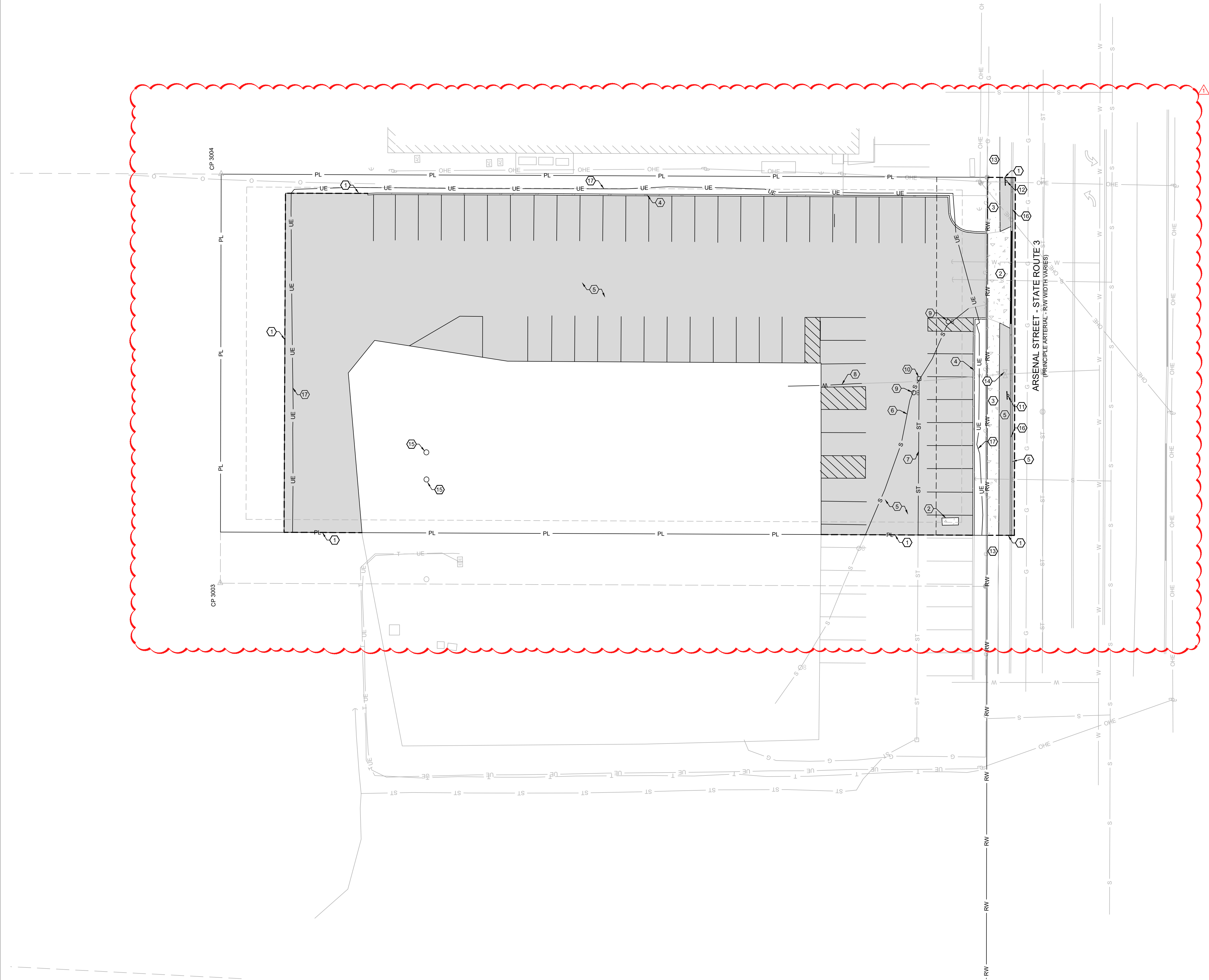
DATE: MAY 29, 2025

0 15 30  
H. SCALE: 1" = 30'

COAR# 011476  
EXPIRES: 06/30/2026

JOHN W KELLY PE ENGINEERING D.P.C.  
1070 W. SYCAMORE ST  
SPRINGFIELD, MO 65810  
Ph: 417-888-0645 Fax: 417-888-0657





HATCH LEGEND:

- [Hatch] = ASPHALT AREA TO BE REMOVED.
- [Hatch] = CONCRETE AREA TO BE REMOVED.

KEY NOTES:

- SAW CUT CLEAN EDGE FOR PAVEMENT REMOVAL. PROTECT EDGE OF PAVEMENT DURING CONSTRUCTION.
- REMOVE 352 S.F. OF CONCRETE PAVEMENT.
- REMOVE 532 S.F. OF CONCRETE SIDEWALKS.
- REMOVE 442 L.F. OF CONCRETE CURB.
- REMOVE 23,778 S.F. OF ASPHALT PAVEMENT.
- REMOVE 102 L.F. OF SANITARY SEWER LINE.
- REMOVE 62 L.F. OF STORM SEWER LINE.
- REMOVE 29 L.F. OF WATER LINE.
- REMOVE SANITARY CLEANOUT.
- REMOVE STORM STRUCTURE.
- REMOVE AND RELOCATE "NO STANDING ANYTIME" SIGN POST AND FOUNDATION.
- REMOVE AND RELOCATE SPEED LIMIT 35 SIGN POST AND FOUNDATION.
- EXISTING SIDEWALK, DO NOT DISTURB.
- PROTECT EXISTING WATERVALVE.
- REMOVE BOLLARDS, TYPICAL.
- REMOVE 140 L.F. OF GRANITE CURB.
- REMOVE EXISTING SITE LIGHTING UNDERGROUND ELECTRIC LINES.



H. SCALE: 1" = 20'



COAR 017476  
EXPIRES: 06/30/2026

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JOHN W. KELLY III - ENGINEER  
PE# 084736  
ENGINEER OF RECORD:  
NAME: JOHN W. KELLY III  
LICENSE NO. 084736

PROJECT NUMBER:  
91 164

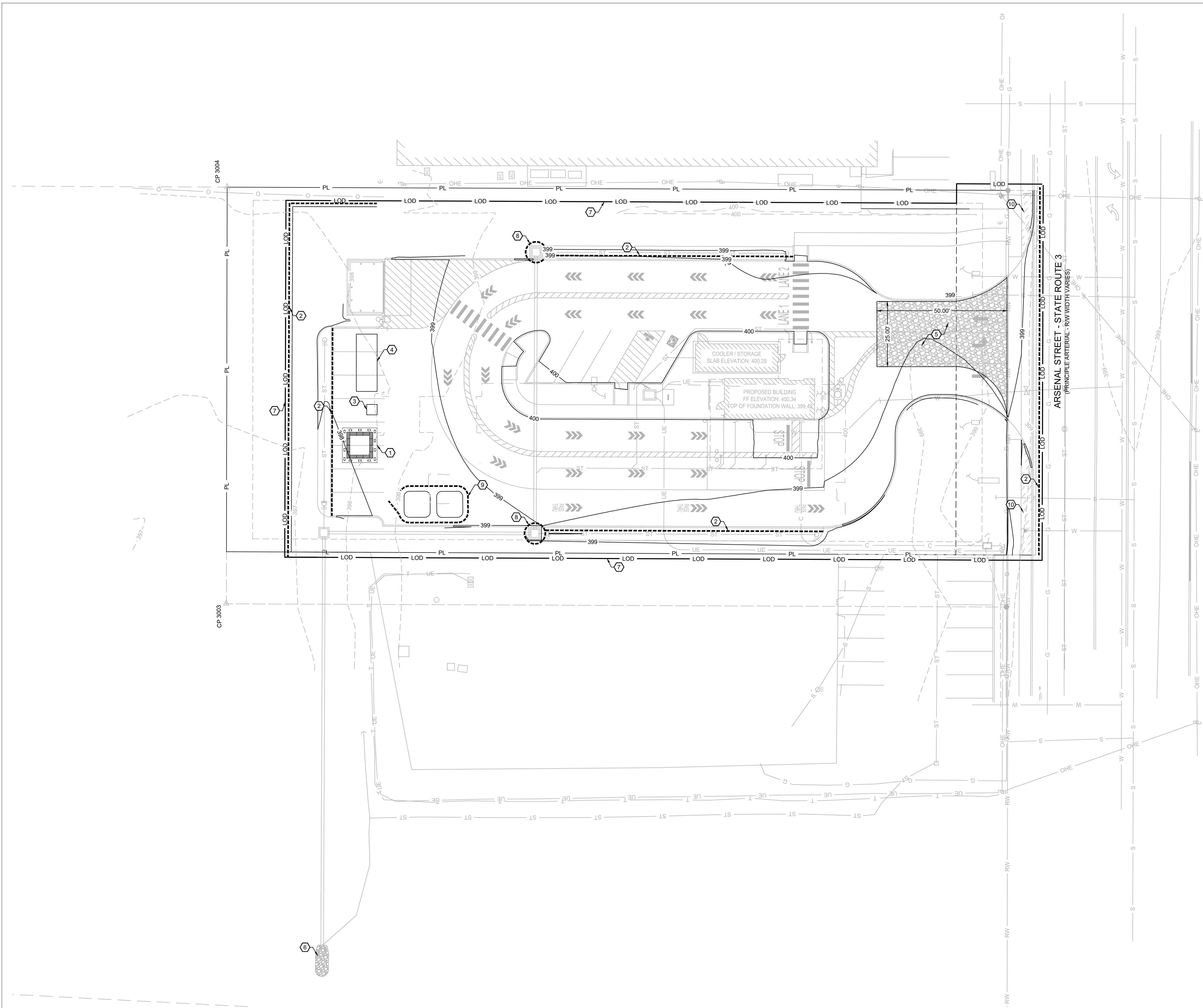
REVISION:  
06-10-2025 REVIEW / MINOR CHANGE

7 BREW COFFEE  
WATERTOWN, NY  
1068 ARSENAL STREET,  
WATERTOWN, NY 13601

C1.1  
DEMOLITION PLAN

DATE: MAY 29, 2025





KEY NOTES:

1. APPROXIMATE LOCATION OF CONCRETE WASHOUT PER DETAIL 1.03 SHEET C7.1.
2. INSTALL 585 L.F. ± OF COMPOST FILTER SOCK PER DETAIL 1.02 SHEET C7.1.
3. APPROXIMATE LOCATION OF PORTABLE RESTROOM.
4. APPROXIMATE LOCATION OF TEMPORARY ROLL-OFF DUMPSTER.
5. INSTALL TEMPORARY CONSTRUCTION ENTRANCE PER DETAIL 1.01 SHEET C7.1.
6. PROPOSED OUTFALL.
7. LIMITS OF DISTURBANCE = 0.94 ACRES.
8. INSTALL 25 L.F. OF COMPOST FILTER SOCK AROUND AREA INLET, PER STORM INLET PROTECTION DETAIL 1.05 SHEET C7.2.
9. APPROXIMATE LOCATION OF SOIL STOCKPILES. PROTECT STOCKPILES WITH COMPOST FILTER SOCK.
10. APPLY TEMPORARY SEED AND STRAW MULCH IN ROW PER NYS DOT DETAIL 1.06 SHEET C7.4. APPLY WATER DAILY FOLLOWING CONSTRUCTION ACTIVITIES UNTIL SEED HAS GERMINATED. RE-SEED AS NECESSARY TO ACHIEVE TEMPORARY STABILIZATION.

EROSION & SEDIMENT CONTROL MEASURES

UNLESS OTHERWISE INDICATED, ALL STRUCTURAL AND VEGETATIVE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NYS DEC BLUE BOOK.

STRUCTURAL PRACTICES

1. COMPOST FILTER SOCKS:  
COMPOST FILTER SOCKS WILL BE PLACED AS NEEDED ALONG THE DOWN GRADIENT SIDE OF THE DISTURBED AREA TO REDUCE MIGRATION OF SEDIMENT FROM THE SITE. COMPOST FILTER SOCKS WILL ALSO BE PLACED AROUND STOCKPILED TOPSOIL ON THE SITE. COMPOST FILTER SOCKS SHALL BE REPLACED AS DETERMINED BY REGULAR FIELD INSPECTIONS.
2. TEMPORARY CONSTRUCTION ENTRANCE:  
TEMPORARY CONSTRUCTION ENTRANCE WILL BE LOCATED AT THE PROPERTY ACCESS TO ARSENAL STREET. THE TEMPORARY CONSTRUCTION ENTRANCE SHALL BE REPAIRED OR REPLACED AS DETERMINED BY REGULAR FIELD INSPECTIONS.
3. OTHER PRACTICES SHALL BE PROVIDED AS DETERMINED BY THE ENGINEER OR BY E&S ADMINISTRATOR.

VEGETATIVE PRACTICES

1. TOP SOILING (STOCKPILE):  
TOPSOIL WILL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE AND WILL BE STABILIZED BY SILT FENCING, OR SEEDING WITH APPROPRIATE SEED MIX FOR THE TIME OF YEAR.
2. EROSION CONTROL, BLANKETS OR MULCH AND SEEDING:  
EROSION CONTROL BLANKETS, IF NEEDED, WILL BE INSTALLED OVER FILL SLOPES GREATER THAN 2.5:1 WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDED TO PROTECT THE SLOPES FROM RILL AND GULLY EROSION AND TO ALLOW SEED TO GERMINATE PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS AND WILL BE APPLIED AS A SECOND STEM PIN IN THE SEEDING OPERATION.

TEMPORARY AND PERMANENT STABILIZATION


ALL AREAS DISTURBED BY CONSTRUCTION AND NO OTHERWISE STABILIZED, SHALL BE STABILIZED WITH PERMANENT SEEDING WITHIN 7 DAYS FOLLOWING FINISH GRADING. SEEDING SHALL BE APPLIED DEPENDING ON TIME OF THE YEAR ACCORDING TO NYS DEC BLUE BOOK SPECIFICATIONS. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER, AND LIME WILL BE APPLIED PRIOR TO MULCHING. EROSION CONTROL BLANKETS WILL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDED TO PROTECT THE SLOPES FOR RILL AND GULLY EROSION AND TO ALLOW SEED TO GERMINATE PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATION S SEED, FERTILIZER, AND LIME WILL BE APPLIED PRIOR TO MULCHING.

MANAGEMENT STRATEGIES

1. SCHEDULE AND CONDUCT PRECONSTRUCTION MEETING WITH THE CITY OF WATERTOWN.
2. SEDIMENT TRAPPING MEASURES TO BE INSTALLED PRIOR TO ANY EXCAVATION ON SITE.
3. CONSTRUCTION WILL BE SEQUENCED SO THAT EXISTING COVER WILL NOT BE DISTURBED ANYMORE THAN NECESSARY.
4. CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
5. TEMPORARY SEEDING OR OTHER STABILIZATION WILL FOLLOW IMMEDIATELY AFTER GRADING.
6. AREAS, WHICH ARE TO BE DISTURBED, WILL BE CLEARLY MARKED BY FLAGS, SIGNS ETC.
7. THE JOB SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.
8. AFTER ACHIEVING ADEQUATE STABILIZATION TO THE SATISFACTION OF THE E&S ADMINISTRATOR, THE TEMPORARY E&S CONTROLS WILL BE CLEANED UP.
9. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED ROAD OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROAD BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. A STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
10. REMOVED ALL TEMPORARY EQUIPMENT, CONSTRUCTION MATERIALS, AND DEBRIS FROM THE SITE.
11. REMOVE REMAINING TEMPORARY EROSION & SEDIMENT CONTROL MEASURES WITHIN THIRTY DAYS AFTER FINAL SITE STABILIZATION.

MAINTENANCE

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EACH CONTROL MEASURE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND THOSE DEEMED NECESSARY BY THE CITY ENGINEER AS CONSTRUCTION CONTINUES.
2. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROL STRUCTURES AT A MINIMUM FREQUENCY OF ONCE PER TOW WEEKS AND WITHIN 24 HOURS AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. INSPECTION RECORDS SHALL BE KEPT.
3. SILT SHALL BE REMOVED FROM BEHIND SEDIMENT BARRIER ONCE THE DEPTH IS EQUAL TO SIX INCHES OR AS REQUIRED TO MAINTAIN FUNCTIONALITY.
4. DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.
5. ALL SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.
6. ALL SPOIL MATERIALS SHALL BE DISPOSED OF LEGALLY, OFFSITE OR AS OTHERWISE DESCRIBED IN THE CONTRACT DOCUMENTS, BY THE CONTRACTOR AT THEIR EXPENSE. ALL OFFSITE ELAND DISTURBING ACTIVITIES SHALL BE CONDUCTED UNDER AN APPROVED SEPARATE EROSION AND SEDIMENT CONTROL PLAN.
7. EROSION CONTROLS AND PERIMETER CONTROL SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN SECURELY STABILIZED. AFTER REMOVAL OF STRUCTURES, DISTURBED AREAS SHALL BE RE-GRADED AND STABILIZED AS NECESSARY.
8. ALL SEEDED AREAS SHALL BE CHECKED ONCE PER WEEK TO ENSURE A GOOD STAND OF PLANT MATERIAL IS MAINTAINED. SEEDED AREAS FOUND TO BE DEFICIENT SHALL BE RE-SEED AS NECESSARY.

 = NYS DOT TEMPORARY SEED AND STRAW MULCH (209.1003).  
PER NYS DOT DETAIL 1.06 SHEET C7.4.

PHASING TABLE:

PHASE	CONSTRUCTION ACTIVITIES	BEST MANAGEMENT PRACTICES INSTALLED
PHASE 1 (PRE - CONSTRUCTION)	INSTALLATION OF PRE-CON BMP'S	~ TREE PROTECTION ~ CONSTRUCTION ENTRANCE ~ PERIMETER CONTROL (SILT SOCK)
PHASE 2	CLEARING	~ RETAIN TOPSOIL ~ STOCK PILE PROTECTION ~ DEWATERING ~ DUST CONTROL
PHASE 3	CONSTRUCTION	~ CONCRETE WASHOUT PIT ~ CONSTRUCTION ENTRANCE ~ TEMPORARY SEEDING
PHASE 4 (FINAL STABILIZATION)	FINAL STABILIZATION OF ALL DISTURBED AREAS	~ HYDROSEED ~ RIP RAP PLACEMENT ~ SEED / STRAW



0 10 20  
H. SCALE: 1" = 20'  
Outside New York City or Long Island  
digsafelynewyork.com

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CO# 017476  
EXPIRES: 06/30/2026



JOHN W. KELLY III - ENGINEER  
PE# 084736

ENGINEER OF RECORD:

NAME: JOHN W. KELLY III

PROJECT NO. 084736

PROJECT NUMBER:

91 164

REVISION:

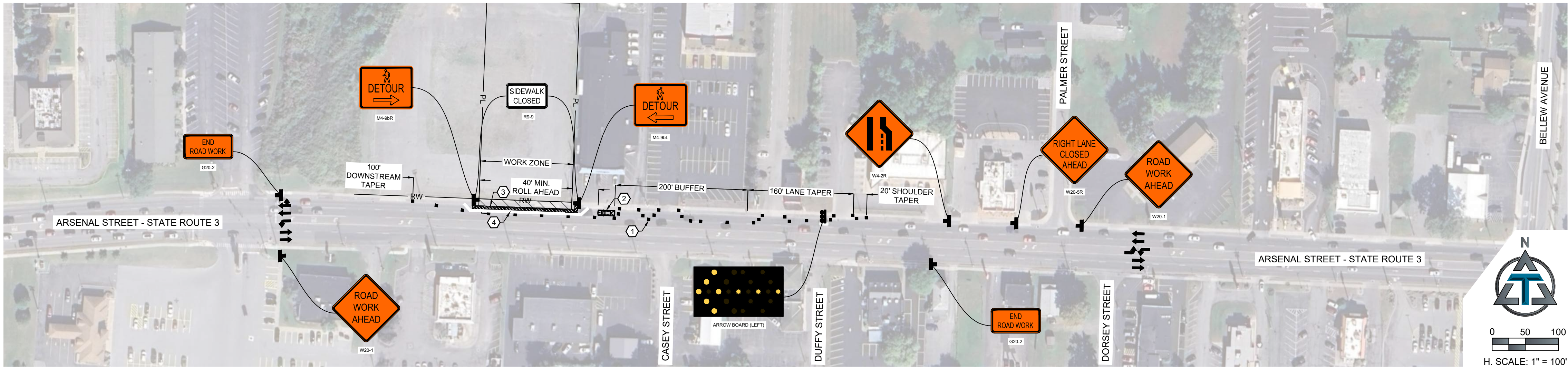
7 BREW COFFEE  
WATERTOWN, NY

1068 ARSENAL STREET,  
WATERTOWN, NY 13601

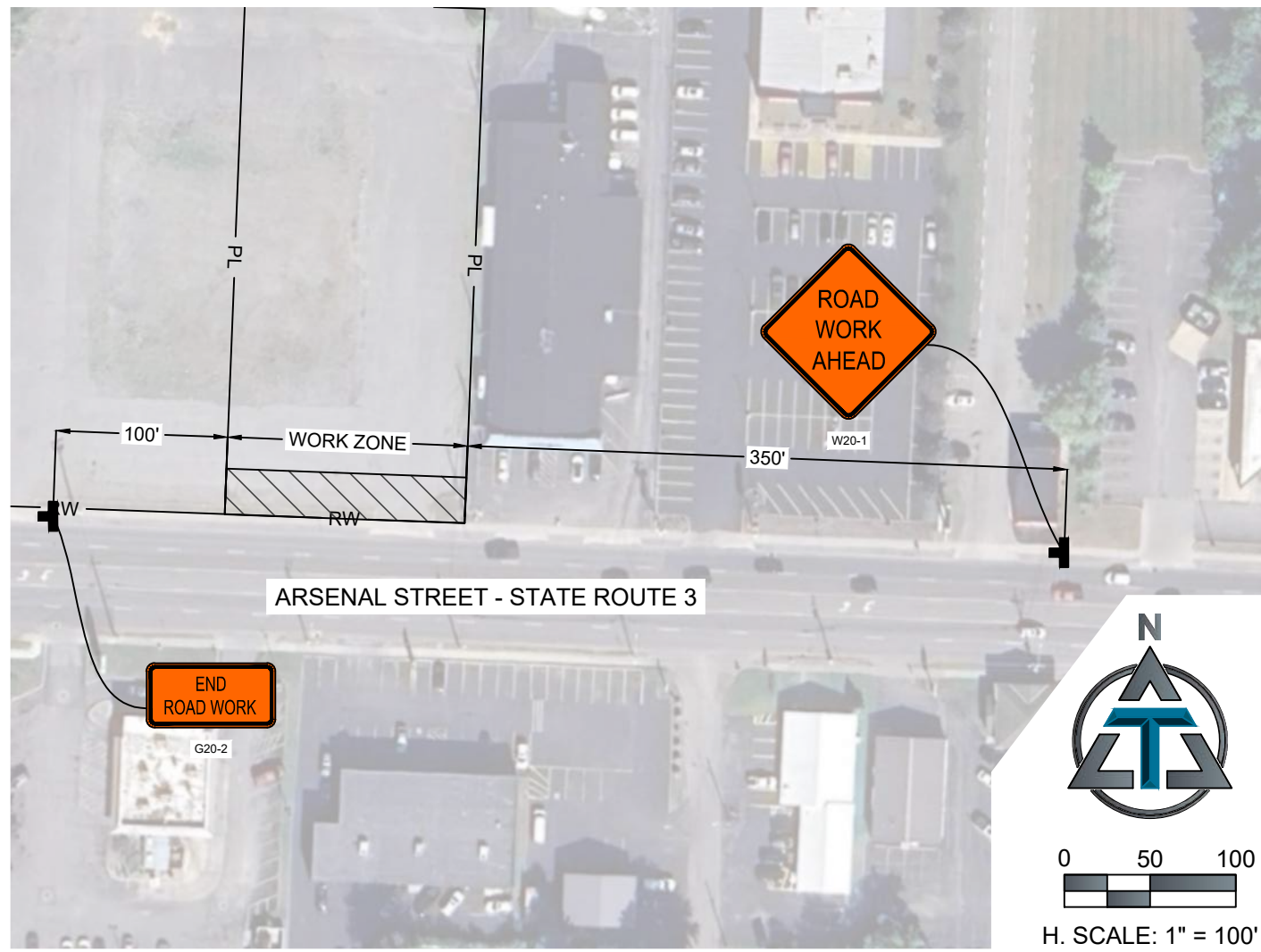
C1.2  
EROSION  
CONTROL PLAN

DATE: MAY 29, 2025





LANE 1 & SIDEWALK CLOSURE PLAN



TRAFFIC CONTROL FOR WORK BEYOND THE SHOULDER ON ARSENAL STREET (HWY 3)

WORK BEYOND SHOULDER NOTES

1. THIS SETUP IS A SPECIAL OPERATION, AND CAN BE USED REGARDLESS OF THE WORK .
2. END ROAD WORK SIGN MAY BE OMITTED IF WORK DURATION IS LESS THAN 1 HOUR.

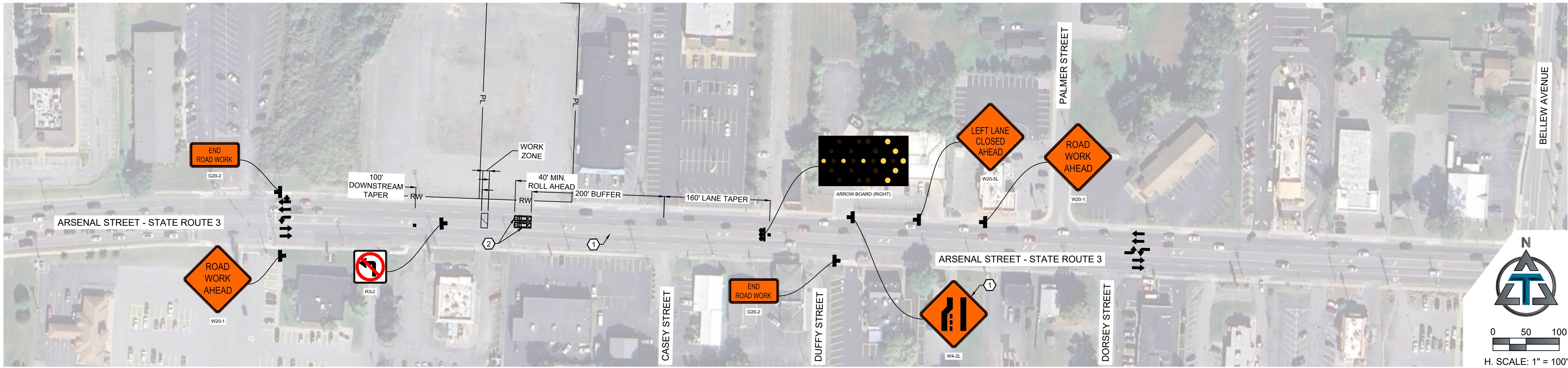
LANE DESIGNATION LEGEND:

- DIRECTIONAL TRAFFIC
- TURN LANE

KEY NOTES:

SIDEWALK DIVERSION NOTES

1. SHORT-TERM STATIONARY IS DAYTIME WORK THAT OCCUPIES A LOCATION FOR MORE THAN 1 HOUR WITHIN A SINGLE DAYLIGHT PERIOD.
2. ANY SIDEWALK DIVERSION MUST BE ADA COMPLIANT AND FOLLOW THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG). TEMPORARY RAMPS AND OTHER TEMPORARY PEDESTRIAN FACILITIES SHALL BE PAID FOR UNDER THE APPROPRIATE ITEM FOR HOT MIX ASPHALT (HMA) SIDEWALKS.
3. PROWAG SECTION R205 AND MUTCD PART 6 SHALL APPLY TO ALL CONSTRUCTED TEMPORARY ALTERNATIVE PEDESTRIAN PATHWAYS.
4. ONLY THE WORK ZONE TRAFFIC CONTROL DEVICES RELATED TO PEDESTRIANS ARE SHOWN, OTHER DEVICES, SUCH A LANE/SHOULDER CLOSURE, ROAD NARROWS SIGNS (W5-4), OR NO PARKING SIGNS MAY BE USED TO CONTROL VEHICULAR TRAFFIC.
5. TYPE III BARRICADES SHALL BE THE FULL WIDTH OF THE PATH BEING CLOSED.
6. ACCESS TO BUSINESS ENTRANCES AND TRANSIT STOPS WILL NEED TO BE MAINTAINED. IF THE PEDESTRIAN CONSULT THE TRANSIT AUTHORITIES THAT SERVICE THE AFFECTED STOP TO DETERMINE HOW TO ACCOMMODATE THE FACILITY CURRENTLY HAS A TRANSIT STOP THAT WILL BE AFFECTED BY THE WORK ZONE, PRACTITIONERS SHOULD STOP.
7. THE GRADE (RUNNING SLOPE) OF A TEMPORARY CURB RAMP FOR DESIGN AND LAYOUT SHALL BE A MAXIMUM OF 7.5%. THE GRADE FOR ADA ACCESSIBILITY AND WORK ACCEPTANCE SHALL BE A MAXIMUM OF 8.3%.



LANE 2 & LEFT TURN LANE CLOSURE PLAN

TRAFFIC CONTROL FOR SHORT TERM MULTI-STAGE SINGLE LANE CLOSURES ON ARSENAL STREET (HWY 3) FOR RIGHT OF WAY IMPROVEMENTS

WORK ZONE TRAFFIC CONTROL NOTES

1. WORK ZONE TRAFFIC CONTROL REVISIONS

PROPOSED REVISIONS TO THE WORK ZONE TRAFFIC CONTROL (WZTC) PLAN OR MODIFICATIONS TO THE 619 STANDARD SHEETS SHALL BE SUBMITTED TO THE ENGINEER FOR THE REVIEW AND APPROVAL BY THE REGIONAL TRAFFIC ENGINEER PRIOR TO THE PLANNED IMPLEMENTATION OF SUCH REVISIONS OR MODIFICATIONS. THE CONTRACTOR SHALL NOT IMPLEMENT THE PROPOSED REVISIONS WITHOUT APPROVAL FROM THE REGIONAL TRAFFIC ENGINEER.

2. TRAVEL LANE WIDTHS IN WORK ZONES

WHERE NOT SHOWN IN THE WZTC PLANS OR OTHERWISE AUTHORIZED BY NYS DOT (OR THE ENGINEER), TRAVEL LANE WIDTHS IN WORK ZONES SHALL BE A MINIMUM OF 11 FT ON FREEWAYS, RAMP, EXPRESSWAYS AND MULTI-LANE CONVENTIONAL ROADWAYS AND 10 FT ON ALL OTHER CONVENTIONAL ROADWAYS.

\*MULTI-LANE ROADWAYS ARE THOSE WITH TWO OR MORE THRU LANES IN ONE OR BOTH DIRECTIONS.)

3. DAILY LANE, RAMP AND SHOULDER CLOSURE RESTRICTIONS

WORK ZONES SHALL BE RESTRICTED TO ONE SIDE OF THE ROADWAY AT A TIME IN EACH DIRECTION ON DIVIDED ROADWAYS, UNLESS APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL SCHEDULE WORK SO THAT ALL TRAVEL LANES AND RAMPS IN EACH DIRECTION ARE OPEN WHEN THE CONTRACTOR'S OPERATIONS ARE CLOSED DOWN OR SUBSTANTIALLY CLOSED DOWN. DAILY CLOSURES MAY OCCUR OFF OF LONG-TERM CLOSURES AND SHALL BE SUBJECT TO DAILY CLOSURE RESTRICTIONS. WORK ZONES SHALL BE RESTRICTED TO ONE SIDE OF THE ROADWAY AT A TIME ON UNDIVIDED HIGHWAYS.

4. FLAGGING OPERATIONS

WHEN A PEDESTRIAN APPROACHES A FLAGGER STATION, THE FLAGGER SHALL STOP TRAFFIC AND DIRECT THE PEDESTRIAN TO A SAFE ROUTE THROUGH THE WORK AREA. FLAGGERS SHALL COORDINATE THE FLAGGING OF THE WORK ZONE TO ENSURE PEDESTRIANS CAN SAFELY PROCEED THROUGH THE AREA. IF THERE IS MORE THAN THE OCCASIONAL PEDESTRIAN WITHIN THE PROJECT LIMITS, REFER TO THE SITE SPECIFIC PEDESTRIAN WZTC PLAN.

5. SIGNALIZED INTERSECTIONS

WHEN CONSTRUCTION OPERATIONS EFFECT SIGNALIZED INTERSECTIONS, THE TRAFFIC SIGNAL SHALL BE TURNED OFF BEFORE PROCEEDING WITH THE FLAGGING OPERATION, AND ANY EXISTING W5-3 SIGNS COVERED. THE CONTRACTOR SHALL RETURN THE SIGNAL TO A 3-COLOR OPERATION AT THE END OF THE WORK OPERATION. IF THE SIGNAL DOES NOT RETURN TO 3-COLOR OPERATION, THE CONTRACTOR SHALL NOTIFY THE REGION 3 SIGNAL CREW AND MUST CONTINUE FLAGGING UNTIL THE SIGNAL CREW ARRIVES AND THE SIGNAL IS REPAIRED. THE CONTRACTOR SHALL OBTAIN A POLICE PANEL KEY FROM, AND RETURN IT TO, THE REGION 3 NYS DOT SIGNAL CREW EIC. THE NYS DOT SIGNAL CREW EIC CAN BE REACHED AT 315-428-4064 OR 315-426-2131.

6. DAILY LANE CLOSURES ON FREEWAYS - NOT APPLICABLE

7. HOLIDAY CLOSURE RESTRICTIONS

DAILY LANE, RAMP AND SHOULDER CLOSURES SHALL NOT BE PERMITTED ON STATE OWNED ROADWAYS DURING MAJOR HOLIDAYS. FOR A LIST OF THE MAJOR HOLIDAYS, SEE SPECIAL NOTE IN THE CONTRACT PROPOSAL FOR TEMPORARY LANE CLOSURE RESTRICTIONS FOR MAJOR HOLIDAYS. DAILY LANE, RAMP AND SHOULDER CLOSURES SHALL NOT BE PERMITTED AS DESCRIBED IN EI 17-010. BELOW ARE HOLIDAY PERIODS BASED ON GUIDELINES FROM EI 17-010. ALL RESTRICTIONS ARE FROM 6:00 AM ON THE FIRST DAY UNTIL 6:00 AM ON THE LAST DAY OF THE RESTRICTION.

2025

- 6:00 AM FRIDAY, AUGUST 29, 2025 THRU 6:00 AM TUESDAY, SEPTEMBER 2, 2025 - (LABOR DAY HOLIDAY)
- 6:00 AM WEDNESDAY, NOVEMBER 26, 2025 THRU 6:00 AM MONDAY, DECEMBER 1, 2025 - (THANKSGIVING HOLIDAY)
- 6:00 AM WEDNESDAY, DECEMBER 24, 2025 THRU 6:00 AM MONDAY, DECEMBER 29, 2025 - (CHRISTMAS HOLIDAY)

2026

- 6:00 AM TUESDAY, JANUARY 1, 2026 THRU 6:00 AM MONDAY, JANUARY 5, 2026 - (NEW YEAR'S HOLIDAY)

8. SPECIAL EVENT CLOSURE RESTRICTIONS - NOT APPLICABLE

9. ROUTE 81 WEEKEND RESTRICTIONS - NOT APPLICABLE

10. NOTIFICATION REQUIREMENTS

REGION 7 HAS A WORK ZONE TRAFFIC CONTROL (WZTC) NOTIFICATION POLICY WHICH REQUIRES ENGINEERS TO NOTIFY THE REGIONAL TRANSPORTATION MANAGEMENT CENTER (RTMC) PRIOR TO ALLOWING A CONTRACTOR TO IMPLEMENT WORK ZONE TRAFFIC CONTROL ACTIVITIES WITHIN THE HIGHWAY RIGHT OF WAY. WORK ZONE NOTIFICATION IS REQUIRED FOR THE FOLLOWING:

- FREEWAYS AND EXPRESSWAYS: ALL LANE, SHOULDER, ROAD, RAMP OR BRIDGE CLOSURES.
- (THIS INCLUDES MOBILE OPERATIONS WHICH OCCUPY THE LANE OR SHOULDERS.)
- ALL OTHER STATE HIGHWAYS: ALL LANE CLOSURES WHOSE DURATION WILL BE GREATER THAN 2 HOURS AND ALL ROAD/BRIDGE CLOSURES.
- THE CONTRACTOR SHALL REPORT PROPOSED WZTC ACTIVITIES NOTED ABOVE TO THE ENGINEER BY 6:00 AM OF THE BUSINESS WEEK DAY (I.E. MONDAY THROUGH FRIDAY EXCLUDING HOLIDAYS) PRECEDING THE PROPOSED WZTC ACTIVITY. FAILURE TO DO SO WILL RESULT IN DISAPPROVAL TO PERFORM THE UNREPORTED WZTC ACTIVITY UNTIL THE ABOVE NOTIFICATIONS REQUIREMENTS ARE SATISFIED.
- NO PLANNED WZTC ACTIVITY SHALL BE IMPLEMENTED WITHOUT FIRST RECEIVING CLEARANCE FROM THE RTMC.

11. WORK AREA COORDINATION

THE CONTRACTOR SHALL COORDINATE WORK ACTIVITIES WITH OTHER CONTRACTS WITHIN AND/OR ADJACENT TO THE CONTRACT WORK LIMITS.

12. ACCESS

THE CONTRACTOR SHALL ENSURE THAT ACTIVE LANES OF TRAFFIC ON FREEWAYS ARE NOT CROSSED BY PEDESTRIAN WORKERS FOR ALL OTHER HIGHWAYS, THE CONTRACTOR SHALL ENSURE THAT PEDESTRIAN WORKERS CROSS ACTIVE LANES OF TRAFFIC ONLY AT PROPERLY MARKED OR UNMARKED CROSSEWALKS AND/OR DEDICATED PEDESTRIAN WALKWAYS. IT IS REQUIRED THAT THE PROJECT SAFETY AND HEALTH PLAN ADDRESS ACCESS TO EACH WORK AND STAGING AREA. WHERE IT IS FEASIBLE, VEHICLES AND EQUIPMENT USED FOR THE WORK AND TRANSPORTING OF WORKERS TO/FROM THE WORK SITE SHALL ENTER AND LEAVE THE AREA CLOSED BY CHANNELIZING DEVICES WITHIN THE TERMINATION AREA OF THE TEMPORARY TRAFFIC CONTROL ZONE. WHERE SUCH ACCESS WITHIN THE TERMINATION AREA IS NOT FEASIBLE, OTHER AREAS FOR ENTRY AND EXIT SHALL BE DETERMINED AND INCLUDED IN THE PROJECT SAFETY & HEALTH PLAN, INCLUDING ILLUSTRATED EXAMPLES (TYPICALS) TO CLEARLY SHOW THE TEMPORARY TRAFFIC CONTROL ELEMENTS THAT WILL BE PROVIDED.

13. CHANNELIZING DEVICES

ALL CHANNELIZING DEVICES SHALL BE PLACED SO AS TO PROVIDE A 2 FOOT LATERAL CLEARANCE TO THE TRAVELED WAY UNLESS OTHERWISE SHOWN ON THE PLANS. WHERE POSSIBLE A LATERAL BUFFER SPACE OF 2 FOOT MINIMUM SHALL BE PROVIDED BETWEEN THE WORK SPACE AND THE CHANNELIZING DEVICES. CHANNELIZING DEVICE SPACING (CENTER TO CENTER) SHALL BE 40' MAXIMUM FOR POSTED SPEED LIMITS 40 MPH OR GREATER AND 20' MAXIMUM FOR POSTED SPEED LIMITS 35 MPH OR LESS. STANDARD CONES AND TUBULAR MARKERS SHALL NOT BE USED FOR CHANNELIZATION AND DELINEATION DURING THE HOURS OF DARKNESS, WHICH IS DEFINED AS THE PERIOD BETWEEN SUNSET AND SUNRISE

14. SIGNS

ALL CONSTRUCTION SIGNS SHALL BE MOUNTED AT A HEIGHT OF 7 FEET ABOVE THE EDGE OF TRAVEL LANE. SIGNS SHALL NOT ENCR OACH MORE THAN 4" INTO SHOULDERS USED BY PEDESTRIANS OR BICYCLES. WHERE SHOULDER WIDTHS ARE LIMITED AND SIGNS CANNOT BE ERECTED BEYOND THE SHOULDER, CONSTRUCTION SIGNS MAY NEED TO BE MOUNTED ON CONCRETE MEDIAN BARRIERS, BRIDGE PARAPETS, ETC.

17. DELINEATORS

SINGLE LARGE DELINEATORS WITH RETROREFLECTIVE ASTM TYPE IX SHEETING 6" X 12", SHALL BE INSTALLED AT 20 FOOT INTERVALS FOR ALL LOCATIONS WHERE TEMPORARY CONCRETE BARRIER IS USED AND FOR ALL LOCATIONS WHERE PERMANENT CONCRETE BARRIER, GUIDE RAILING, AND/OR BRIDGE RAILING IS ADJACENT TO A LANE AND/OR SHOULDER WHERE THE WIDTH IS LESS THAN EXISTING. THE COLOR OF THE RETROREFLECTIVE DELINEATOR SURFACE SHALL MATCH THE COLOR OF THE EDGE OF PAVEMENT MARKINGS AS VIEWED BY APPROACHING TRAFFIC. DELINEATORS SHALL BE CLEARLY VISIBLE UNDER NORMAL CONDITIONS FROM A DISTANCE OF 1000 FEET WHEN ILLUMINATED BY THE HIGH BEAMS OF STANDARD AUTOMOBILE HEADLIGHTS. THE COST (INCLUDING REMOVAL) SHALL BE INCLUDED IN THE PRICE BID FOR ITEM 619.01, BASIC WORK ZONE TRAFFIC CONTROL.

18. WINTERING OVER

PRIOR TO THE WINTER SEASON, IF THE TOP PAVEMENT COURSE IS PLACED, SHOULDER MARKS SHALL BE INSTALLED AND FINAL PAVEMENT MARKINGS OR FINAL FULL WIDTH TEMPORARY PAVEMENT MARKINGS SHALL BE APPLIED. IF THE BINDER PAVEMENT COURSE IS WHAT TRAFFIC WILL TRAVEL ON, FINAL FULL WIDTH TEMPORARY PAVEMENT MARKINGS SHALL BE INSTALLED. WORK PROGRESS AND DAILY LANE CLOSURES DURING THE WINTER SEASON WILL ONLY BE ALLOWED IF WEATHER CONDITIONS PERMIT. IF, IN THE OPINION OF THE ENGINEER, WEATHER CONDITIONS WILL NOT PERMIT WORK TO BE PERFORMED SAFELY, LANE CLOSURES WILL NOT BE ALLOWED. THE CONTRACTOR SHALL REPLACE ANY CHANNELIZING DRUMS DISPLACED OR DAMAGED BY PLOWING OPERATIONS.

19. MILLED SURFACES - NOT APPLICABLE

20. MISCELLANEOUS (LOCAL OR PERMIT PROJECTS)

1. THE CONTRACTOR SHALL BE AWARE THAT THE WORK ZONE TRAFFIC CONTROL IS A VERY CRITICAL ITEM OF THE PERMIT AND SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 619 "WORK ZONE TRAFFIC CONTROL" OF THE STANDARD SPECIFICATIONS, THE 2009 EDITION OF THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND THE NEW YORK STATE SUPPLEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK ZONE TRAFFIC CONTROL AT ALL TIMES FOR THE DURATION OF THE PERMITTED WORK.

2. ACTUAL FIELD CONDITIONS MAY REQUIRE OTHER SIGNS AND OTHER ARRANGEMENTS OF SIGNS. DISTANCES SHALL BE ADAPTED TO PREVAILING CONDITIONS. SIGNS SHALL BE LOCATED TO PROVIDE OPTIMUM VISIBILITY. SIGNS THAT ARE NOT APPLICABLE SHALL BE COVERED OR OBSCURED FROM SIGHT. ALL SIGN NUMBERS REFER TO THE 2009 EDITION OF THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND THE NEW YORK STATE SUPPLEMENT.

3. PEDESTRIAN ACCOMMODATIONS SHALL BE MAINTAINED FOR THE DURATION OF THE PROPOSED WORK. THE RIGHT-OF-WAY SHALL BE ADEQUATELY FENCED TO PREVENT PEDESTRIAN ACCESS WHEN THE CONTRACTORS OPERATIONS ARE SHUT DOWN.

4. MATERIALS, EQUIPMENT AND VEHICLES SHALL NOT BE STORED OR PARKED WITHIN THE STATE RIGHT-OF-WAY BEFORE WORK BEGINS OR AFTER CONTRACTOR'S OPERATIONS ARE SHUT DOWN. STAGING AREAS OUTSIDE THE RIGHT-OF-WAY SHALL BE USED TO STOCKPILE ALL CONSTRUCTION MATERIALS. DURING WORKING HOURS, NO CONSTRUCTION MATERIAL MAY BE STORED OR PLACED ON THE ROADWAY OR ROADBED EXCEPT WITHIN A PROTECTED WORK AREA.

5. VEHICLES BELONGING TO THE CONTRACTOR OR WORKERS SHALL NOT BE PARKED WITHIN 30 FEET OF THE EDGE OF PAVEMENT ALONG A ROADWAY BEING USED BY THE GENERAL PUBLIC, UNLESS THEY ARE PARKED WITHIN A PROTECTED WORK AREA. DURING NON-WORKING HOURS, CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED WITHIN 30 FEET OF THE EDGE OF PAVEMENT.

6. W20-7A "FLAGGER" SIGNS SHALL BE USED WHENEVER FLAGGING OCCURS FOR MORE THAN A BRIEF PERIOD OF TIME. THE SIGNS SHALL BE PROMPTLY REMOVED, COVERED, OR FACED AWAY FROM TRAFFIC WHEN THE FLAGGING OPERATION CEASES. ALL FLAGGING STATIONS AND LANE CLOSURES SHOULD BE LOCATED TO ENSURE MAXIMUM VISIBILITY.

7. NO DROP-OFF GREATER THAN SIX INCHES SHALL BE LEFT OVERNIGHT WITHIN 30 FEET OF THE EDGE OF PAVEMENT. DROP-OFFS LESS THAN SIX INCHES WILL BE PERMITTED IF PROPER DELINEATION AND SIGNING IS PROVIDED, AND PRIOR PERMISSION IS GRANTED IN WRITING BY A REPRESENTATIVE OF THE DEPARTMENT. A DROP-OFF IS CONSIDERED ELIMINATED IF TAPERED AWAY BY A 1 ON 6 SLOPE OR FLATTER.

8. CARE SHALL BE TAKEN TO INSURE THAT NO DAMAGE OCCURS TO THE EXISTING PAVEMENT/SHOULDER/CURB AREAS AS A RESULT OF CONSTRUCTION EQUIPMENT MOVEMENT.

9. THE CONTRACTOR MAY SUBMIT REVISIONS TO THIS PLAN FOR APPROVAL, BUT ANY CHANGE THAT ALTERS THE BASIC CONCEPTS OF THE PLAN MUST BE APPROVED BY THE NYS DOT REGIONAL DIRECTOR OR HIS DESIGNEE.

NYSDOT REGION 7 GENERAL NOTES:

1. THE ROADWAY SHALL BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.
2. ROADSIDE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES.
3. MATERIALS, EQUIPMENT AND VEHICLES SHALL NOT BE STORED OR PARKED WITHIN THE NEW YORK STATE RIGHT-OF-WAY.
4. WORK ZONE TRAFFIC CONTROL SHALL COMPLY WITH THE 2009 EDITION OF THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND THE NEW YORK STATE SUPPLEMENT, AND SHALL BE IN ACCORDANCE WITH THE NYSDOT CONTRACT OR HIGHWAY WORK PERMIT DOCUMENTS AND AS DEEMED NECESSARY BY THE NYS ENGINEER IN CHARGE.
5. NOTIFY NEW YORK STATE DEPARTMENT OF TRANSPORTATION RESIDENT ENGINEER AT THE APPLICABLE RESIDENCY, THREE WORKING DAYS PRIOR TO WORKING IN THE STATE RIGHT-OF-WAY. JEFFERSON COUNTY RESIDENT ENGINEER: MATT BUSH - (315) 785-9317
6. NOTIFY DIG SAFELY NEW YORK THREE WORKING DAYS PRIOR TO DIGGING, DRILLING OR BLASTING AT 1-800-962-7962, FOR A UTILITY STAKE-OUT.
7. ALL WORK CONTEMPLATED AND MATERIALS USED WITHIN THE NYS RIGHT-OF-WAY SHALL BE COVERED BY AND IN CONFORMITY WITH THE NYS DEPARTMENT OF TRANSPORTATION MAY 1, 2008 SPECIFICATIONS BOOK AND ANY SUBSEQUENT ADDENDA ALONG WITH ANY APPROPRIATE CURRENT NYS DEPARTMENT OF TRANSPORTATION STANDARD SHEETS, EXCEPT AS MODIFIED IN THESE PLANS AND IN THE ITEMIZED PROPOSAL. METRIC UNITS MAY BE CONVERTED TO ENGLISH.
8. QUALITY CONTROL OF ASPHALT CONCRETE SHALL MEET THE REQUIREMENTS OF SECTION 402 OF THE STANDARD SPECIFICATIONS. ASPHALT COURSE DEPTHS SHOWN ON THE PLANS ARE COMPACTED DEPTHS.
9. NO NIGHT WORK WILL BE ALLOWED UNLESS PRIOR APPROVAL IS GIVEN BY THE DEPARTMENT. ADDITIONAL MAINTENANCE AND PROTECTION OF TRAFFIC WILL BE REQUIRED INCLUDING THE ADDITION OF REFLECTIVE MATERIALS AND LIGHTING.



JOHN W. KELLY III - ENGINEER  
PE# 084736

ENGINEER OF RECORD:

NAME: JOHN W. KELLY III

LICENSE NO. 084736

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WATERTOWN, NY

1068 ARSENAL STREET,  
WATERTOWN, NY 13601

C1.3

TRAFFIC CONTROL  
PLAN

DATE: MAY 29, 2025



Call 811  
In New York City or Long Island  
newyork-811.com

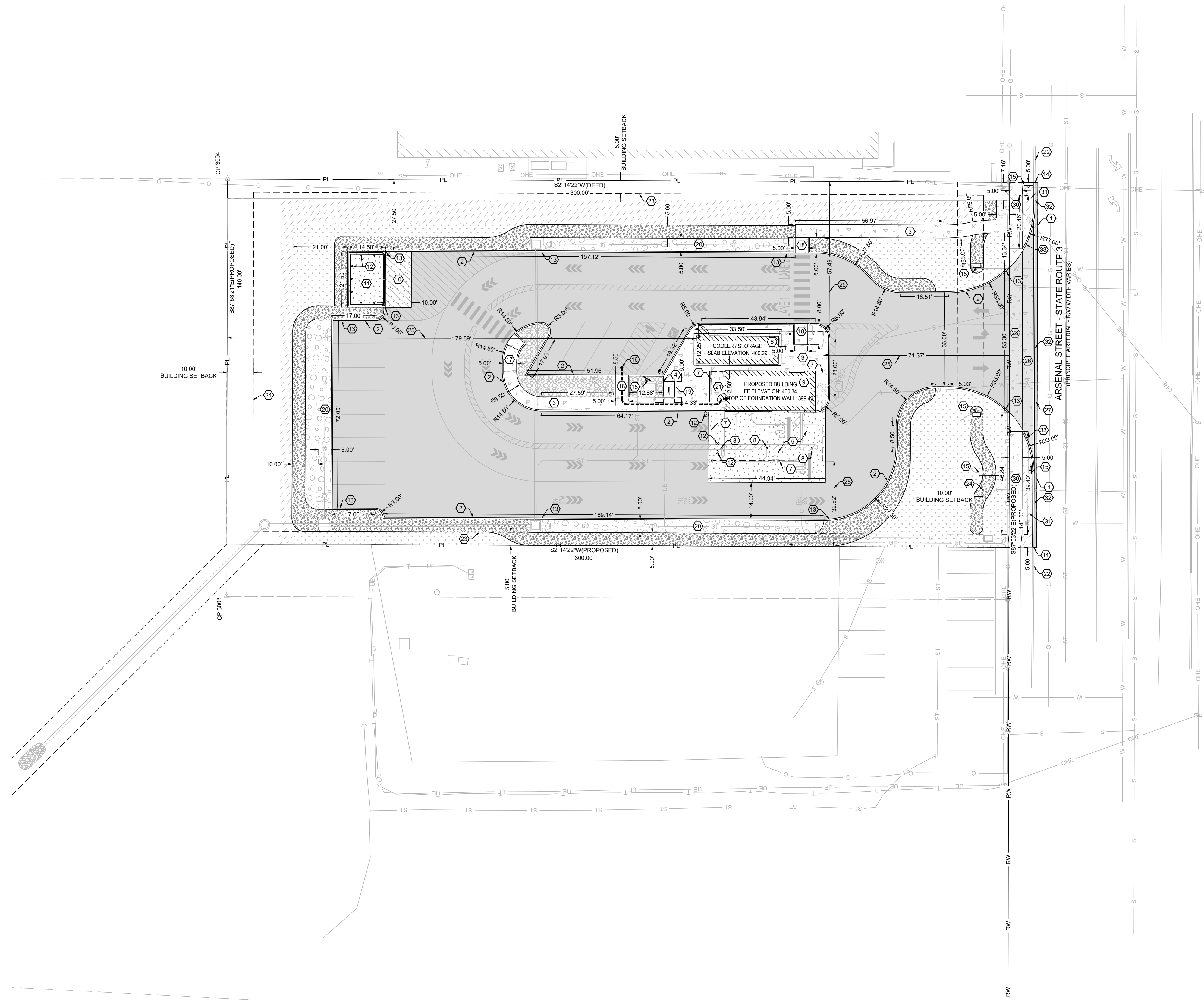
Outside New York City or Long Island  
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JOHN W KELLY PE ENGINEERING D.P.C.

1070 W. SYCAMORE ST  
SPRINGFIELD, MO 65810  
Ph: 417-888-0645 Fax: 417-888-0657

COAR 017478  
EXPIRES: 06/30/2026





HATCH LEGEND:

- |  |   |
|--|---|
| = ASPHALT PAVEMENT<br>PER DETAIL 2.06, SHEET C7.1.                                       | = SNOW STACK AREA<br>PLACE 12" OF #2 ROUND STONE OVER COMMERCIAL<br>GRADE WEED FABRIC PER DETAIL 2.06 SHEET C7.1.   |
| = CONCRETE SIDEWALK<br>PER SIDEWALK DETAIL 2.02, SHEET C7.1.                             | = 8" THICK NYSDOT CONCRETE PAVEMENT<br>PER DETAIL 2.21 SHEET C7.4.  |
| = CONCRETE PAVEMENT<br>PER CONCRETE PAVEMENT DETAIL 2.03 AND<br>2.05, SHEET C7.1.        | = LAWN RESTORATION.<br>INSTALL TOPSOIL, SEED, & MULCH IN ACCORDANCE<br>WITH PROJECT SPECIFICATIONS. EXTENTS SHOWN<br>DO NOT NECESSARY REFLECT FULL EXTENTS OF<br>RESTORATION REQUIRED. CONTRACTOR SHALL<br>RESTORE ALL DISTURBED AREAS. |
| = COOLER/STORAGE PAD<br>PER STRUCTURAL DETAIL 7 SHEET S2.1.                              | = LANDSCAPE MULCH.<br>SMOOTH SOIL SHALL BE COVERED BY WEED FABRIC<br>& AND TOPPED WITH 3 TO 4-INCH LAYER OF<br>SHREDDED HARDWOOD MULCH, MATCH EXISTING<br>COLOR.  |
| = TURF GRASS SOD<br>INSTALL PER SUPPLIER'S INSTALLATION<br>INSTRUCTIONS.                 |   |
| = LANDSCAPE ROCK<br>PLACE 6" OF 1" - 2" RIVER ROCK OVER<br>COMMERCIAL GRADE WEED FABRIC. |   |

KEY NOTES:

- MATCH EXISTING PAVEMENT.
- CONCRETE CURB PER DETAIL 2.01, SHEET C7.1.
- SIDEWALK PER DETAIL 2.02, SHEET C7.1.
- EDGE OF CONCRETE SLAB TO BE THICKENED CONCRETE PER STOOPWALK  
EDGE DETAIL 2.04, SHEET C7.1.
- CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAILS 2.03 & 2.05, SHEET C7.1.
- REMOTE COOLER LOCATION, COOLER TO BE INSTALLED ON 4" THICK CONCRETE PAD  
WITH THICKENED EDGE PER STRUCTURAL PLANS.
- BUILDING CANOPY OUTLINE.
- CANOPY COLUMNS LOCATIONS, TYPICAL.
- BUILDING FOUNDATION WALL AND FOOTING PER STRUCTURAL PLANS. REFER TO  
DETAIL 2.07, SHEET C7.1 FOR FOUNDATION WALL ELEVATION.
- CONCRETE PAVEMENT FOR TRASH ENCLOSURE PER CONCRETE PAVEMENT DETAILS  
2.03 & 2.05, SHEET C7.1.
- TRASH ENCLOSURE AND GATE, PER ARCHITECTURAL PLANS.
- 6" PIPE BOLLARD, TYPICAL PER DETAIL 2.09, SHEET C7.1.
- INSTALL CURB TRANSITION PER DETAIL 2.15, SHEET C7.2.
- CONNECT TO EXISTING CURB.
- SIGN, SEE SHEET C6.1.
- ACCESSIBLE PATH FROM PARKING TO BUILDING.
- TYPE 2 ADA CURB RAMP PER DETAIL 2.12, SHEET C7.2.
- TYPE 4 ADA CURB RAMP PER DETAIL 2.14, SHEET C7.2.
- BICYCLE RACK PER DETAIL 2.17, SHEET C7.2.
- SNOW STACK AREA PER DETAIL 4.09 SHEET C7.1.
- FROST PROOF SLAB PER DETAIL 9 SHEET S2.1.
- EXISTING CURB, DO NOT DISTURB.
- 5 FOOT BUILDING SETBACK LINE.
- 10 FOOT BUILDING SETBACK LINE.
- DIMENSION FROM PROPERTY LINE TO NEAREST BUILDING STRUCTURE.
- NYSDOT CONCRETE DRIVEWAY(608.0101) PER DETAILS 2.20  
AND 2.21 SHEET C7.4.
- NYSDOT ASPHALT PAVEMENT(404.0963) PER DETAILS 2.22  
SHEET C7.4.
- NYSDOT 6" CONCRETE SIDEWALK THROUGH DRIVEWAY(608.0101).  
PER DETAIL 2.25 SHEET C7.4. SIDEWALK AND DRIVEWAY SHALL  
BE SCORED SEPARATE TO ENSURE THAT THE SIDEWALK IS  
DISTINCT FROM THE DRIVEWAY APRON.
- NYSDOT GRANITE CURB(609.0212) PER DETAIL 2.23 SHEET C7.4.
- NYSDOT 4" CONCRETE SIDEWALK(608.0101) PER DETAIL 2.25  
SHEET C7.4.
- NYSDOT LAWN RESTORATION: INSTALL TURF(610.1601) PER  
DETAIL 2.27 SHEET C7.4.
- INSTALL 90 L.F. OF NYSDOT GRANITE DROP CURB WITH 1"  
REVEAL PER DETAILS 2.23 AND 2.24 SHEET C7.4.
- INSTALL NYSDOT GRANITE CURB TRANSITION PER DETAIL 2.24, SHEET C7.4.

PROPOSED USE:

RESTAURANT WITH DRIVE THRU.

ZONING:

ZONING: C-COMMERCIAL.

PARKING REQUIREMENTS:

1 SPACE PER EMPLOYEE DURING LARGEST SHIFT = 6 STALLS.  
PROVIDED = 9 STALLS, 8 STANDARD AND 1 ADA.  
1 BICYCLE / 10 PARKING SPACES REQUIRED  
@ 12 PARKING SPACES = 2 BICYCLE PARKING SPACES

STORMWATER NOTES:

PRE-PROJECT IMPERVIOUS AREA = 38,891 S. F.  
PRE-PROJECT PERVIOUS AREA = 1,081 S. F.  
TOTAL = 40,072 S. F.  
POST-PROJECT IMPERVIOUS AREA = 25,782 S. F.  
POST-PROJECT PERVIOUS AREA = 14,290 S. F.  
TOTAL = 40,072 S. F.

PRE-PROJECT IMPERVIOUS PERCENTAGE = 97%  
POST-PROJECT IMPERVIOUS PERCENTAGE = 64%  
PROPOSED REDUCTION = 33%

NOTE:  
CALCULATIONS PROVIDED FOR IMPERVIOUS SURFACE LIMITS  
ARE THE LIMITS OF DISTURBANCE.

BUILDING AND LOT DATA:

PROJECT FOOTPRINT 40,072 S. F. = 0.92 ACRES  
PROPOSED BUILDING (1 STORY) - RETAIL = 510 S. F.  
REMOTE COOLER = 410 S. F.  
CONSTRUCTION TYPE: V-B

QUANTITIES

CONCRETE CURB: 1,075 L.F.  
ASPHALT PAVEMENT: 18,155 S.F.  
8" CONCRETE PAVEMENT: 1,740 S.F.  
4" CONCRETE SIDEWALK: 1,460 S.F.  
TURF GRASS SOD: 4,115 S.F.  
LANDSCAPING ROCK: 505 S.F.  
LANDSCAPE MULCH: 3,815 S.F.  
LAWN RESTORATION: 3,135 S.F.  
SNOW STACK AREA: 1,370 S.F.

NYSDOT QUANTITIES

GRANITE CURB(609.0212): 205 L.F.  
ASPHALT PAVEMENT(404.0963): 145 S.F.  
CONCRETE PAVEMENT(608.0101): 630 S.F.  
CONCRETE SIDEWALK(608.0101): 395 S.F.  
TURF(610.1601): 245 S.F.



JOHN W. KELLY III - ENGINEER  
PER 084736

ENGINEER OF RECORD:

NAME: JOHN W. KELLY III

LICENSE NO. 084736

PROJECT NUMBER:

91 164

REVISION:

07-02-2025 PLANNING COMMISSION

7 BREW COFFEE  
WATERTOWN, NY

1068 ARSENAL STREET,  
WATERTOWN, NY 13601

C2.1  
SITE PLAN



0 10 20  
In New York City or Long Island  
newyork-811.com  
H. SCALE: 1" = 20' Outside New York City or Long Island  
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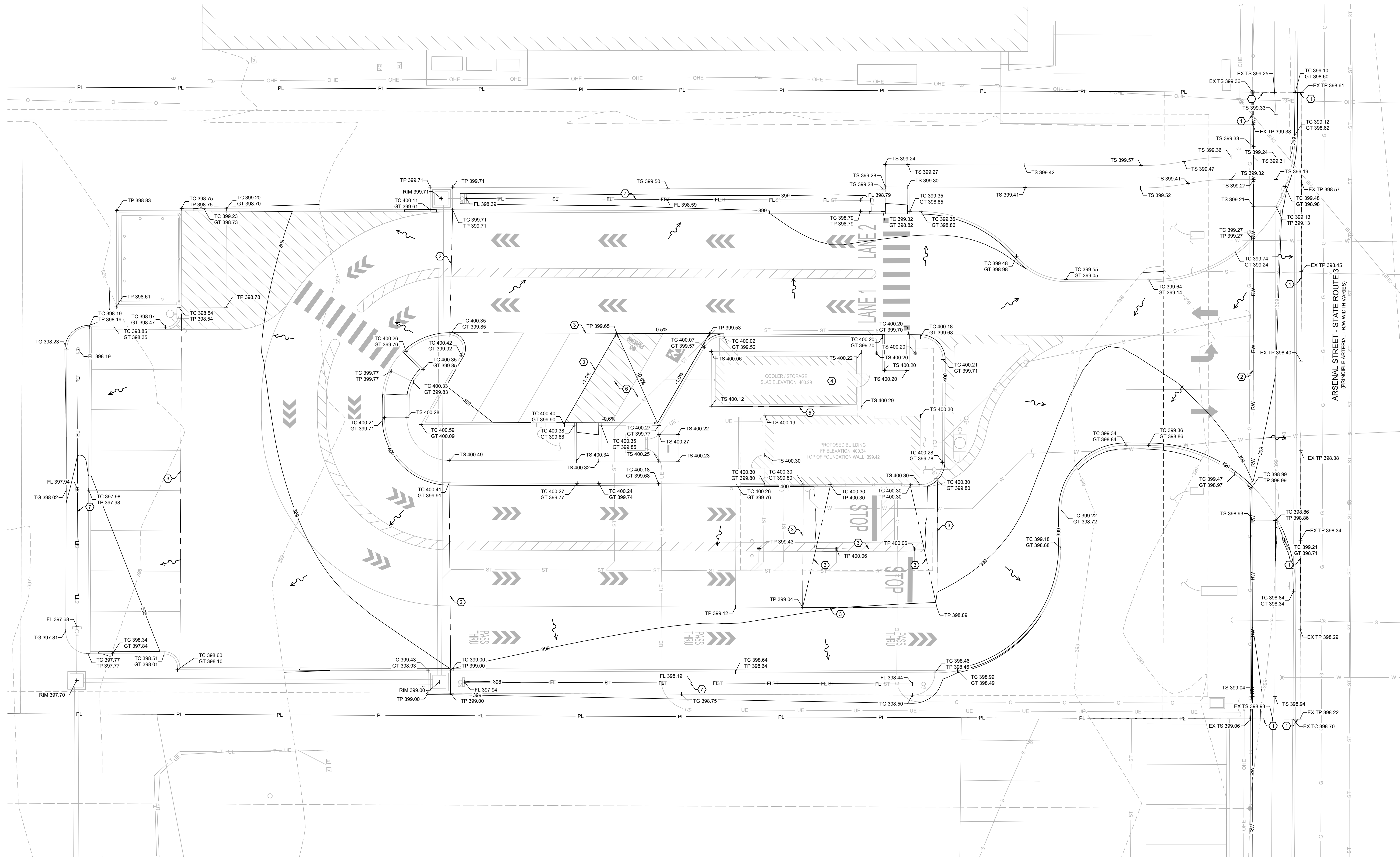
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COAR 017478  
EXPIRES: 06/30/2026

DATE: MAY 29, 2025



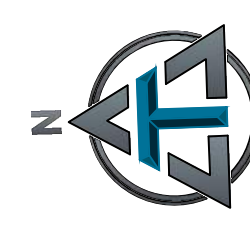


KEY NOTES:

- ① MATCH EXISTING ELEVATION.
- ② HIGH POINT IN PAVEMENT.
- ③ CENTERLINE OF GRADE BREAK IN PAVEMENT.
- ④ PROPOSED REMOTE COOLER.
- ⑤ PROVIDE POSITIVE DRAINAGE IN BETWEEN BUILDING AND REMOTE COOLER.
- ⑥ ADA PARKING AREA NOT TO EXCEED 2% SLOPES IN ALL DIRECTIONS.
- ⑦ CENTERLINE OF FLOW LINE.

ABBREVIATIONS

BC	BACK OF CURB	PVC	POLYVINYL CHLORIDE PIPE
CC	STANDARD CATCH CURB	R/W	RIGHT-OF-WAY
CL	CENTER LINE	RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE	SC	SPILL CURB
EP	EDGE OF PAVEMENT	TB	TOP OF BASE ROCK
FES	FLARED END SECTION	TC	TOP OF CURB
FL	FLOW LINE	TG	TOP OF GROUND
GT	GUTTER INVERT	TP	TOP OF PAVEMENT
GY	GUY WIRE	TS	TOP OF SIDEWALK
HDPE	HIGH DENSITY POLYETHYLENE	TW	TOP OF WALL
INV	INVERT	EX TP	EXISTING TOP OF PAVEMENT
LF	LINEAR FEET	EX TS	EXISTING TOP OF SIDEWALK
MC	MOUNTABLE CURB	→	DIRECTION OF SHEET FLOW



0 5 10  
H. SCALE: 1" = 10'  
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COAR 011478  
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7 BREW COFFEE  
WATERTOWN, NY  
1068 ARSENAL STREET,  
WATERTOWN, NY 13601

C3.1  
GRADING PLAN

DATE: MAY 29, 2025

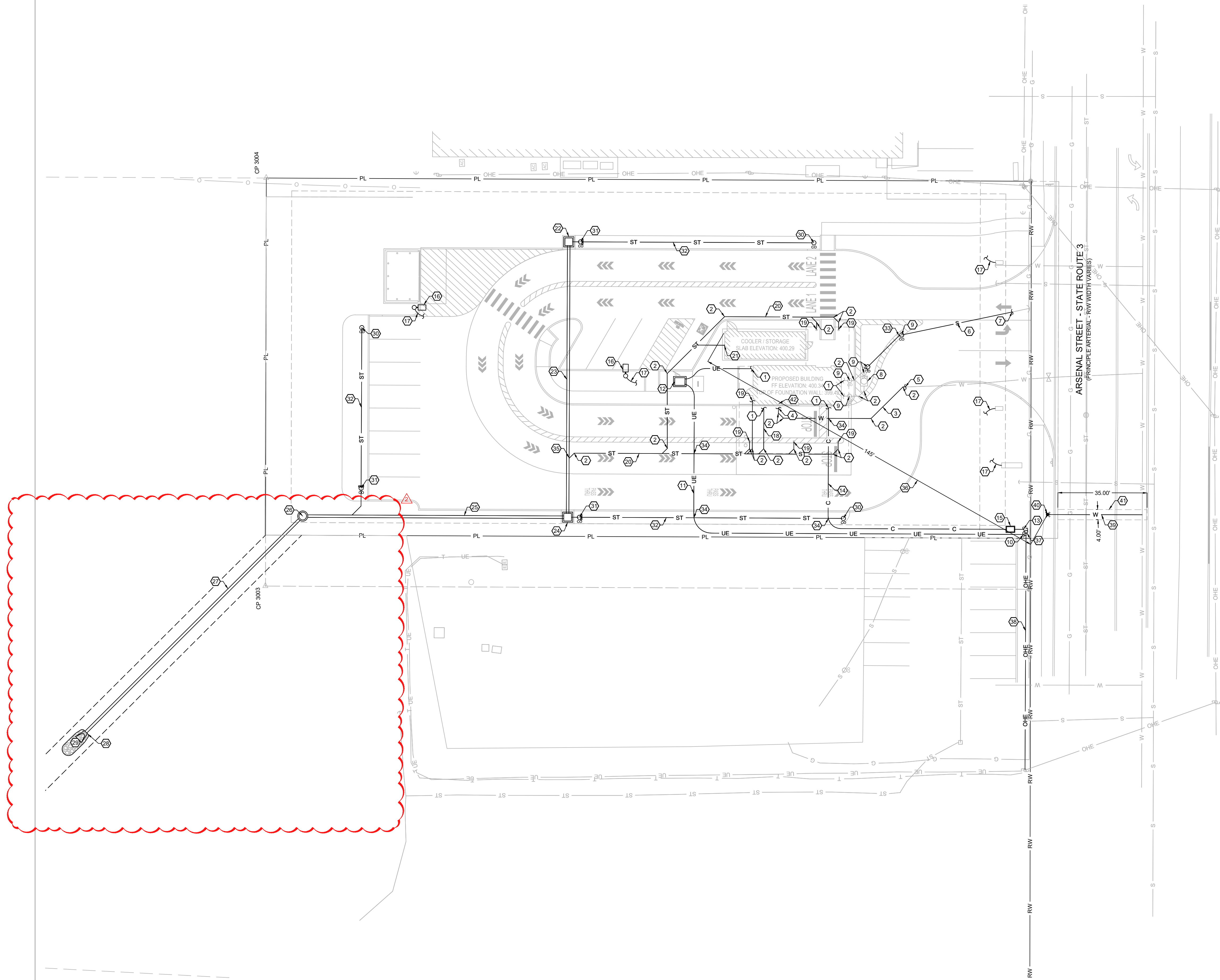


JOHN W. KELLY III - ENGINEER  
PE# 084736  
ENGINEER OF RECORD:  
NAME: JOHN W. KELLY III  
LICENSE NO. 084736

PROJECT NUMBER:  
91 164  
REVISION:







KEY NOTES:

- CONTINUATION OF UTILITY TO BUILDING.
- INSTALL 45° BEND, TYPICAL.
- INSTALL 60 L.F. ± OF 1" SCH. 80 PVC WATER LINE FROM EXISTING WATER SERVICE LINE TO BUILDING PER PIPE INSTALLATION DETAIL 4.01, SHEET C7.2.
- WATER METER AND BACKFLOW TO BE INSIDE BUILDING. COORDINATE WITH THE CITY OF WATERTOWN WATER DEPARTMENT. SEE MEP PLANS FOR THE COORDINATED LOCATION AND DETAIL.
- CONNECTION OF WATER SERVICE TO BE COORDINATED WITH WATER PROVIDER.
- INSTALL 60 L.F. ± OF 4" SCH. 40 PVC SANITARY SEWER SERVICE AT A MINIMUM SLOPE OF 1.00% PER PIPE INSTALLATION DETAIL 4.01, SHEET C7.2.
- CONTRACTOR TO CONNECT 4" SCH. 40 PVC SANITARY SEWER SERVICE LINE TO EXISTING SEWER LINE. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF SEWER LINE TO ENSURE NO CONFLICT PRIOR TO CONSTRUCTION. COORDINATE CONNECTION WITH SEWER UTILITY PROVIDER.
- 125 GALLON SCHIER GB-75 GREASE INTERCEPTOR WITH PEDESTRIAN OR H-20 RATED CAST IRON COVER, PER MEP PLANS.
- SEWER LATERAL CLEAN OUT PER DETAIL 4.02, SHEET C7.2.
- ROUTING OF PROPOSED ELECTRIC UTILITY AND POINT OF CONNECTION SHOWN IS APPROXIMATE. CONTRACTOR TO COORDINATE WITH ELECTRIC UTILITY PROVIDER TO DETERMINE FINAL LOCATION PRIOR TO INSTALLATION OF ELECTRIC SERVICE LINE.
- BURIED ELECTRIC LINE, SEE MEP PLANS.
- PAD MOUNTED TRANSFORMER, SEE MEP PLANS. COORDINATE WITH ELECTRIC UTILITY PROVIDER.
- ROUTING OF PROPOSED COMMUNICATION UTILITY AND POINT OF CONNECTION SHOWN IS APPROXIMATE. CONTRACTOR TO COORDINATE WITH COMMUNICATION UTILITY PROVIDER TO DETERMINE FINAL LOCATION PRIOR TO INSTALLATION OF COMMUNICATION SERVICE LINE.
- (2) 2" COMMUNICATIONS CONDUITS WITH PULLWIRE.
- COMMUNICATIONS PULL BOX, SEE MEP PLANS. COORDINATE WITH COMMUNICATIONS UTILITY PROVIDER.
- LIGHT POLE, SEE MEP PLANS.
- BURIED ELECTRIC LINE FOR SITE LIGHTING AND SIGNAGE, SEE MEP PLANS.
- INSTALL 20 L.F. ± OF 2.0" DIA. SCH. 40 PVC DISCHARGE LINE FROM SUMP PUMP. TERMINATE DISCHARGE LINE INTO ROOF DRAINAGE SYSTEM.
- DOWNSPOUT CONNECTION PER DETAIL 4.07, SHEET C7.2, SEE ARCHITECTURAL PLANS.
- INSTALL 215 L.F. ± 8-INCH HDPE DOWNSPOUT HEADER STORM LINE AT 1% SLOPE, PER PIPE INSTALLATION DETAIL 4.01, SHEET C7.2.
- 2" PVC WALK IN COOLER DRAIN PIPE. PROVIDE AIR GAP FLUSH TO CONCRETE SLAB FOR WALK IN COOLER DRAIN OUTLET. DOWNSPOUT END TO CONNECT TO ROOF DRAINAGE SYSTEM. PROVIDE POSITIVE FLOW, 1% MINIMUM.
- 4" x 4" O.D. CONCRETE AREA INLET PER DETAIL 4.05 SHEET C7.2. RIM 399.71, 4" PVC FL IN 397.36 (S), 12" HDPE FL OUT 396.50 (W).
- INSTALL 105 L.F. ± 12-INCH HDPE STORM LINE AT 1% SLOPE, PER PIPE INSTALLATION DETAIL 4.01, SHEET C7.2.
- 4" x 4" O.D. CONCRETE AREA INLET PER DETAIL 4.05 SHEET C7.2. RIM 399.00, 12" HDPE FL IN 395.50 (E), 4" PVC FL IN 395.50 (S), 12" HDPE FL OUT 395.40 (N).
- INSTALL 100 L.F. ± 12-INCH HDPE STORM LINE AT 1% SLOPE, PER PIPE INSTALLATION DETAIL 4.01, SHEET C7.2.
- JUNCTION PER DETAIL 4.06, SHEET C7.2. RIM 397.70, 12" HDPE FL IN 394.47 (S), 12" HDPE FL OUT 394.37 (W).
- INSTALL 120 L.F. ± 12-INCH HDPE STORM LINE AT 1% SLOPE, PER PIPE INSTALLATION DETAIL 4.01, SHEET C7.2.
- FLARED END SECTION PER DETAIL 4.08 SHEET C7.3. INVERT ELEVATION 393.07.
- INSTALL RIP RAP PER DETAIL 4.04 SHEET C7.2.
- STORMWATER LATERAL CLEAN OUT PER DETAIL 4.03 SHEET C7.2.
- 6" x 2' x 1.5' ANTISEEP CONCRETE COLLAR & CLEANOUT PER DETAIL 4.10 SHEET C7.1.
- SNOW STACK AREA SUBDRAIN 4" PERFORATED PVC PIPE PER DETAIL 4.09 SHEET C7.1.
- INSTALL 22.5' ± 11.25" BEND.
- UTILITY CROSSING, CONTRACTOR TO COORDINATE DEPTH IN FIELD.
- CONNECT 8-INCH DOWNSPOUT HEADER STORM LINE TO 12-INCH HDPE STORM SEWER LINE.
- DISTANCE TO NEAREST FIRE HYDRANT.
- APPROXIMATE LOCATION OF PROPOSED POWER POLE. SEE MEP PLANS. COORDINATE WITH ELECTRIC UTILITY PROVIDER.
- APPROXIMATE LOCATION OF PROPOSED OVERHEAD ELECTRIC LINE. SEE MEP PLANS. COORDINATE WITH ELECTRIC UTILITY PROVIDER.
- INSTALL 40 L.F. ± OF 6" DUCTILE IRON PIPE PER AWWA C600 SPECIFICATIONS AND DETAIL 4.01 SHEET C7.2.
- INSTALL FIRE HYDRANT AND VALVE PER DETAIL 4.12 SHEET C7.4.
- INSTALL NYS DOT ASPHALT PAVEMENT (404.0963) PER DETAILS 2.22 SHEET C7.4.
- METER AND BACKFLOW LOCATION INSIDE BUILDING.

EXISTING UTILITY PROVIDER CONTACT INFORMATION:

- |             |   |
|-------------|---|
| 1. WATER    | CITY OF WATERTOWN<br>245 WASHINGTON STREET<br>WATERTOWN, NY 13601<br>315-785-7757 |
| 2. ELECTRIC | NATIONAL GRID<br>300 ERIE BOULEVARD WEST<br>SYRACUSE, NY 13202<br>800-642-4272    |
| 3. SEWER    | CITY OF WATERTOWN<br>245 WASHINGTON STREET<br>WATERTOWN, NY 13601<br>315-785-7757 |

WATER UTILITY NOTE

ALL WATER MAIN AND SERVICE WORK MUST BE COORDINATED WITH THE CITY OF WATERTOWN WATER DEPARTMENT. THE WATER DEPARTMENT REQUIREMENTS SUPERSEDE ALL OTHER PLANS AND SPECIFICATIONS PROVIDED.



JOHN W. KELLY III - ENGINEER  
PE# 084736  
ENGINEER OF RECORD:  
NAME: JOHN W. KELLY III  
LICENSE NO. 084736

PROJECT NUMBER:  
91 164

REVISION:  
07-02-2025 PLANNING COMMISSION

7 BREW COFFEE  
WATERTOWN, NY  
1068 ARSENAL STREET,  
WATERTOWN, NY 13601



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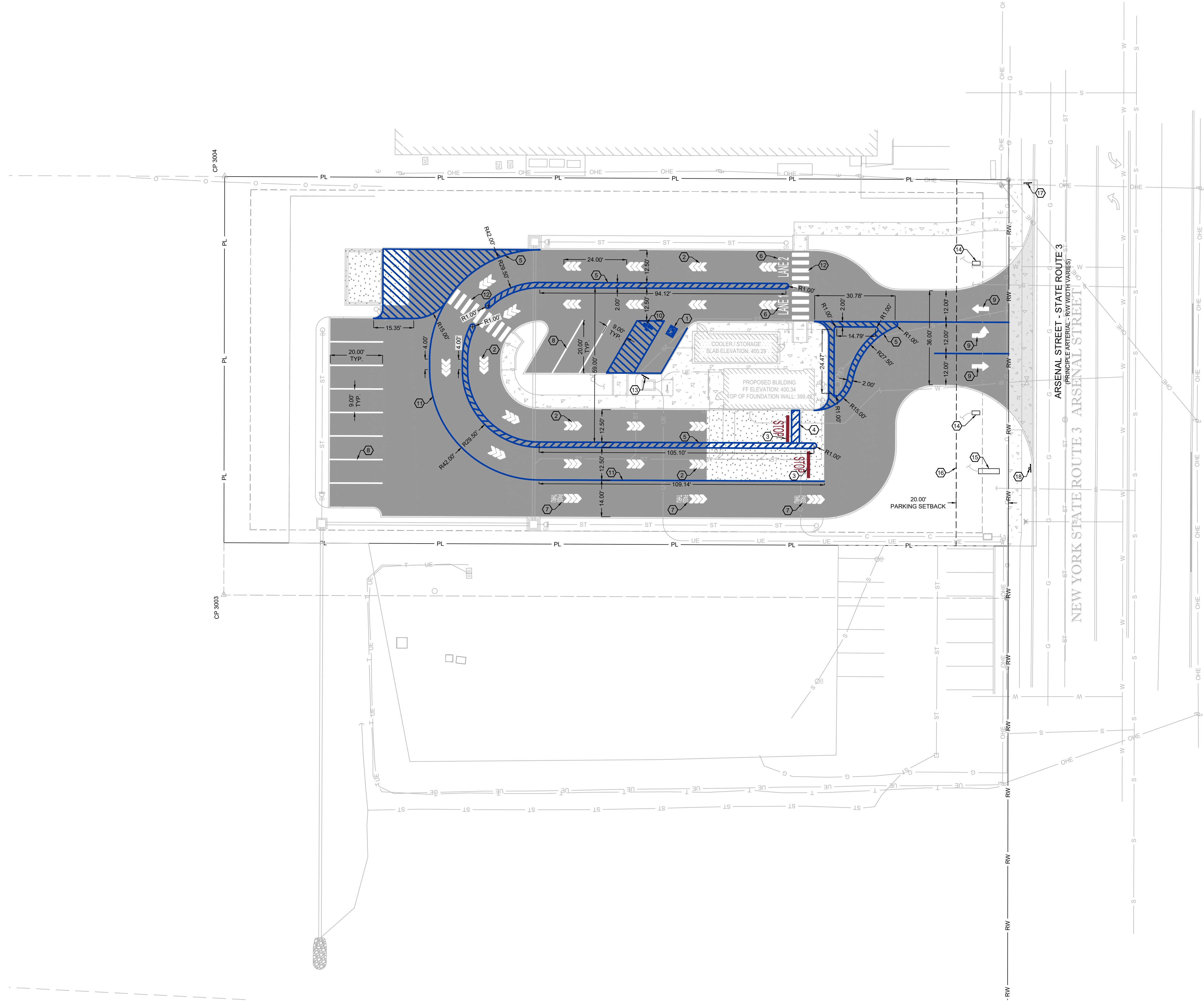
C4.1  
UTILITY PLAN

DATE: MAY 29, 2025



DATE: MAY 29, 2025



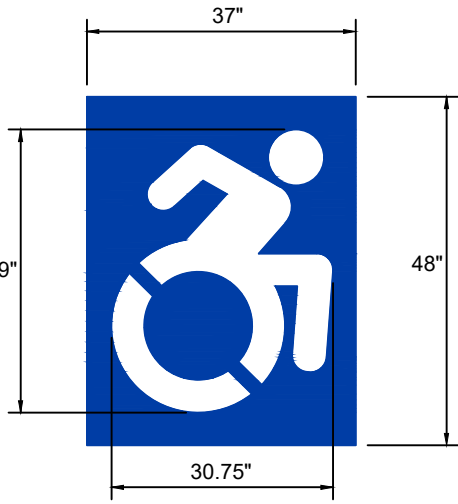


HATCH LEGEND:

- ASPHALT PAVEMENT  
PER DETAIL 2.06, SHEET C7.1.
- CONCRETE SIDEWALK  
PER SIDEWALK DETAIL 2.02, SHEET C7.1.
- CONCRETE PAVEMENT  
PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.05, SHEET C7.1.
- COOLER/STORAGE PAD  
PER STRUCTURAL DETAIL 7 SHEET S2.1.
- 6" THICK NYSDOT CONCRETE PAVEMENT  
PER NYSDOT CONCRETE PAVEMENT  
DETAIL 2.21 SHEET C7.3.

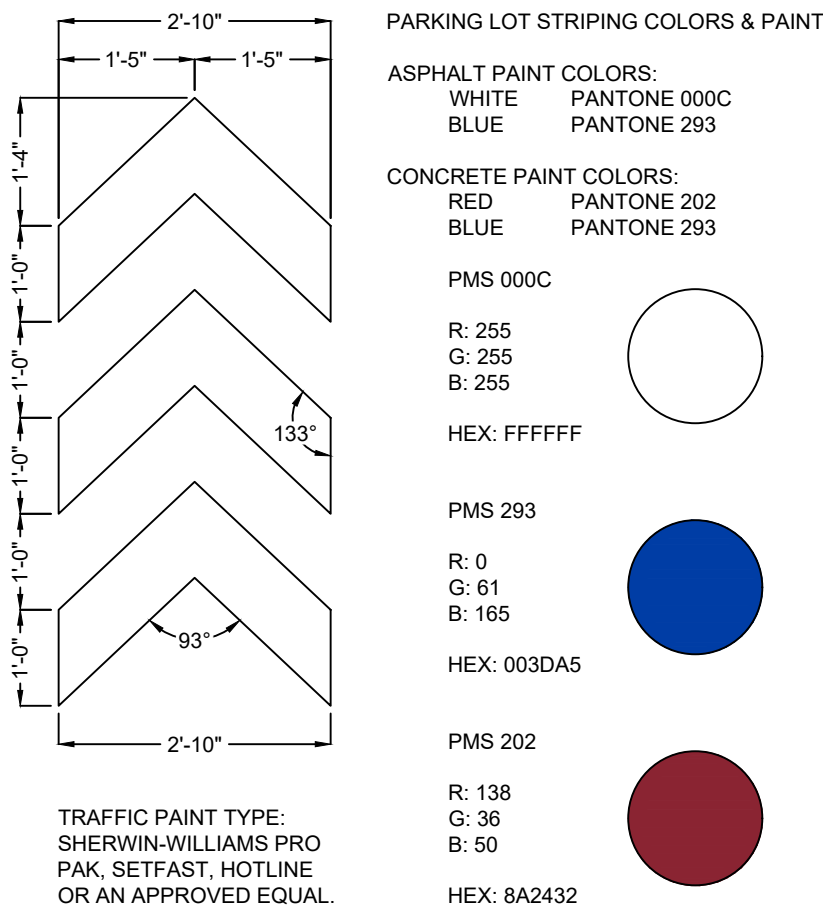
KEY NOTES:

- BLUE PAINTED ADA ACCESSIBLE PARKING SYMBOL PER DETAIL 6.01 THIS SHEET.
- SOLID WHITE TRIPLE ARROW PAVEMENT MARKER, PER DETAIL 6.02 THIS SHEET.
- 12" SOLID RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED.
- ALIGN 4" SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING.
- 4-INCH SOLID BLUE PAVEMENT MARKER, TYPICAL. MIDLINES SPACE AT 24" O.C.
- 48-INCH TALL "LANE #" PAINTED IN WHITE.
- 24-INCH TALL "PASS THRU" PAINTED IN WHITE.
- 4-INCH SOLID WHITE PAVEMENT MARKER FOR PARKING, TYPICAL.
- SOLID WHITE DIRECTIONAL ARROW PAVEMENT MARKING.
- "NO PARKING" PAINTED IN ACCESS AISLE, ALL CAPITAL LETTERS < 12-INCH  
HEIGHT LETTERS, 2-INCH STROKE.
- 4-INCH SOLID BLUE PAVEMENT MARKER.
- CROSS WALK PAVEMENT MARKING, 12" WIDE BY 6' LONG SOLID WHITE PAINT SPACED EVERY 3'.  
ORIENT THE STRIPES IN THE DIRECTION SHOWN PARALLEL TO THE DIRECTION OF TRAFFIC.
- ADA VAN ACCESSIBLE SIGN PER DETAIL 6.03, SHEET C7.1.
- DIRECTIONAL SIGN.
- PYLON SIGN.
- 20 FOOT PARKING SETBACK.
- RELOCATE SPEED LIMIT 30 MPH SIGN, COORDINATE WITH NYSDOT FOR FINAL LOCATION.
- RELOCATE "NO STANDING ANYTIME" SIGN, COORDINATE WITH NYSDOT FOR FINAL LOCATION.



DYNAMIC "ACCESSIBILITY SYMBOL"

SCALE: NONE



PARKING LOT STRIPING COLORS & PAINT

SCALE: NONE

JOHN W KELLY PE ENGINEERING D.P.C.  
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SPRINGFIELD, MO 65810  
Ph: 417-888-0645 Fax: 417-888-0657  
COAR# 017478  
EXPIRES: 06/30/2026



JOHN W. KELLY III - ENGINEER  
PE# 084736  
ENGINEER OF RECORD:  
NAME: JOHN W. KELLY III  
LICENSE NO. 084736

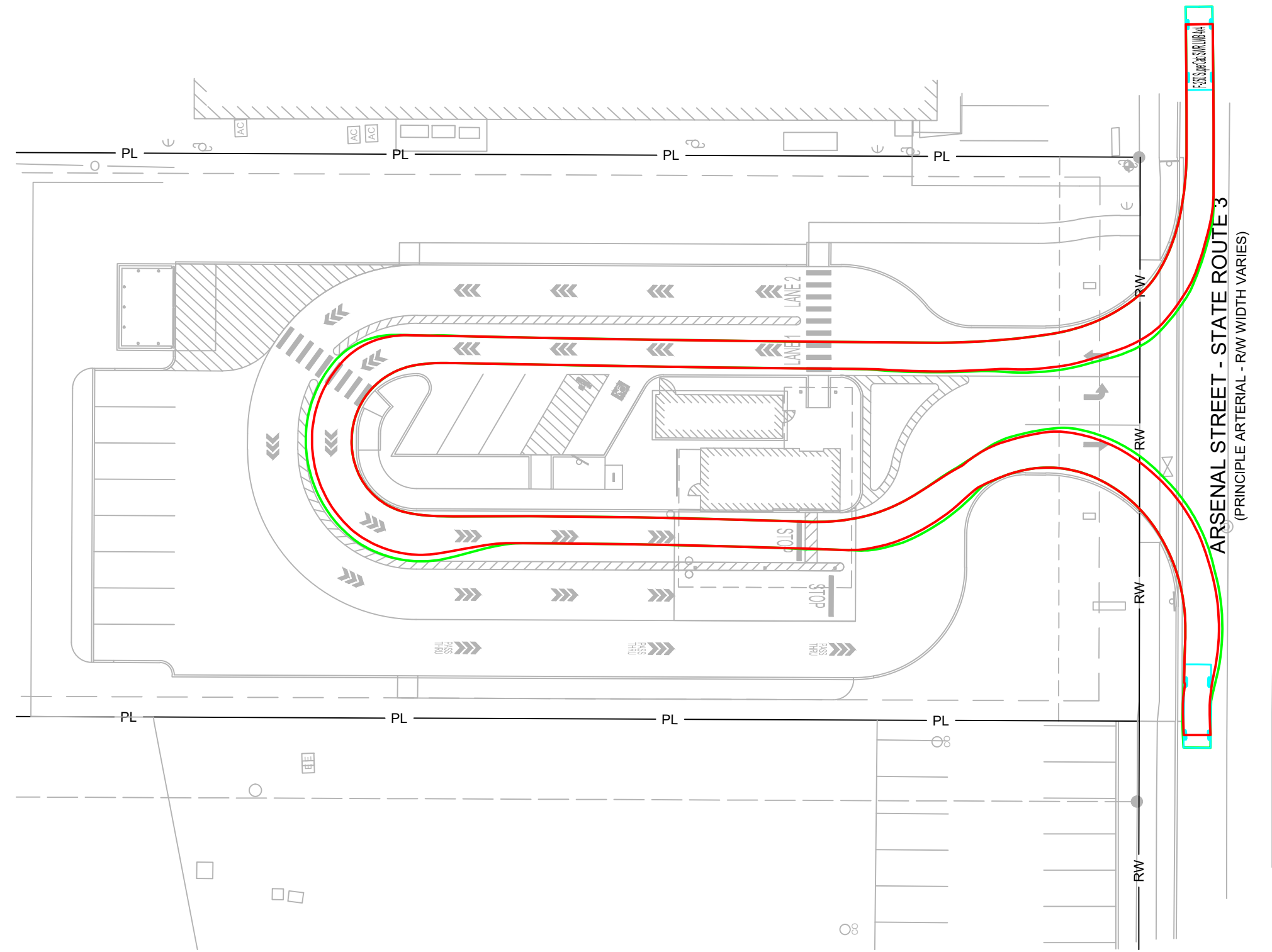
PROJECT NUMBER:  
91 164  
REVISION:  
06-10-2025 REVIEW / MINOR CHANGE

7 BREW COFFEE  
WATERTOWN, NY  
1068 ARSENAL STREET,  
WATERTOWN, NY 13601

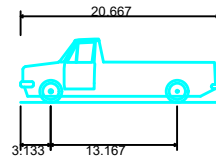
C6.1  
STRIPING PLAN

DATE: MAY 29, 2025



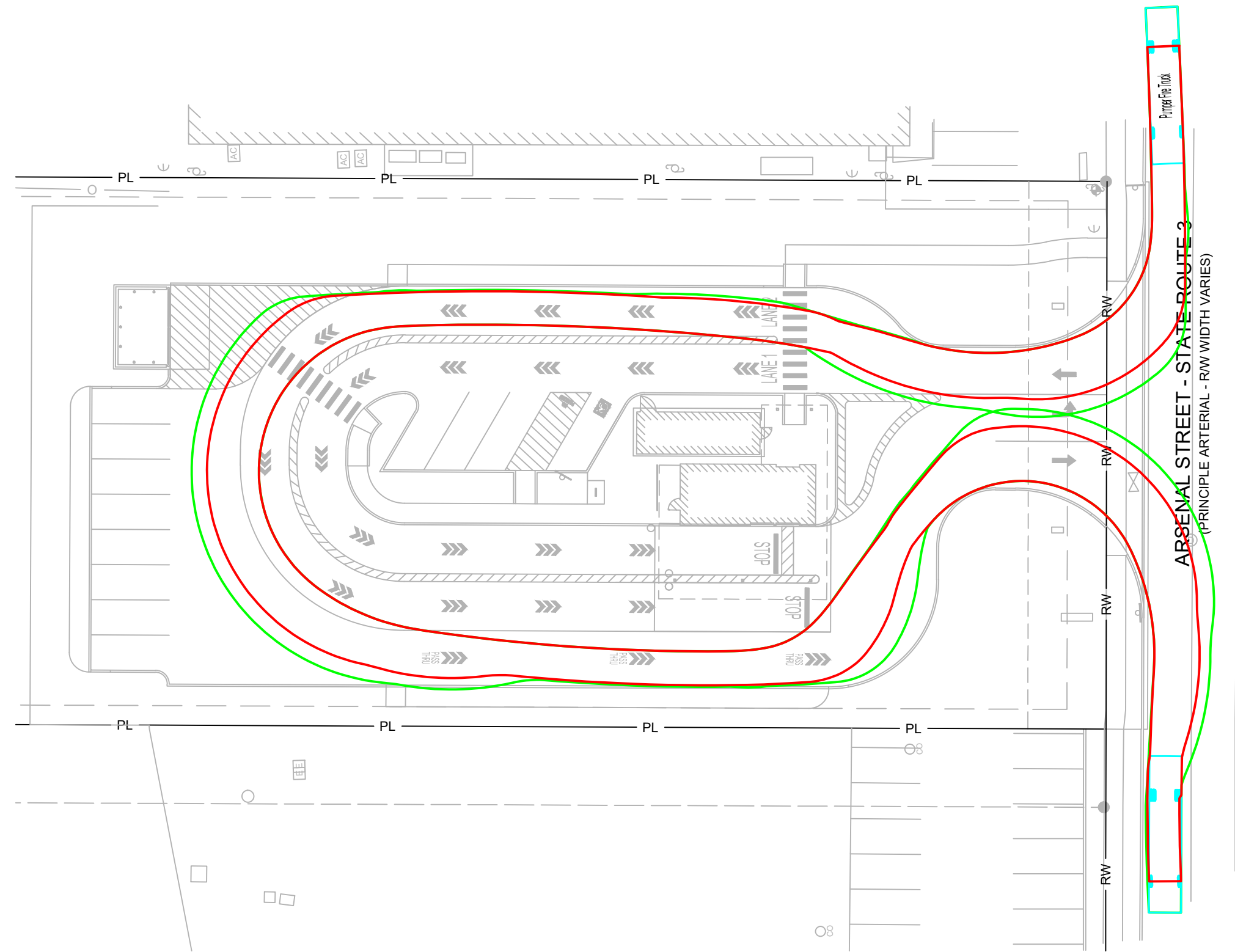


PASSENGER CAR/TRUCK

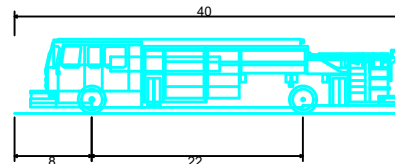


F-250 SuperCab SWR LWB 4x4  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Curb to Curb Turning Radius

20.667ft  
6.658ft  
6.617ft  
0.650ft  
6.658ft  
5.00s  
26.180ft

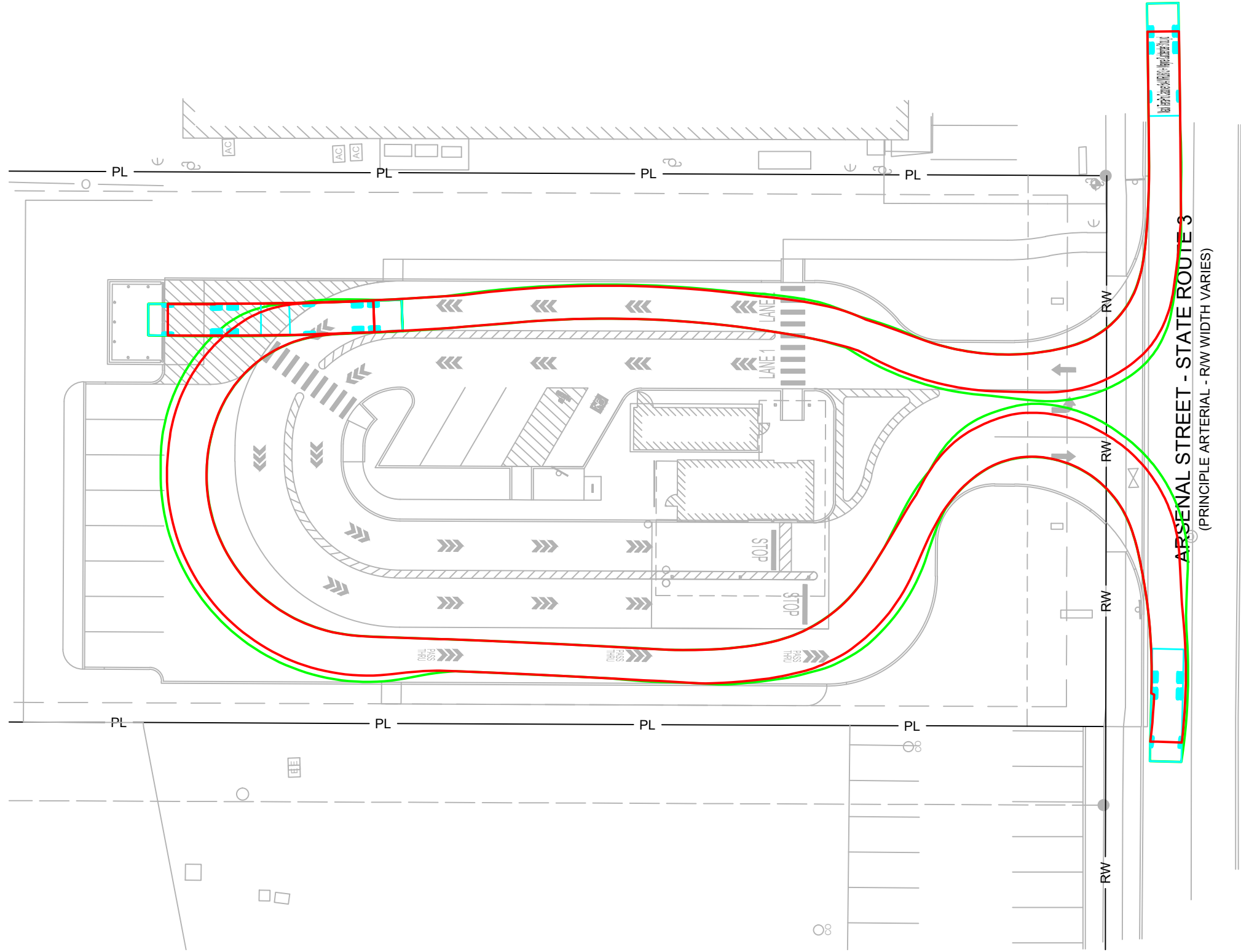


CITY FIRE TRUCK

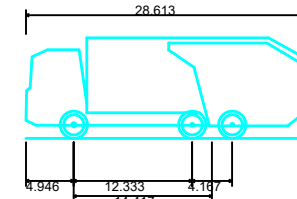


Pumper Fire Truck  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Max Wheel Angle

40.000ft  
8.167ft  
7.745ft  
0.656ft  
8.167ft  
5.00s  
45.00°

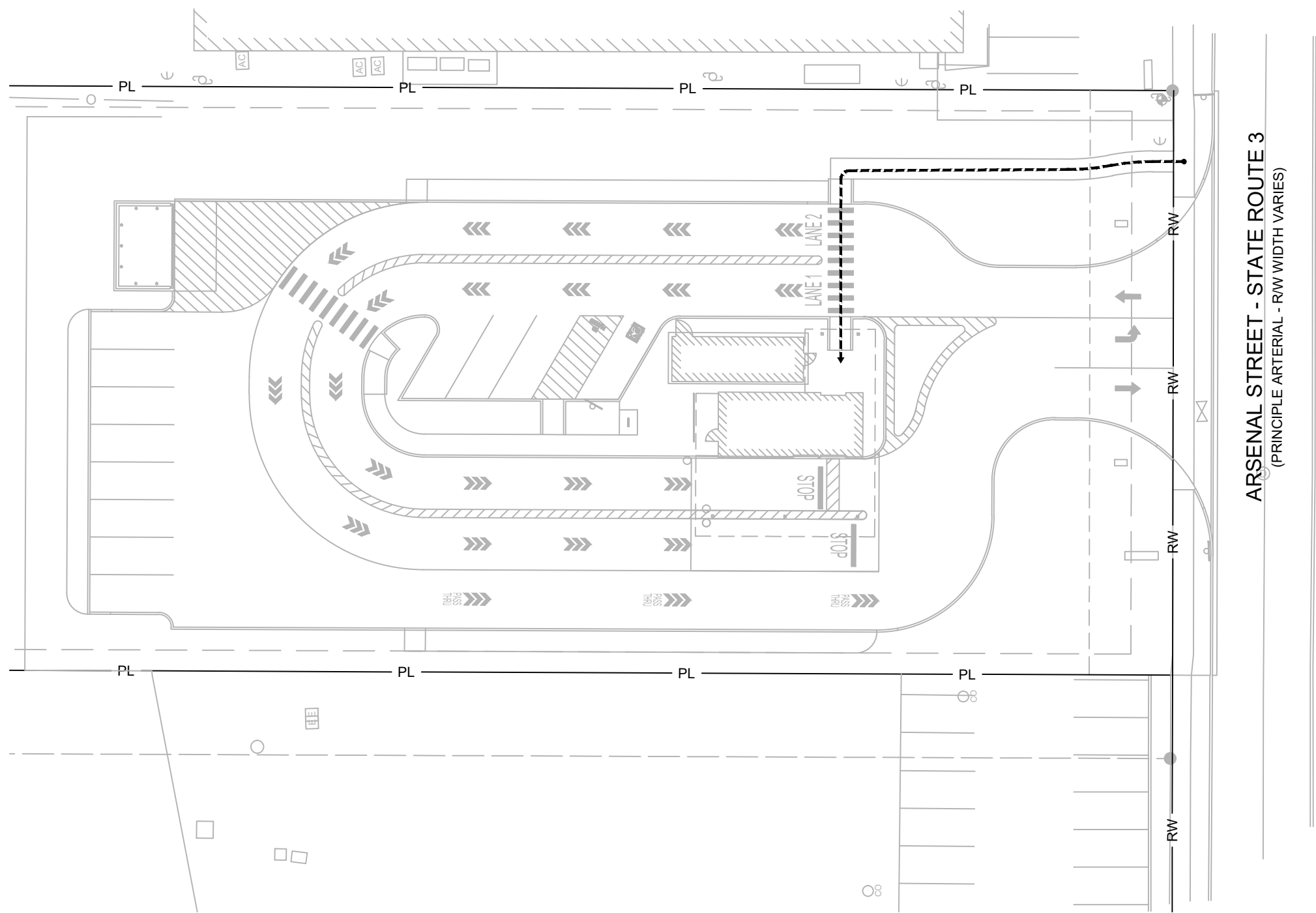


DELIVERY/REFUSE VEHICLE



Mack TerraPro Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Curb to Curb Turning Radius

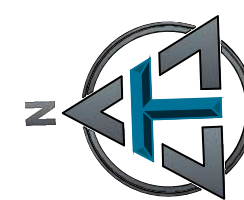
28.813ft  
8.000ft  
10.481ft  
1.311ft  
8.000ft  
6.00s  
33.500ft



PEDESTRIAN PATH FROM RIGHT OF WAY

HATCH LEGEND:

- VEHICLE
- VEHICLE BODY ENVELOPE PATH
- VEHICLE WHEEL TRACK



0 15 30  
H. SCALE: 1" = 30'



Outside New York City or Long Island  
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EXPIRES: 06/30/2026



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PE# 084736

ENGINEER OF RECORD:

NAME: JOHN W. KELLY III

LICENSE NO. 084736

PROJECT NUMBER:

91 164

REVISION:

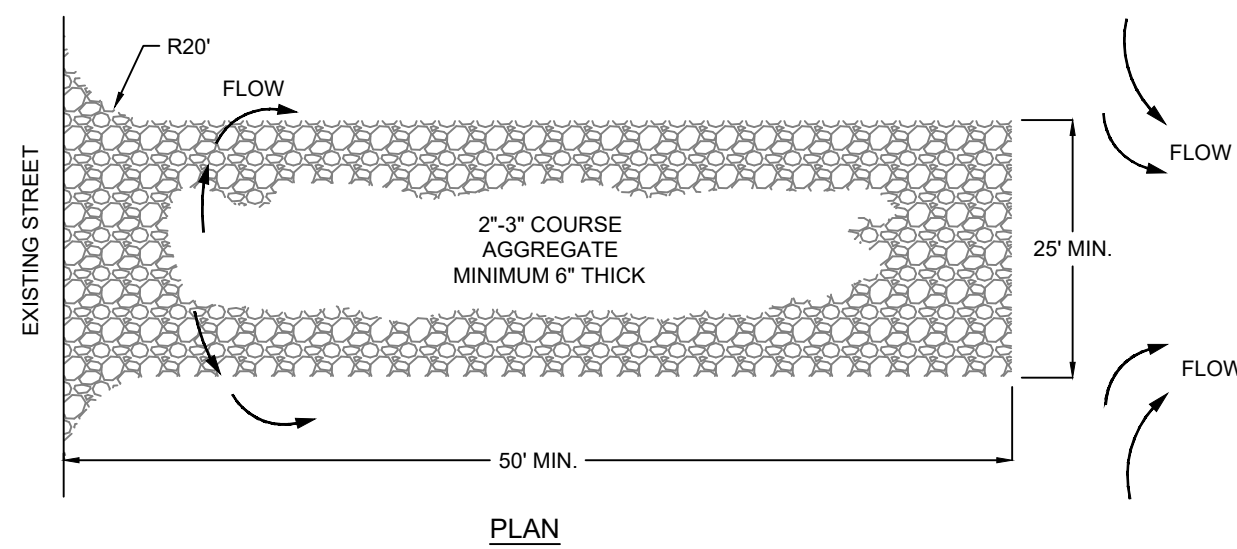
7 BREW COFFEE  
WATERTOWN, NY

1068 ARSENAL STREET,  
WATERTOWN, NY 13601

C6.2  
CIRCULATION PLAN

DATE: MAY 29, 2025



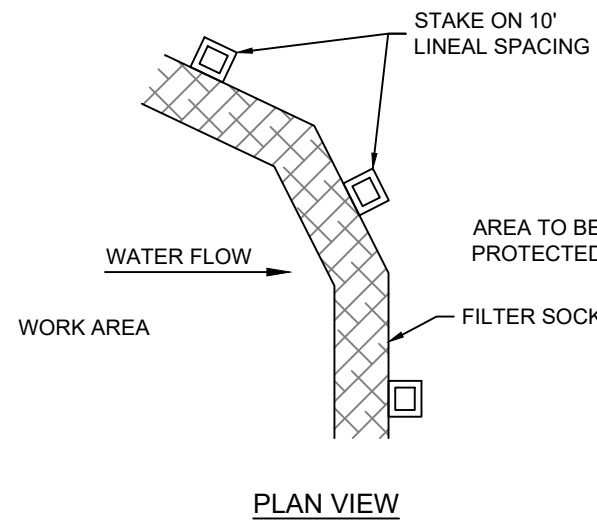


#### NOTES:

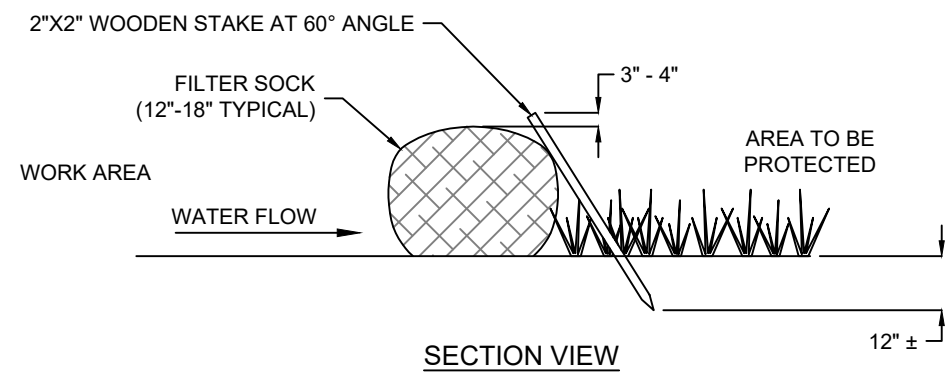
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

### TEMPORARY CONSTRUCTION ENTRANCE

1.01 SCALE: NONE



PLAN VIEW



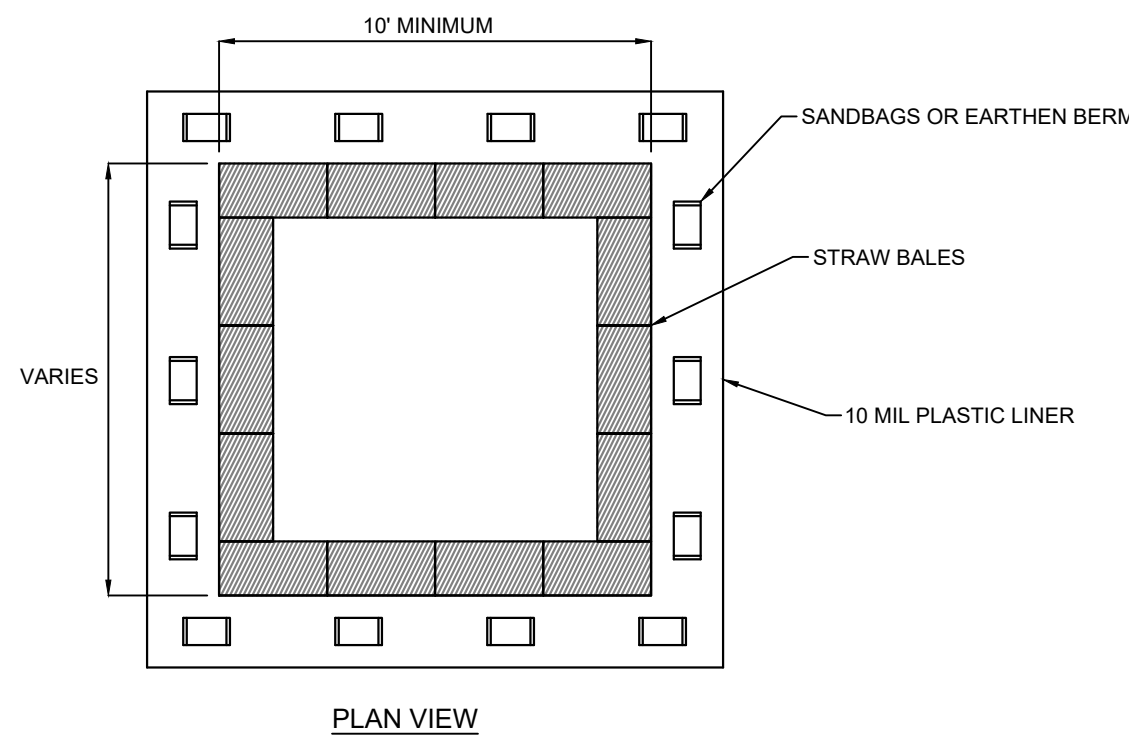
SECTION VIEW

#### NOTES:

1. ALL MATERIAL TO MEET MANUFACTURER'S REQUIREMENTS.
2. FILTER SOCK DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER ENGINEER.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

### COMPOST FILTER SOCK DETAIL

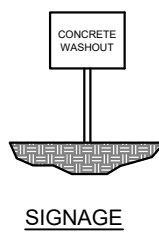
1.02 SCALE: NONE



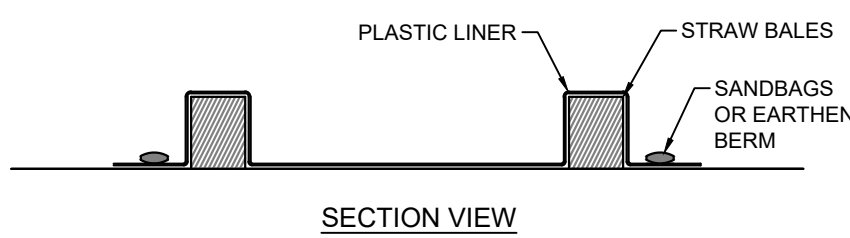
PLAN VIEW

#### NOTES:

1. WASHOUT CONTAINMENT SHALL BE INSTALLED FOR DURATION OF CONCRETE WORK AND RETAIN CONCRETE AND OTHER WASHOUT LIQUIDS UNTIL EVAPORATION OR REMOVAL BY PUMP.
2. CONTAINMENT SHALL BE SIZED FOR EXPECTED WASHOUT VOLUMES.
3. AVOID PLACING NEAR STORM DRAINS, STREAMS, SINKHOLES, OUTFALLS OR OTHER LOW AREAS WHERE WATER PONDS OR FLOWS.
4. OTHER APPROVED LEAK-PROOF CONTAINMENT IS ACCEPTABLE.
5. TRAPS SHALL BE ROUTINELY MAINTAINED AT 75% CAPACITY AND REPLACED AS NECESSARY TO PERFORM.
6. THE WASHOUT PIT SHALL BE COVERED BEFORE PREDICTED RAIN EVENTS TO PREVENT OVERFLOW.
7. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



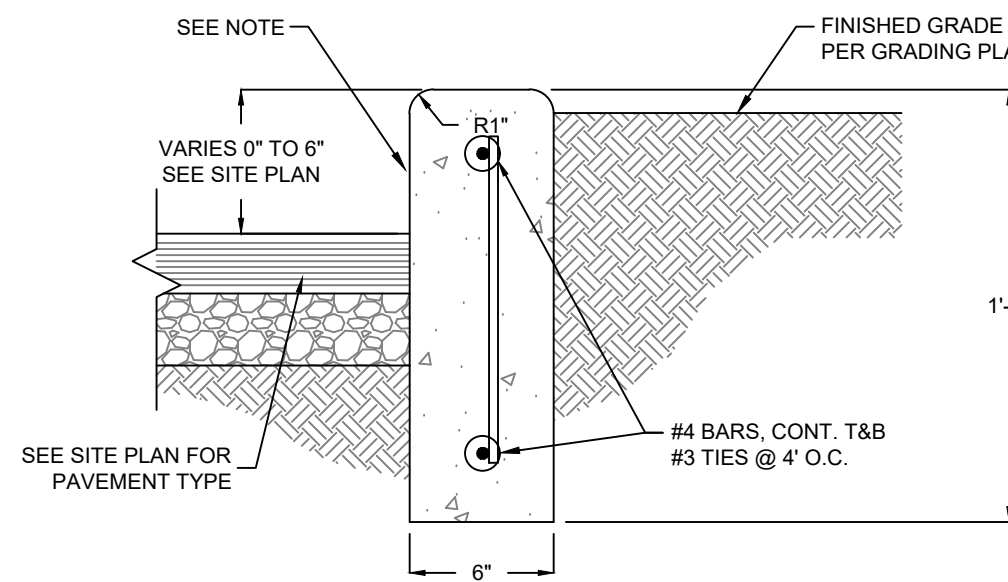
SIGNAGE



SECTION VIEW

### CONCRETE WASHOUT

1.03 SCALE: NONE

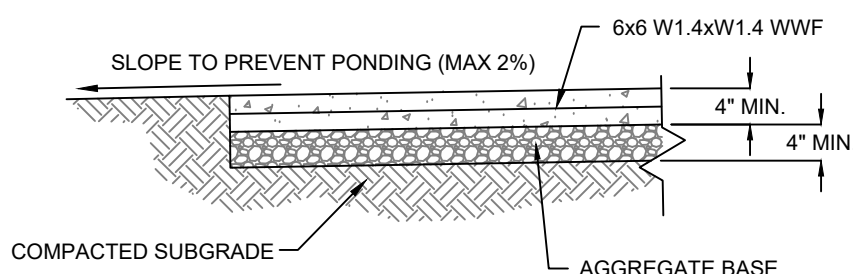


#### NOTES:

1. CURB FACE SHALL HAVE A CLEAN, SMOOTH FINISH; FREE OF BUMPS, HONEYCOMB, AND VOIDS.

### CONCRETE CURB DETAIL

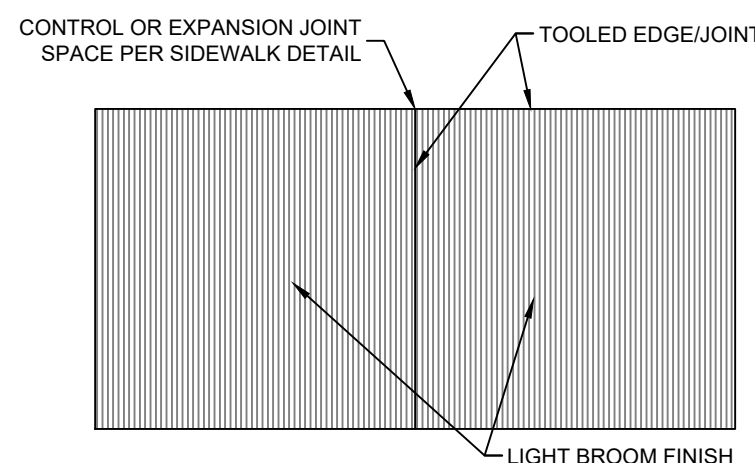
2.01 SCALE: NONE



#### NOTES:

1. PROVIDE CONTROL JOINTS @ 5' O.C. MAX. OR WIDTH OF SIDEWALK. SEE JOINT DETAIL.
2. PROVIDE EXPANSION JOINTS @ 20' O.C. MAX. & AS INDICATED ON SITE PLAN.
3. WHERE WALK ABUTS ANOTHER WALK, CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES, PROVIDE 1/2\"/>

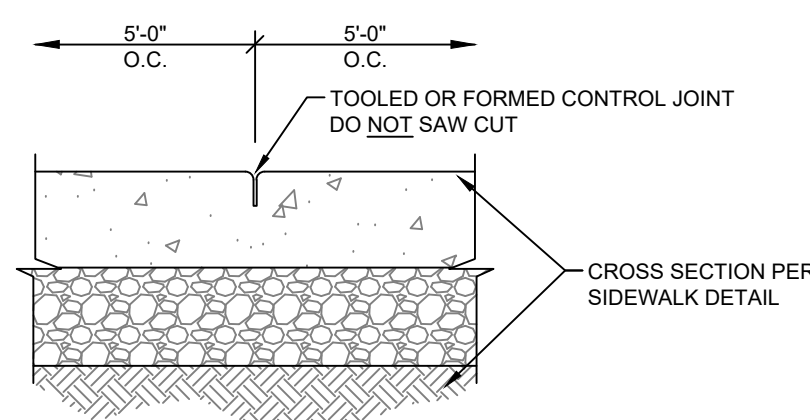
SECTION



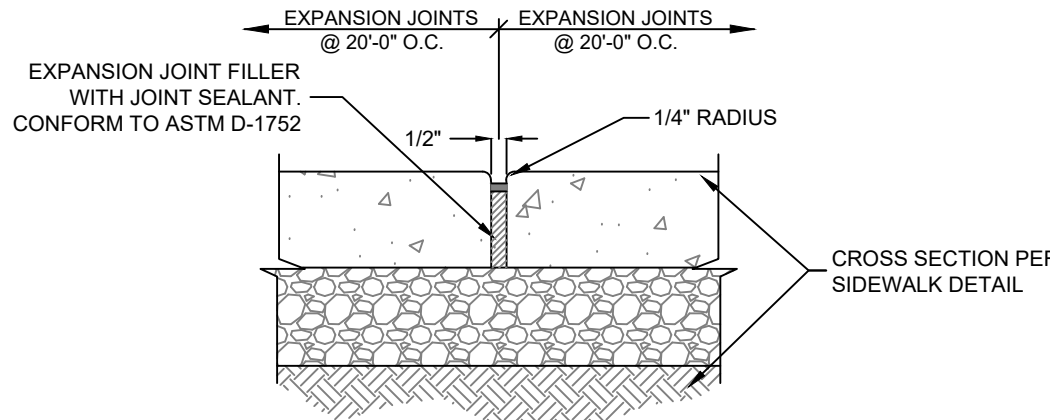
#### NOTES:

1. CONTRACTOR SHALL TOOL EDGES AND JOINTS AS SHOWN THEN LIGHTLY BROOM FINISH ENTIRE SIDEWALK SURFACE.

FINISH PLAN



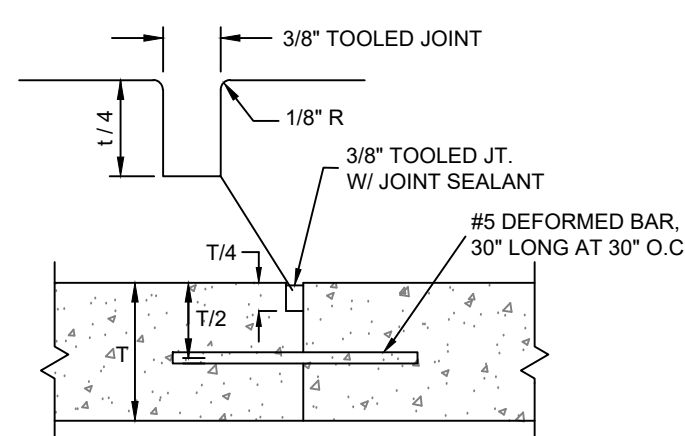
CONTROL JOINT



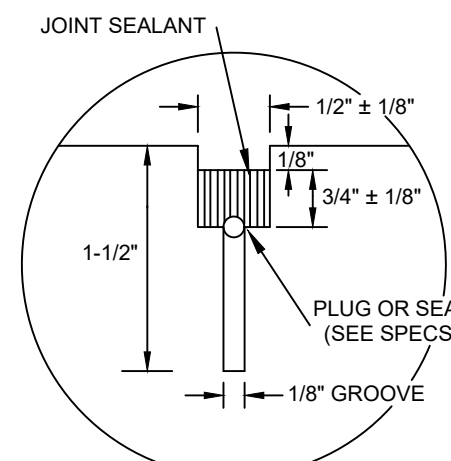
EXPANSION JOINT

### SIDEWALK DETAILS

2.02 SCALE: NONE



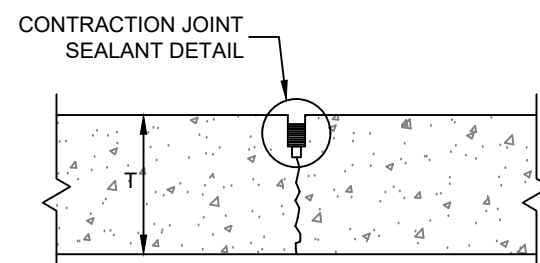
DOWELED CONSTRUCTION JOINT



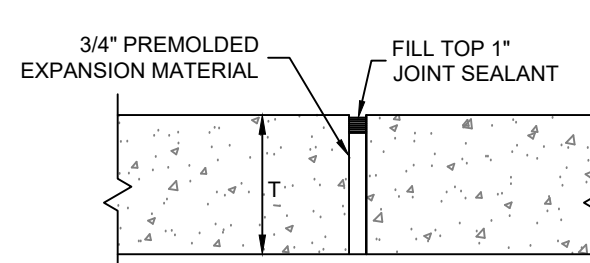
CONTRACTION JOINT SEALANT DETAIL

#### CONCRETE JOINT NOTES:

1. CONSTRUCTION JOINTS SHALL BE PLACED AS REQUIRED BY THE CONTRACTOR.
2. EXPANSION JOINTS SHALL BE PLACED WHERE CONCRETE ABUTS STRUCTURES OR EXISTING PAVEMENT AND AT 45 FEET ON CENTER, EACH DIRECTION (OR AS SHOWN ON PLAN).
3. CONTRACTION JOINTS SHALL BE PLACED AT 15 FEET MINIMUM SPACING IN EACH DIRECTIONS.



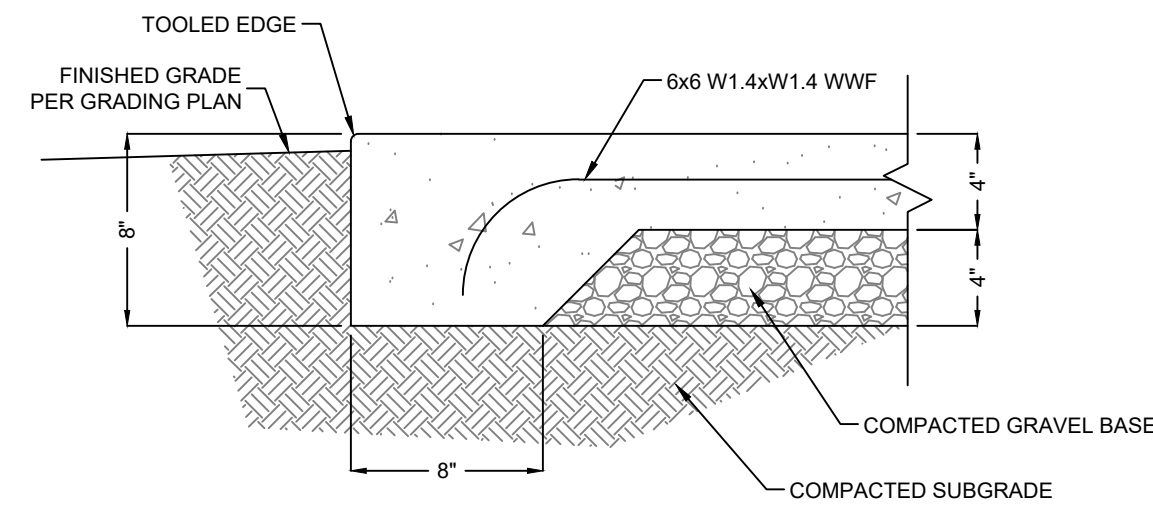
SAWED CONSTRUCTION JOINT



EXPANSION JOINT

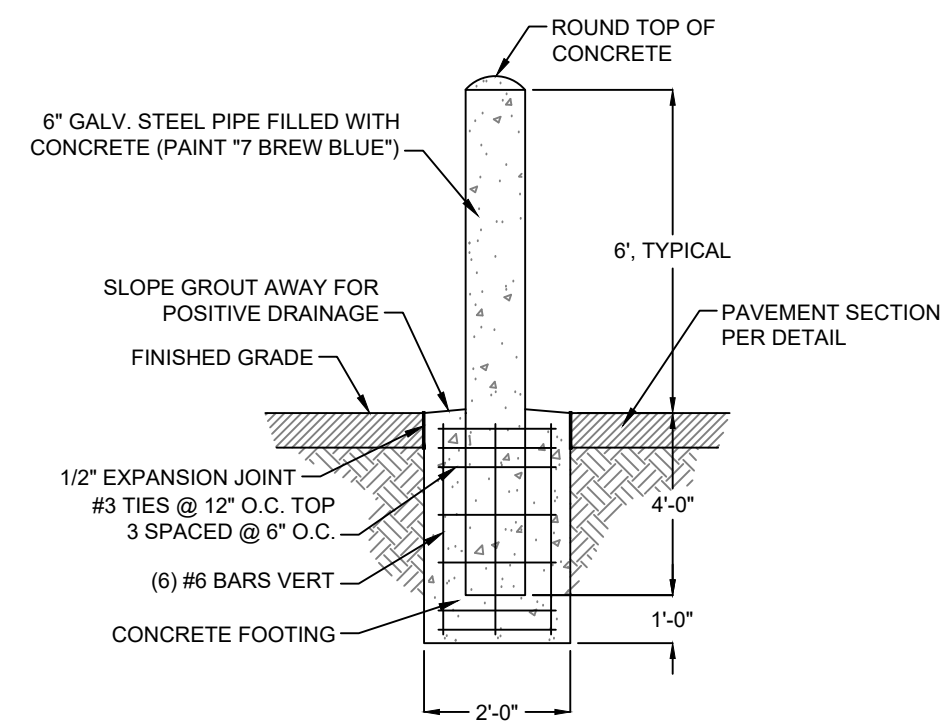
### CONCRETE PAVEMENT JOINT DETAILS

2.03 SCALE: NONE



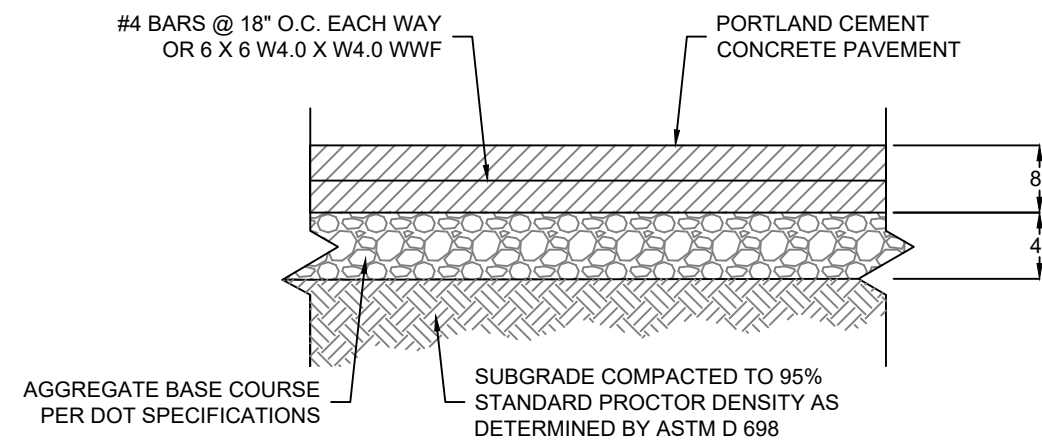
### CONCRETE STOOP/WALK EDGE

2.04 SCALE: NONE



### PIPE BOLLARD

2.09 SCALE: NONE

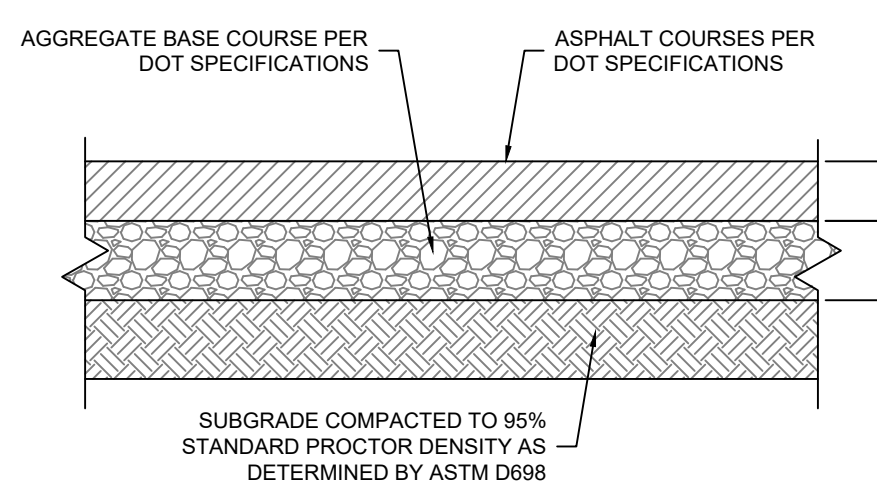


#### NOTES:

1. SEE CONCRETE PAVEMENT JOINT DETAILS AND NOTES.
2. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES PER GEOTECHNICAL ENGINEERING REPORT IF AVAILABLE.
3. ALL MATERIALS SHALL MEET THE CURRENT DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

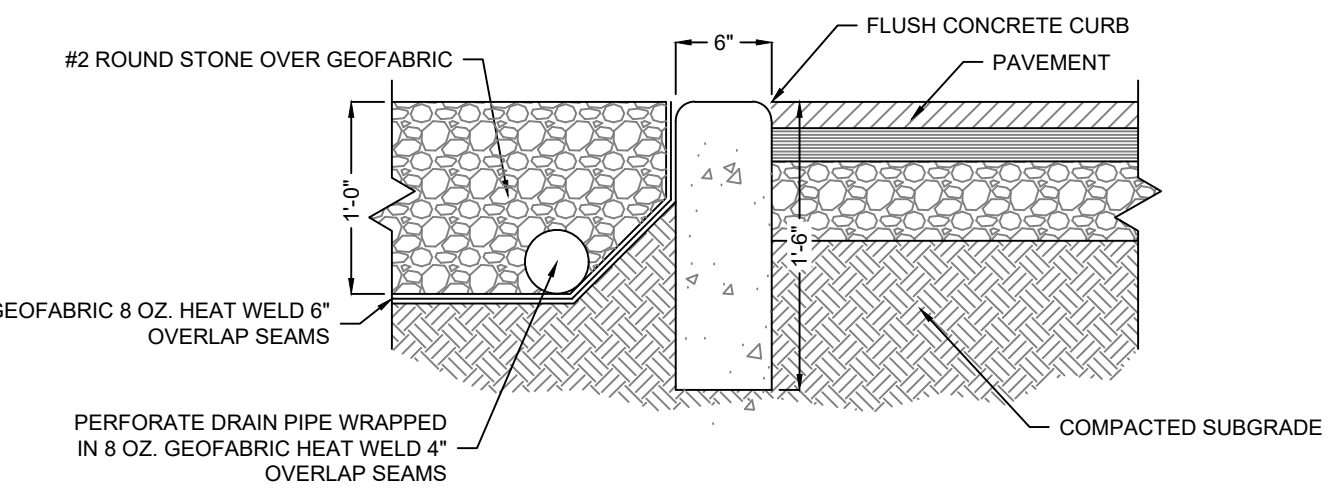
### CONCRETE PAVEMENT

2.05 SCALE: NONE



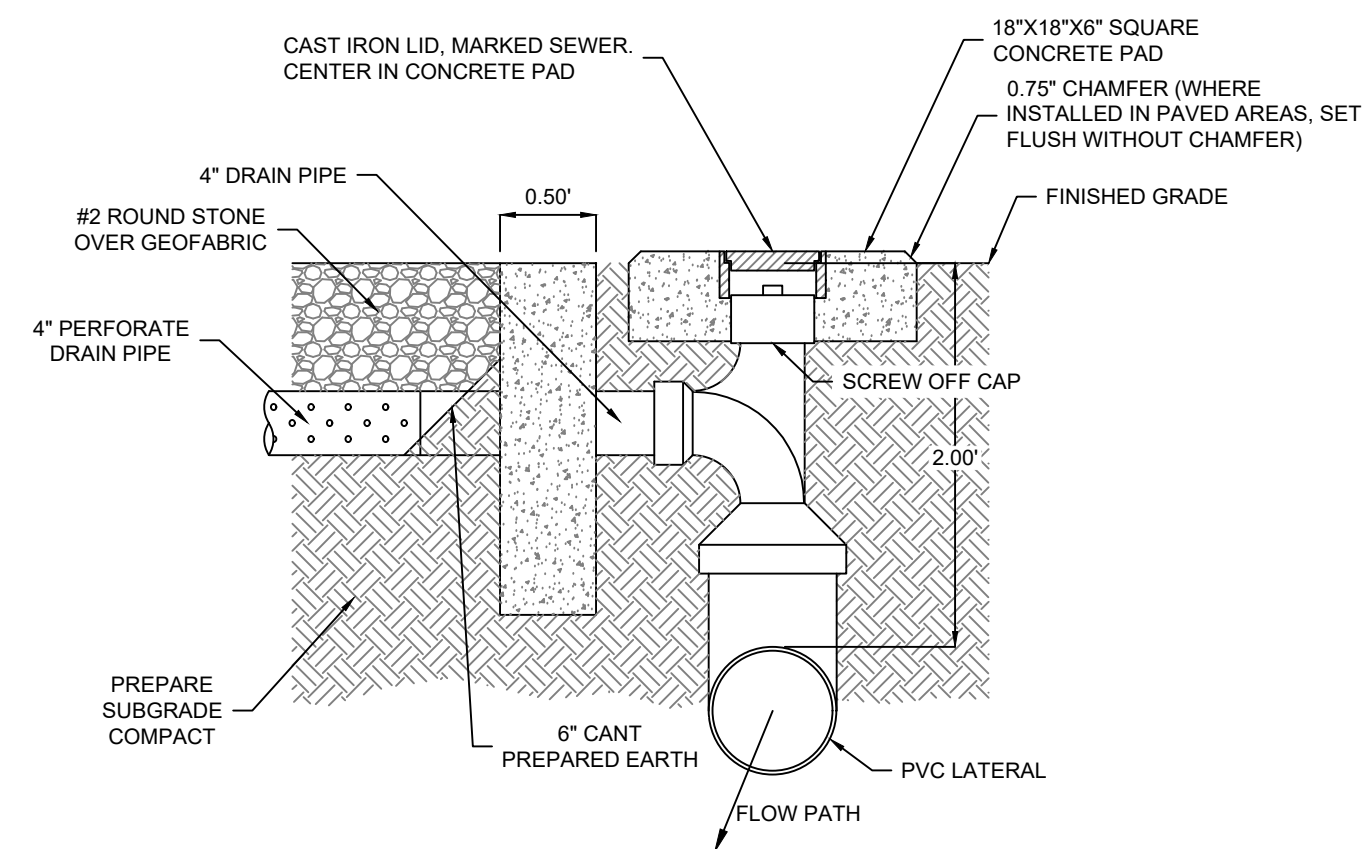
### ASPHALT PAVEMENT

2.06 SCALE: NONE



### FLUSH CURB - SNOW STACK AREA

4.09 SCALE: NONE



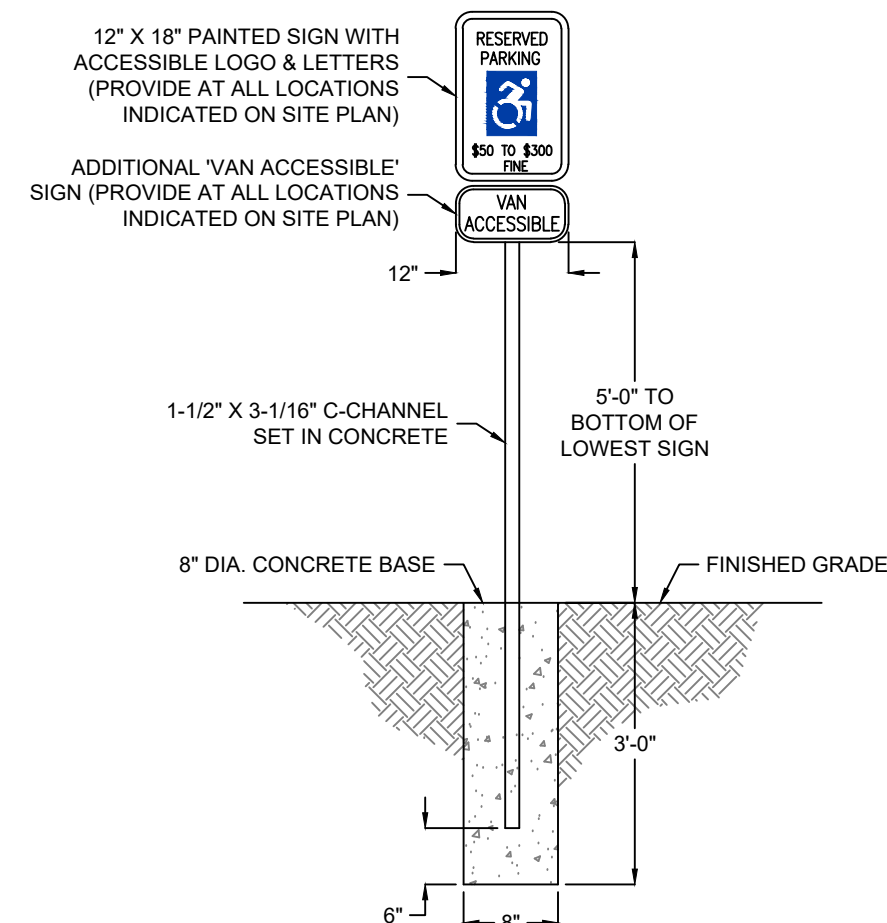
SECTION VIEW

#### NOTES:

1. SIZE AND MATERIAL OF FITTINGS AND PIPE TO MATCH THAT OF LATERAL.
2. INSTALL CLEANOUTS AT ALL BENDS AND AT MAXIMUM 50' SPACING.

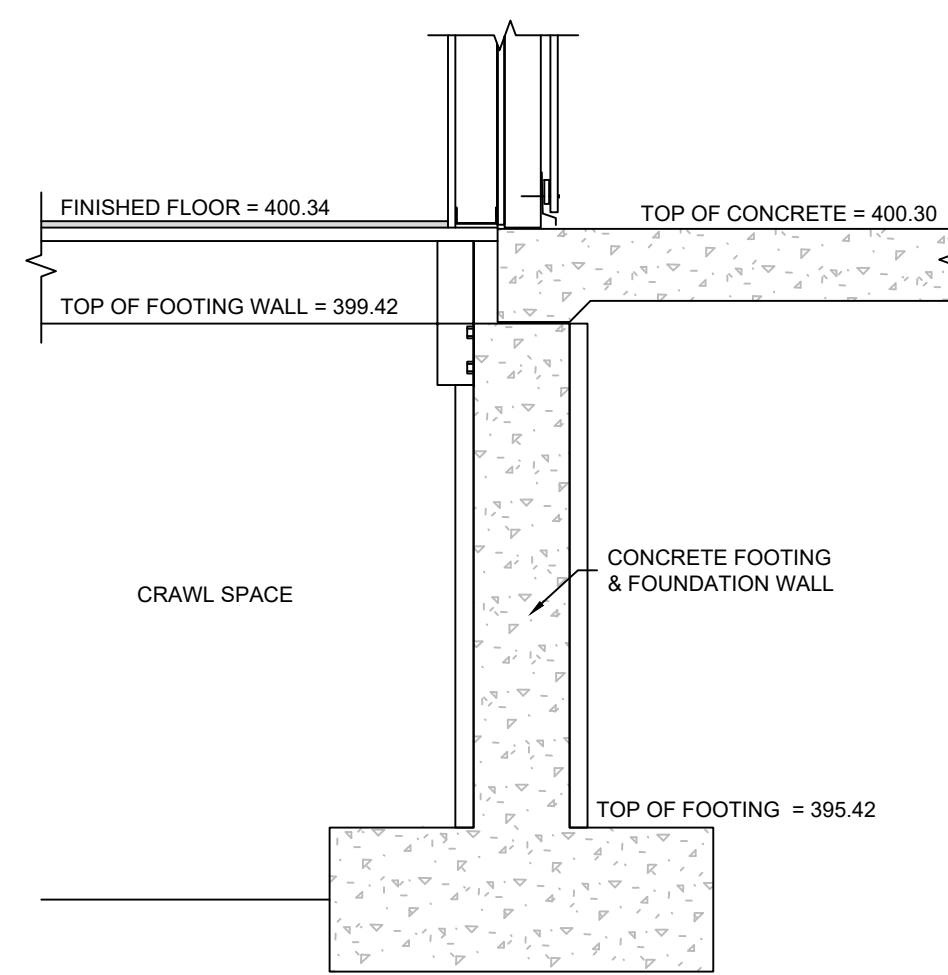
### SUB-DRAIN ANTISEEP & CLEANOUT DETAIL

4.10 SCALE: NONE



### ADA ACCESSIBLE SIGN DETAIL

6.03 SCALE: NONE



NOTE: THIS DETAIL IS PROVIDED FOR CLARIFICATION OF ELEVATION ONLY. REFER TO STRUCTURAL DETAILS 5 AND 7 SHEET S1.0 FOR STRUCTURAL STEM WALL DETAILING.

### WALL ELEVATION SECTION DETAIL

2.07 SCALE: NONE



JOHN W. KELLY III - ENGINEER  
PE# 084736

#### ENGINEER OF RECORD:

NAME: JOHN W. KELLY III

LICENSE NO. 084736

#### PROJECT NUMBER:

91 164

#### REVISION:

7 BREW COFFEE  
WATERTOWN, NY

1068 ARSENAL STREET,  
WATERTOWN, NY 13601

C7.1  
DETAILS

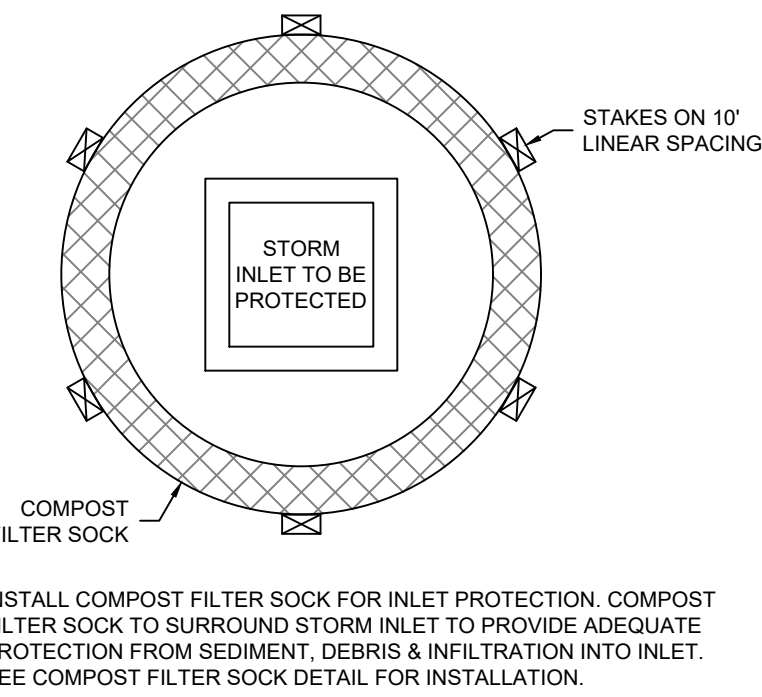
JOHN W KELLY PE ENGINEERING D.P.C.

1070 W. SYCAMORE ST  
SPRINGFIELD, MO 65810  
Ph: 417-888-0645 Fax: 417-888-0657

CO# 017478  
EXPIRES: 06/30/2026

DATE: MAY 29, 2025

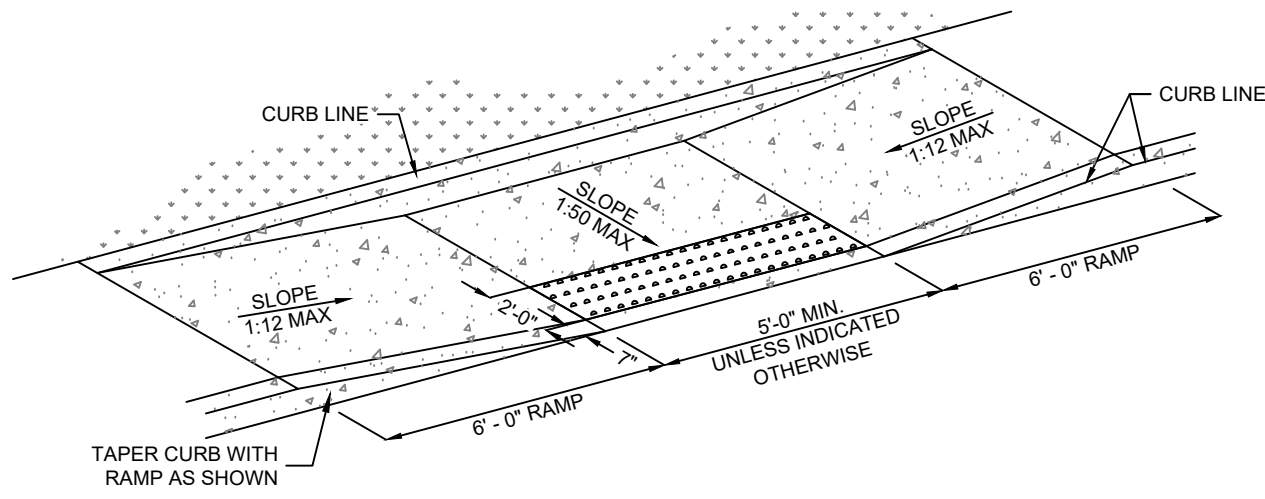




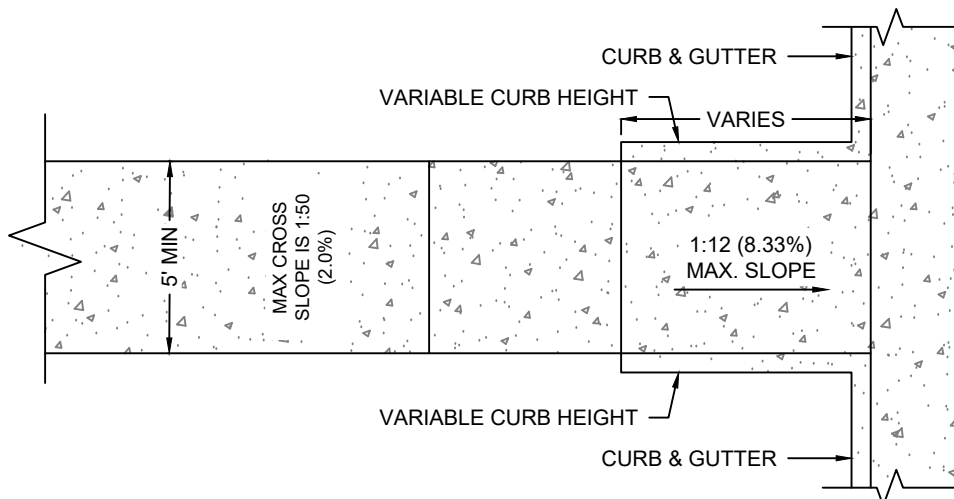
1.05 STORM INLET PROTECTION DETAIL  
SCALE: NONE

NOTES:

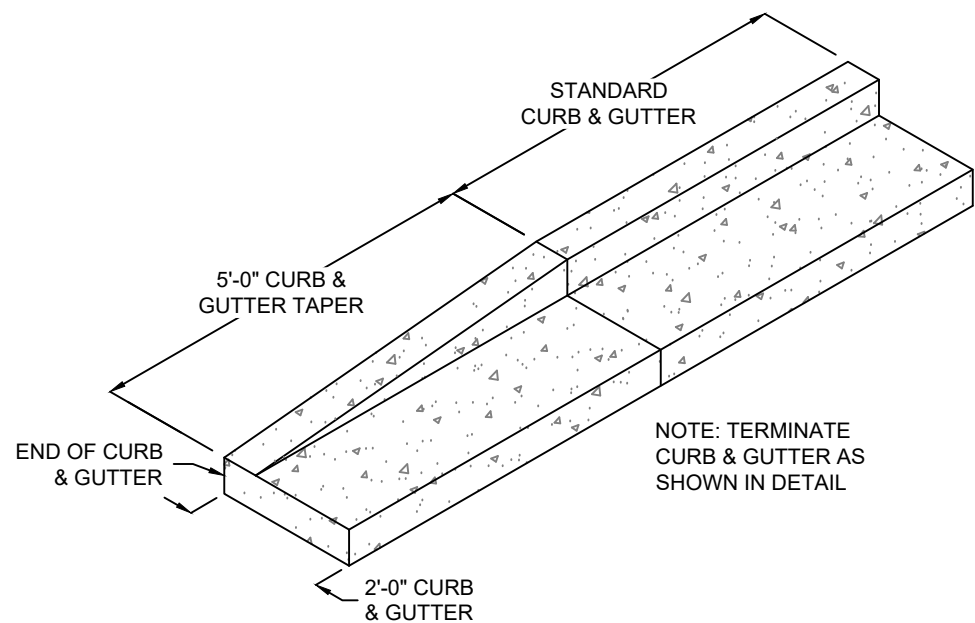
1. DETECTABLE WARNING ON RAMP SURFACE SHALL CONSIST OF TRUNCATED DOMES (FOR THE ENTIRE WIDTH OF THE RAMP) AND SHALL CONTRAST VISUALLY W/ ADJOINING SURFACES. PROVIDE ARMOR-TILE ADA TACTILE EPOXY POLYMER CAST IN PLACE WARNING TILES WITH TRUNCATED DOMES OR APPROVED EQUAL.
2. TRUNCATED DOMES SHALL HAVE A DIAMETER OF 0.9 INCH AT THE BOTTOM, A DIAMETER OF 0.4 INCH AT THE TOP, A HEIGHT OF 0.2 INCH AND A CENTER-TO-CENTER SPACING OF 1.7 INCHES MEASURED ALONG ONE SIDE OF A SQUARE ARRANGEMENT.



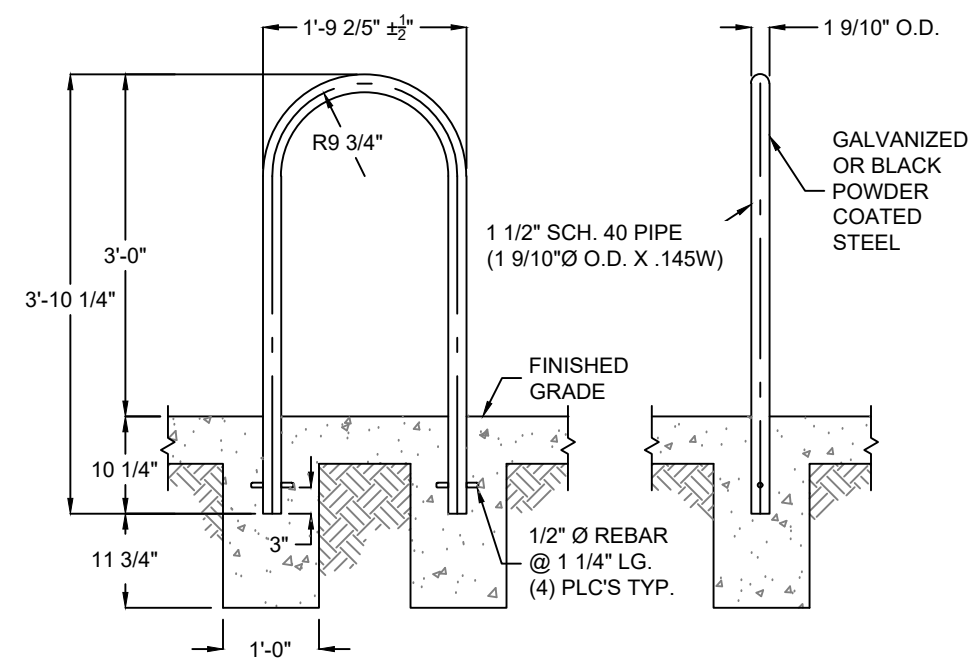
2.12 TYPE 2 CURB RAMP DETAIL  
SCALE: NONE



2.14 TYPE 4 CURB RAMP DETAIL  
SCALE: NONE

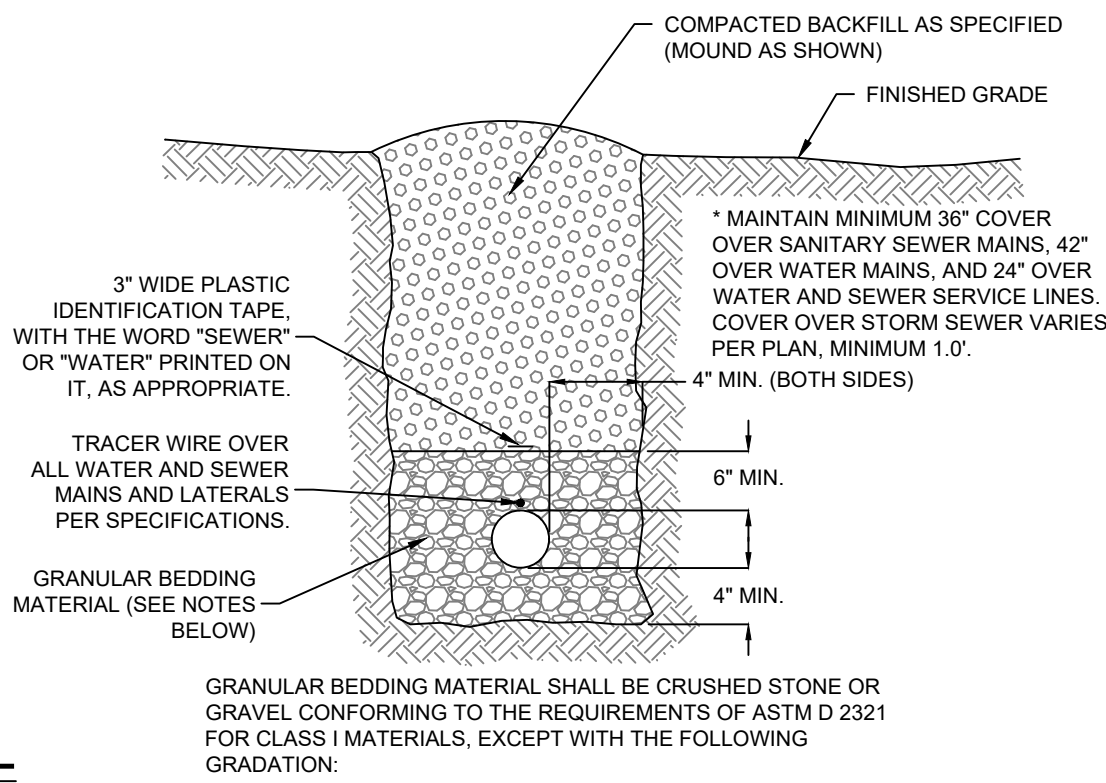


2.15 CURB TRANSITION DETAIL  
SCALE: NONE

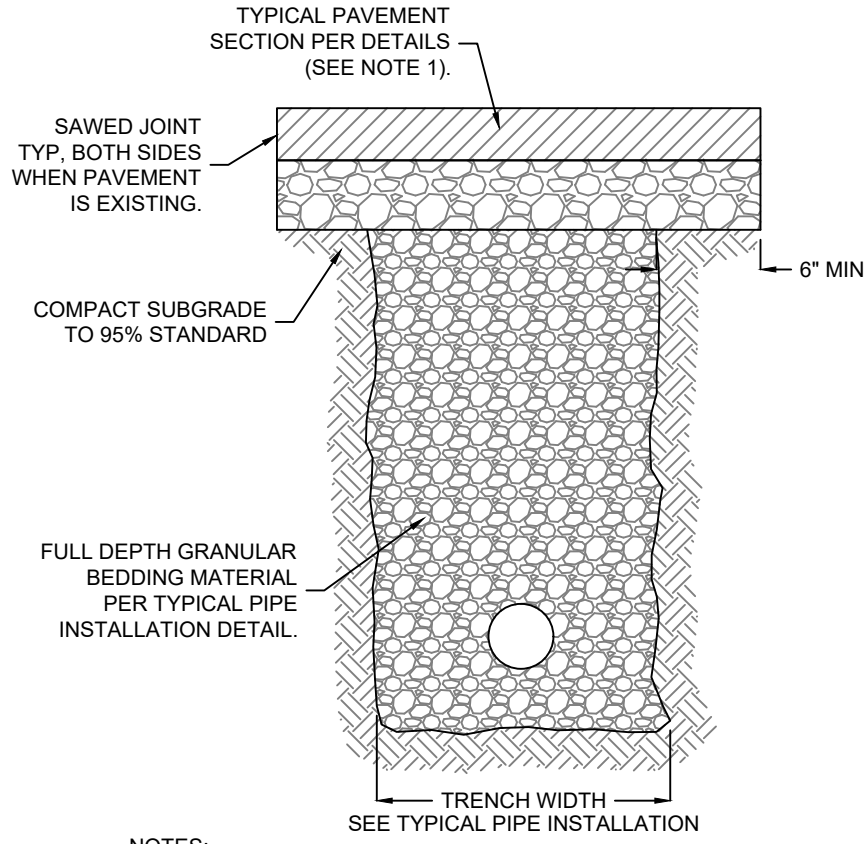


2.17 BICYCLE RACK  
SCALE: NONE

4.03-



TYPICAL



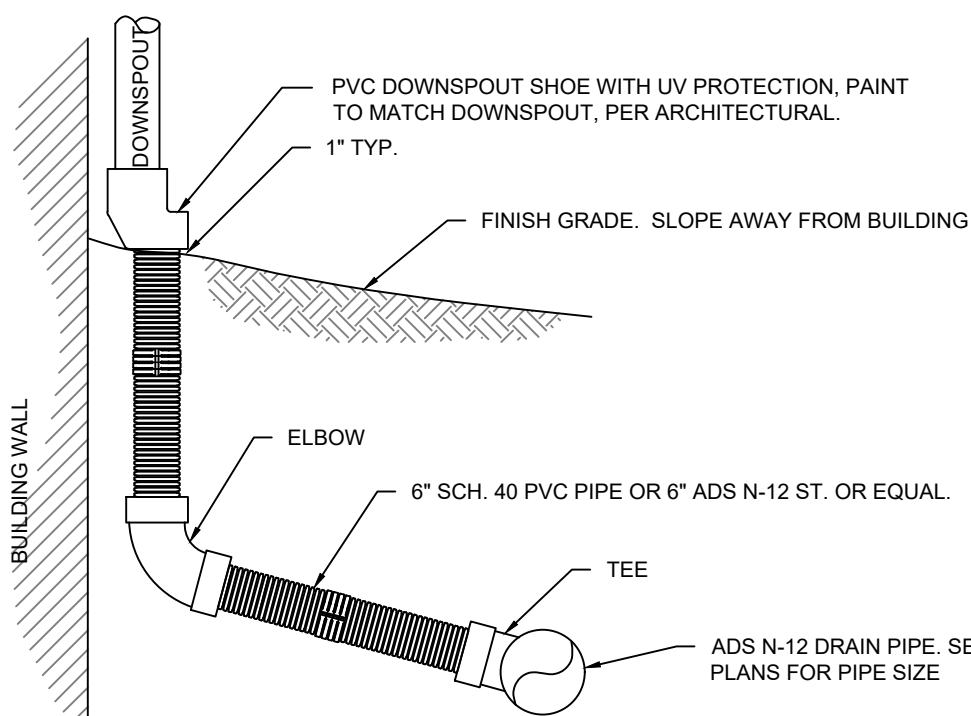
UNDER PAVEMENT

NOTES:

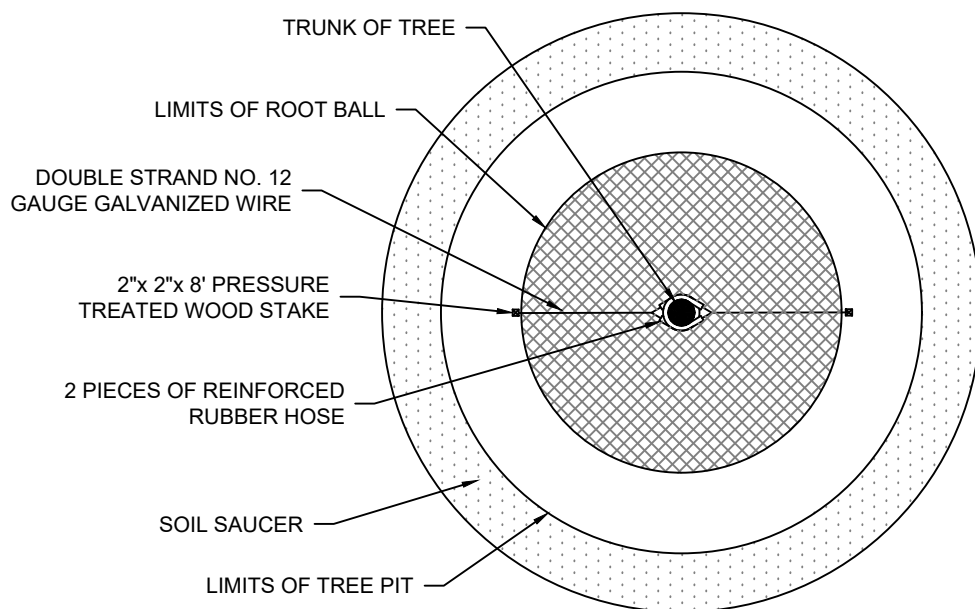
1. INCREASE ASPHALT PAVEMENT SECTION THICKNESS BY 1.5 TIMES THE RECOMMENDED PAVEMENT THICKNESS WHERE PIPES ARE TO BE INSTALLED UNDER EXISTING PAVEMENT.

SIEVE SIZE	% PASSING
1"	100
3/4"	55-90
NO. 4	8-40
NO. 10	0-15
NO. 200	0-4

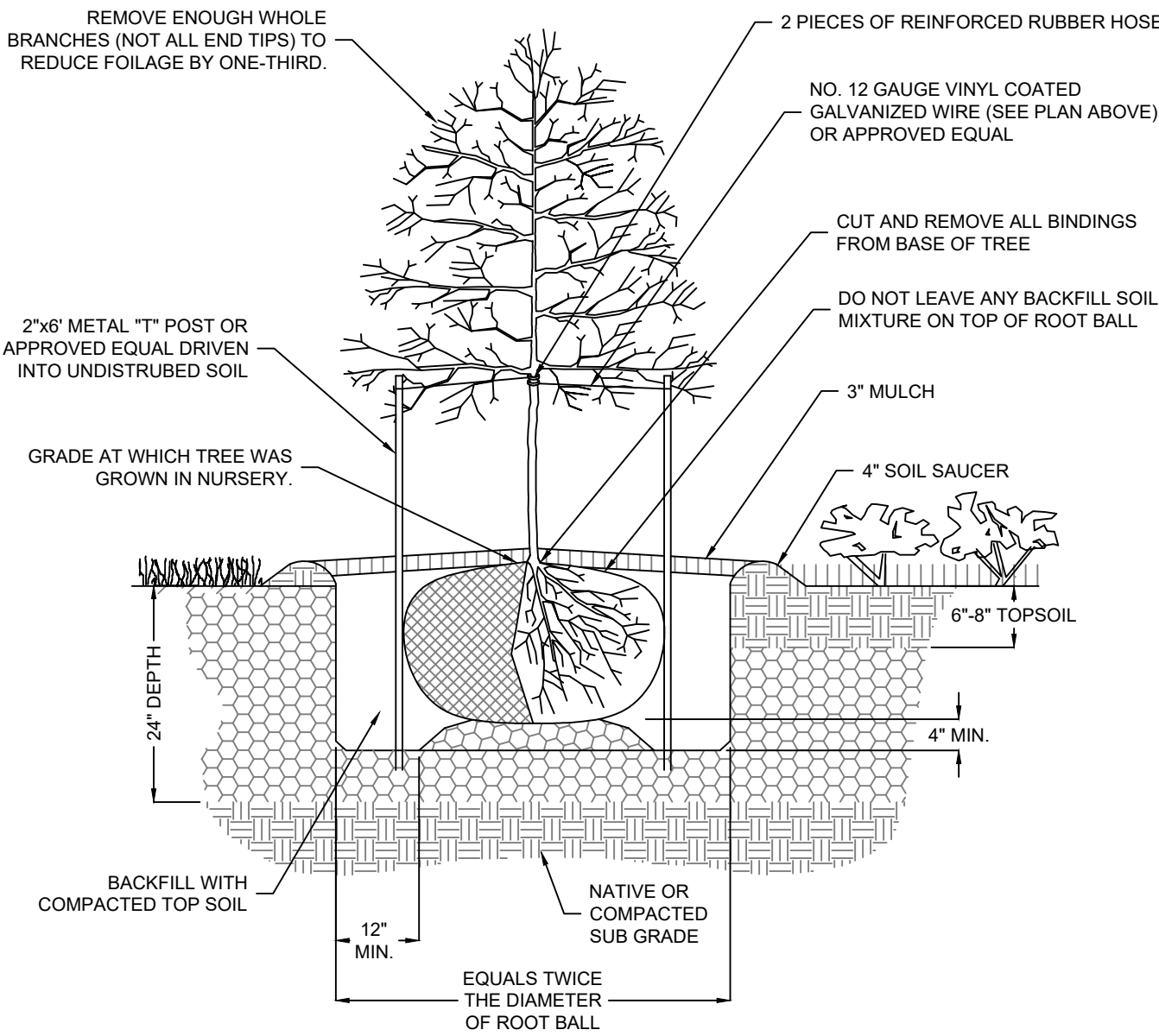
4.01 PIPE INSTALLATION  
SCALE: NONE



4.07 DOWNSPOUT CONNECTION  
SCALE: NONE

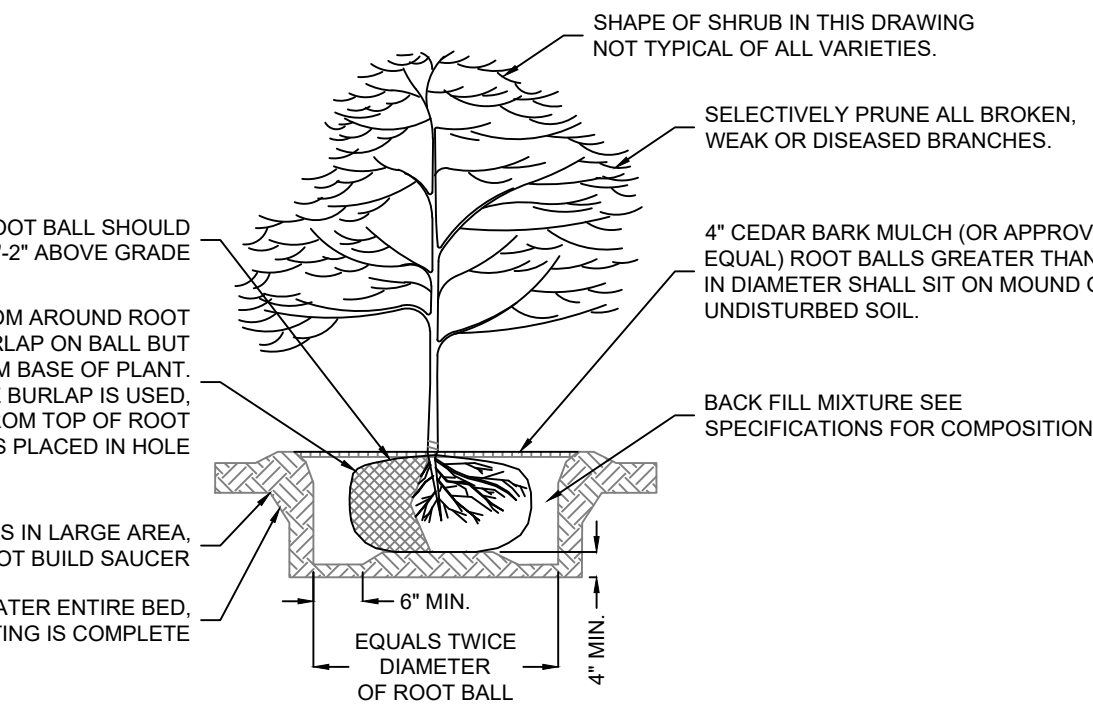


PLAN



- NOTE:
1. BACKFILL AROUND ROOT BALL IN 6"-8" LAYERS WATERING EACH LAYER UNTIL SETTLED TO AVOID AIR POCKETS.
  2. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF TREE STABILIZATION AT THE END OF THE SECOND GROWING SEASON.

5.01 TREE PLANTING DETAIL  
SCALE: NONE



5.02 SHRUB PLANTING DETAIL  
SCALE: NONE



JOHN W. KELLY III - ENGINEER  
PE# 084736  
ENGINEER OF RECORD:  
NAME: JOHN W. KELLY III  
LICENSE NO. 084736

PROJECT NUMBER:  
91 164

REVISION:  
07-02-2025 PLANNING COMMISSION

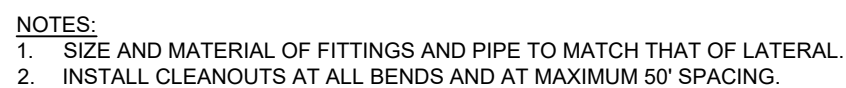
7 BREW COFFEE  
WATERTOWN, NY  
1068 ARSENAL STREET,  
WATERTOWN, NY 13601

JOHN W KELLY PE ENGINEERING D.P.C.  
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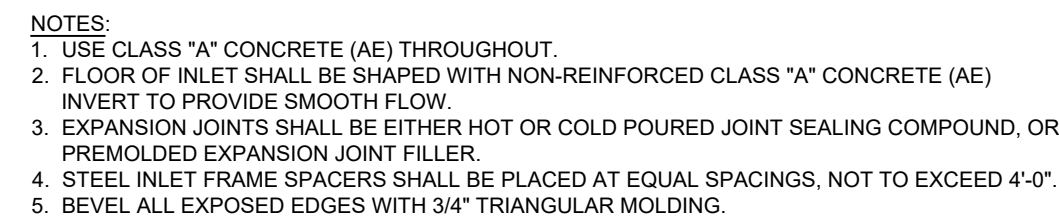
C7.2  
DETAILS

DATE: MAY 29, 2025

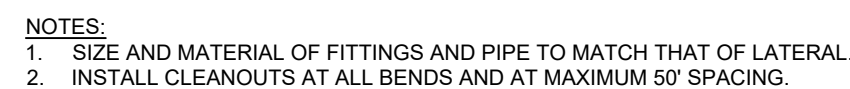




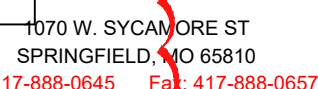
## SCALE: NONE



SCALE: NONE

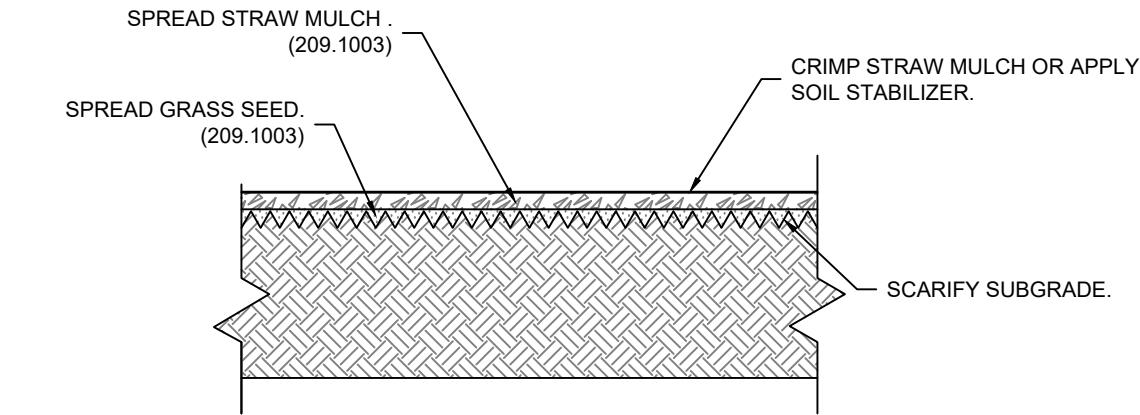


SCALE: NONE



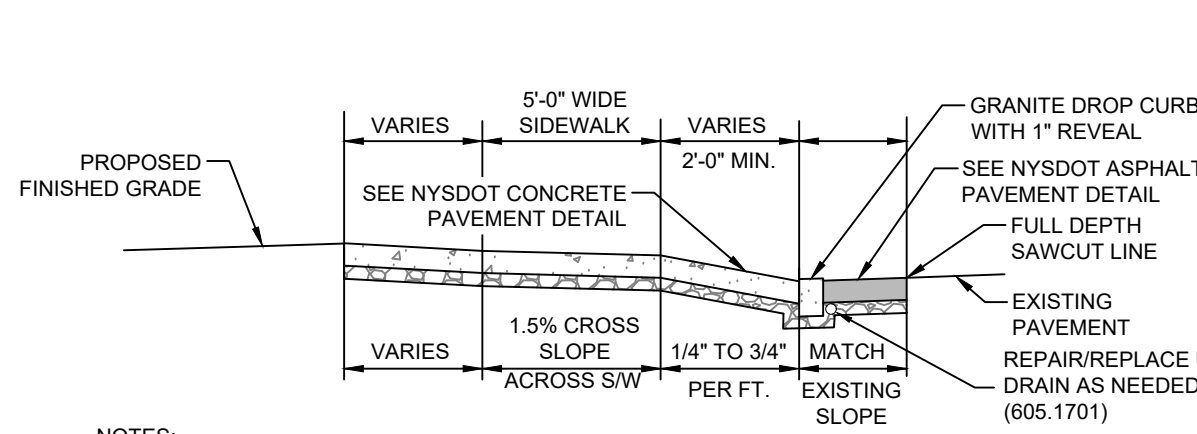


1.06 NYSDOT TEMPORARY SEED & MULCH (209.1003)  
SCALE: NONE



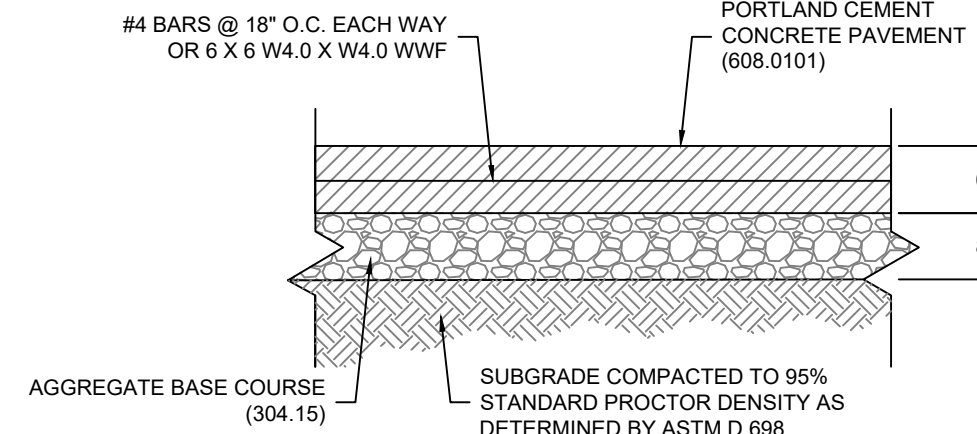
- NOTES:
1. SCARIFY SUBGRADE WHERE FINISHED GRADE HAS BEEN COMPACTED.
  2. SPREAD GRASS SEED WITH CLEAN EQUIPMENT TO AVOID CONTAMINATION.
  3. SPREAD STRAW MULCH IMMEDIATELY FOLLOWING APPLICATION OF SEED.
  4. CRIMP STRAW OR APPLY SOIL STABILIZER IMMEDIATELY FOLLOWING APPLICATION OF STRAW MULCH.
  5. APPLY WATER DAILY FOLLOWING CONSTRUCTION ACTIVITIES UNTIL SEED HAS GERMINATED. RE-SEED AS NECESSARY TO ACHIEVE TEMPORARY STABILIZATION

2.20 NYSDOT DRIVEWAY CROSS-SECTION (608.0101)  
SCALE: NONE



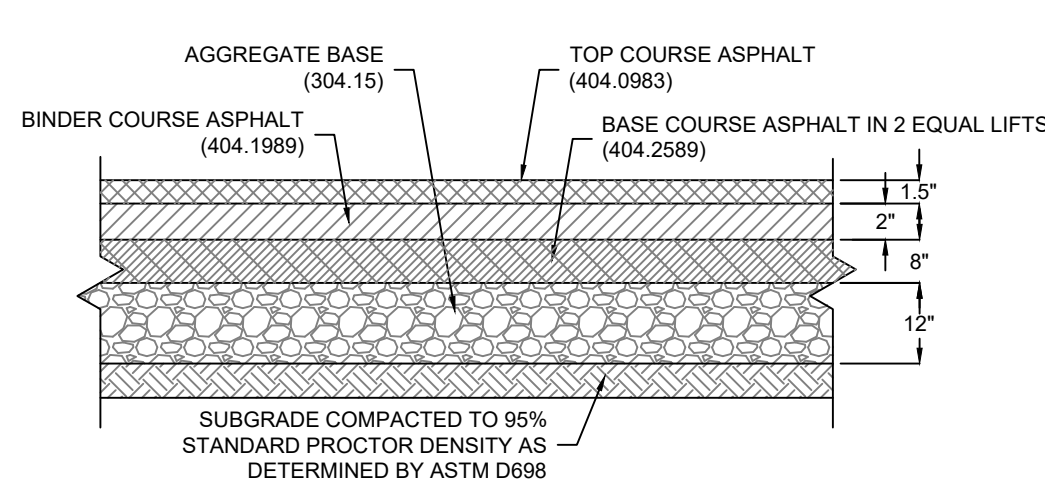
- NOTES:
1. DRIVEWAY APPROACH SHALL BE 6" THICK CLASS A CONCRETE ON COMPACTED SUBGRADE.
  2. EXPANSION JOINT SHALL BE 1/2" PREFORMED CORK OR BITUMINOUS EXPANSION JOINT MATERIAL.
  3. ALL DRIVEWAY APPROACHES SHALL SLOPE TOWARD THE STREET.
  4. ALL DRIVEWAY APPROACHES SHALL BE CONSTRUCTED TO ACCOMMODATE SIDEWALKS.
  5. DRIVEWAY APPROACH SHALL PROVIDE A MINIMUM 5' WIDE ACCESSIBLE SIDEWALK PASSING ZONE.
  6. DRIVEWAY SLOPE ACROSS ACCESSIBLE SIDEWALK PASSING ZONE IS 1/8" PER FT. CROSS SLOPE SHALL NOT EXCEED 1.50%.

2.21 NYSDOT CONCRETE PAVEMENT (608.0101)  
SCALE: NONE

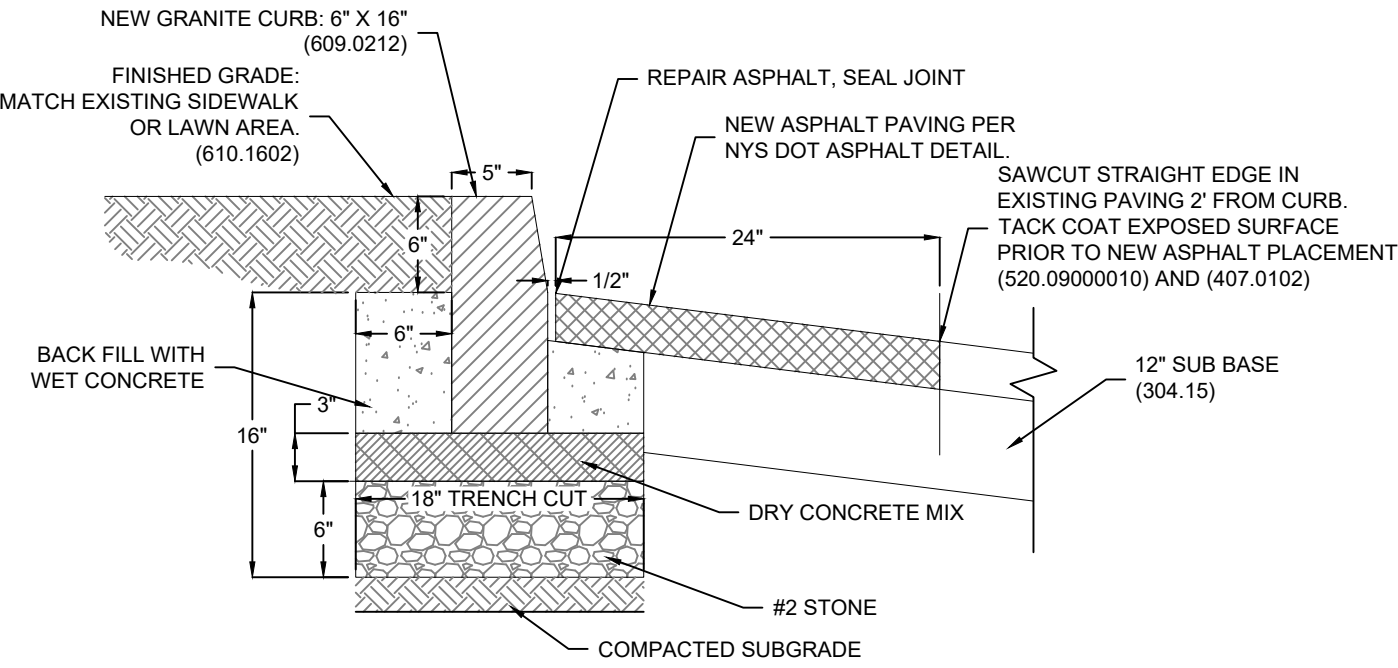


- NOTES:
1. SEE CONCRETE PAVEMENT JOINT DETAILS AND NOTES.
  2. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES PER GEOTECHNICAL ENGINEERING REPORT IF AVAILABLE.
  3. ALL MATERIALS SHALL MEET THE CURRENT DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

2.22 NYSDOT ASPHALT PAVEMENT (404.0983)  
SCALE: NONE

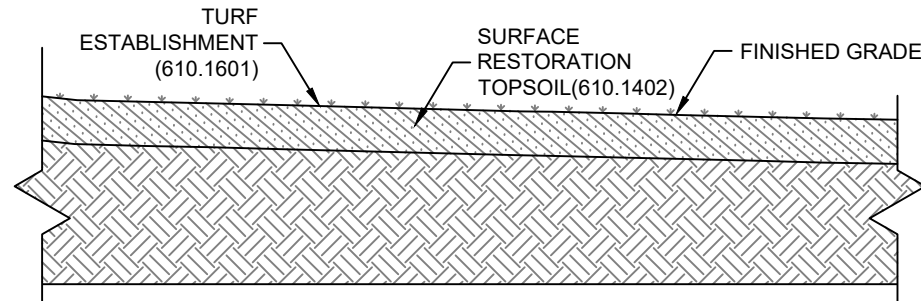


- NOTES:
1. TACK COAT (407.0102) TO BE PLACED BETWEEN ALL ASPHALT COURSES.
  2. ASPHALT PAVEMENT JOINT ADHESIVE (418.7803) SHALL BE USED ON THE VERTICAL FACES FOR ALL LONGITUDINAL AND TRANSVERSE JOINTS ON THE TOP SURFACE, BINDER AND BASE COURSE.
  3. FOR 2'-0" BOXOUT SECTION AS SHOWN IN NYSDOT CONCRETE CURB TYPE VF6 DETAIL, IF COMPACTION REQUIREMENTS CANNOT BE MET WITH THE STANDARD 2, THE BOXOUT SHALL BE ENLARGED AS NEEDED TO PROVIDE PROPER COMPACTION.



- NOTES:
1. SIDEWALK OR DRIVEWAY TO BE SAW CUT 2' BACK FROM FACE OF CURB.
  2. IN DRIVEWAY ENTRANCE, PROVIDE 1" REVEAL TO PROMOTE DRAINAGE.

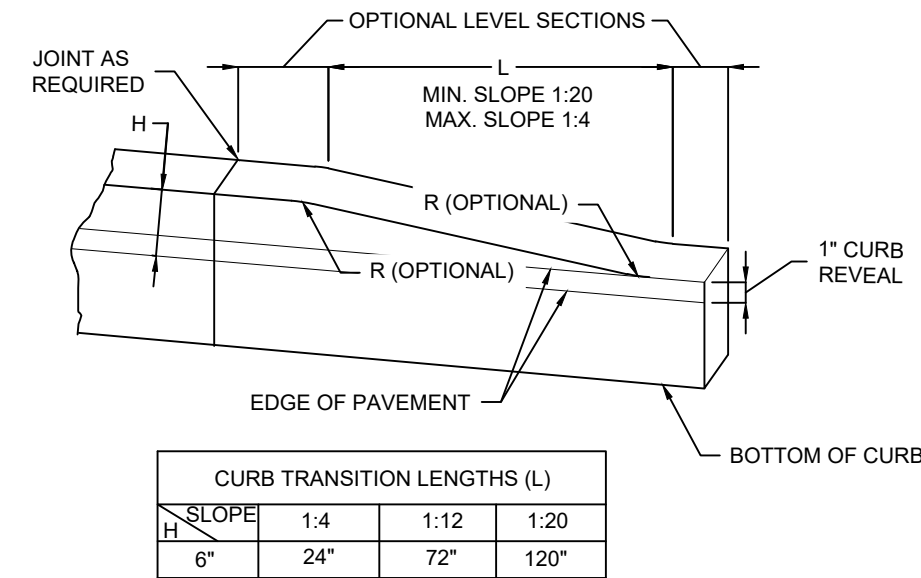
2.23 NYSDOT GRANITE CURB (609.0212)  
SCALE: NONE



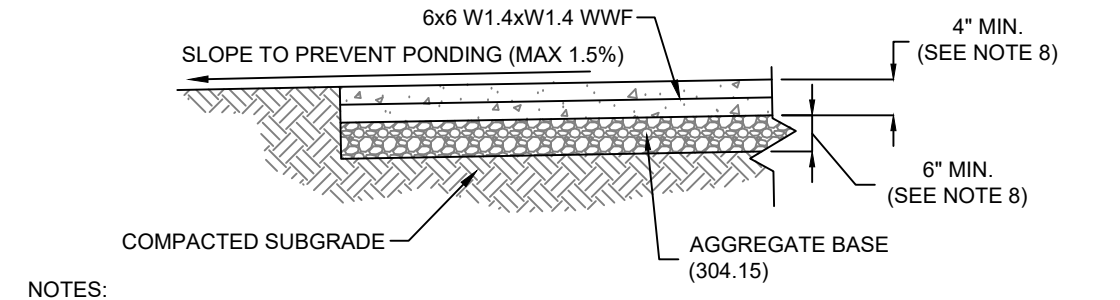
- NOTES:
1. TOPSOIL SHALL BE STOCKPILED, SAMPLED, TESTED AND APPROVED PRIOR TO USE ON THE PROJECT.
  2. ANY METHOD OF SOWING THAT DOES NOT INJURE THE SEED IS ACCEPTABLE. TYPICALLY A HYDRO-SEEDER IS USED FOR LARGER APPLICATIONS.
  3. WHEN SEEDING IN COLD WEATHER CONDITIONS THE CONTRACTOR MAY PROPOSE A DORMANT, WINTER NURSERY OR COVER GRASS SUCH AS WINTER RYE TO BE ADDED TO THE SEED MIX. THIS IS AT NO EXTRA COST TO THE STATE.

2.26 NYSDOT TURF RESTORATION (610.1601)  
SCALE: NONE

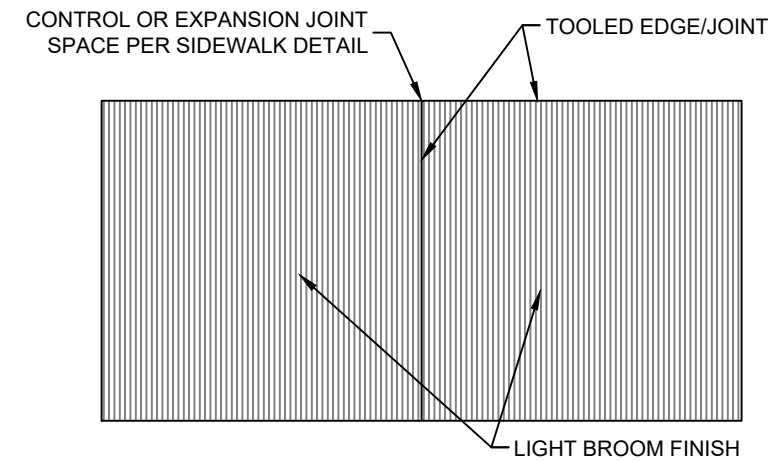
2.24 NYSDOT GRANITE CURB TRANSITIONS  
SCALE: NONE



CURB TRANSITION LENGTHS (L)			
H	SLOPE	1:4	1:12
6"	24"	72"	120"

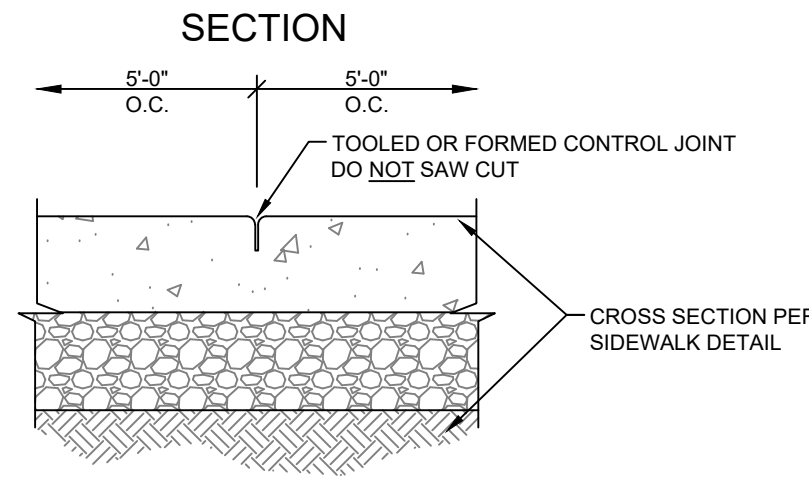


- NOTES:
1. PROVIDE CONTROL JOINTS @ 5' O.C. MAX. OR WIDTH OF SIDEWALK, 1/8" TO A MAXIMUM 1/4" WIDTH, AND TO A MINIMUM DEPTH OF ONE-THIRD THE TOTAL THICKNESS. SEE JOINT DETAIL.
  2. PROVIDE EXPANSION JOINTS @ COLD JOINTS ONLY.
  3. WHERE WALK ABUTS ANOTHER WALK, CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES, PROVIDE 1/2" EXP. JOINT W/ FIBER BOARD AND SELF-LEVELING SEALANT.
  4. ALL CONSTRUCTION JOINTS SHALL HAVE A RADIUS.
  5. PROVIDE NON-SLIP LIGHT BROOM FINISH.
  6. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE 1.5%. MAXIMUM SLOPE OF SIDEWALK IN DIRECTION OF TRAVEL SHALL BE 5%.
  7. SIDEWALK IS TO BE CONTINUOUS THROUGH THE DRIVEWAY.
  8. SIDEWALK SHALL BE 6" THICKNESS ACROSS DRIVEWAYS AND HAVE 8" AGGREGATE BASE (304.15).
  9. AGGREGATE BASE SHALL EXTEND 6" BEYOND THE CONCRETE SIDEWALK TO PREVENT POSSIBLE EROSION UNDER THE SIDEWALK.

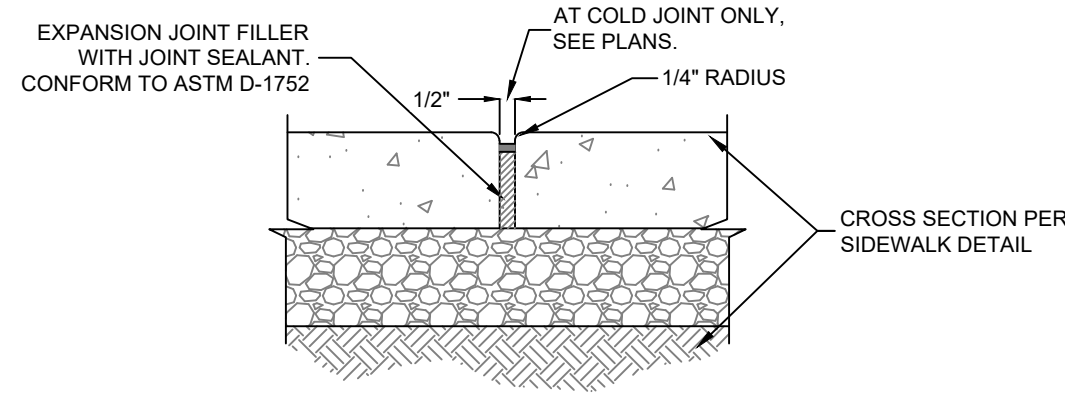


- NOTES:
1. CONTRACTOR SHALL TOOL EDGES AND JOINTS AS SHOWN THEN LIGHTLY BROOM FINISH ENTIRE SIDEWALK SURFACE.

FINISH PLAN

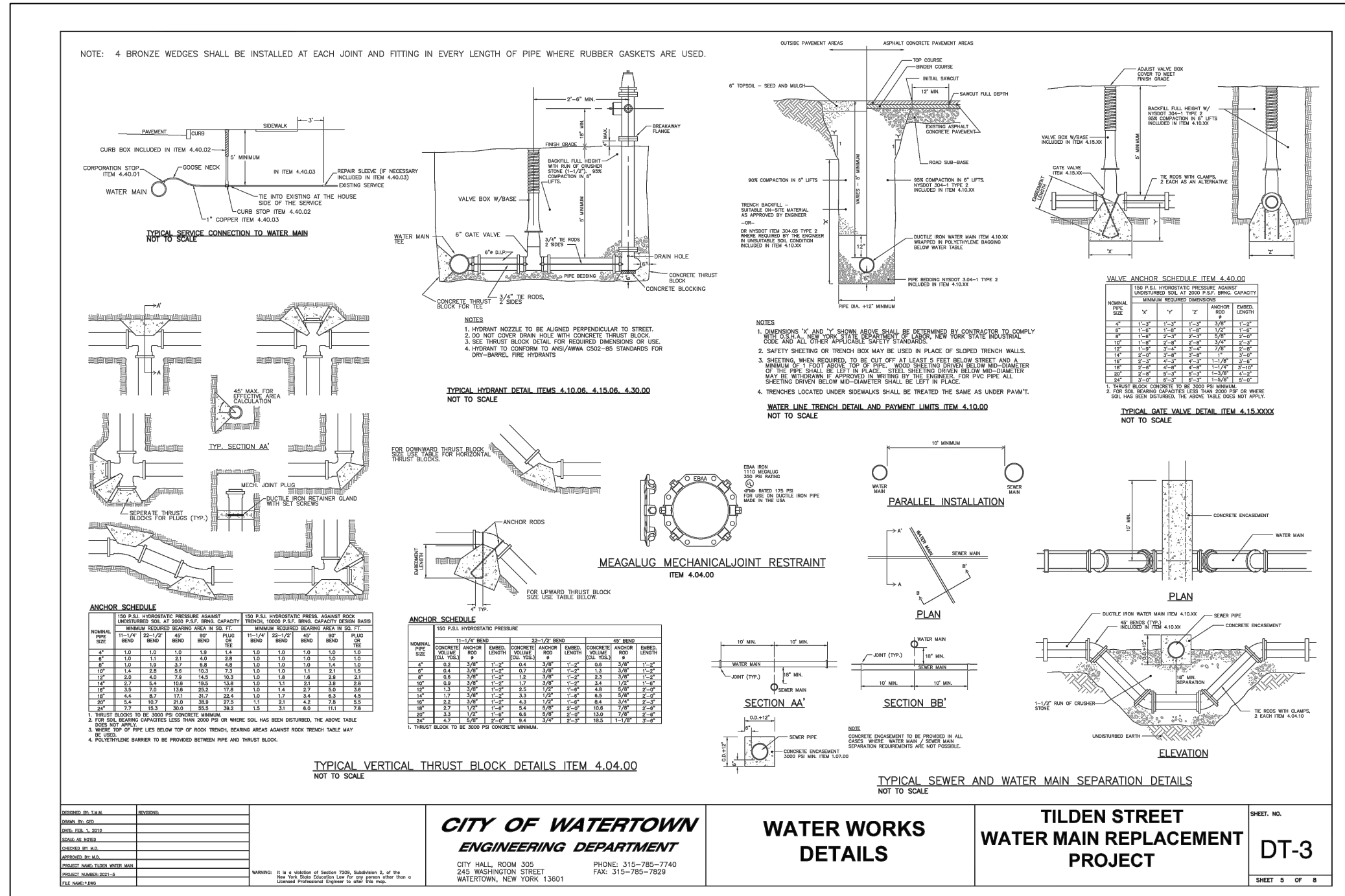


CONTROL JOINT



SAWCUT AND EXPANSION JOINT

2.25 NYSDOT SIDEWALK DETAILS (608.0101)  
SCALE: NONE



4.12 FIRE HYDRANT PER CITY OF WATERTOWN WATER WORKS DETAILS DT-3  
SCALE: NONE

GENERAL NOTES:

1. ALL WORK WITHIN THE NYSDOT RIGHT OF WAY SHALL MEET CURRENT NYSDOT STANDARDS. IF DETAILS ON THIS PLAN VARY FROM THE NYSDOT STANDARDS, THE NYSDOT STANDARD SHALL BE USED.

JOHN W KELLY PE ENGINEERING D.P.C.  
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SPRINGFIELD, MO 65810  
Ph: 417-888-0645 Fax: 417-888-0657  
COAR 017478  
EXPIRES: 06/30/2026



JOHN W. KELLY III - ENGINEER  
PE# 084736  
ENGINEER OF RECORD:  
NAME: JOHN W. KELLY III  
LICENSE NO. 084736

PROJECT NUMBER:  
91 164

REVISION:

7 BREW COFFEE  
WATERTOWN, NY  
1068 ARSENAL STREET,  
WATERTOWN, NY 13601

C7.4  
ROW DETAILS

DATE: MAY 29, 2025