



MEMORANDUM

CITY OF WATERTOWN, NEW YORK
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
245 WASHINGTON STREET, ROOM 305, WATERTOWN, NY 13601
PHONE: 315-785-7741 – FAX: 315-782-9014

TO: Planning Commission Members

FROM: Michael A. Lumbis, Planning and Community Development Director

PRIMARY REVIEWER: Geoffrey T. Urda, Senior Planner

SUBJECT: Site Plan Approval – 400 Washington Street

DATE: August 28, 2025

Request: Site Plan Approval to construct an approximately 8,600 SF office building and associated site improvements, and a Special Use Permit to establish an accessory Drive-Through use at 400 Washington Street, Parcel Number 8-47-106.200.

Applicant: Mark Tompkins, P.E. of GYMO, D.P.C. on behalf of Carthage Savings Bank

Proposed Use: Office (Bank)

Property Owners: Carthage Savings and Loan National Association

Submitted:

Property Survey: Yes	Preliminary Architectural Drawings: Yes
Site Plan: Yes	Preliminary Site Engineering Plans: Yes
Vehicle and Pedestrian Circulation Plan: Yes	Construction Time Schedule: Yes
Landscaping and Grading Plan: Yes	Description of Uses, Hours & Traffic Volume: Yes

SEQRA: Unlisted

Jefferson County 239-m Review: Yes

Zoning Information:

District: Urban Mixed Use	Maximum Lot Coverage: 90 percent
Setback Requirements: Front: 12' (max.) Side: 0' Rear: 0'	Buffer Zones Required: Yes

Project Overview: The applicant proposes to demolish the existing vacant structure on the site and construct a new, two-story, 8,600 SF office building in its place. The proposed building would include a four-lane accessory drive-through use, with a bypass lane. Carthage Savings Bank would relocate its downtown Watertown branch into the newly constructed building from its current office space in the Top of the Square plaza.

Existing Conditions: The subject parcel is at the southwest corner of Washington and Mullin Streets and presently contains the vacant former Retina Vitreous Surgeons building (previously a Community Bank branch prior to RVS) proposed for demolition. There are two existing curb cuts on Mullin Street and two existing curb cuts on Washington Street. The internal drive aisle and parking area connects from one street to the other around the southwest corner of the building.

The internal drive aisle also connects to the rear parking area on the neighboring parcel at 418 Washington Street (Victims Assistance Center) by way of an easement recorded into the deed for 400 Washington Street that specifically grants the right of ingress, egress, and regress to the Victims Assistance Center.

A dentist's office at 121 Mullin Street also abuts the subject property to the west. The other three corners of the Washington/Mullin intersection are the Best Western hotel (NW corner), Dulles State Office Building (NE corner) and the First Presbyterian Church (SE corner). The dentist parcel is also zoned Urban Mixed Use. The State Office Building and the church are in the Downtown Zoning District.

Comprehensive Plan: The subject parcel is in the Urban Mixed Use future land use character area. The plan describes this future land use character area as follows:

"The Urban Mixed-Use areas are historic areas generally located between the Central Business District (CBD) and residential neighborhoods where land use transitions from intense urban business to lesser intense residential and compatible non-residential uses. These transitional areas begin to have obvious changes in building types, architectural styles, lot sizes, and pedestrian activity. Buildings are generally lower in height and parking may be onsite, preferably behind or at the side of the building to avoid a suburban look. Buildings are designed to be visually appealing with shorter setbacks to address the sidewalk and help reinforce a positive pedestrian experience."

Regarding consistency with the Comprehensive Plan, the proposed office building is a typical land use found in a downtown or downtown transition setting. The short setbacks and ample windows facing each street would enhance the streetscape and maintain the urban fabric of this block. The entrance from the Washington Street sidewalk contributes to an active pedestrian public realm. This proposal is in harmony with the Comprehensive Plan.

Zoning: The proposed Office use is an allowed use in an Urban Mixed Use District with Site Plan Approval. The proposed accessory Drive-Through use is allowed in an Urban Mixed Use District with a Special Use Permit. The standards for a Special Use Permit are discussed below. When evaluating this application, the Planning Commission should note that the SUP is only for the drive-through component.

The proposed structure meets all lot area coverage, maximum setback, building height, first-story height, façade transparency, pedestrian access and maximum unbuilt frontage requirements of the UMU District. The applicant proposes 20 parking spaces, which is the maximum allowed by right in the UMU District.

Vehicular and Pedestrian Circulation: The applicant proposes to reduce the total number of curb cuts from four to two, with one curb cut on each street. The driveway from Mullin Street would provide both ingress and egress, while the Washington Street curb cut would provide egress only.

The applicant proposes a two-lane driveway exiting onto Washington Street from the drive-through canopy, one lane for left turns only and another for right turns only. It is unproven that sufficient gaps in Washington Street traffic exist to accommodate left turns out of the site with a consistent level of service. The applicant proposes to terminate the easement with the Victims Assistance Center and close off the rear connection between the two parking lots. The applicant proposes to locate a stormwater retention basin in the southwest corner of the site where this vehicular connection exists today.

The deed to the subject property references a License Agreement dated November 28, 2017 as Instrument No. 2017-18384 as containing a complete description of the easement in question. Planning Staff has reviewed the License Agreement, and it contains language stating that “Either party shall have the right to unilaterally revoke the license and rights-of-way granted herein by providing 30 days written notice to the other party.”

Landscaping: The applicant submitted a Landscape Plan (Sheet C-107) that depicts a landscaped buffer of varying width around the full perimeter of the site, exclusive of driveways. Section 310-83 of the Zoning Ordinance, that requires a 15’ landscaped strip along all Rights-of-Way (ROW), exclusive of the ROW itself. This section of code also requires that where parking lots and/or driveways abut the landscaped strip along the street ROW, shrubs shall be used for screening in addition to shade trees.

Around the perimeter of the property, the width of landscaped areas, spacing of shade and under-wire trees and use of shrubs meets the requirements of the code mentioned above. The plan also meets the required level of species diversity. The number of shade trees relative to the number of parking spaces meets the internal parking lot landscaping requirements of one tree for each fifteen parking spaces or fraction thereof. In instances where the maximum setback is less than the perimeter landscaping requirement, the setback takes precedence, and the narrower landscaped strip is acceptable.

The addition of the bio-retention area is a solution for drainage from the parking lot and the parking lot on the adjoining property. Tying into the storm sewer system should optimize the function of the retention area. Drainage features of this type that are not maintained properly are susceptible to weed trees growing and interfering with the runoff diversion. The bio-retention area should be mowed down at least once a year, in the fall, to prevent this from happening. The Planning Commission should consider making this a condition of Site Plan Approval.

Stormwater and Drainage: Section 4.3 in the Engineering Report refers to a reduction in impervious area and that this “*should* result in a reduction of the peak runoff...” This should be validated. The discharge pipe size from the proposed CB #1 on the grading and drainage plan shall not exceed the size of the existing discharge pipe of the existing CB. The applicant must confirm this pipe discharge.

Lighting: The applicant proposes to illuminate the parking lot and drive-through with a series of overhead fixtures. While the light spillage across the southern property line reaches 0.5 footcandles in an opening between two large, existing trees, it does not exceed 0.5 footcandles, which is the maximum allowed per Section 310-84 of the Zoning Ordinance.

Special Use Permit Standards: Article XI of the Zoning Ordinance empowers the Planning Commission to issue Special Use Permits after holding a Public Hearing and reviewing the application against the Special Use Permit Review Criteria. The Zoning Ordinance requires the Planning Commission to hold a public hearing within 62 days of deeming the application complete. Staff has deemed the application complete and has scheduled a Public Hearing at 6:05 p.m. during the Planning Commission meeting.

Section 310-116 of the Zoning Ordinance contains the Special Use Permit Review Criteria that the Planning Commission is tasked with considering. Below is a list of all nine criteria with Staff's conclusions for each criterion. The following represents Staff's professional comments only and do not necessarily represent the final position of the Planning Commission, which must reach its own determinations. In this review, these standards apply to the accessory Drive-Through use only, not the primary Office use.

- A. *The proposed use will be consistent with the purposes of this Chapter and the requirements of the zoning district in which it is located.*

The stated purpose of the Urban Mixed Use District, per the Zoning Ordinance is as follows:

"The UMU District functions as a downtown transition zone and is generally located at the edge of the Downtown District where land use transitions from intense urban business and entertainment uses to less intense residential and compatible nonresidential uses. The UMU District has obvious changes in building types, architectural styles, lot sizes, and pedestrian activity. Buildings are generally lower in height and parking may be on-site, behind or at the side of the building to avoid a suburban look. Buildings are designed to be visually appealing with shorter setbacks to address the sidewalk and help reinforce a positive pedestrian experience."

The UMU District implements the Urban Mixed Use/Downtown Transition future land use character area in the Comprehensive Plan, thus the very similar language to the vision for that character area quoted in the "Comprehensive Plan" section above.

Section 310-50 of the Zoning Ordinance contains supplemental regulations governing accessory Drive-Throughs. There are five specific requirements in Section 310-50, all of which this proposal meets:

- Pedestrians must be able to enter the establishment without crossing the waiting or exit lanes. *(There is pedestrian access to the building from both the Mullin and Washington Street sidewalks.)*
- Waiting lanes shall be designed for the maximum length possible. *(The applicant has maximized available internal stacking space.)*
- The waiting lane shall be independent of any on-site parking, parking maneuvering areas, public streets or traffic ways serving other on- or off-site uses. *(This requirement is met. The applicant provides a bypass lane around the Drive-Through.)*
- The waiting lane and service window shall not face the street frontage. *(The proposed window faces south, toward neither the Mullin nor the Washington Street frontage.)*
- Audible devices may not be located within 25 of any lot used for dwelling purposes. *(There are no residential lots within 25 feet of the entire subject parcel).*

- B. *The proposed use's compatibility and consistency with the goals and recommendations of the City of Watertown Comprehensive Plan, Complete Streets Ordinance and other approved City plans and programs.*

The subject parcel is in the Urban Mixed Use/Downtown Transition future land use character area, the full description of which is contained in “Comprehensive Plan” section above.

The proposed accessory Drive-Through is a typical accessory use for banks and credit unions. As the UMU functions as a transition zone around the edge of downtown Watertown, an accessory drive-through does not create an inherent conflict with walkability here as it would on Public Square or farther north on Washington Street. The applicant provides pedestrian entrances from both Washington and Mullin Streets, and neither entrance requires crossing the drive-through lanes. The proposed accessory use is in harmony with the Comprehensive Plan.

- C. The impact on the nature and character of the surrounding neighborhood, natural environment, historic district, or corridor in which it is located.*

This site is located on a corner parcel at a major intersection, with a hotel, a mid-rise office building and a church comprising the land uses on the other three corners. As the previous Community Bank branch in this location had an accessory drive-through, this proposal is not introducing anything that would change the character of the surrounding neighborhood.

- D. The overall impact on the site and its surroundings, considering environmental, social, and economic impacts of traffic, noise, dust, odors, release of harmful substances, solid waste disposal, glare, or any other nuisances.*

The accessory drive-through will have a minimal impact on the site and its surroundings. As discussed above, Community Bank operated a drive-through when it occupied this site and there is no reason to expect this drive-through to create any nuisances.

- E. Restrictions and/or conditions on design of structures or operation of the use (including hours of operation) necessary either to ensure compatibility with the surrounding uses or to protect the natural resources of the City.*

The applicant proposes operating hours of 8:30 a.m. – 5 p.m. on weekdays and 9 a.m. – 12 p.m. on Saturdays, which are standard banking hours. The applicant shall clarify if there are any ATM lanes proposed and if those would be 24 hours a day.

- F. The adequacy and accessibility of essential public facilities and services, such as streets, parking spaces, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools.*

Code Enforcement Staff reviewed the submission for emergency vehicle access, including a City fire truck, and found no significant areas of concern.

- G. The proposed use’s impact on traffic congestion, impairment of pedestrian safety, or capacity challenges to Level of Service on existing streets, considering their current width, surfacing, and condition, and any improvements proposed to be made to them by the applicant.*

The applicant proposes a two-lane driveway exiting onto Washington Street from the drive-through canopy, one lane for left turns only and another for right turns only. It is unknown if sufficient gaps in Washington Street traffic exist to accommodate left turns out of the site with a consistent level of service.

During a recent site visit, Staff attempted to exit the site in a vehicle by turning left onto Washington Street. Over the course of several minutes, there was never a sufficient gap in Washington Street traffic to execute a left turn safely. Staff recommends that the Planning Commission require the applicant to conduct a traffic study to validate the success of the proposed left turn lane.

A high-profile vehicle stopped in the left-turn lane will block the view of southbound traffic on Washington Street (and southbound pedestrians on the sidewalk) from the view of a motorist in the right-turn lane. Multiple vehicles attempting a left-turn exit also creates the potential for significant internal stacking. If a traffic study reveals that a left-turn lane is likely to fail, the applicant should remove it from the plans.

Finally, while the applicant proposes a stop sign on a breakaway signpost where the drive-through exit crosses the Washington Street sidewalk, the applicant should also paint a stop bar on the internal side of the exit aisle to emphasize to exiting motorists that pedestrians have the right of way. This should be added to the plans regardless of the results of the traffic study.

H. The impact on adjacent historic resources as formally recognized by the New York State and Federal Registers of Historic Places.

The subject property is not adjacent to any formally recognized historic resources. The nearest historic resources are the Roswell P. Flower Memorial Library, Paddock Mansion and Watertown Masonic Temple, all of which are on the 200-block of Washington Street, 600-to-700 feet north of the subject parcel.

I. In reviewing the adequacy of the Supplemental or General Regulations as they may relate, the Planning Commission may impose more restrictive conditions.

This standard allows the Planning Commission to impose more restrictive conditions after review of this application. Any comments or additional conditions should be stated at the Planning Commission meeting.

SEQR: This project is considered an Unlisted Action under the State Environmental Quality Review Act (SEQRA). The applicant has submitted a completed Part 1 of a Short Environmental Assessment Form (EAF). The Planning Commission, as Lead Agency, must complete Part 2 of the Short EAF prior to voting on the application and consider the “whole action” of the Site Plan and Special Use Permit.

Miscellaneous: The Jefferson County Planning Board reviewed this application at its August 26, 2025, meeting pursuant to Section 239-m of New York State General Municipal Law and adopted a motion finding that the proposed Site Plan was of local concern only.

Other Engineering Comments: The applicant shall clarify where the existing building’s sanitary and water utilities tie into City utilities. This should be indicated on the plans and details provided for cutting and capping prior to demolition.

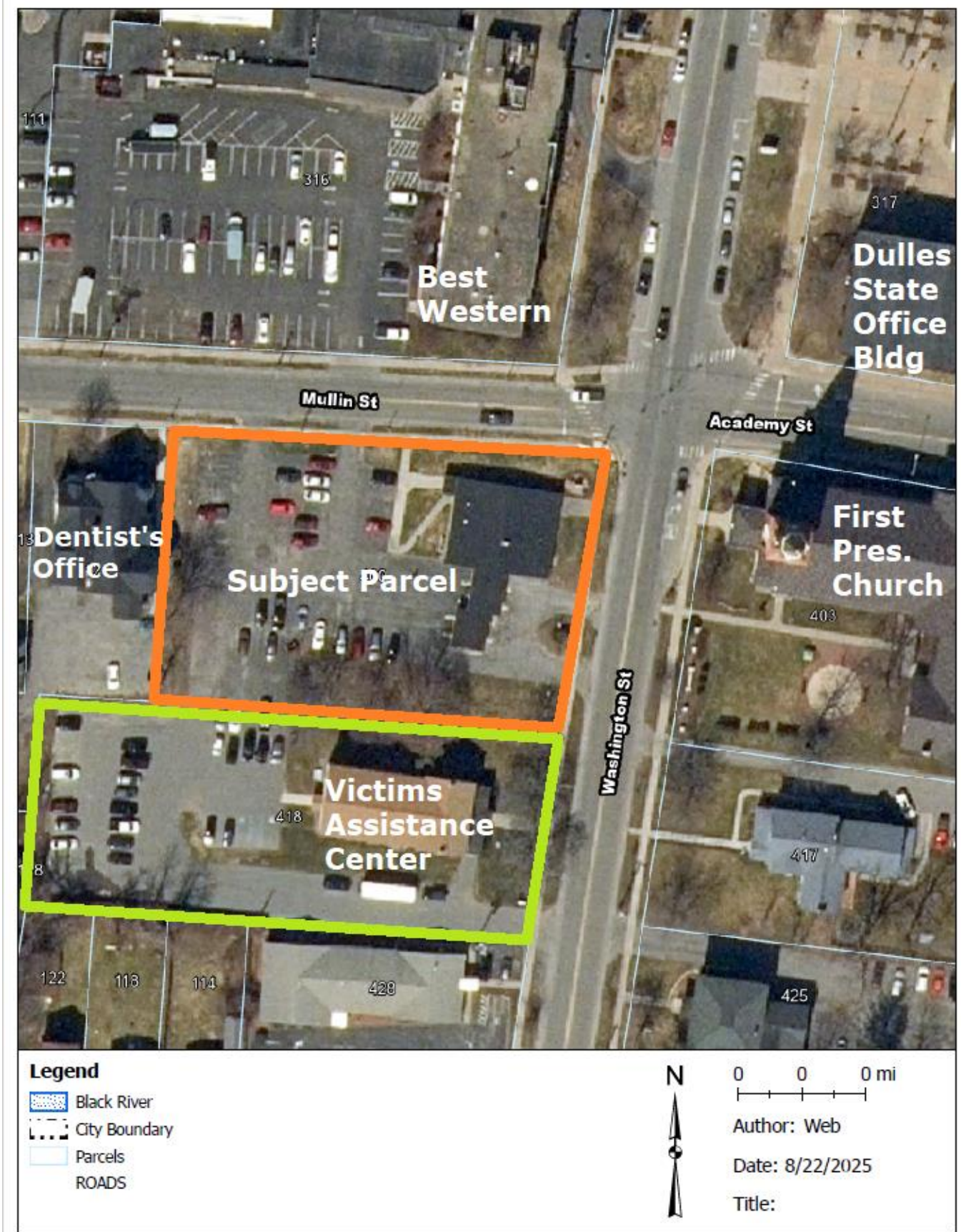
Permits: The applicant must obtain the following permits and other documentation, minimally, prior to construction: Demolition Permit, Building Permit, Zoning Compliance Certificate, Sidewalk Permit, and a General City Permit for work within the ROW.

Planning Commission Action: Following Staff review of the Site Plan application; Staff recommends that the Planning Commission approve this application subject to the conditions listed below.

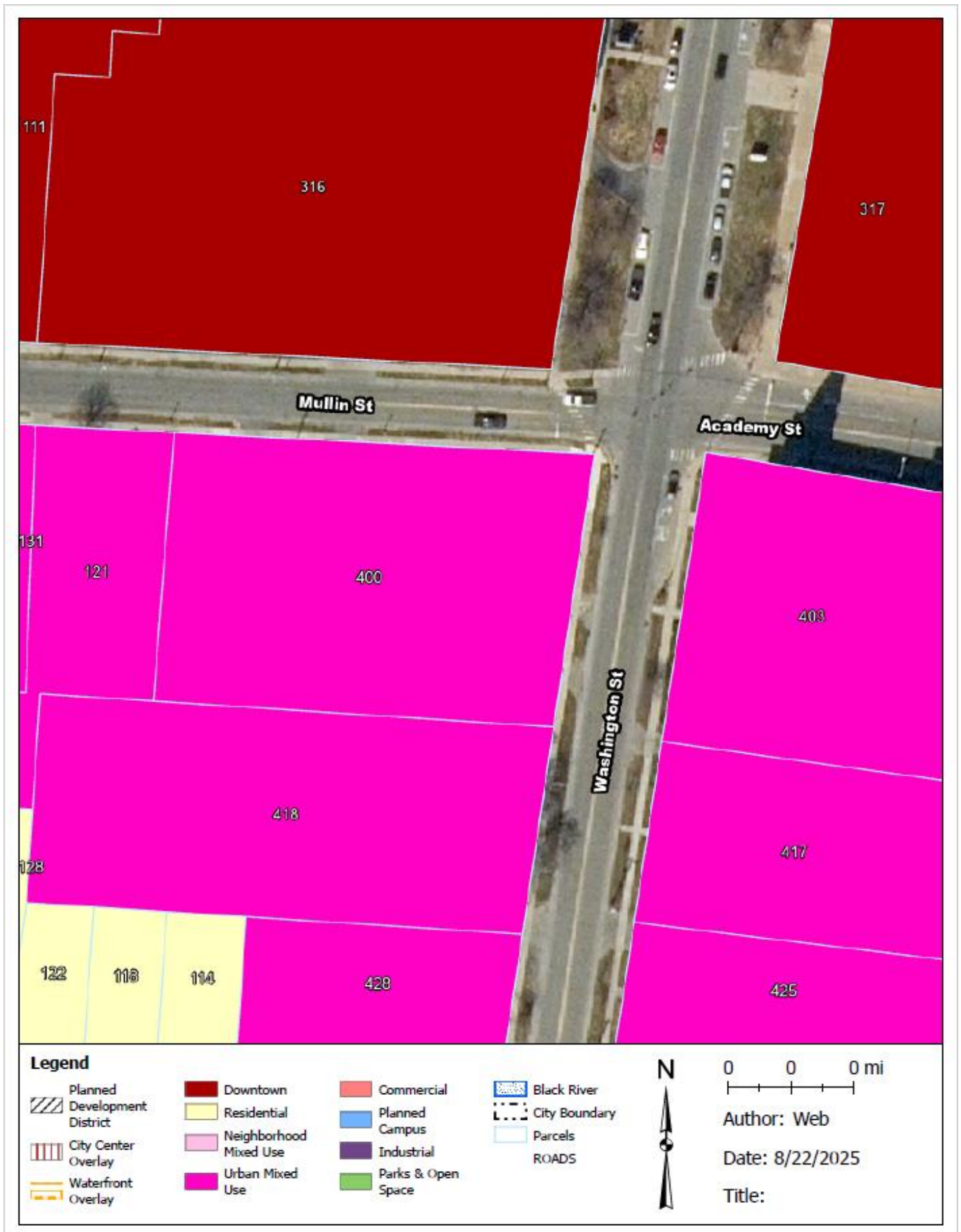
Summary: The following should be discussed by the Planning Commission and possibly included as contingencies in the motion for approval of the Site Plan:

1. The applicant shall mow the bio-retention area once per year, in the fall, to prevent weed trees from growing and interfering with runoff diversion.
2. The applicant shall clarify the data conveyed in Section 4.3 of the Engineering Report to the satisfaction of the City Engineer.
3. The applicant shall clarify if there are any ATM lanes proposed as part of the accessory drive-through, and whether they would be 24 hours a day
4. The applicant shall conduct a traffic study to determine whether sufficient gaps exist in Washington Street traffic for a left-turn exit lane to operate successfully.
5. The applicant shall add a painted and labeled stop bar to the plans in addition to the breakaway stop sign at the point where the drive-through exit lane crosses the Washington Street sidewalk.
6. The applicant shall indicate on the plans where the existing building's sanitary and water utilities tie into City utilities and provide details for cutting and capping these utilities prior to demolition.
7. The applicant must obtain the following permits and other documentation, minimally, prior to construction: Demolition Permit, Building Permit, Zoning Compliance Certificate, Sidewalk Permit, and a General City Permit for work within the ROW.

cc: Thomas Compo, City Engineer
Mark Tompkins, P.E. GYMO, D.P.C.
Dale Klock, President/CEO, Carthage Savings Bank



Above: A satellite view of the subject parcel bounded by the Victims Assistance Center to the south and other surrounding land uses identified.



Above: A Zoning Map of the intersection where the proposed development would occur.

Site Photos



Above: A view of the subject parcel looking across the intersection of Washington and Mullin Streets.
Below: A zoomed in view of the existing building on the site proposed for demolition.





Above: A view of the two existing curb cuts on Mullin Street. These would be consolidated into a single cut providing both ingress and egress.

Below: A view of the two existing curb cuts on Washington Street. These would be consolidated into a single exit-only cut.





Above: A view of the existing drive-through canopy, which would be demolished and replaced.
Below: A reverse shot of the existing parking lot, devoid of landscaping or internal trees.





Above: A view of the existing connection to the rear parking on the adjacent Victims Assistance Center parcel.
Below: A view of the Victims Assistance Center's driveway entrance from Washington Street.



August 12, 2025

Mr. Michael Lumbis
Planning & Community Development Director
City of Watertown
245 Washington Street
Watertown, NY 13601

Re: Site Plan Approval – Carthage Savings and Loan New Watertown Branch

File: 2025-066

Dear Mr. Lumbis:

On behalf of Carthage Savings and Loan National Association (Carthage Savings and Loan), GYMO Architecture, Engineering, & Land Surveying, D.P.C. ("GYMO") is submitting for site plan approval for the Carthage Savings and Loan New Watertown Branch Project.

The project entails the construction of a new two-story +/- 8,600 SF Bank Office building (proposed hours of 8:30 AM – 5PM M-F, 9 AM – 12 PM Sat.) with four accessory drive through lanes (one ATM Lane would be open 24/7) on tax parcel 10-15-120.100 in the City of Watertown (400 Washington Street). Currently the site is vacant, however the site formerly contained a bank office with five drive-through lanes. The proposed project will involve the construction of the new office building, drive through lanes, twenty parking spaces, new stormwater management areas, security lighting, and other associated site improvements.

GYMO is submitting the following documents regarding the above mentioned project for Site Plan Approval via Accela Citizens Online. Hard copies can be provided upon request.

- City of Watertown Site Plan Application;
- Engineering Report;
- Property Survey Drawing;
- Civil Drawings;
- Preliminary Architectural Plans
- Part 1 of Short EAF
- Minor Site Plan Application Fee

Please note that a refuse vehicle circulation pattern is not depicted on the plans as indicated in the application checklist, as Carthage Savings and Loan intends to handle trash via portable garbage cans rather than a dumpster. In addition, fire truck circulation is not indicated on the plans based on preliminary discussions with City Planning and Engineering indicating that adequate access is provided on Mullin and Washington Street. Please note that if requested, these items could be added to the plans.

Patrick J. Scordo, PE
Matthew J. Cervini, PE
Scott W. Soules, AIA
Brandy W. Lucas, MBA
Gregory F. Ashley, PLS
Peter S. Clough
Zachary P. Scordo, PLS
McKenzie E. Fisk-Kamide
Mark W. Tompkins, PE

18969 US Route 11
Watertown, New York 13601

Tel: (315) 788-3900
Fax: (315) 788-0668
E-mail: web@gymodpc.com

Upon completion of your review, GYMO will provide final stamped drawings and plans. If you have any questions or require any additional information, please do not hesitate to contact our office at your earliest convenience.

Sincerely,
GYMO Architecture, Engineering, and Land Surveying, D.P.C.



Mark Tompkins, PE
Senior Project Engineer

Enclosure;

CC:

Dale Klock – Carthage Savings and Loan
Geoff Urda – City of Watertown
Matthew Cervini, PE – GYMO



August 12, 2025

Mr. Michael Lumbis
Planning & Community Development Director
City of Watertown
245 Washington Street
Watertown, NY 13601

Re: Letter of Authorization – 400 Washington Street

File: 2025-066

Dear Mr. Lumbis:

GYMO Architecture, Engineering, & Land Surveying, D.P.C. ("GYMO") will be applying for Site Plan Approval for the subject project and will present the project to the City Planning Board on behalf of the property Owner, Carthage Savings and Loan National Association ("Carthage Savings and Loan"). Mr. Dale Klock, the designated representative for the owner, is copied on this letter and has signed below. Please accept this GYMO's authorization to apply for Site Plan Approval on behalf of Carthage Savings and Loan for the subject project.

Sincerely,
GYMO Architecture, Engineering, and Land Surveying, D.P.C.

Mark Tompkins, PE
Senior Project Engineer

Dale Klock

Enclosure;

CC: Dale Klock – Carthage Savings and Loan
Geoff Urda – City of Watertown
Matthew Cervini, PE – GYMO

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Short Environmental Assessment Form

Part 1 - Project Information

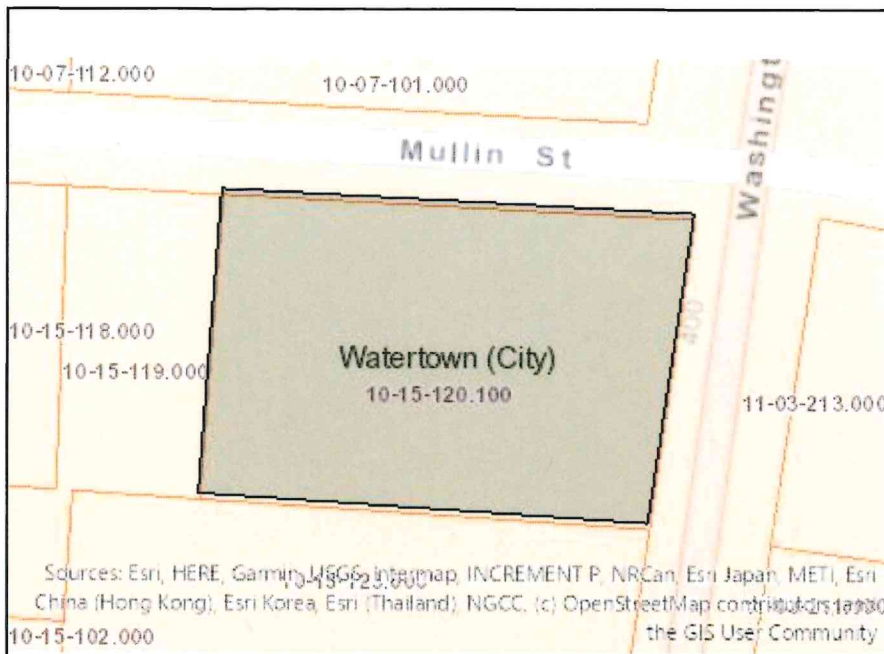
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

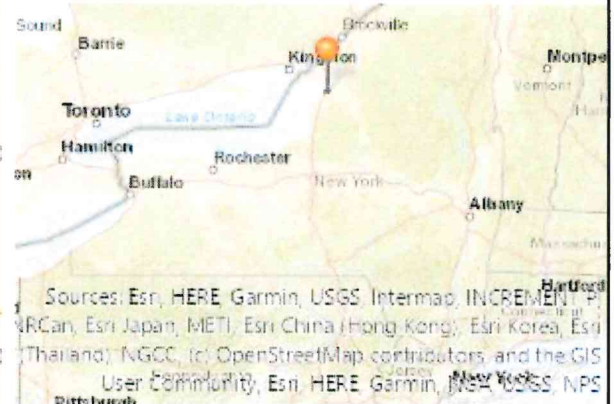
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information							
Name of Action or Project: Carthage Savings Bank New Watertown Branch							
Project Location (describe, and attach a location map): 400 Washington Street							
Brief Description of Proposed Action: Carthage Savings and Loan is proposing to construct a new +/- 8600 SF two-story new bank facility on their existing property located at 400 Washington Street in the City of Watertown. The project will also include construction of a new asphalt parking lot which will accommodate 20 parking spaces, new concrete sidewalk, new driveway entrances, 4 bicycle parking spaces, 4 covered drive through lanes for the bank, new stormwater management practices, security lighting, as well as other related site improvements.							
Name of Applicant or Sponsor: Carthage Savings and Loan		Telephone: (315) 493-3480 E-Mail: DKlock@CarthageSavings.com					
Address: 313 State Street							
City/PO: Carthage		State: NY	Zip Code: 13619				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Watertown Engineering - Sidewalk Permit, Utility Permit, Building Permit.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3. a. Total acreage of the site of the proposed action?		0.92 acres					
b. Total acreage to be physically disturbed?		0.79 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.92 acres					
4. Check all land uses that occur on, are adjoining or near the proposed action:							
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland							

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? See Engineering Report for discussion of traffic impacts. DEC website indicates an increase in traffic	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? FIRST PRESBYTERIAN CHURCH	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Indiana Bat, Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	Yes

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Indiana Bat, Northern Long-...	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Storm water runoff will either be conveyed to nearby storm drains or infiltration stormwater management area on site.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
Infiltration stormwater management area may temporarily hold up to 18" of water until it infiltrates into the ground.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
1102960 - DULLES STATE OFFICE BUILDING, 5 gallons of floor wax, DATE CLOSED 09/09/2011 1207559 - DULLES STATE OFFICE BUILDING, 2 gallons diesel spill, DATE CLOSED 10/30/2012	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Matthew J. Cervini on behalf of Carthage Savings</u> Date: <u>8/12/2025</u> Signature: <u>Matthew J. Cervini</u> Title: <u>Managing Engineer</u>		

PROJECT LOCATION: C:\Users\jacob\Documents\GYMO\2025\066 Carthage Savings Bank New Branch\Washington Street C Watertown - Documents\04 Engineering\01 Drawings\COVERSHEET AND NOTES.dwg
PLOT TIME: 8/12/2025 6:05:30 PM

CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH

400 WASHINGTON STREET

CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK

DATED: AUGUST 12, 2025

SUBMISSION: **SITE PLAN APPROVAL**

PREPARED BY: GYMO ARCHITECTURE, ENGINEERING & LAND SURVEYING, DPC
18969 US ROUTE 11 WATERTOWN, NY 13601



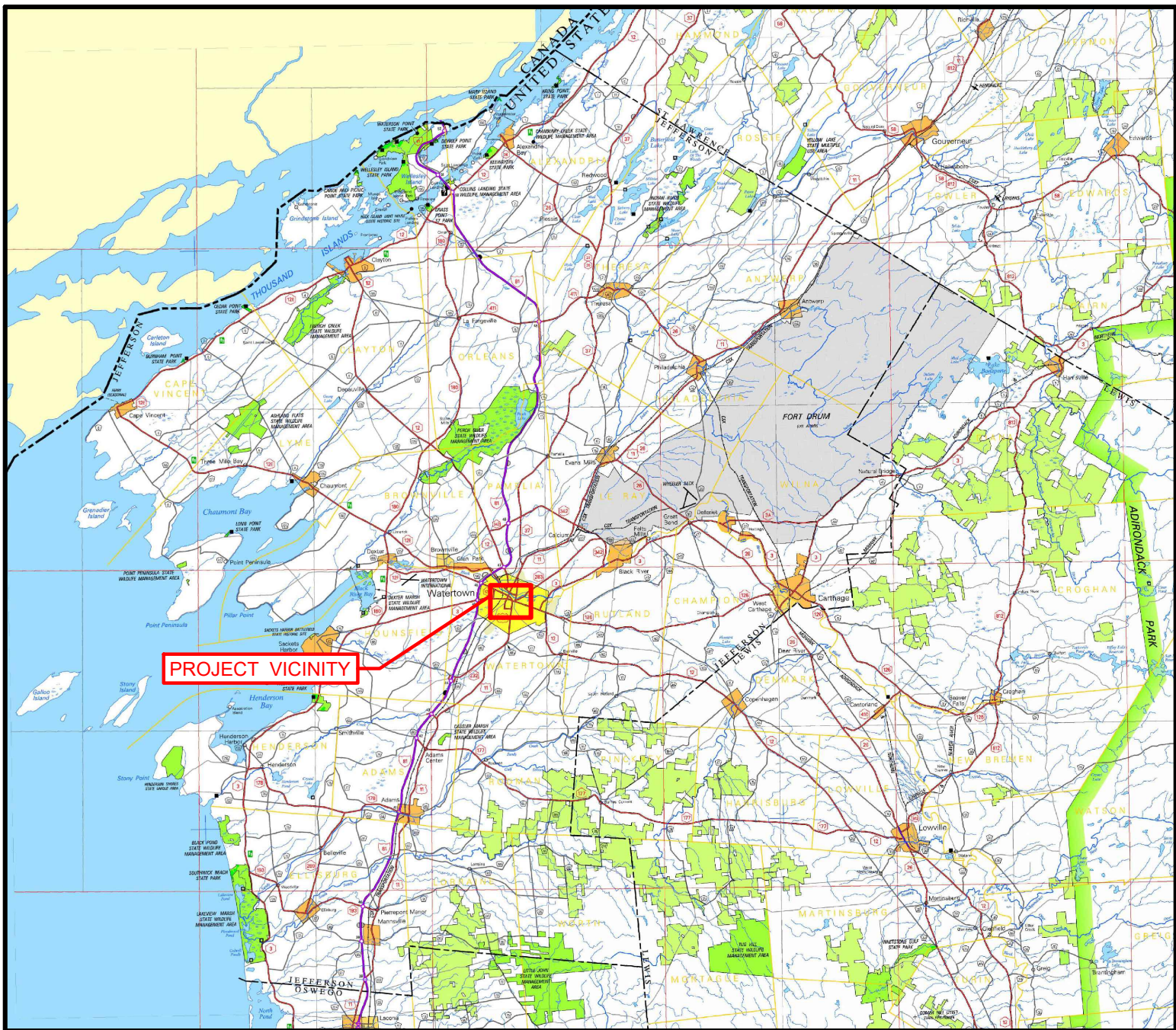
INDEX OF DRAWING:

CIVIL ENGINEERING SHEETS

- COVER SHEET
- G001 - GENERAL NOTES AND ABBREVIATIONS
- C101 - EXISTING CONDITIONS PLAN
- C102 - EROSION AND SEDIMENT CONTROL PLAN
- C103 - DEMOLITION PLAN
- C104 - SITE PLAN
- C105 - UTILITY PLAN
- C106 - GRADING AND DRAINAGE PLAN
- C107 - LANDSCAPING PLAN
- C108 - PHOTOMETRICS PLAN
- C109 - PEDESTRIAN CIRCULATION PLAN
- C501 - DETAILS
- C502 - DETAILS
- C503 - DETAILS
- C504 - DETAILS
- C505 - DETAILS
- DP1 - PROPOSED DRAINAGE AREA

ARCHITECTURAL SHEETS

- FIRST FLOOR PLAN
- SECOND FLOOR - CONCEPTUAL
- EXTERIOR ELEVATIONS
- EXTERIOR ELEVATIONS
- OVERALL FLOOR PLAN



VICINITY MAP - JEFFERSON COUNTY

NOT TO SCALE



LOCATION MAP

NOT TO SCALE

PREPARED BY:

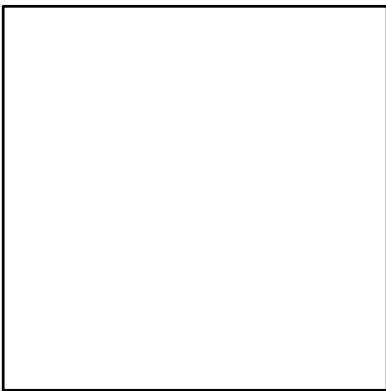


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MATTHEW J. CERVIN, I, PE
NEW YORK STATE REGISTRATION NO. 080937

PREPARED FOR:

CARTHAGE SAVINGS AND LOAN
313 STATE STREET
CARTHAGE, NY 13619
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2025-066 - 08-12-2025

CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH
400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNTY, STATE OF NEW YORK



FOR APPROVALS ONLY
NOT FOR CONSTRUCTION

GENERAL CONSTRUCTION NOTES:

1. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. PRIOR TO CONSTRUCTION CONTACT UNDERGROUND UTILITIES CALL CENTER OF NEW YORK FOR EXACT LOCATION OF ALL UNDERGROUND UTILITIES. (1-800-962-7962). CONTRACTOR IS RESPONSIBLE FOR LOCATING AND WORKING WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.

2. ALL OUT-OF-SCOPE AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS WILL BE RESTORED TO CONDITIONS EQUAL TO OR BETTER THAN THAT PRIOR TO CONSTRUCTION. OUTSIDE OF PROPERTY BOUNDARIES AND EASEMENT AREAS THE CONTRACTOR IS REMINDED TO OBTAIN WRITTEN AUTHORIZATION TO USE PRIVATE PROPERTY AND ASSUMES ALL LIABILITY WHEN ACCESSING THOSE PROPERTIES.

3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CHARACTERISTICS AND EXTENT OF SUBSURFACE SOILS, ROCK, WATER TABLE LEVELS, ETC., PRIOR TO BIDDING.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, SECURITY, BONDS, FEES, AND PAYMENTS TO OBTAIN SAID PERMITS WHERE APPLICABLE. IF INSPECTIONS ARE REQUIRED BY A REGULATORY AGENCY AS A CONDITION OF A PERMIT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PAYING FOR THE INSPECTIONS.

5. WHEN THE PERFORMANCE OF THE CONTRACTOR'S WORK REQUIRES THE INTERRUPTION OF UTILITY SERVICES, HE/SHE SHALL ISSUE A 48 HOUR PRIOR NOTICE TO THE GOVERNING MUNICIPALITY AND IMPACTED PARTIES.

6. SITE CONTRACTOR TO PROVIDE EROSION AND SEDIMENT CONTROL AND DUST CONTROL.

7. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL ESTABLISHMENT OF VEGETATIVE COVER. RUN-OFF CONTAINING SEDIMENTS FROM DISTURBED AREAS OF THE SITE SHALL NOT BE ALLOWED DIRECTLY OFF SITE OR INTO NATURAL STREAM CHANNELS.

8. A LICENSED LAND SURVEYOR SHALL BE RETAINED FOR ALL UTILITY AND FIELD STAKEOUT AND AS-BUILTS AT THE CONTRACTORS EXPENSE.

9. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. CONSTRUCTION ACTIVITIES ADJACENT TO TREES SHALL BE CONDUCTED TO REDUCE THE IMPACT TO TREES TO THE MAXIMUM EXTENT PRACTICAL. ANY DAMAGE TO EXISTING TREES SHALL BE REPAIRED OR THE TREE REPLACED, AS DIRECTED BY THE OWNER AT THE CONTRACTORS EXPENSE.

10. CONTRACTOR SHALL PERFORM ALL R.O.W. CONNECTION AND/OR ADJACENT WORK IN ACCORDANCE WITH NYSDOT SPECIFICATIONS. ALL R.O.W. WORK SHALL BE IN ACCORDANCE WITH NYSDOT WORK ZONE TRAFFIC CONTROL REGULATIONS, INCLUDING FLAGMEN, BARRICADES, WARNING SIGNS/LIGHTS, ETC., WHERE WARRANTED.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING, GRUBBING, CUTTING AND DISPOSING OF VEGETATION, TREES AND DEBRIS IN A NYSDC ACCEPTABLE LOCATION.

12. CONTRACTOR SHALL PERFORM ALL NECESSARY EARTHWORK, INCLUDING THE STRIPPING, STOCKPILING AND REPLACING OF TOPSOIL IN ACCORDANCE WITH THE PLANS. EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE.

13. EXCAVATIONS SHALL BE TO DEPTHS SHOWN ON DRAWINGS. ALL UNSTABLE OR UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REMOVED TO SUCH DEPTH AS REQUIRED TO PROVIDE SUFFICIENT BEARING CAPACITY. OVER-EXCAVATED AREAS UNDER STRUCTURES AND PAVEMENTS SHALL BE BACKFILLED WITH STRUCTURAL FILL. OVER-EXCAVATED AREAS UNDER LAWN AREAS SHALL BE BACKFILLED WITH SUITABLE MATERIAL.

14. COMPACTION OF PIPE BEDDING AND BACKFILL MATERIAL SHALL BE BY MEANS OF HAND-GUIDED POWER DRIVEN, DRUM-TYPE, OR PLATE TAMPERS. BACKFILLING SHOULD PROCEED IN ACCORDANCE WITH LIFT THICKNESS AND COMPACTION REQUIREMENTS AS SHOWN ON THE DRAWINGS. UNLESS OTHERWISE NOTED ON THE DRAWINGS, COMPACTION REQUIREMENTS REFER TO PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM STANDARD D1557 MODIFIED PROCTOR METHOD. CARE SHALL BE TAKEN TO SHAPE PIPE BEDDING TO FIT THE LOWER PART OF THE PIPE. BACKFILLING AND COMPACTION SHOULD PROGRESS EVENLY ALONG THE PIPE SIDEWALLS AND TO THE TOP OF THE PIPE BEDDING.

15. COMPACTION SHALL BE 90% MAXIMUM DRY DENSITY IN GRASS AREAS AND 95% MAXIMUM DRY DENSITY IN GRAVEL AND PAVEMENT AREAS AND 98% MAXIMUM DRY DENSITY UNDER AND AROUND STRUCTURES. MAXIMUM DRY DENSITY SHALL BE AS DETERMINED BY ASTM - D1557 MODIFIED PROCTOR METHOD. THE CONTRACTOR SHALL HIRE AN INDEPENDENT TESTING AGENCY TO PERFORM PAVEMENT TESTING PER TECHNICAL SPECIFICATIONS AND PROVIDE THE RESULTS TO THE OWNER AND MUNICIPALITY FOR REVIEW PRIOR TO FINAL PAYMENT.

16. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF DIMENSIONS, ELEVATIONS AND LOCATIONS DURING PRECONSTRUCTION FIELD VERIFICATION, SUCH INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR VERIFICATION OR MODIFICATION OF THE PLANS.

17. THE CONTRACTOR SHALL DELIVER TO THE OWNER, AN AS-BUILT SURVEY, SIGNED AND SEALED BY A LAND SURVEYOR OR ENGINEER LICENSED IN THE STATE OF NEW YORK. AS-BUILT RECORD DRAWINGS SHALL INCLUDE, AS A MINIMUM, THE FOLLOWING INFORMATION AS WELL AS ALL REQUIREMENTS OF THE SPECIFICATION:

* RECORD OF ALL UTILITIES ENCOUNTERED IN TRENCH EXCAVATION. INFORMATION SHALL INCLUDE DIAMETER OF UTILITY, DEPTH OF BURIAL AND LOCATION WITH REFERENCE TO NEAREST STRUCTURE SHOWN ON DRAWINGS. THIS INFORMATION SHALL BE KEPT CURRENT ON A WEEKLY BASIS. FAILURE TO DO SO MAY RESULT IN WITHHOLDING OF PAYMENTS.

* DISTANCE TIES TO ALL BENDS, VALVES, CORPORATION STOPS, WYES, MANHOLES, CLEAN OUTS, CATCH BASINS, ETC.

* UTILITY REPAIRS, SIDEWALK, AND DRIVEWAY REPLACEMENTS CENTERLINE.

* RIM AND INVERT ELEVATIONS AND HORIZONTAL LOCATION OF MANHOLES, CATCH BASINS, AND CLEANOUTS ENCOUNTERED DURING CONSTRUCTION.

* STATIONS OF BENDS AND VALVES.

* FINAL GRADE ELEVATIONS TO NEAREST 0.1-FOOT AND FINISHED FLOOR ELEVATIONS.

* DENOTED BENCH MARK REFERENCES USED.

* PERIODIC OFFSETS

* NOTATION FROM THE ENGINEER OR SURVEYOR THAT THE GRADES ARE IN CONFORMANCE WITH THE SITE PLANS.

* RECORD DETAILS NOT SHOWN ON THE ORIGINAL CONTRACT DOCUMENTS. ANY FIELD CHANGES OF DIMENSIONS AND DETAILS AND ANY CHANGES MADE BY CHANGE ORDER OR FIELD ORDER.

* CERTIFICATE OF SUBSTANTIAL COMPLETION SHALL NOT BE ISSUED UNTIL AS-BUILT INFORMATION IS ACCEPTABLE.

* CONTRACTOR SHALL FURNISH AS-BUILT DATA ON PLAN SHEETS

* CONTRACTOR SHALL PROVIDE TWO (2) SETS OF FINAL COMPLETE RECORD DRAWINGS AND A PDF COPY OF THE FINAL COMPLETE RECORD DRAWINGS

18. UPON COMPLETION OF STORM SEWER FACILITIES AND ESTABLISHMENT OF VEGETATION, THE NEW AND EXISTING STORM SYSTEMS RECEIVING RUNOFF FROM THIS SITE SHALL BE CLEANED OF DEBRIS. ONLY AT THIS TIME SHALL THE EROSION AND SEDIMENTATION CONTROL MEASURES BE REMOVED.

19. CONTRACTOR SHALL PROVIDE SATISFACTORY DEWATERING AND DRAINAGE OF EXCAVATIONS. SEE DEWATERING AND DRAINAGE IN THE TECHNICAL SPECIFICATIONS FOR MORE DETAILED INFORMATION.

20. THE CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL ROADWAYS, PARKING LOTS, AND ADJACENT PROPERTIES ARE CLEAR OF DEBRIS AND MUD RESULTANT FROM CONSTRUCTION ACTIVITIES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.

21. EXCAVATIONS AND TRENCHING SHALL BE PERFORMED IN ACCORDANCE WITH STATE OF NEW YORK INDUSTRIAL CODE, RULE 23, O.S.H.A. TITLE 29, PART 1926, NEW YORK STATE DEPARTMENT OF LABOR, TITLE 12, PART 23, AND ALL OTHER APPLICABLE SAFETY STANDARDS AND CODES.

22. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL RULES AND RESPONSIBILITIES ASSOCIATED WITH PROVIDING A SAFE WORK PLACE. THE CONTRACTOR MUST COMPLY WITH OSHA 29 CFR PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.

23. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL DAMAGE CAUSED BY HIS OPERATIONS TO EXISTING FACILITIES. ALL DAMAGE TO THE EXISTING FACILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE, AT NO ADDITIONAL COST.

24. THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION OPERATIONS WITH ANY AND ALL OTHER CONSTRUCTION ACTIVITIES WHICH MAY BE OCCURRING SIMULTANEOUSLY IN THE VICINITY OF THE SITE.

25. THE CONTRACTOR SHALL POST WARNING SIGNS AT ALL APPROACHES TO THE PROJECT AND AT CONSTRUCTION ENTRANCES. THE CONTRACTOR TO PROVIDE FLAGMEN WHEN NECESSARY.

26. PRESENCE OF HAZARDOUS MATERIALS SHALL BE BROUGHT TO THE ENGINEERS OR OWNERS IMMEDIATE ATTENTION.

27. DISPOSAL OF ALL CONSTRUCTION DEMOLITION DEBRIS SHALL BE IN ACCORDANCE WITH THE LOCAL AND 6 NYS CRR PART 360, PLUS OTHER APPLICABLE CODES. DISPOSAL SHALL BE AT THE CONTRACTOR'S EXPENSE.

28. PAVED AREAS WILL BE SAWCUT PRIOR TO EXCAVATION AND PAVING OPERATIONS. SAWCUT AREAS WILL BE TACK COATED PRIOR TO PAVING. TACK COAT SHALL MEET THE REQUIREMENTS OF ASPHALT EMULSION FOR TACK COAT, NYSDOT TABLE 702-7.

29. THE CONTRACT DOCUMENTS ALWAYS SUPERCEDE SUBMITTALS, SHOP DRAWINGS, OR ANY "OTHER" DOCUMENTS UNLESS INDICATED OTHERWISE BY THE ENGINEER. IN THE EVENT OF "OTHER" DOCUMENTS CONFLICTING WITH THE CONTRACT DOCUMENTS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING IT TO THE ATTENTION OF THE ENGINEER AS SOON AS IT IS DISCOVERED.

30. THE DETAIL PLANS AND SPECIFICATIONS FOR THE CONTRACT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN NOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. WORK UNDER ALL ITEMS IN THE CONTRACT MUST BE CARRIED OUT TO MEET THESE FIELD CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND IN ACCORDANCE WITH HIS INSTRUCTIONS AND THE CONTRACT SPECIFICATIONS

31. THE CONTRACTOR SHOULD NOTE THAT ADDITIONAL WORK MAY BE REQUIRED AS THE CONTRACT PROGRESSES WHICH IS NOT SHOWN OR NOTED ON PLANS. THIS WORK SHALL BE PERFORMED BY THE CONTRACTOR ONLY AFTER BEING AUTHORIZED BY THE OWNER AND ENGINEER WITH ADDITIONAL PAYMENT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE CONTRACT AGREEMENT WITH THE OWNER.

32. THE CONTRACTOR SHALL SUBMIT ANY TRAFFIC CONTROL PLANS TO GYMO PRIOR TO CONSTRUCTION ACTIVITIES.
- | ABBREVIATIONS | |
|---------------|---|
| AC | ACRES |
| BC | BOTTOM OF CURB |
| BLDG | BUILDING |
| BOT | BOTTOM |
| BW | BOTTOM OF WALL |
| C | CURVE |
| CB | CATCH BASIN |
| CF | CUBIC FEET |
| CI | CUBIC INCHES |
| CL OR ƒ | CENTERLINE |
| CO | COUNTY |
| CONC | CONCRETE |
| CMP | CORRUGATED METAL PIPE |
| CPP | CORRUGATED PLASTIC PIPE |
| DA | DELTA ANGLE |
| DA# OR DA NO. | DRAINAGE AREA NUMBER |
| DI | DUCTILE IRON |
| DIA | DIAMETER |
| DWG | DRAWING |
| DYLL | DOUBLE YELLOW LANE LINE |
| E | EAST |
| EG | EXISTING GRADE |
| EL | ELEVATION |
| ESC | EROSION AND SEDIMENT CONTROL |
| FF | FINISHED FLOOR |
| FG | FINISHED GRADE |
| GV | GATE VALVE |
| HDPE | HIGH DENSITY POLYETHYLENE PIPE |
| HYD | HYDRANT |
| IPF | IRON PIPE FOUND |
| IPS | IRON PIPE SET |
| INT | INTERSECTION |
| INV | INVERT |
| L | LENGTH |
| LF | LINEAR FEET |
| MAX | MAXIMUM |
| MEG | MATCH EXISTING GRADE |
| MIN | MINIMUM |
| N | NORTH |
| N/A | NOT APPLICABLE |
| NO. OR # | NUMBER |
| NTS | NOT TO SCALE |
| NYSDC | NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION |
| NYSDOT | NEW YORK STATE DEPARTMENT OF TRANSPORTATION |
| NYSDOH | NEW YORK STATE DEPARTMENT OF HEALTH |
| OU | OVERHEAD UTILITY LINE |
| PC | POINT OF CURVATURE |
| PCC | POINT OF COMPOUND CURVE |
| PT | POINT OF TANGENT |
| PVC | POLYVINYL CHLORIDE PIPE |
| R | RADIUS OR RADII |
| RCP | REINFORCED CONCRETE PIPE |
| ROC | RUN OF CRUSHER |
| ROW | RIGHT OR WAY |
| S | SOUTH |
| SAN | SANITARY |
| SB | SETBACK |
| SDR | STANDARD DIMENSION RATIO |
| SMH | SANITARY MANHOLE |
| STMH | STORM MANHOLE |
| SWPPP | STORM WATER POLLUTION PREVENTION PLAN |
| SWLL | SINGLE WHITE LANE LINE |
| TC | TOP OF CURB |
| TL | TANGENT LENGTH |
| TOC | TIME OF CONCENTRATION |
| (TYP) | TYPICAL |
| TW | TOP OF WALL |
| TS & V | TAPPING SLEEVE AND VALVE |
| UNO | UNLESS NOTED OTHERWISE |
| W | WEST |
- EXISTING CONDITIONS NOTES:
1. THE TOPOGRAPHIC AND PLANIMETRIC SURVEY WAS PERFORMED BY GYMO, DPC IN THE SUMMER OF 2025.

2. THE SURVEY IS TIED HORIZONTALLY INTO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).

3. THE SURVEY IS TIED VERTICALLY INTO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

4. UNLESS OTHERWISE NOTED, TAX PARCELS, HIGHWAY BOUNDARIES, AND REPUTED OWNERS INDICATED ON THE DRAWINGS HAVE BEEN PROVIDED BY JEFFERSON COUNTY REAL PROPERTY TAX SERVICES AND SHOULD BE CONSIDERED APPROXIMATE ONLY.

5. EXISTING GAS LINE INFORMATION INDICATED ON THE PLANS IS BASED ON FIELD LOCATION OF ABOVE GROUND FEATURES, OBSERVED UTILITY MARKOUT, AND AVAILABLE GAS UTILITY MAPPING PROVIDED BY NATIONAL GRID. UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE.

6. "HIGHWAY BOUNDARY BY APPROPRIATION MAPPING" INDICATED ON THESE PLANS HAVE BEEN ESTABLISHED BASED ON AVAILABLE APPROPRIATION MAPPING, AND AS-BUILT PLAN SHEETS. SAID MARGINS ARE SUBJECT TO CHANGE SHOULD SUPERCEDING DOCUMENTS BECOME AVAILABLE.

7. PROPERTY LINES FOR THE SUBJECT PROPERTY INDICATED ON THE PLANS ARE BASED ON A SURVEY PLAT OF A PARCEL OF LAND KNOWN AS 400 WASHINGTON STREET PREPARED BY PAT A. STORINO AND DATED MARCH 17, 2025.

8. EXISTING WATER AND SEWER MAIN INFORMATION INDICATED ON THE PLANS IS BASED ON FIELD LOCATION OF ABOVE GROUND FEATURES SUPPLEMENTED WITH AVAILABLE MAPPING. UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE.
- CITY OF WATERTOWN GENERAL PLAN NOTES:
1. ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN WILL REQUIRE SIGN-OFF FROM A PROFESSIONAL ENGINEER, LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK, THAT THE WORK WAS BUILT ACCORDING TO THE APPROVED SITE PLAN AND APPLICABLE CITY OF WATERTOWN STANDARDS.

2. COMPACTION TESTING WILL BE REQUIRED FOR ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN AND MUST BE SUBMITTED TO THE CITY OF WATERTOWN CODES DEPARTMENT.
- SITE ACCESSABILITY NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING VEHICULAR, BICYCLE, AND ADA COMPLIANT PEDESTRIAN PUBLIC ACCESS TO INTERSECTING ROADS, RESIDENCES, BUSINESS ESTABLISHMENTS, ADJACENT PROPERTY, BUS STOPS AND TRANSPORTATION FACILITIES.

2. THE CONTRACTOR SHALL MAINTAIN POSTAL ROUTE MAILBOXES SERVICED FROM VEHICLES, IN A USEABLE CONDITION AND LOCATION CONSISTENT WITH U.S. POSTAL SERVICE REQUIREMENTS.

3. THE CONTRACTOR SHALL MAINTAIN THE TRAVELED WAY TO FACILITATE SAFE, EFFICIENT TRAVEL AND PERMIT SNOW AND ICE CONTROL BY OTHERS DURING WINTER MONTHS AND DURING ANY PERIOD THAT WORK IS SUSPENDED.
- 2009 Edition

Page 671

Figure 6H-18. Lane Closure on a Minor Street (TA-18)

Note: See Tables 6H-2 and 6H-3 for the meaning of the symbols and/or letter codes used in this figure.

Work vehicle (optional)

Truck-mounted attenuator (optional)

Buffer space (optional)

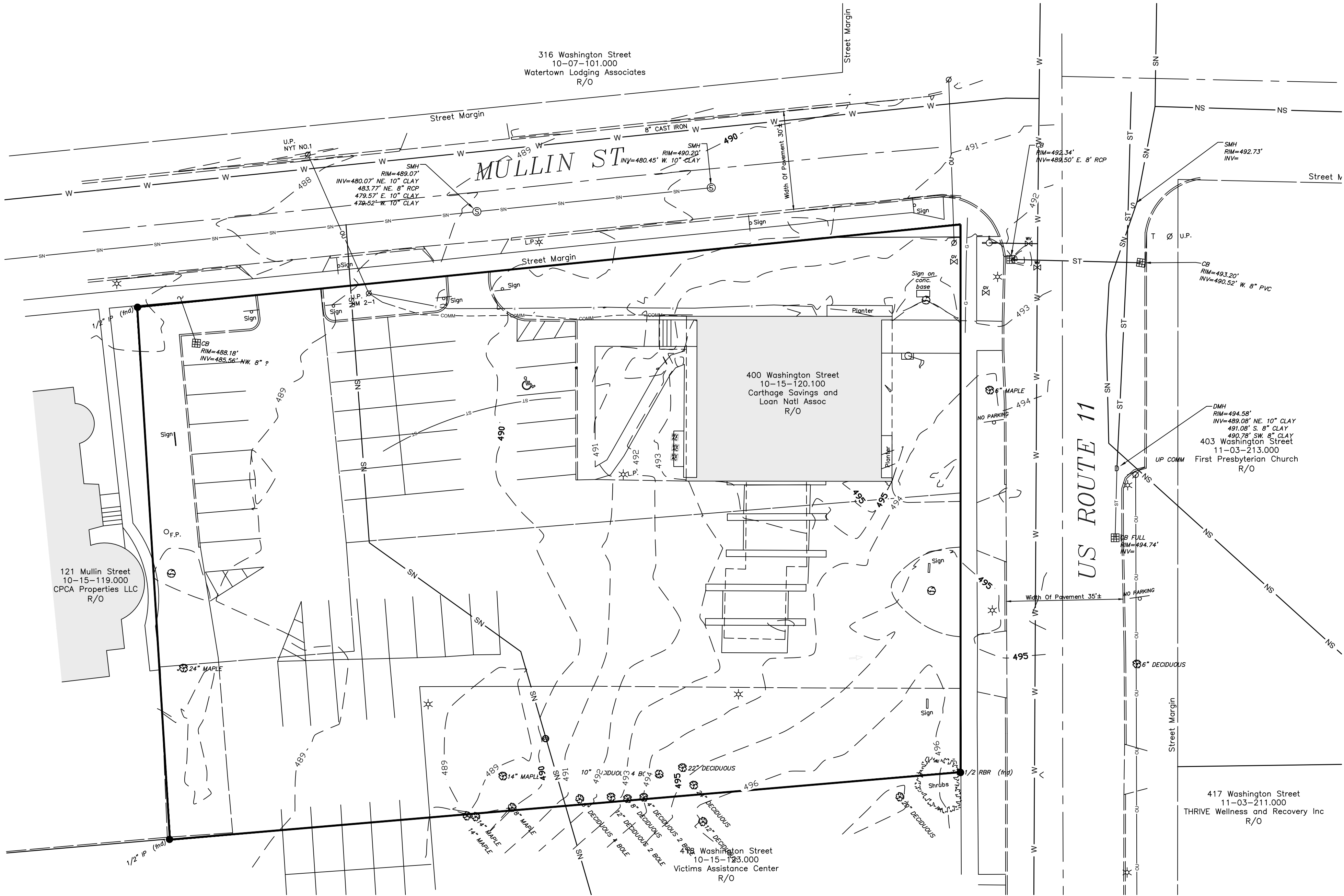
50 to 100 ft

A

Typical Application 18

December 2009

Sect. 6H.01
- | | | |
|------|--------------------------------|------------|
| 1 | WORK ZONE TRAFFIC CONTROL PLAN | |
| G001 | NOT TO SCALE | MUTCD—2009 |
-
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HIS OR HER SIGNATURE, DATE
AND A SPECIFIC DESCRIPTION
OF ALTERATION.
- SEAL:
- PROJECT NO: 2025 - 066
- SCALE: AS NOTED
- DRAWN BY: RAA
- DESIGNED BY: RAA / MJC
- CHECKED BY: MJC
- DATE ISSUED: 08-12-2025
- GENERAL NOTES
- CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH
400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK
- LAST REVISED: N/A
- FOR APPROVALS ONLY
NOT FOR CONSTRUCTION
- DRAWING NO.
- G001



EXISTING CONDITIONS NOTES:

1. THE SURVEY IS TIED HORIZONTALLY INTO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).
2. THE SURVEY IS TIED VERTICALLY INTO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
3. SEE G001 FOR MORE INFORMATION ON EXISTING CONDITIONS.



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"ALTERED BY" FOLLOWED BY
HIS OR HER SIGNATURE, DATE
AND A SPECIFIC DESCRIPTION
OF ALTERATION.

SEAL:

PROJECT NO: 2025 - 066

SCALE: AS NOTED

DRAWN BY: RAA

DESIGNED BY: RAA/MJC

CHECKED BY: MJC

DATE ISSUED: 08-12-2025

EXISTING LEGEND

— — — — —	CENTERLINE OF STREET
— — — — —	STREET MARGIN
	TREE
	GAS VALVE
— — — — —	EDGE OF PAVEMENT
— — — — —	PAINTED PAVEMENT MARKING
— — — — —	APPROXIMATE PARCEL BOUNDARY BY TAX MAP
— — — — —	PARCEL BOUNDARY - SEE EXISTING CONDITIONS NOTES G001
	BUILDING
— — — — —	CURB
- - - - -154- - - -	MINOR GROUND CONTOUR
- - - - -155- - - -	MAJOR GROUND CONTOUR
— — — — —	EDGE OF CONCRETE
	TRAFFIC SIGNS
	UTILITY POLE
	SANITARY SEWER MANHOLE
	CLEANOUT
— — — — —	SANITARY SEWER LINE
— — — — —	OVERHEAD UTILITY
	WATER VALVE
	CATCH BASIN
— — — — —	UNDERGROUND GAS LINE
— — — — —	STORM SEWER LINE
— — — — —	STORM END SECTION
	OVERHEAD LIGHT FIXTURE
	ELECTRIC METER
	HVAC UNIT
	GAS METER
•	PIPE BOLLARD
	FIRE HYDRANT
— — — — —	WATER LINE
	WATER SHUTOFF

EXISTING CONDITIONS PLAN

CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH
400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK

LAST REVISED: N/A

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NOT FOR CONSTRUCTION

DRAWING NO.

C101



22" X 34" GRAPHIC SCALE

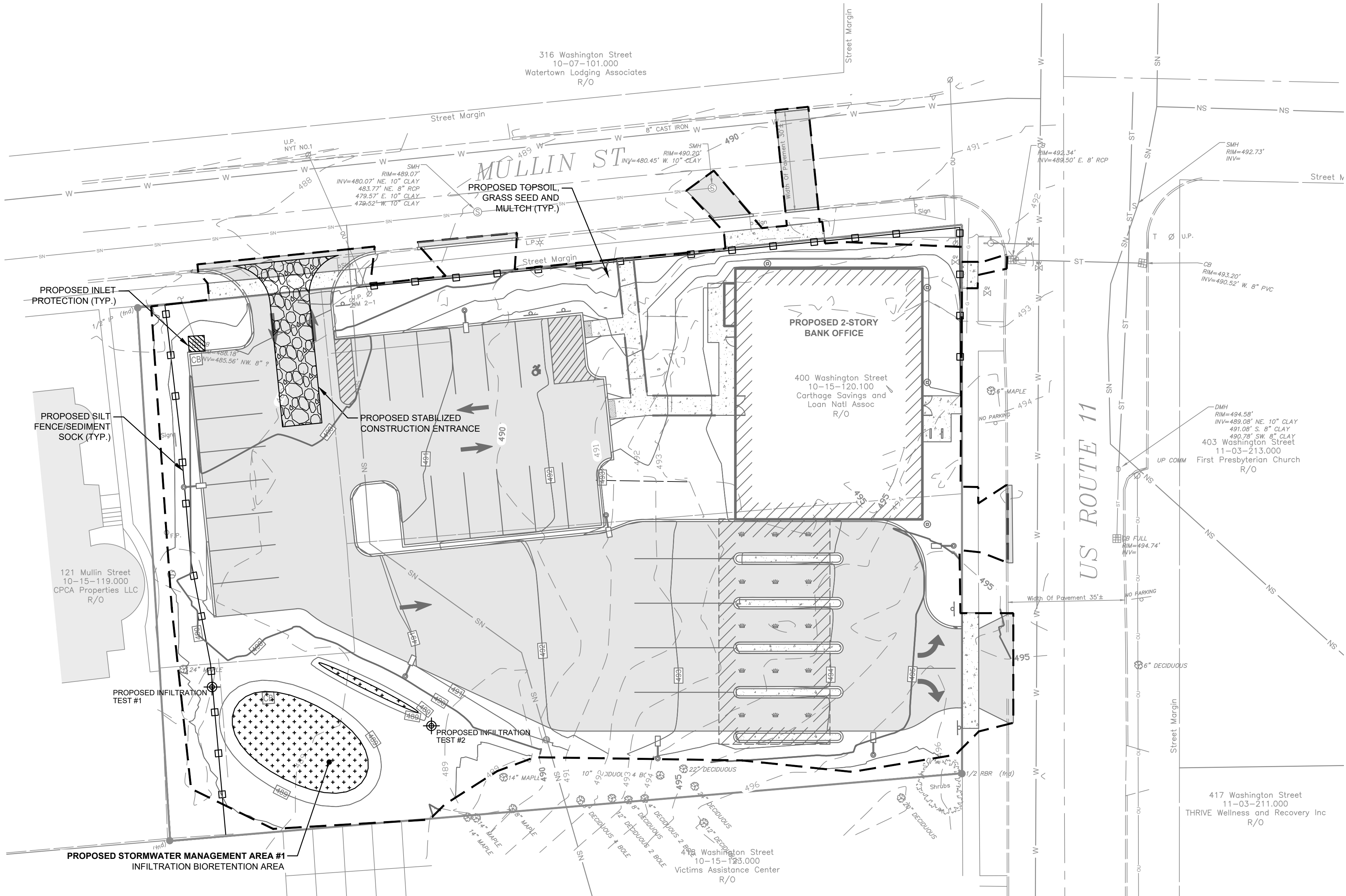
1 inch = 20 ft.

10 0 5 10 20 40

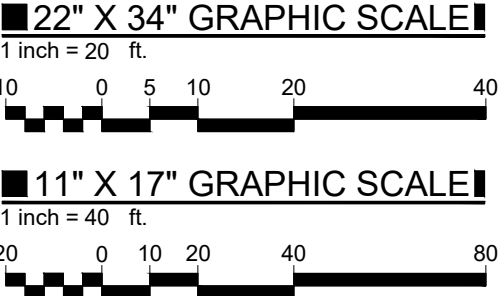
11" X 17" GRAPHIC SCALE

1 inch = 40 ft.

20 0 10 20 40 80



PROPOSED LEGEND	
	SILT FENCE/SEDIMENT FILTER SOCK
	STORMWATER MANAGEMENT AREA
	STABILIZED CONSTRUCTION ENTRANCE
	LIMITS OF DISTURBANCE
	CATCH BASIN INLET PROTECTION
	INFILTRATION TEST LOCATION



EXISTING LEGEND	
	CENTERLINE OF STREET
	HIGHWAY MARGIN
	HIGHWAY MARGIN
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	APPROXIMATE PARCEL BOUNDARY BY TAX MAP
	PARCEL BOUNDARY - SEE EXISTING CONDITIONS NOTES G001
	BUILDING
	CURB
	MINOR GROUND CONTOUR
	MAJOR GROUND CONTOUR
	EDGE OF CONCRETE
	TRAFFIC SIGNS
	UTILITY POLE
	SANITARY SEWER MANHOLE
	CLEANOUT
	SANITARY SEWER LINE
	OVERHEAD UTILITY
	WATER VALVE
	CATCH BASIN
	UNDERGROUND GAS LINE
	STORM SEWER LINE
	STORM END SECTION
	OVERHEAD LIGHT FIXTURE
	ELECTRIC METER
	HVAC UNIT
	GAS METER
	PIPE BOLLARD
	FIRE HYDRANT
	WATER LINE
	WATER SHUTOFF

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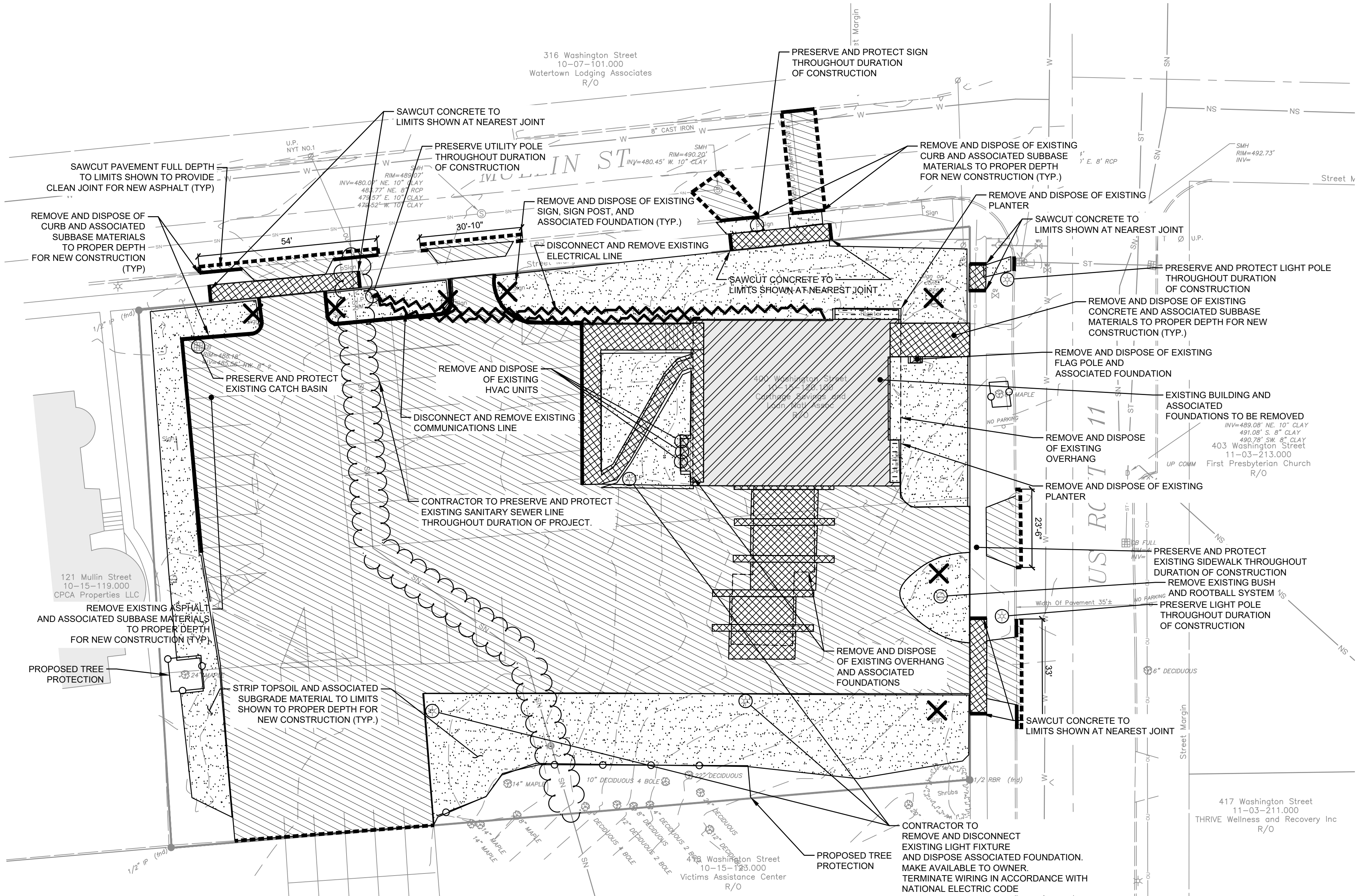
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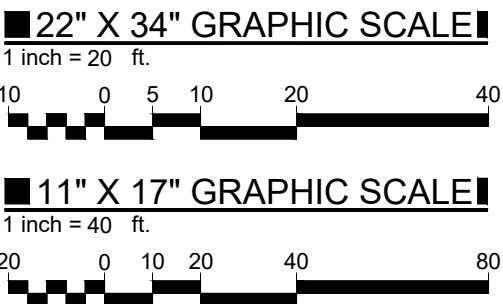
PROJECT NO: 2025 - 066
SCALE: AS NOTED
DRAWN BY: RA
DESIGNED BY: RA/MJC
CHECKED BY: MJC
DATE ISSUED: 08-12-2025

EROSION AND SEDIMENT CONTROL PLAN
CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH
400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK

LAST REVISED: NA
FOR APPROVALS ONLY
NOT FOR CONSTRUCTION
DRAWING NO.
C102



PROPOSED LEGEND	
	ASPHALT PAVEMENT REMOVAL
	PLANTER BOX REMOVAL
	CONCRETE REMOVAL
	STRIP TOPSOIL AND SUBGRADE
	BUILDING DEMOLITION
	REMOVE UTILITY LINE
	REMOVE SIGN
	UTILITY PROTECTION
	CURB REMOVAL
	FULL DEPTH ASPHALT CUT
	OVERHANG DEMOLITION
	TREE PROTECTION



- GENERAL DEMOLITION NOTES:**
- ALL UNSTABLE AND UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REMOVED TO SUCH DEPTH AS TO PROVIDE SUFFICIENT BEARING CAPACITY.
 - OVER-EXCAVATED AREAS UNDER STRUCTURES AND PAVEMENTS SHALL BE BACKFILLED WITH STRUCTURAL FILL
 - OVER-EXCAVATED AREAS UNDER LAWN AREAS SHALL BE BACKFILLED WITH SUITABLE MATERIAL.
 - DEMOLITION WORK ON UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER
 - DEMOLITION WORK IN CITY RIGHT OF WAY SHALL BE COORDINATED WITH CITY DPW

EXISTING LEGEND	
	CENTERLINE OF STREET
	HIGHWAY MARGIN
	HIGHWAY MARGIN
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	APPROXIMATE PARCEL BOUNDARY BY TAX MAP
	PARCEL BOUNDARY - SEE EXISTING CONDITONS NOTES G001
	BUILDING
	CURB
	MINOR GROUND CONTOUR
	MAJOR GROUND CONTOUR
	EDGE OF CONCRETE
	TRAFFIC SIGNS
	UTILITY POLE
	SANITARY SEWER MANHOLE
	CLEANOUT
	SANITARY SEWER LINE
	OVERHEAD UTILITY
	WATER VALVE
	CATCH BASIN
	UNDERGROUND GAS LINE
	STORM SEWER LINE
	STORM END SECTION
	OVERHEAD LIGHT FIXTURE
	ELECTRIC METER
	HVAC UNIT
	GAS METER
	PIPE BOLLARD
	FIRE HYDRANT
	WATER LINE
	WATER SHUTOFF

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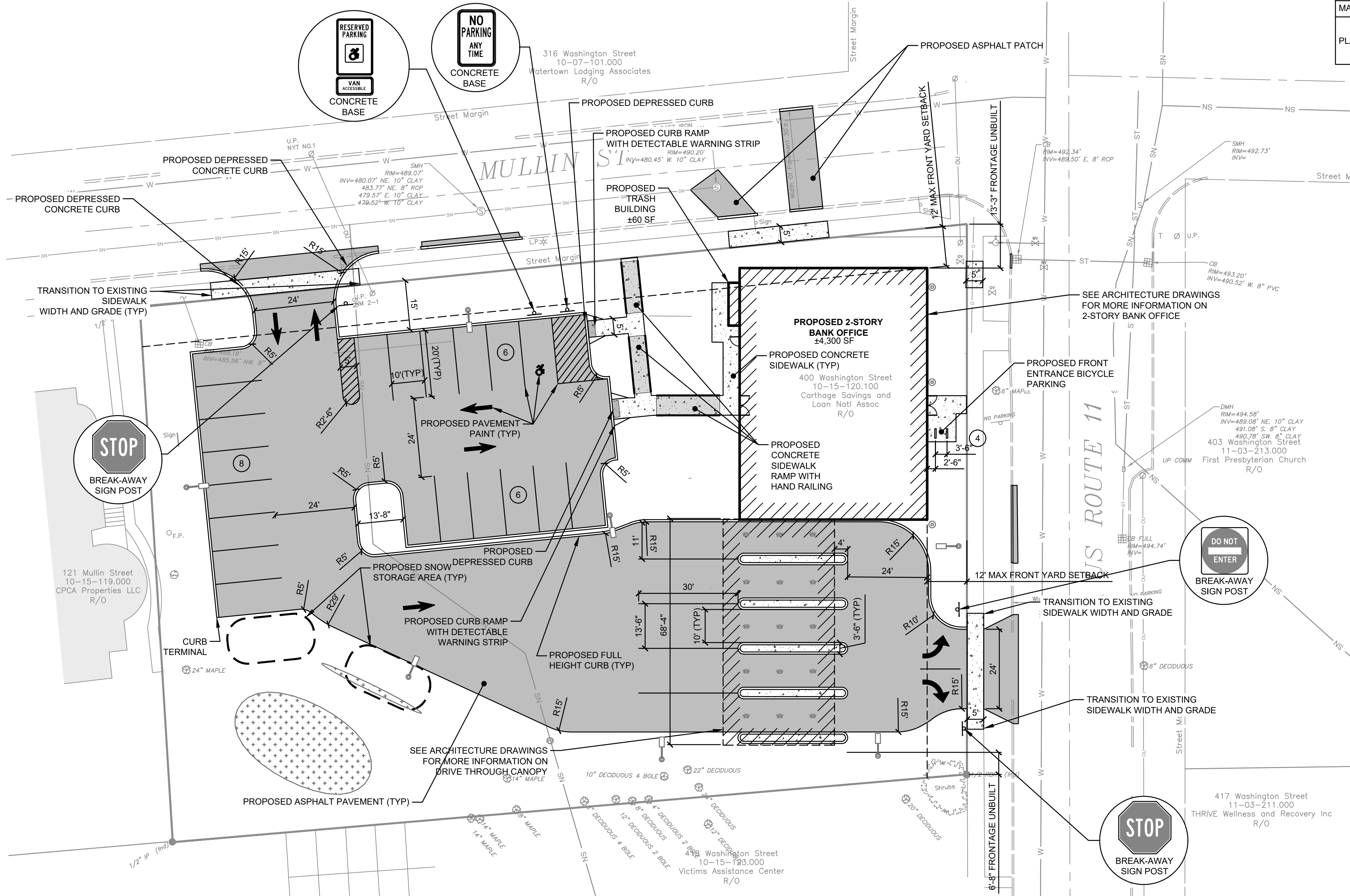
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SEAL:

PROJECT NO: 2025 - 066
SCALE: AS NOTED
DRAWN BY: RA
DESIGNED BY: RAA/MJC
CHECKED BY: MJC
DATE ISSUED: 08-12-2025

DEMOLITION PLAN
CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH
400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK

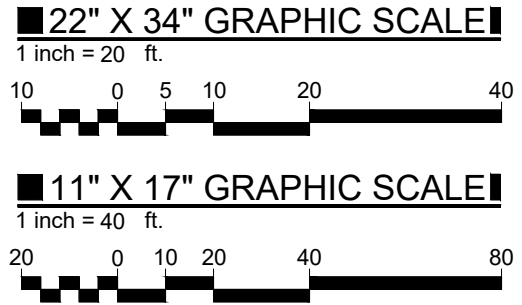
LAST REVISED: N/A
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DRAWING NO.
C103



PLANNING DATA		
ZONING CLASSIFICATION: URBAN MIXED USE PARCEL #: 10-15-120.100 SEWER SERVICE: CITY OF WATERTOWN WATER SERVICE: CITY OF WATERTOWN		
ITEM	REQUIRED / ALLOWED	PROPOSED
MAX BUILDING HEIGHT	5 STORIES	2 STORIES
FIRST STORY MINIMUM HEIGHT	12 FT	14 FT
STORY HEIGHT (MIN)	9 FT	12 FT
ACCESSORY STRUCTURE HEIGHT	N/A	N/A
LOT AREA (MIN)	NO MIN	N/A
LOT WIDTH (MIN)	15 FT	> 15'
ACCESSORY STRUCTURE MAX TOTAL FOOTPRINT	N/A	N/A
MAXIMUM FRONTAGE UNBUILT	24 FT	19'-11"
FRONT YARD SETBACK	0 FT. MIN / 12 FT. MAX	12 FT
FACADE LENGTH (MAX)	N/A	N/A
SIDE YARD SETBACK	N/A	N/A
REAR YARD SETBACK	N/A	N/A
PARKING LOT AND DRIVEWAY SETBACKS	MIN. 5 FT. FRONT / REAR / SIDE	15 FT MIN.
ACCESSORY STRUCTURE HEIGHT	N/A	N/A
PARKING SPACES	A MAXIMUM OF 20 REGULAR SPACES, MIN 1 ADA SPACE REQUIRED	19 REG.+1 ADA SPACE = 20
LOT COVERAGE	90% MAX	60%
GROUND FLOOR TRANSPARENCY, FRONT FACADE (MIN)	40%	50.6%
GROUND FLOOR TRANSPARENCY, CORNER SIDE FACADE (MIN)	25%	25.7%
UPPER FLOOR TRANSPARENCY, FRONT AND CORNER SIDE FACADES (MIN)	30%	49.7%/39.6%
MAIN ENTRANCE LOCATION (REQUIRED)	FACING SIDEWALK	FACING SIDEWALK
PLANTING UNITS	LANDSCAPE STRIP 8FT WIDE EVERY 40 LINEAR FT OR 1 SMALL-MEDIUM DECIDUOUS TREE EVERY 20 FT OR 1 LARGE CONIFEROUS TREE 6' MINIMUM EVERY 20 LINEAR FT.	SEE LANDSCAPING PLAN

PROPOSED LEGEND	
	BUILDING
	SETBACK LINE
	ASPHALT PAVEMENT
	PAVEMENT PAINT
	CONCRETE CURB
	CONCRETE
	SNOW STORAGE AREA
	PAINTED ADA PARKING MARKER
	PAINTED TRAFFIC ARROW
	PARKING COUNT
	DETECTABLE WARNING STRIP

EXISTING LEGEND	
	CENTERLINE OF STREET
	HIGHWAY MARGIN
	HIGHWAY MARGIN
	TREE
	GAS VALVE
	EDGE OF PAVEMENT MARKING
	APPROXIMATE PARCEL BOUNDARY BY TAX MAP
	PARCEL BOUNDARY - SEE EXISTING CONDITIONS NOTES G001
	BUILDING
	CURB
	MINOR GROUND CONTOUR
	MAJOR GROUND CONTOUR
	EDGE OF CONCRETE
	TRAFFIC SIGNS
	UTILITY POLE
	SANITARY SEWER MANHOLE
	CLEANOUT
	SANITARY SEWER LINE
	OVERHEAD UTILITY
	WATER VALVE
	CATCH BASIN
	UNDERGROUND GAS LINE
	STORM SEWER LINE
	STORM END SECTION
	OVERHEAD LIGHT FIXTURE
	ELECTRIC METER
	HVAC UNIT
	GAS METER
	PIPE BOLLARD
	FIRE HYDRANT
	WATER LINE
	WATER SHUTOFF



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SEAL:

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SCALE: AS NOTED
DRAWN BY: RAA
DESIGNED BY: RAA/MJC
CHECKED BY: MJC
DATE ISSUED: 08-12-2025

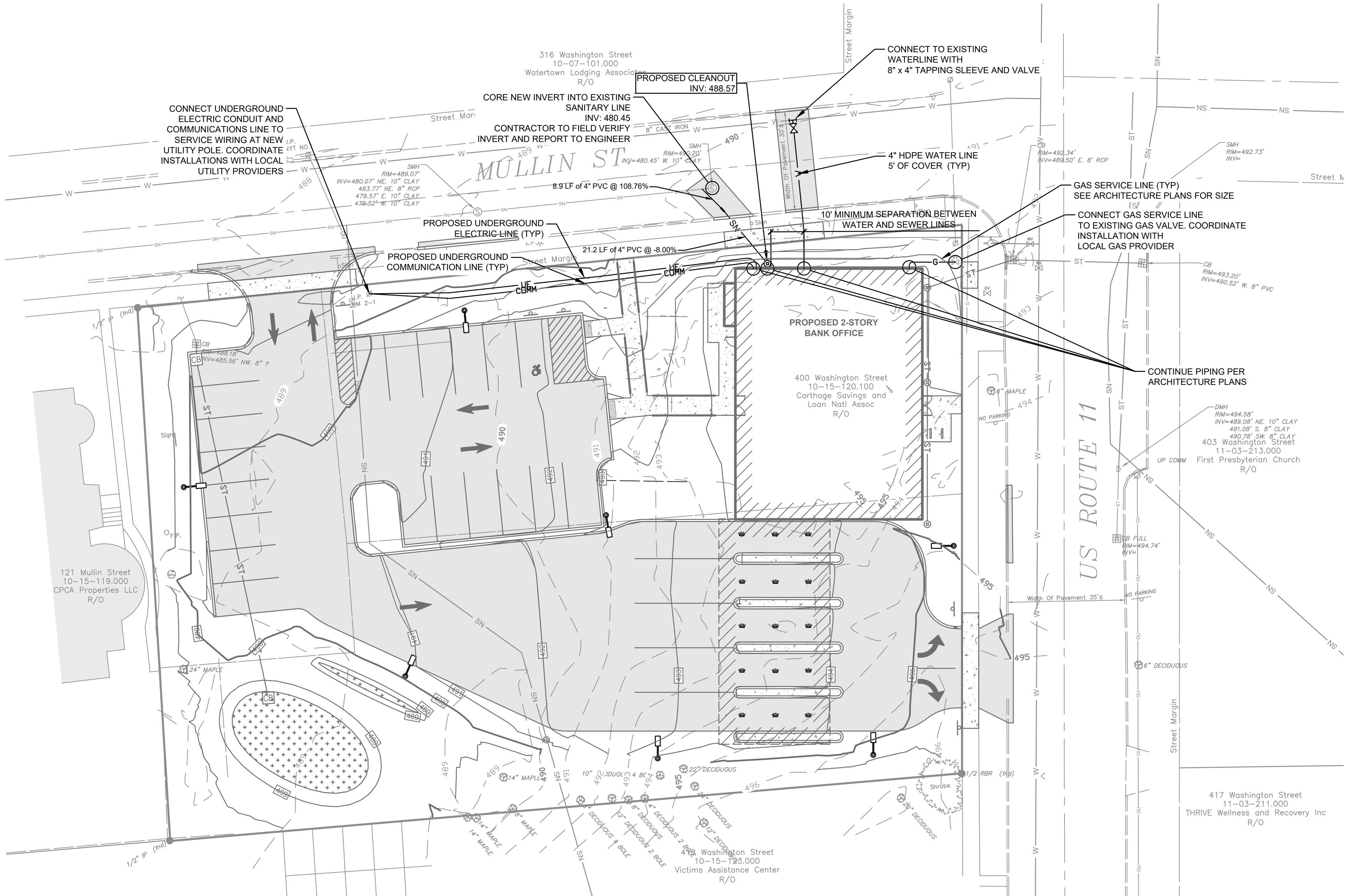
SITE PLAN

CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH
400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK

LAST REVISED: N/A

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DRAWING NO.
C104

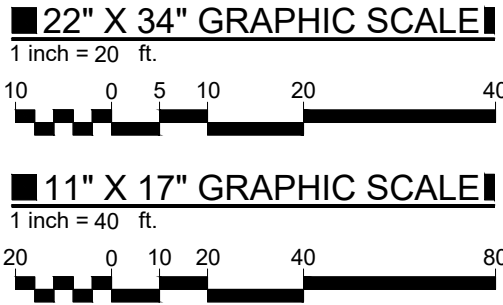


DISCLAIMER:

1. FINAL LOCATION OF PROPOSED ELECTRICAL, COMMUNICATION, AND GAS SERVICES WILL BE DETERMINED BY LOCAL UTILITY PROVIDER(S). THEREFORE ELECTRICAL, COMMUNICATION, AND GAS LOCATION SHOULD BE CONSIDERED APPROXIMATE ONLY.

PROPOSED LEGEND	
— UE —	UNDERGROUND ELECTRIC LINE
— SN —	SANITARY SERVICE PIPING
⊙	CLEANOUT
— V —	WATER SERVICE PIPING
⌵	TAPPING SLEEVE AND VALVE
— UE —	UNDERGROUND ELECTRIC LINE
— COMM —	COMMUNICATIONS LINE
— G —	GAS LINE

EXISTING LEGEND	
—	CENTERLINE OF STREET
—	HIGHWAY MARGIN
—	HIGHWAY MARGIN
⊙	TREE
⌵	GAS VALVE
—	EDGE OF PAVEMENT
—	PAINTED PAVEMENT MARKING
—	APPROXIMATE PARCEL BOUNDARY BY TAX MAP
—	PARCEL BOUNDARY - SEE EXISTING CONDITIONS NOTES G001
—	BUILDING
—	CURB
— -154- —	MINOR GROUND CONTOUR
— -155- —	MAJOR GROUND CONTOUR
—	EDGE OF CONCRETE
⊙	TRAFFIC SIGNS
⊙ UP	UTILITY POLE
⊙	SANITARY SEWER MANHOLE
⊙	CLEANOUT
— SN —	SANITARY SEWER LINE
—	OVERHEAD UTILITY
⌵	WATER VALVE
⌵	CATCH BASIN
— G —	UNDERGROUND GAS LINE
— ST —	STORM SEWER LINE
—	STORM END SECTION
⌵	OVERHEAD LIGHT FIXTURE
⌵	ELECTRIC METER
⌵	HVAC UNIT
⌵	GAS METER
•	PIPE BOLLARD
⌵	FIRE HYDRANT
—	WATER LINE
⌵	WATER SHUTOFF



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UTILITY PLAN
CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH
400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK

LAST REVISED: N/A
PROGRESS PRINTS ONLY
AUGUST 05, 2025

DRAWING NO.
C105

- GENERAL DATUM NOTES:**
1. THE SURVEY IS TIED HORIZONTALLY INTO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).
 2. THE SURVEY IS TIED VERTICALLY INTO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

- GENERAL GRADING AND ELEVATION NOTES:**
1. AT SOME INSTANCES WHERE NEW WORK AND EXISTING WORK TIE TOGETHER, THE CONTRACTOR IS PROVIDED A SPOT ELEVATION AND INSTRUCTED TO MATCH EXISTING GRADE. THE INTENT OF THE SPOT ELEVATION IS TO PROVIDE A REFERENCE FOR THE CONTRACTOR, HOWEVER MATCHING EXISTING GRADE AT THESE LOCATIONS TAKES PRIORITY OVER ACHIEVING THE SPECIFIED ELEVATION.
 2. BEFORE ANY GRADING, UTILITY INSTALLATION, OR OTHER ELEVATION DEPENDENT ACTIVITIES COMMENCE, THE CONTRACTOR SHALL VERIFY TIE-IN ELEVATIONS WITH THE PLANS AND REPORT TO ENGINEER SHOULD THE FIELD ELEVATION AND SPECIFIED ELEVATION VARY BY MORE THAN 0.05'.
 3. THE MAXIMUM CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% FOR LAYOUT, AND 2.0% FOR FOR ACCEPTANCE OF CONSTRUCTED WORK.
 4. THE MAXIMUM RUNNING SLOPE OF SIDEWALKS SHALL BE 4.5% FOR LAYOUT, AND 5.0% FOR ACCEPTANCE OF CONSTRUCTED WORK. IN SIDEWALK RAMP AREAS, THE MAXIMUM RUNNING SLOPE OF SIDEWALKS SHALL BE 7.5% FOR LAYOUT, AND 8.3% FOR ACCEPTANCE OF CONSTRUCTED WORK
 5. THE MAXIMUM SLOPE IN A.D.A. ACCESSIBLE PARKING AREAS SHALL BE 2.0% IN ANY DIRECTION



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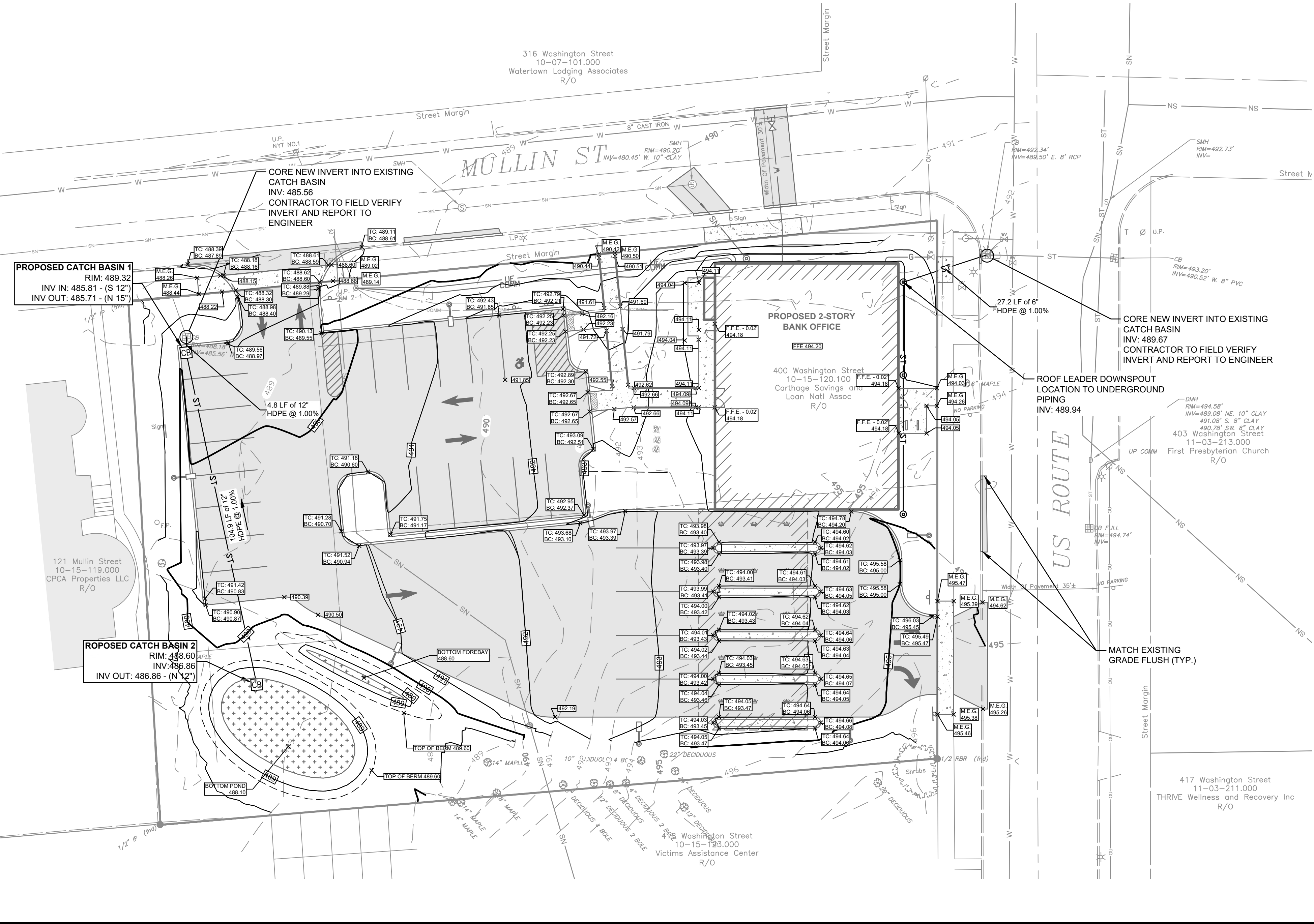
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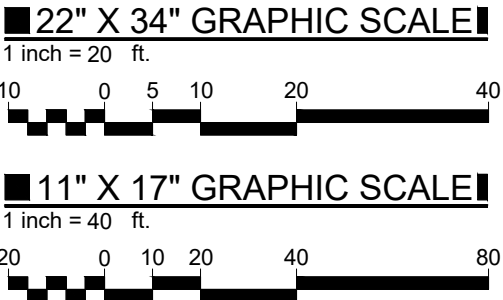
EXISTING LEGEND	
	CENTERLINE OF STREET
	HIGHWAY MARGIN
	HIGHWAY MARGIN
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	APPROXIMATE PARCEL BOUNDARY BY TAX MAP
	PARCEL BOUNDARY - SEE EXISTING CONDITIONS NOTES G001
	BUILDING
	CURB
	MINOR GROUND CONTOUR
	MAJOR GROUND CONTOUR
	EDGE OF CONCRETE
	TRAFFIC SIGNS
	UTILITY POLE
	SANITARY SEWER MANHOLE
	CLEANOUT
	SANITARY SEWER LINE
	OVERHEAD UTILITY
	WATER VALVE
	CATCH BASIN
	UNDERGROUND GAS LINE
	STORM SEWER LINE
	STORM END SECTION
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	ELECTRIC METER
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	GAS METER
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	FIRE HYDRANT
	WATER LINE
	WATER SHUTOFF

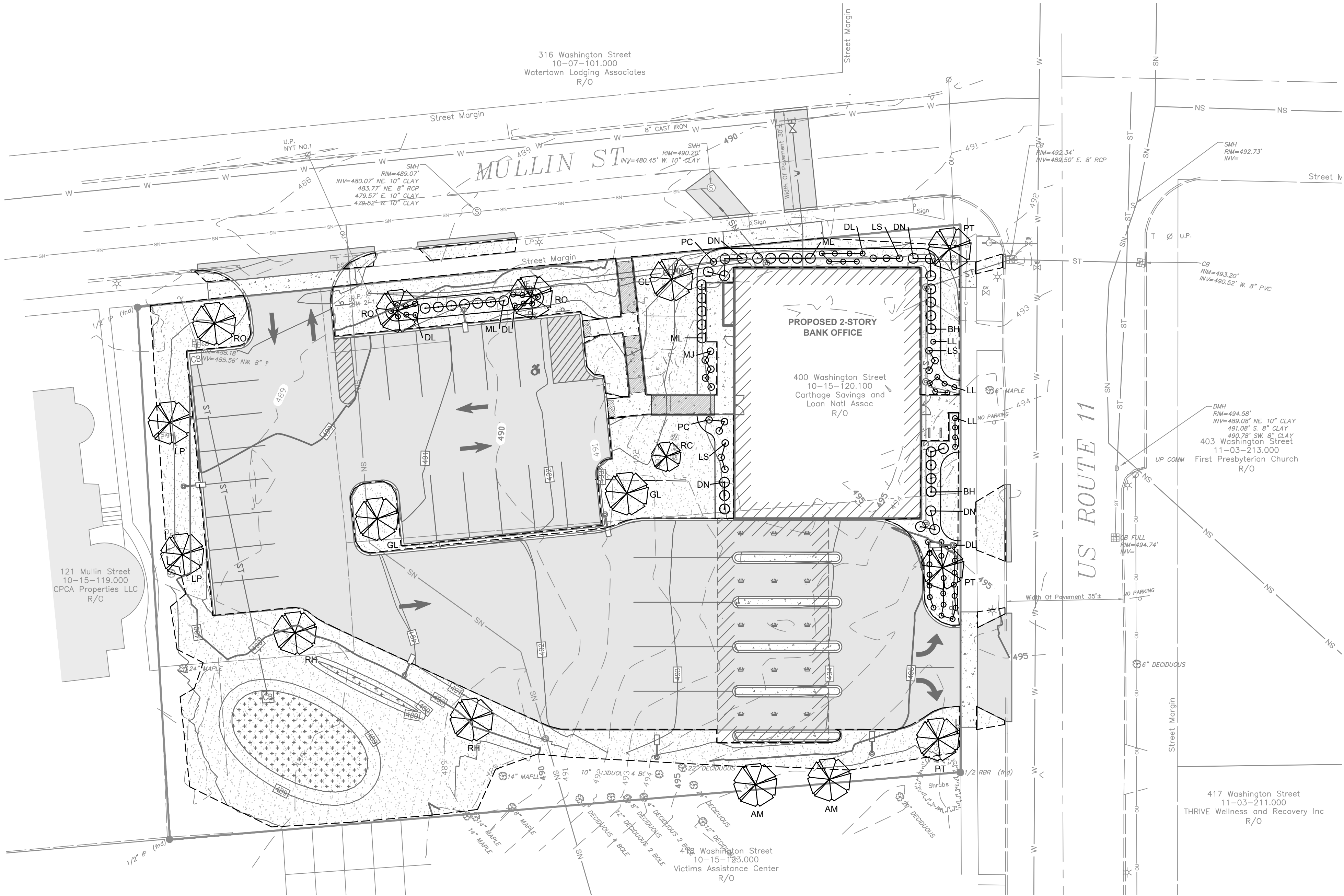
GRADING AND DRAINAGE PLAN
CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH
400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK

LAST REVISED: NA
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DRAWING NO.
C106



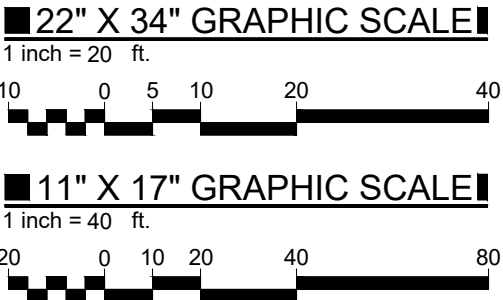
PROPOSED LEGEND	
	MAJOR CONTOUR
	MINOR CONTOUR
	SPOT GRADE
	SPOT GRADE - MATCH EXISTING GRADE
	STORM PIPE
	CATCH BASIN
	ROOF LEADER





SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES	AM	ACER X FREEMANII 'JEFFERSRED'	2" CAL.
	RO	QUERCUS RUBRA	2" CAL.
	LP	PLATANUS X ACERIFOLIA	2 CAL.
	PT	GINKGO BILOBA 'PRINCETON SENTRY'	2 CAL.
	GL	TILIA X FLAVESCENS 'GLENLEVEN'	2 CAL.
	RH	AESCULUS X CARNEA 'RUBY RED'	2 CAL.
	RC	MALUS 'ROYAL RAINDROPS'	2 CAL.
SHRUBS			
SHRUBS	MJ	JUNIPERUS SABINA 'MONARD'	3 GAL.
	DN	PHYSOCARPUS OPULIFOLIUS 'MONLO'	3 GAL.
	ML	SYRINGA PUBESCENS SUBSP. PATULA 'MISS KIM'	3 GAL.
	BH	HYDRANGEA PANICULATA 'ILVOBO'	3 GAL.
	LS	SPIREA JAPONICA 'LITTLE PRINCESS'	3 GAL.
PERENNIALS			
PERENNIALS	DL	HEMEROCALLIS X 'SUMMER VINE'	1 GAL.
	PC	PURPUREA ECHINACEA	1 GAL.
	LL	LAVANDULA ANGUSTIFOLIA	1 GAL.

PROPOSED LEGEND	
	TOPSOIL, GRASS SEED, AND MULCH
	PERENNIAL PLANTINGS
	SHRUB
	DECIDUOUS TREE
	EVERGREEN TREE



EXISTING LEGEND	
	CENTERLINE OF STREET
	HIGHWAY MARGIN
	HIGHWAY MARGIN
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	APPROXIMATE PARCEL BOUNDARY BY TAX MAP
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SEAL:

PROJECT NO: 2025 - 066

SCALE: AS NOTED

DRAWN BY: RAA

DESIGNED BY: RAA/MJC

CHECKED BY: MJC

DATE ISSUED: 08-12-2025

LANDSCAPING PLAN

CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH

400 WASHINGTON STREET

CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK

LAST REVISED: N/A

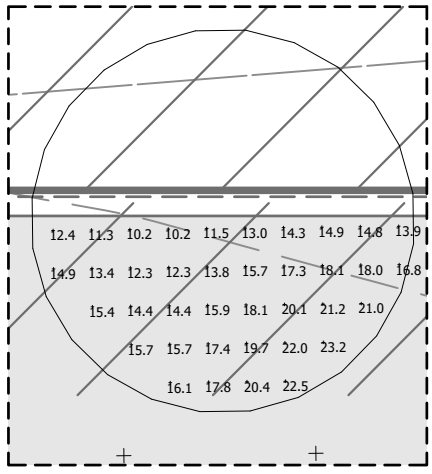
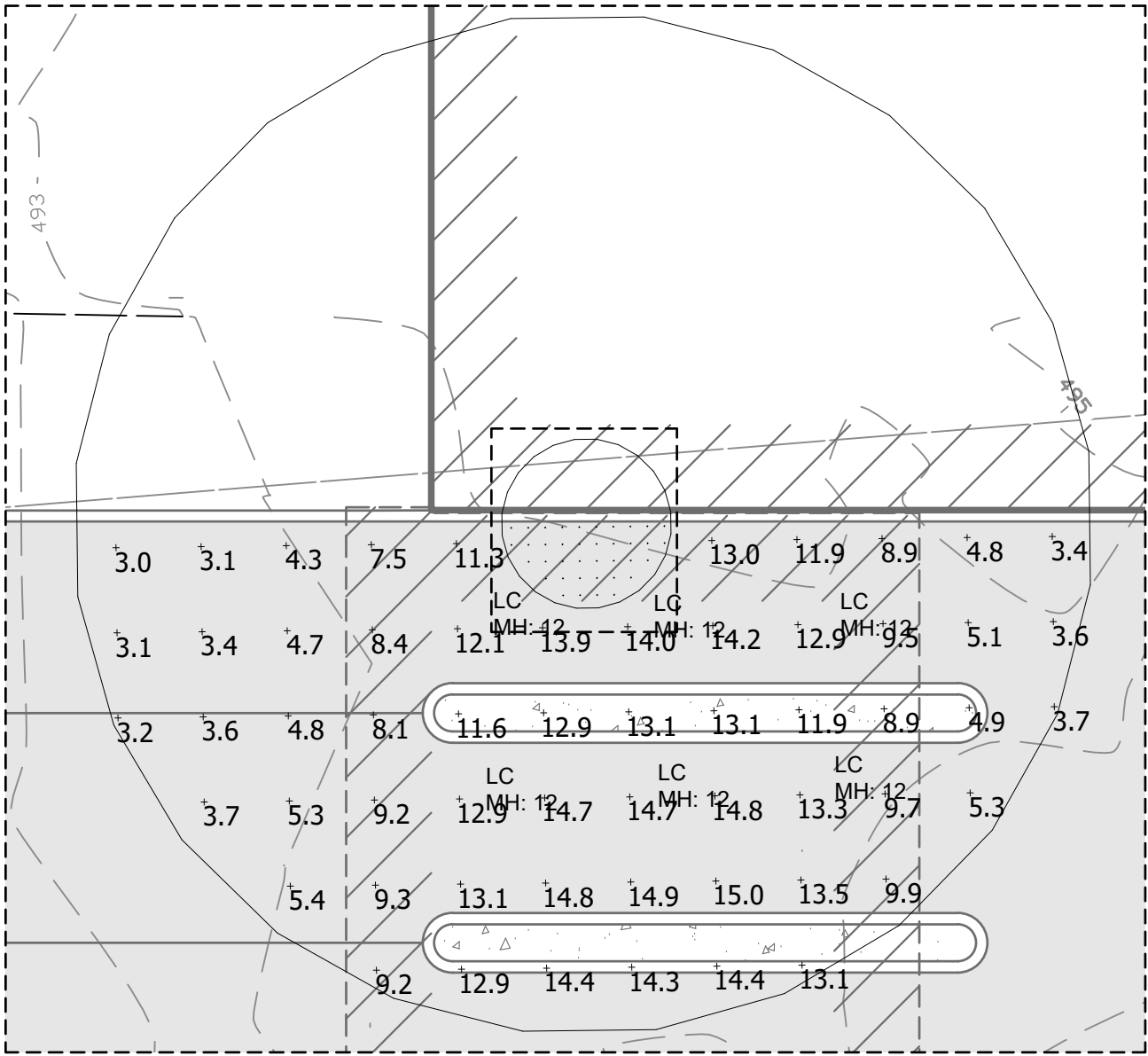
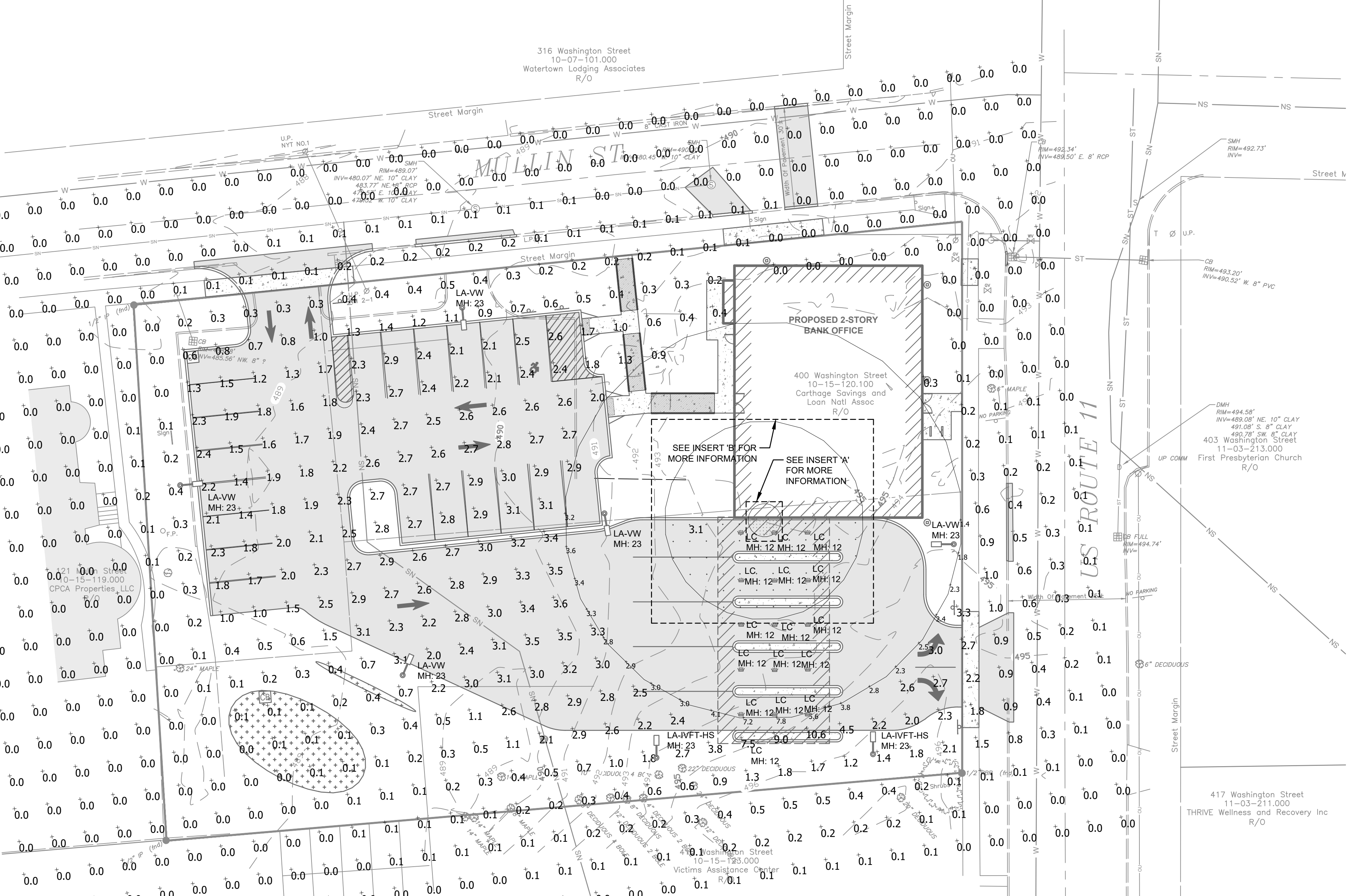
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DRAWING NO.

C107

Calculation Summary							
Label		CalcType	Units	Avg	Max	Min	Avg/Min
30' Radius - 2 FC @ 0' AFG		Illuminance	Fc	9.55	15.0	3.0	3.18
5' Radius - 5 FC @ 5' AFG		Illuminance	Fc	16.06	23.2	10.2	1.57
60 Radius - 1 FC @ 5' AFG @ ATM		Illuminance	Fc	3.46	7.8	1.4	2.47
Object_1_Planar		Illuminance	Fc	0.66	10.6	0.0	N.A.

Luminaire Schedule												
Symbol	Qty	Label	Arrangement	Lum Lumens	Arrgmt Lumens	Lum Watts	Arrgmt Watts	Total Watts	LLD	LDD	BF	LLF
	6	LA-IVFT-HS	Single	9484	9484	108	108	648	0.950	0.950	1.000	0.903
	1	LA-VW	Single	20462	20462	160	160	160	0.950	0.950	1.000	0.903
	15	LC	Single	1582	1582	14	14	210	0.950	0.950	1.000	0.903
									Description			
									GALN-SA2C-735-U-T4FT-HSS			
									GALN-SA3C-735-U-5WQ			
									HC615D010-HM60525835-61WDW			

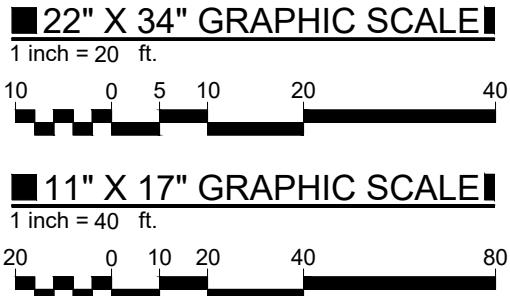


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1. PHOTOMETRIC AND OVERHEAD LIGHT FIXTURE INFORMATION SHOWN ON THIS SHEET WAS PROVIDED BY QUALITY LIGHTING SYSTEMS ON AUGUST 12, 2025.

PROPOSED LEGEND	
	OVERHEAD LIGHT FIXTURE
	WALL PACK LIGHT FIXTURE

EXISTING LEGEND	
	CENTERLINE OF STREET
	HIGHWAY MARGIN
	HIGHWAY MARGIN
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	APPROXIMATE PARCEL BOUNDARY BY TAX MAP
	PARCEL BOUNDARY - SEE EXISTING CONDITIONS
	BUILDING
	CURB
	MINOR GROUND CONTOUR
	MAJOR GROUND CONTOUR
	EDGE OF CONCRETE
	TRAFFIC SIGNS
	UTILITY POLE
	SANITARY SEWER MANHOLE
	CLEANOUT
	SANITARY SEWER LINE
	OVERHEAD UTILITY
	WATER VALVE
	CATCH BASIN
	UNDERGROUND GAS LINE
	STORM SEWER LINE
	STORM END SECTION
	OVERHEAD LIGHT FIXTURE
	ELECTRIC METER
	HVAC UNIT
	GAS METER
	PIPE BOLLARD
	FIRE HYDRANT
	WATER LINE
	WATER SHUTOFF



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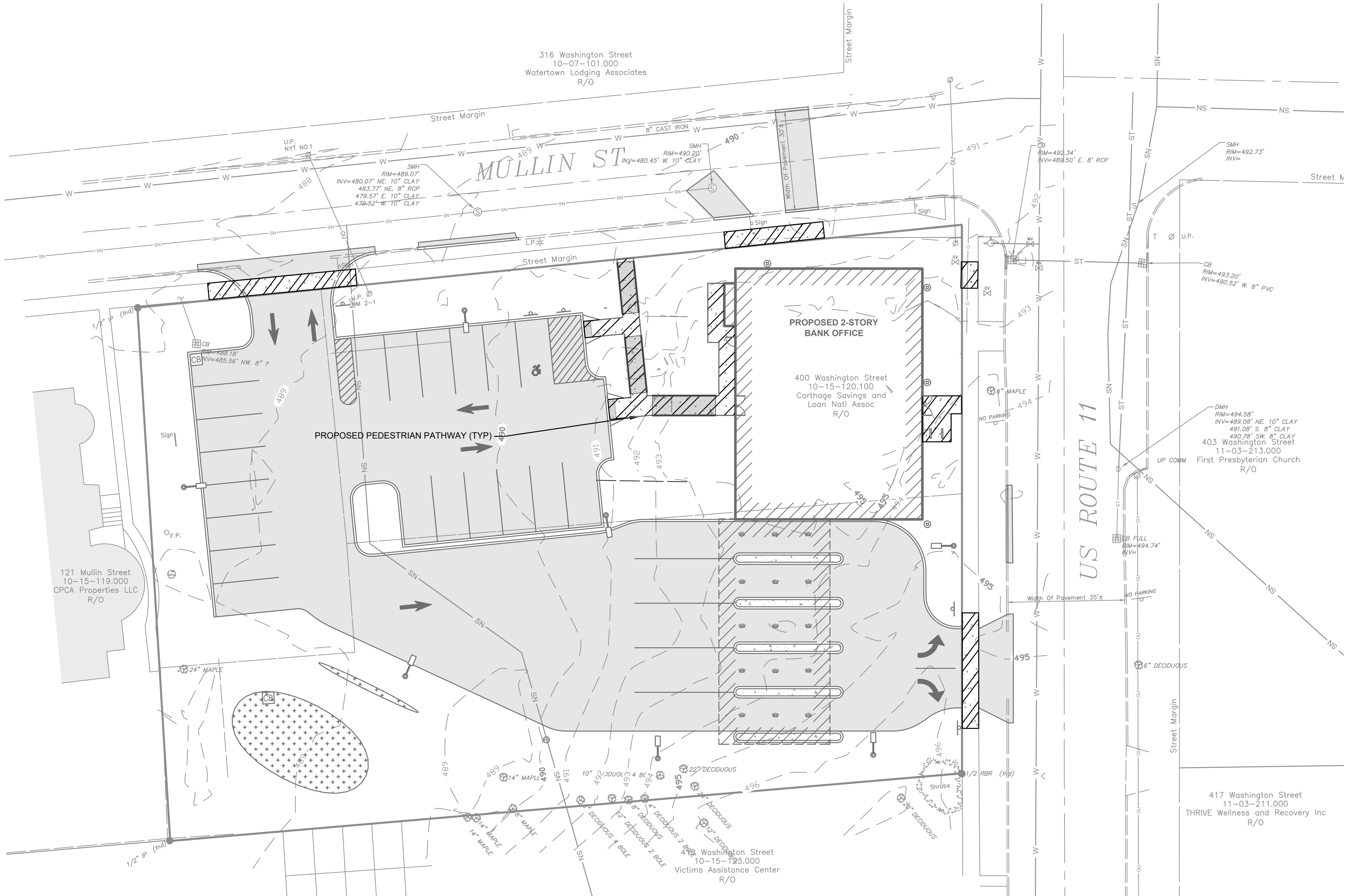
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& LAND SURVEYING, D.P.C.
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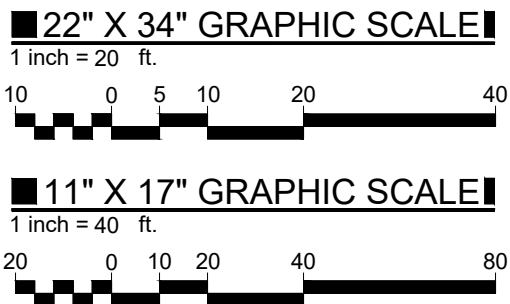
PROJECT NO: 2025 - 066
SCALE: AS NOTED
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DESIGNED BY: RAA/MJC
CHECKED BY: MJC
DATE ISSUED: 08-12-2025

PHOTOMETRICS PLAN
CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH
400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK

LAST REVISED: N/A
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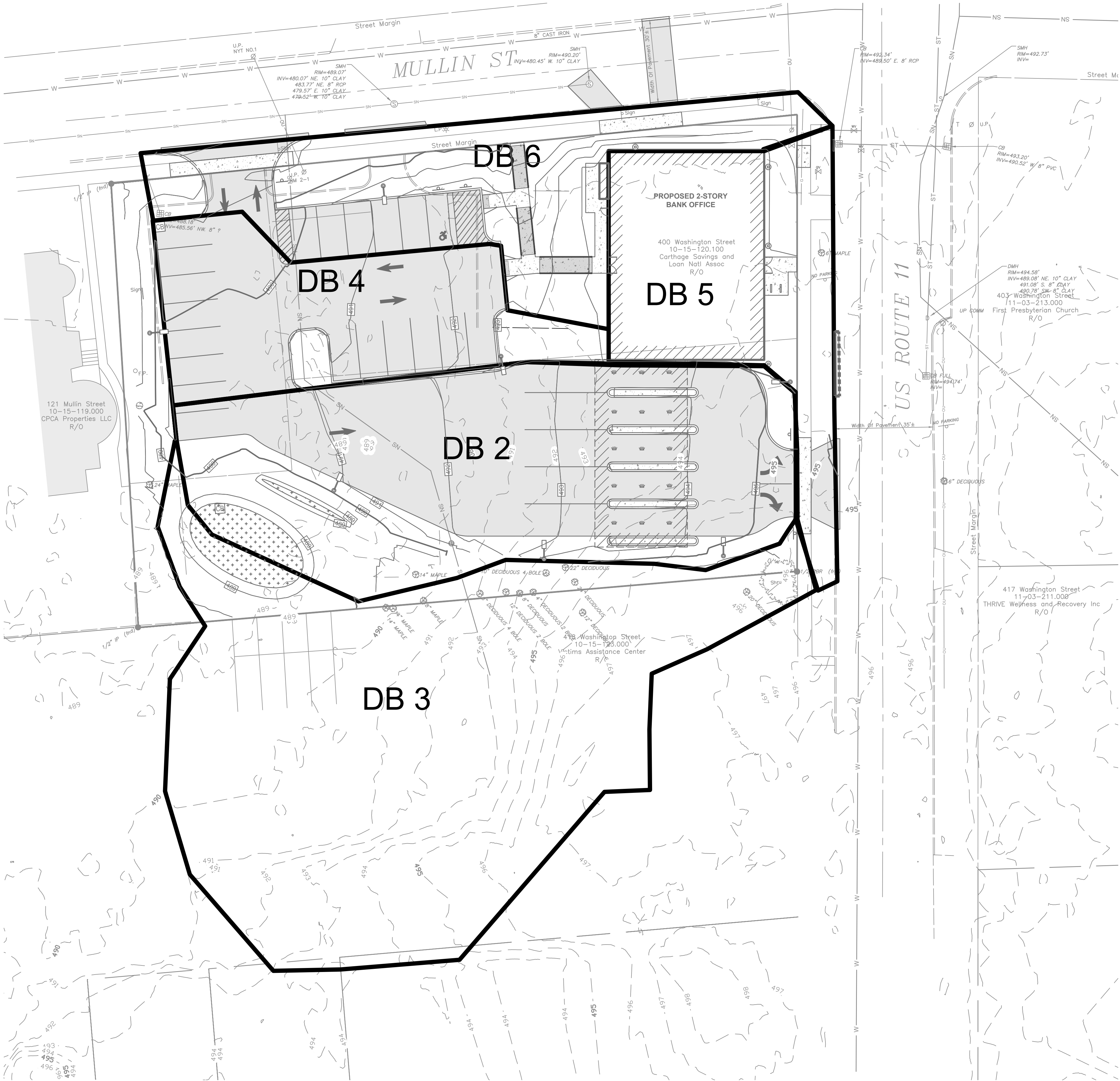


PROPOSED LEGEND	
	PEDESTRIAN PATHWAY

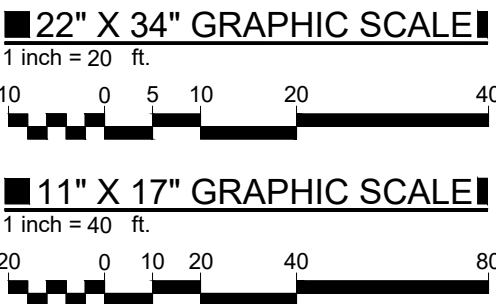


EXISTING LEGEND	
	CENTERLINE OF STREET
	HIGHWAY MARGIN
	HIGHWAY MARGIN
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	APPROXIMATE PARCEL BOUNDARY BY TAX MAP
	PARCEL BOUNDARY - SEE EXISTING CONDITIONS NOTES G001
	BUILDING
	CURB
	MINOR GROUND CONTOUR
	MAJOR GROUND CONTOUR
	EDGE OF CONCRETE
	TRAFFIC SIGNS
	UTILITY POLE
	SANITARY SEWER MANHOLE
	CLEANOUT
	SANITARY SEWER LINE
	OVERHEAD UTILITY
	WATER VALVE
	CATCH BASIN
	UNDERGROUND GAS LINE
	STORM SEWER LINE
	STORM END SECTION
	OVERHEAD LIGHT FIXTURE
	ELECTRIC METER
	HVAC UNIT
	GAS METER
	PIPE BOLLARD
	FIRE HYDRANT
	WATER LINE
	WATER SHUTOFF

PROJECT LOCATION: C:\Users\albertine\GYMODPC\2025\066 Carthage Savings Bank New Branch Washington Street C Watertown - Documents\04 Engineering\01 Drawings\Site 2025-066.dwg
PLOT TIME: 8/12/2025 8:03:57 PM



PROPOSED LEGEND	
	PROPOSED DRAINAGE AREA



EXISTING LEGEND	
	CENTERLINE OF STREET
	HIGHWAY MARGIN
	HIGHWAY MARGIN
	TREE
	GAS VALVE
	EDGE OF PAVEMENT
	PAINTED PAVEMENT MARKING
	APPROXIMATE PARCEL BOUNDARY BY TAX MAP
	PARCEL BOUNDARY - SEE EXISTING CONDITIONS NOTES G001
	BUILDING
	CURB
	MINOR GROUND CONTOUR
	MAJOR GROUND CONTOUR
	EDGE OF CONCRETE
	TRAFFIC SIGNS
	UTILITY POLE
	SANITARY SEWER MANHOLE
	CLEANOUT
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	WATER SHUTOFF

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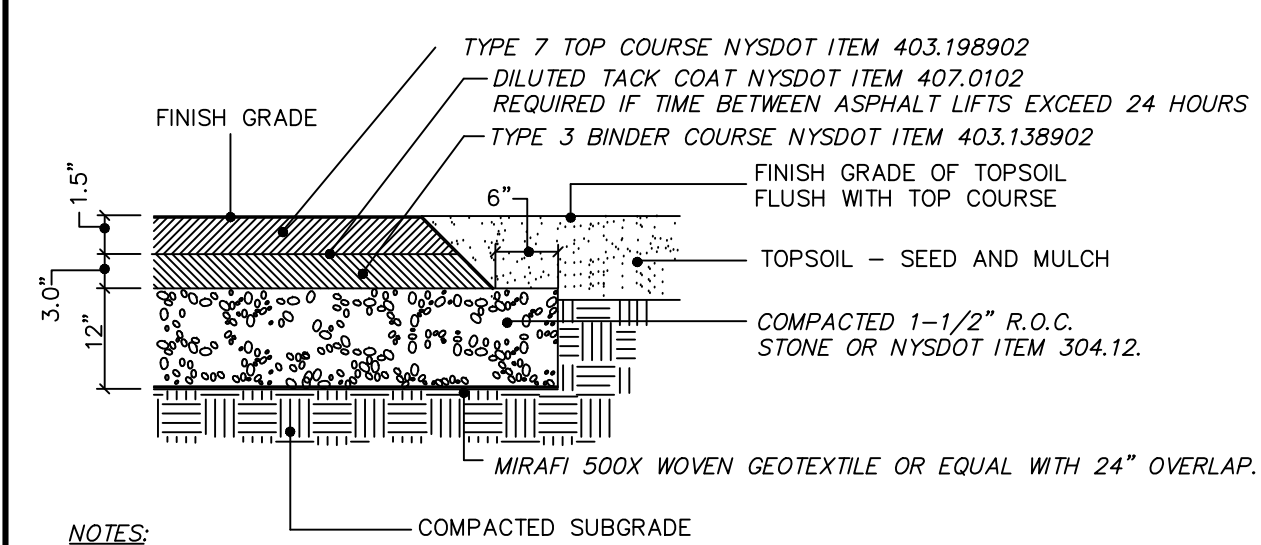
SEAL:

PROJECT NO: 2025 - 066
SCALE: AS NOTED
DRAWN BY: RAA
DESIGNED BY: RAA/MJC
CHECKED BY: MJC
DATE ISSUED: 08-12-2025

PROPOSED DRAINAGE AREA

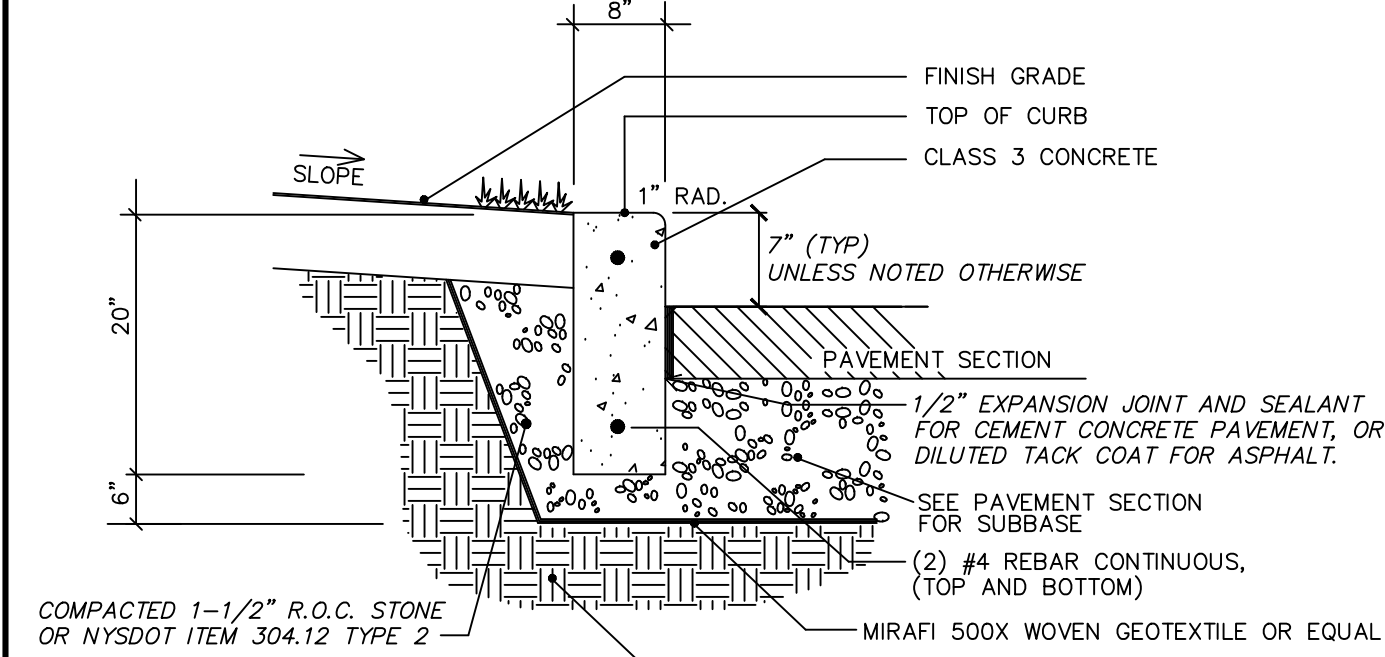
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400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK

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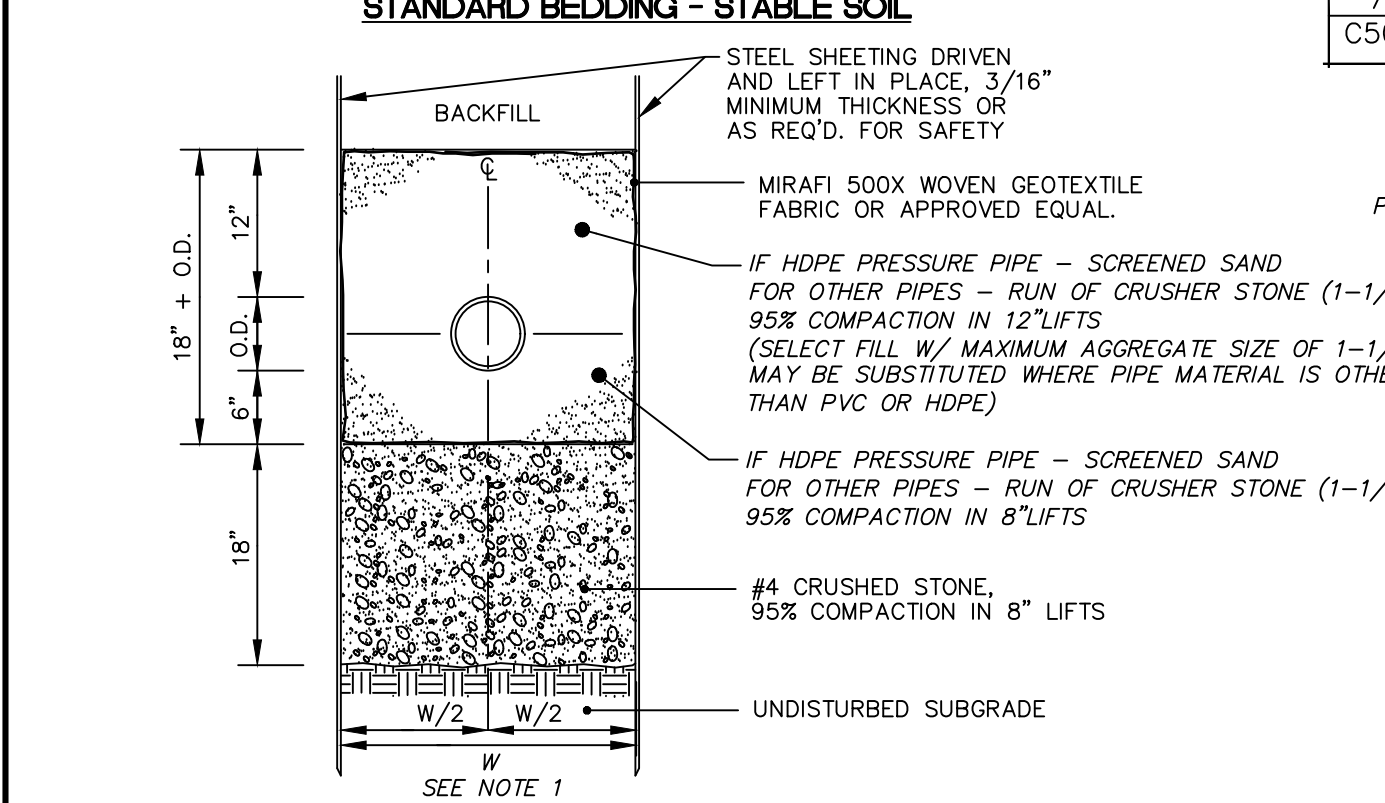
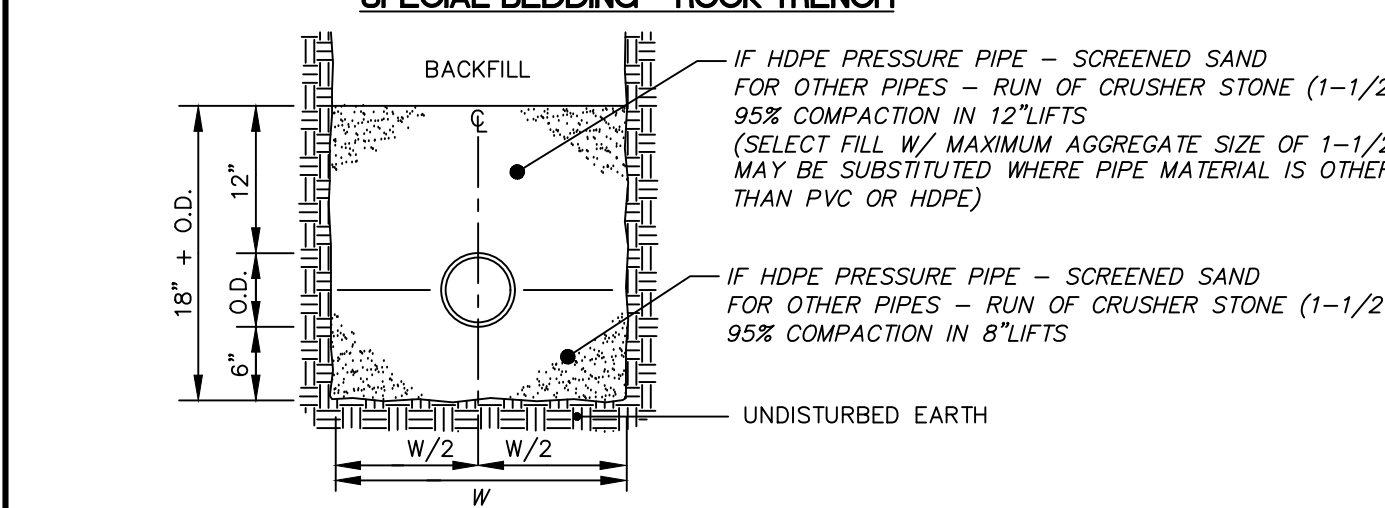
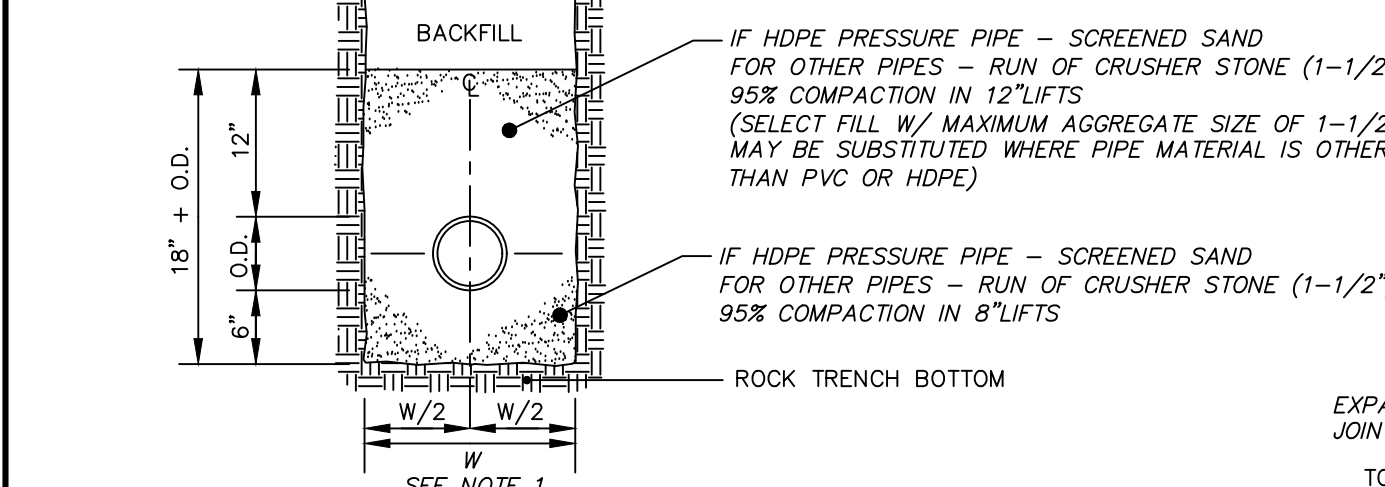
NOTES:
1. ITEM NUMBERS FOR ASPHALT PAVEMENTS FROM NYS DOT STANDARDS AND SPECIFICATIONS DATED SEPTEMBER 4, 2008.

1	TYPICAL ASPHALT PAVEMENT DETAIL	
C501	NOT TO SCALE	D153-01



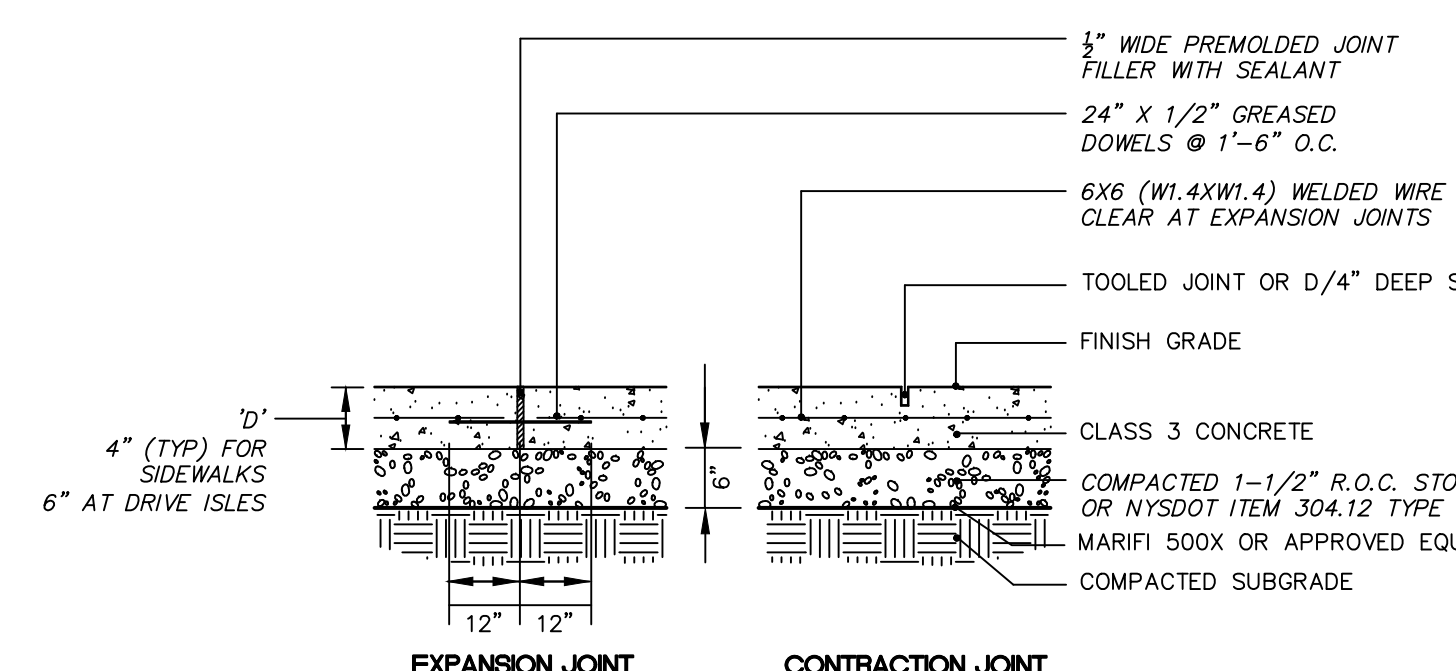
NOTE-
1. CONTROL JOINTS TO BE SPACED 10' O.C. MAX., EXPANSION JOINTS TO BE SPACED 20' O.C. MAX. EXPANSION JOINT TO BE COVERED WITH SEALANT.

5	CONCRETE CURB DETAIL	
C501	NOT TO SCALE	D151-01



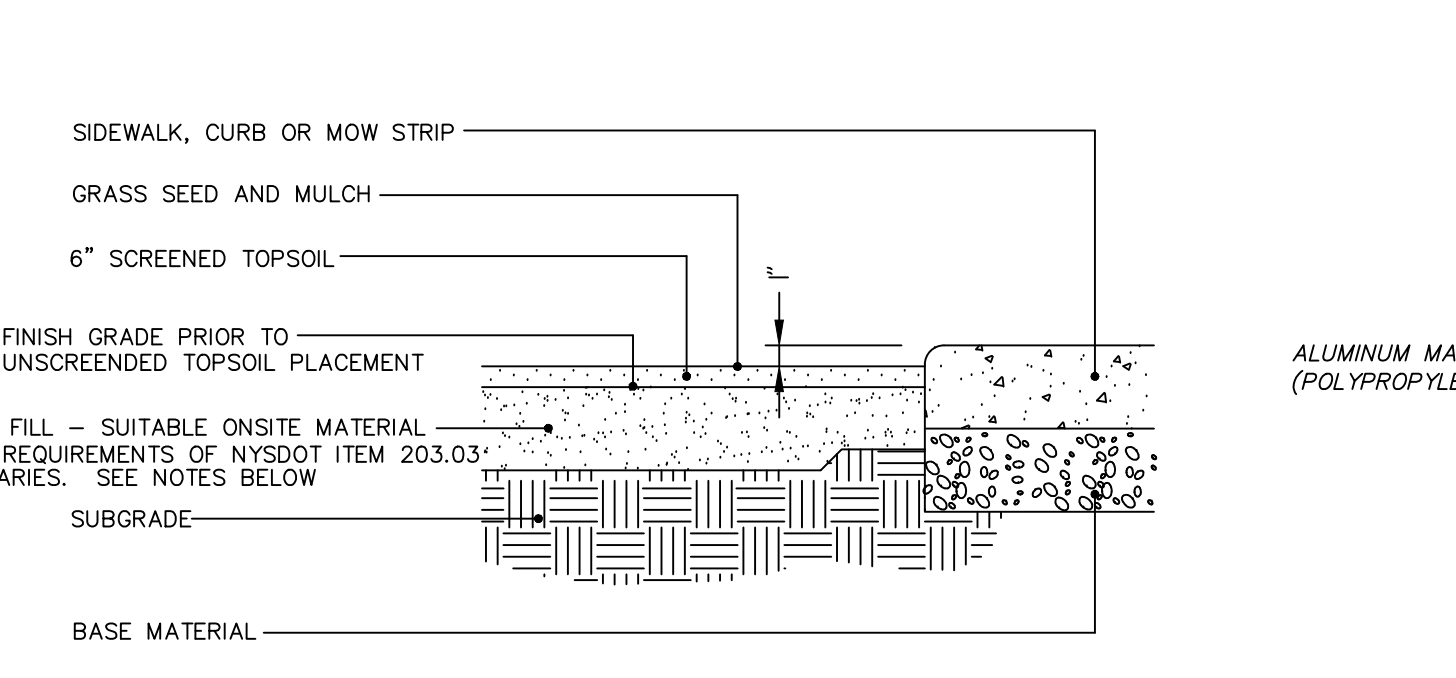
NOTES:
1. "W" = O.D. OF PIPE PLUS 2'-0"

8	TYPICAL PIPE BEDDING DETAILS AND PAYMENT LIMITS	
C501	NOT TO SCALE	



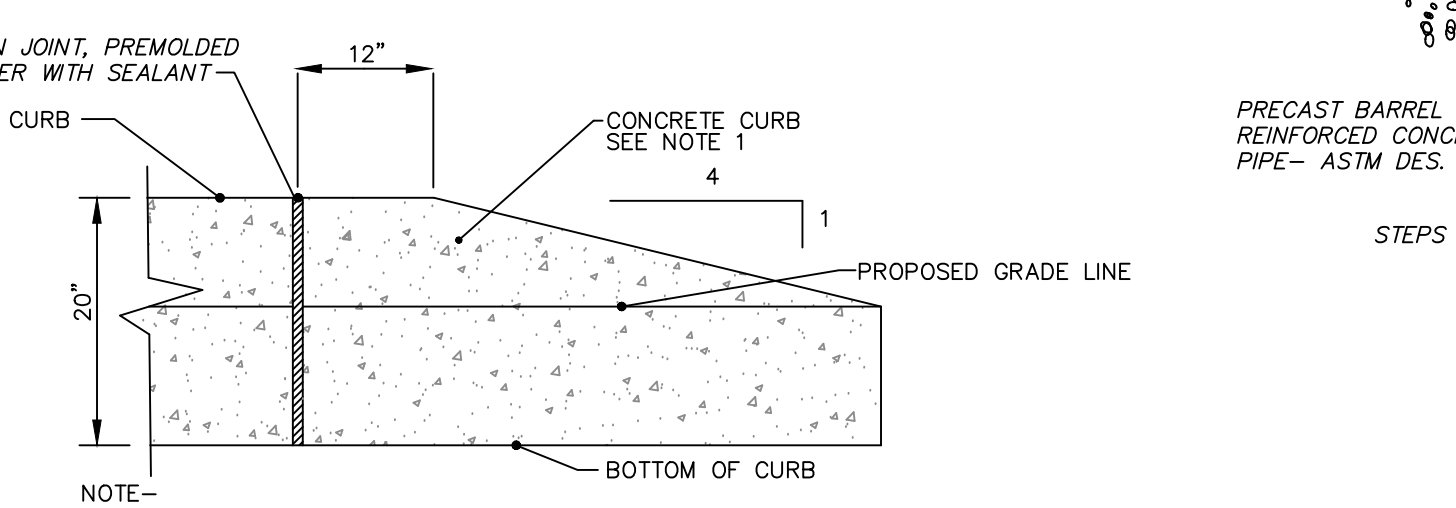
NOTES:
1. CROSS SLOPE IN SIDEWALK TO BE MIN. 1%
2. THE MAXIMUM CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% FOR LAYOUT, AND 2% FOR FOR ACCEPTANCE OF CONSTRUCTED WORK.
3. THE MAXIMUM RUNNING SLOPE OF SIDEWALKS (OTHER THAN RAMP AREAS) SHALL BE 4.5% FOR LAYOUT, AND 5% FOR ACCEPTANCE OF CONSTRUCTED WORK.
4. CONTRACTION JOINTS TO BE SPACED 5' O.C. MAX.
5. EXPANSION JOINTS TO BE SPACED 20' O.C. MAX.
6. WIDTH: PER SITE PLAN

2	TYPICAL CONCRETE WALK SECTION AND JOINT DETAIL	
C501	NOT TO SCALE	D154-01



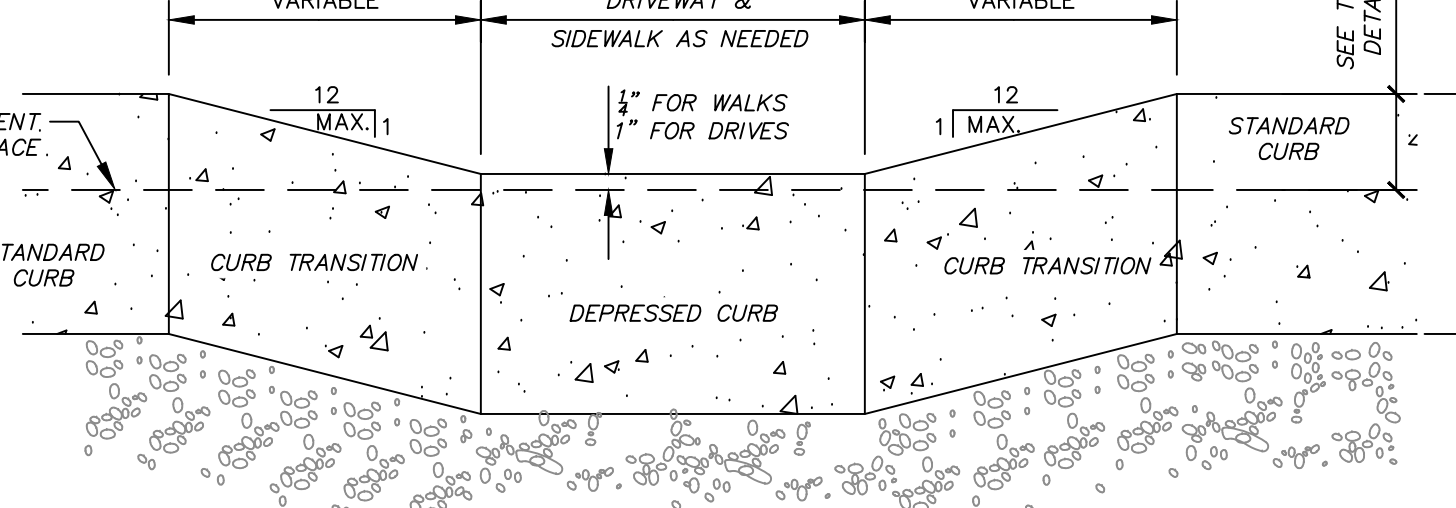
NOTES:
GRASSSED AREAS - NO GENERAL FILL REQUIRED
PLANTINGBED AREAS - GENERAL FILL SHALL BE 14" IN DEPTH
TREE PLANTING AREAS - GENERAL FILL SHALL BE 20" IN DEPTH & 10' IN DIAMETER.

6	SOIL PROFILE - VARIOUS AREAS	
C501	NOT TO SCALE	D132-02



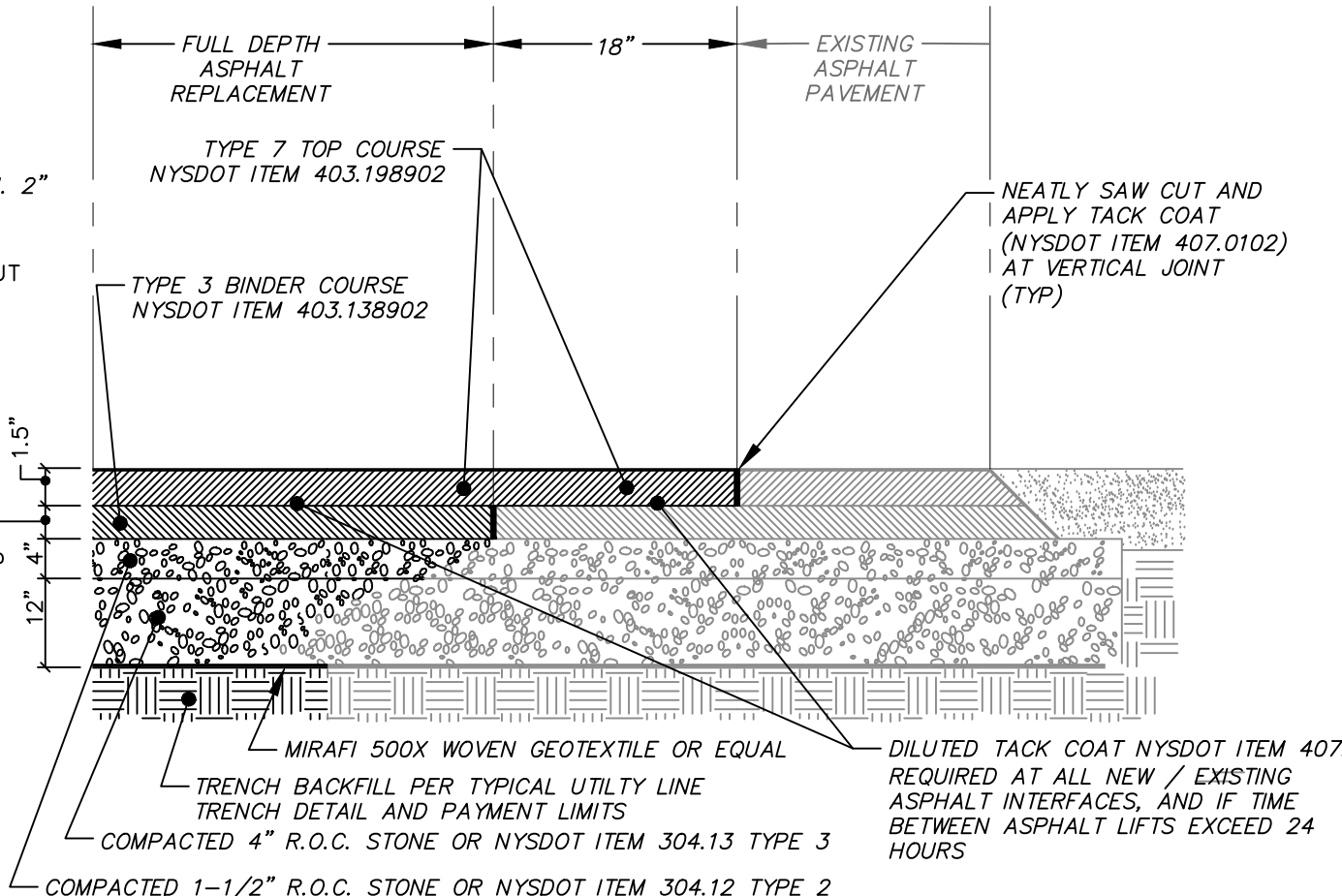
NOTES:
1. SEE TYPICAL CONCRETE CURB DETAIL FOR CONCRETE MIXTURE INFORMATION, CURB DIMENSIONS, AND GRAVEL UNDER CURBING.

7	TYPICAL CURB TERMINAL	
C501	NOT TO SCALE	



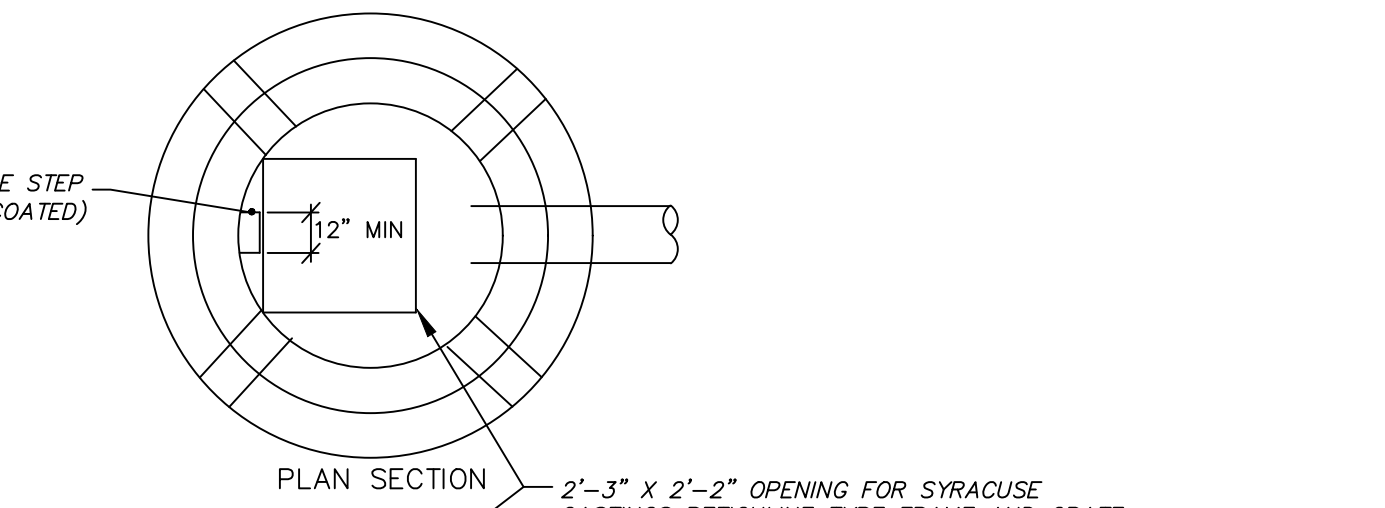
NOTES:
1. SEE TYPICAL CONCRETE CURB DETAIL FOR CONCRETE MIXTURE INFORMATION, CURB DIMENSIONS, AND GRAVEL UNDER CURBING.
2. FOR CURB TRANSITIONS THAT ARE INCORPORATED IN A SIDEWALK CURB RAMP, SEE THE TYPICAL CURB RAMP DETAIL FOR INFORMATION ON MAXIMUM LAYOUT AND CONSTRUCTED SLOPES OF CURB TRANSITIONS.
3. CONTRACTION JOINTS TO BE SPACED 10' O.C. MAX., EXPANSION JOINTS TO BE SPACED 20' O.C. MAX. EXPANSION JOINT TO BE COVERED WITH SEALANT.
4. SEE PAVEMENT SECTION FOR SUBBASE UNDER ASPHALT.
5. REFER TO NYS DOT STANDARD SHEETS 608-01 FOR ADDITIONAL INFORMATION REGARDING SIDEWALK CONSTRUCTION AND HANDICAP ACCESSIBILITY.

9	TYPICAL CURB TRANSITION AND DEPRESSED CURB DETAIL	
C501	NOT TO SCALE	



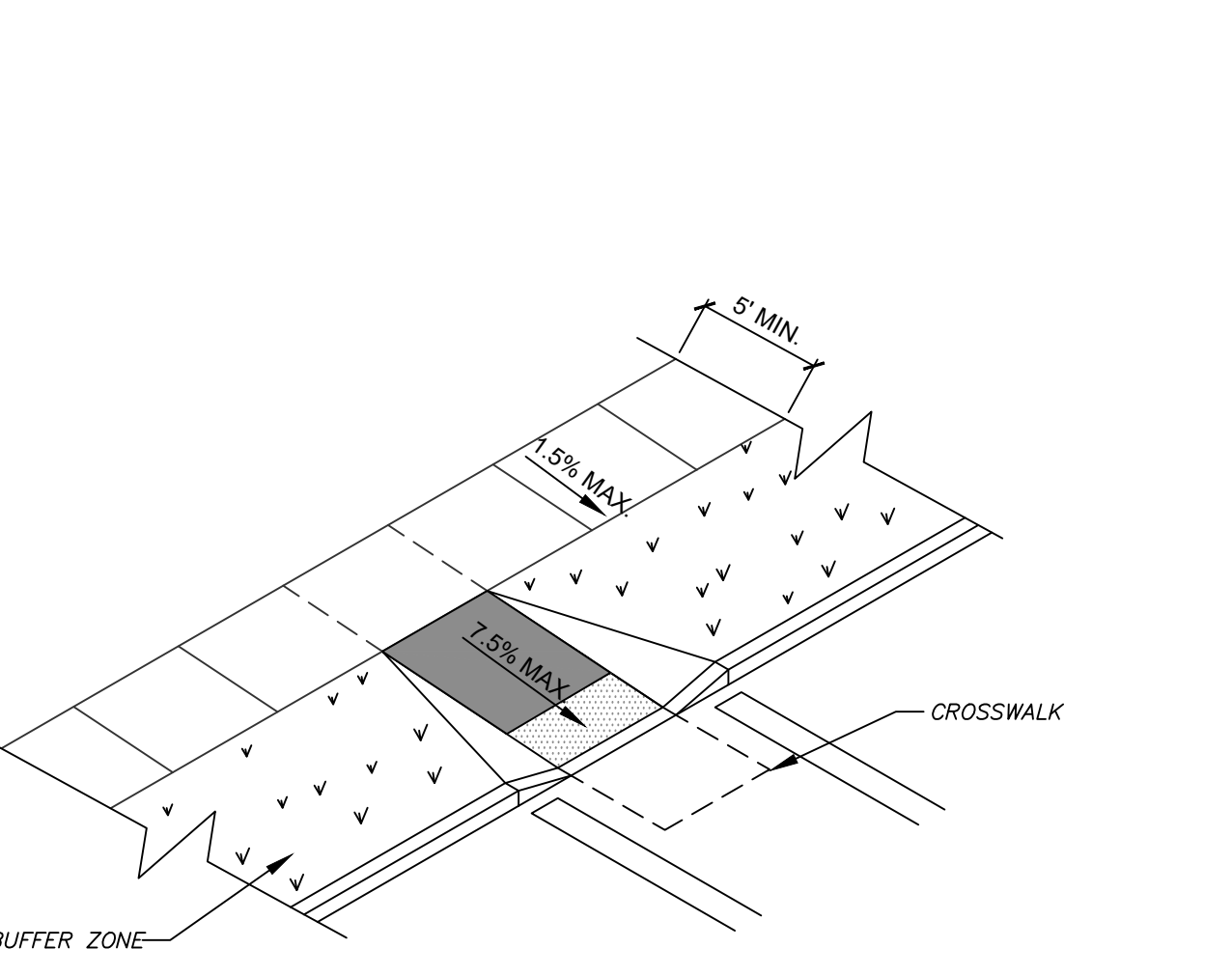
NOTES:
1. ITEM NUMBERS FOR ASPHALT PAVEMENTS FROM NYS DOT STANDARDS AND SPECIFICATIONS DATED SEPTEMBER 4, 2008.
2. ABOVE THICKNESS ARE MINIMUM REPLACEMENT VALUES. REPLACEMENT OF MATERIALS ARE TO TO DIMENSIONS ENCOUNTERED IN FIELD OR AS INDICATED ABOVE, WHICHEVER IS GREATER.

3	TYPICAL ROADWAY PAVEMENT REPLACEMENT DETAIL	
C501	NOT TO SCALE	



NOTES:
1. ALL SECTIONS TO BE H-20 LOAD RATED, MINIMUM.
2. ADJUST FRAME TO GRADE WITH 4" MIN. TO 12" MAX. PRECAST CONCRETE RINGS.
3. PRECAST BARREL SECTION, REINFORCED CONCRETE PIPE- ASTM DES. C478
4. STEPS 12" SPACING
5. INVERT ELEVATION AS NOTED ON PLAN
6. 6" TYP.
7. 18" SUMP
8. RUBBER GASKET SLEEVE, KOR-N-SEAL FLEXIBLE CONNECTOR, OR EQUAL
9. HOPE PIPE, SIZE AS NOTED ON PLAN
10. PIPE BEDDING AS PER PIPE BEDDING DETAIL
11. PROVIDE COMPACTED (1-1/2") RUN-OF-CRUSHER STONE BEDDING, MINIMUM 8" THICKNESS.
12. *48" PIPES < 24"
13. 60" 24" - 30" OR > 3
14. PIPES 72" 36" - 48" OR > 4 PIPES

10	TYPICAL CATCH BASIN DETAIL	
C501	NOT TO SCALE	

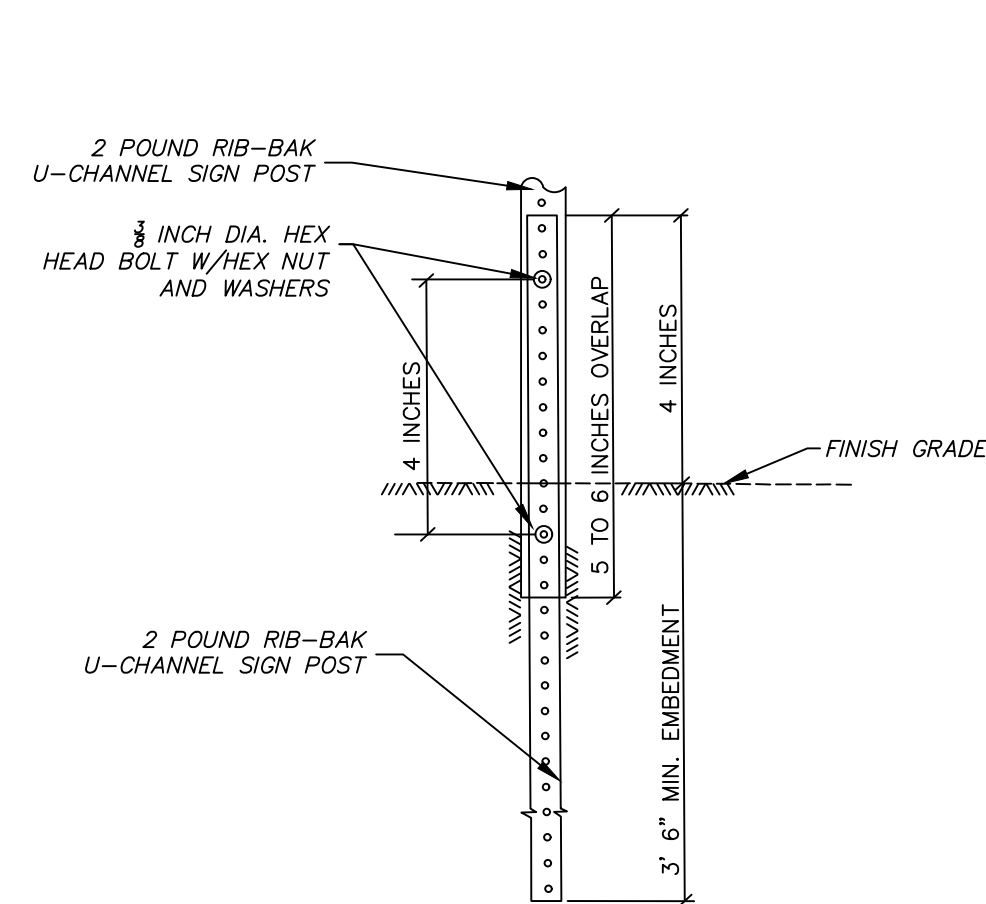


4	CURB RAMP DETAIL	
C501	NOT TO SCALE	SW101-01

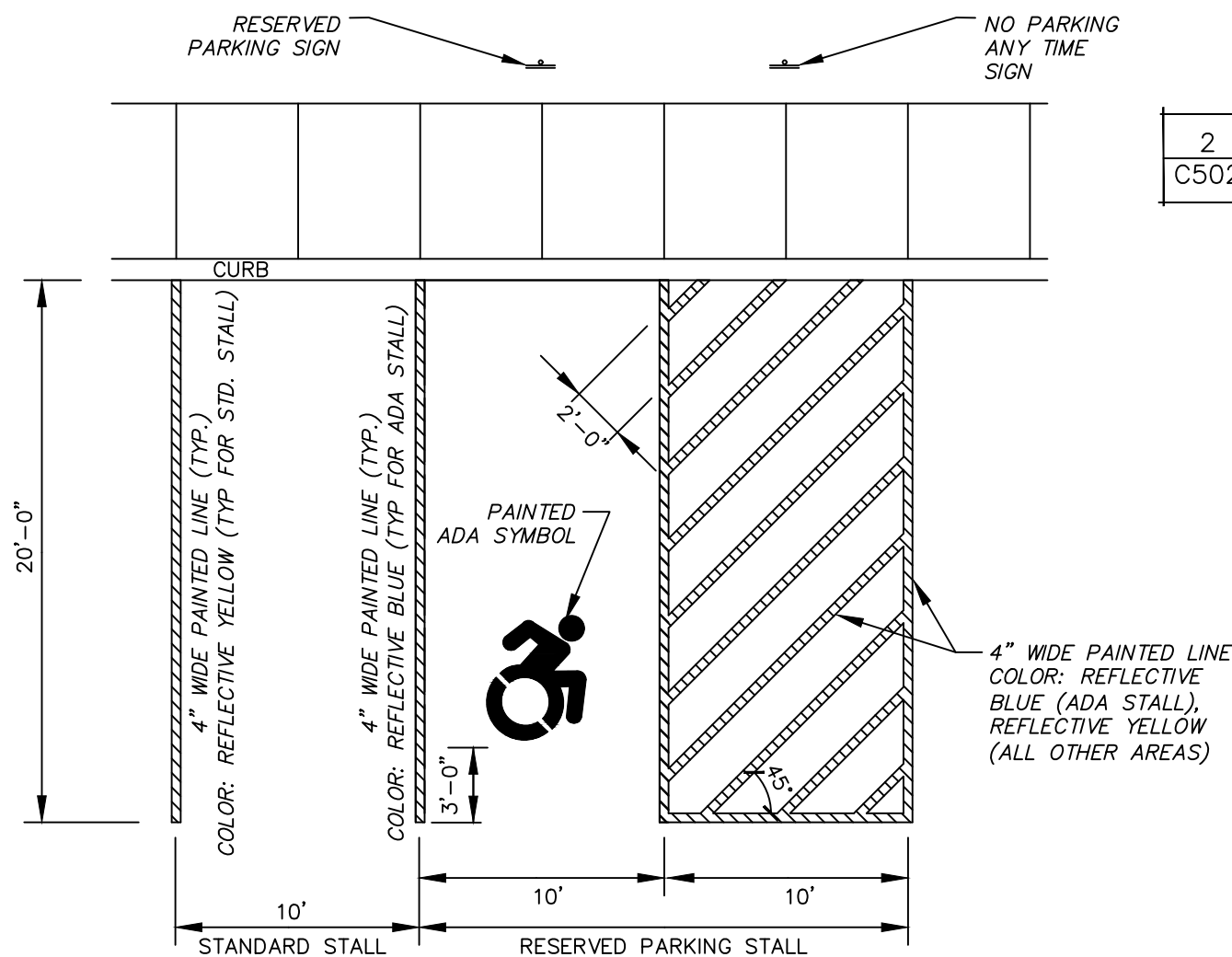


NOTES:
1. DIMENSIONS 'X' AND 'Y' SHOWN ABOVE SHALL BE DETERMINED BY CONTRACTOR TO COMPLY WITH O.S.H.A., NEW YORK STATE DEPARTMENT OF LABOR, NEW YORK STATE INDUSTRIAL CODE AND ALL OTHER APPLICABLE SAFETY STANDARDS.
2. SAFETY SHEETING OR TRENCH BOX MAY BE USED IN PLACE OF SLOPED TRENCH WALLS.
3. SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER.
4. TRENCHES LOCATED ON ROAD SHOULDERS SHALL BE TREATED THE SAME AS UNDER PAV'T.
5. NATIVE MATERIAL AY BE USED AS BACKFILL WHEN OUTSIDE OF GRAVEL / ASPHALT / CONCRETE AREAS

11	TYPICAL UTILITY LINE TRENCH DETAIL AND PAYMENT LIMITS	
C501	NOT TO SCALE	D101-02



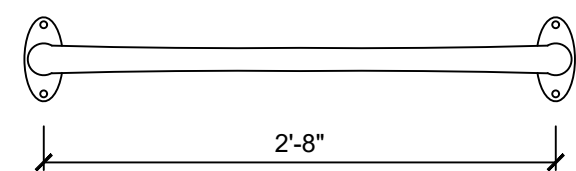
1	BREAK-AWAY SIGN POST DETAIL	
C502	NOT TO SCALE	D135-01



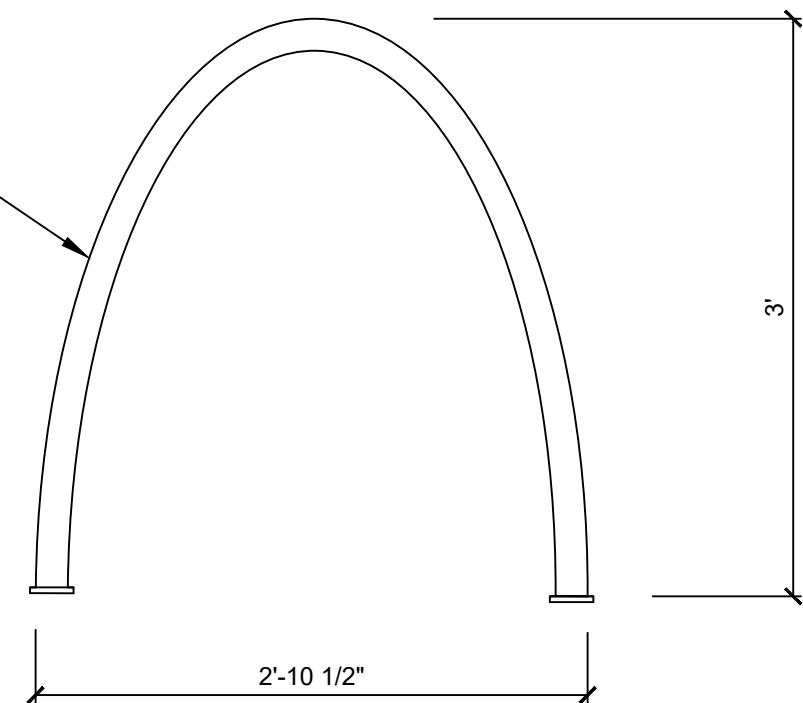
NOTES

1. MAX. PAVEMENT SLOPE TO BE 2% (1:50) IN ANY DIRECTION, FOR ADA PARKING AND LOADING AREAS.

5	ADA ACCESSIBLE STALL MARKINGS AND PARKING LOT STRIPING DETAIL	
C502	NOT TO SCALE	SW136-01



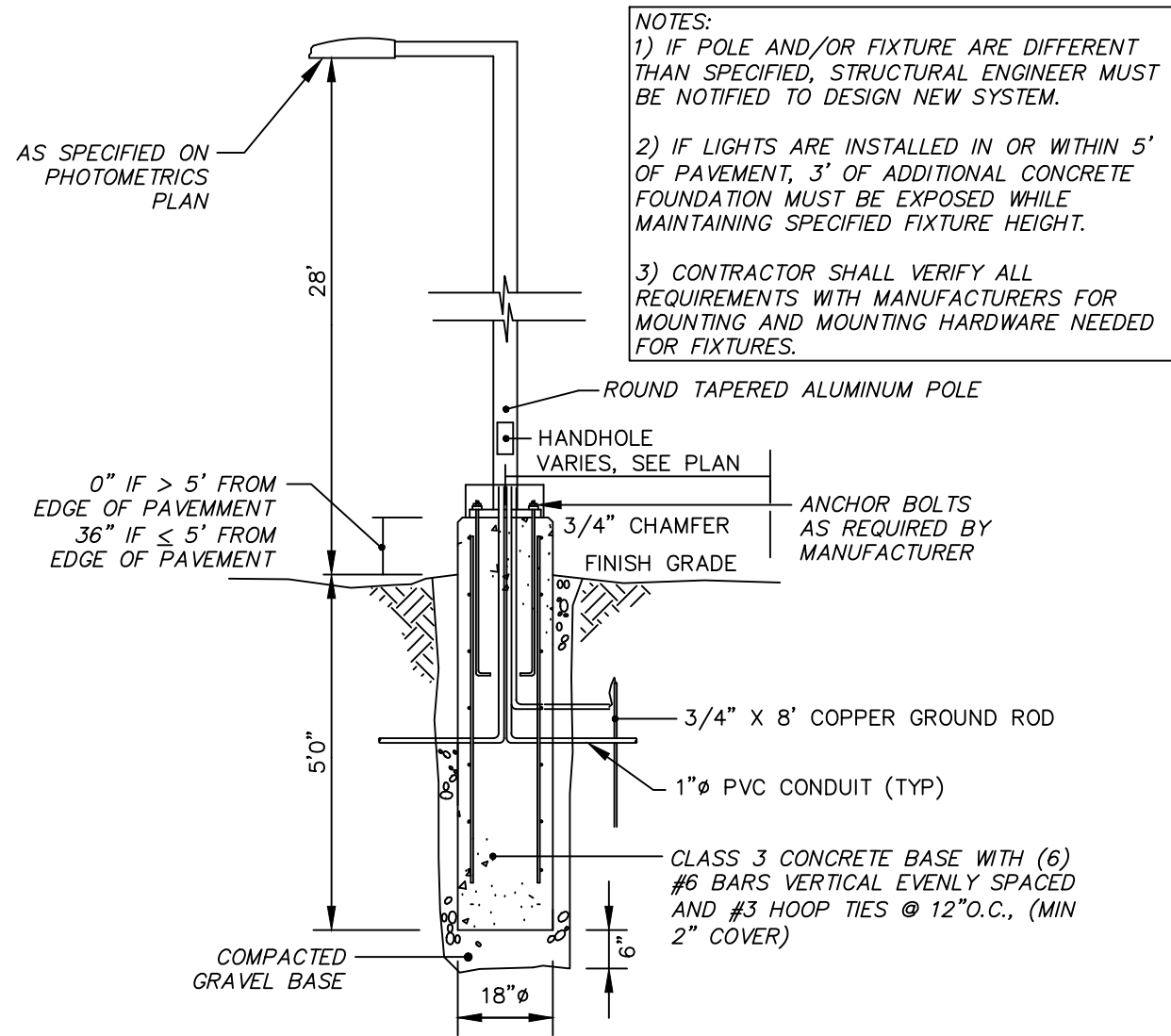
BICYCLE RACK SHALL BE ARCH 2178-84 BY CYCLOOPS OR APPROVED EQUAL



CYCLOOPS

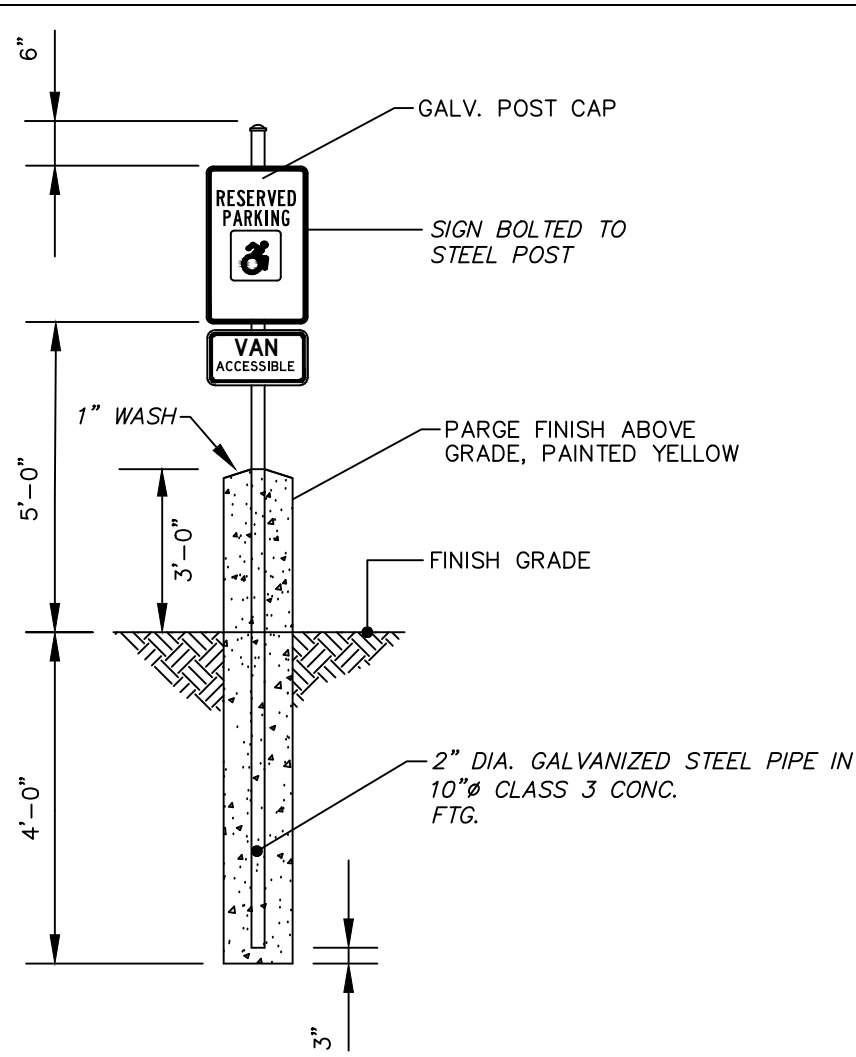
5/8" DIAMETER HOLES PROVIDED FOR ANCHORS BY OTHERS

9	BIKE RACK AND PLACEMENT DETAIL	
C502	NOT TO SCALE	

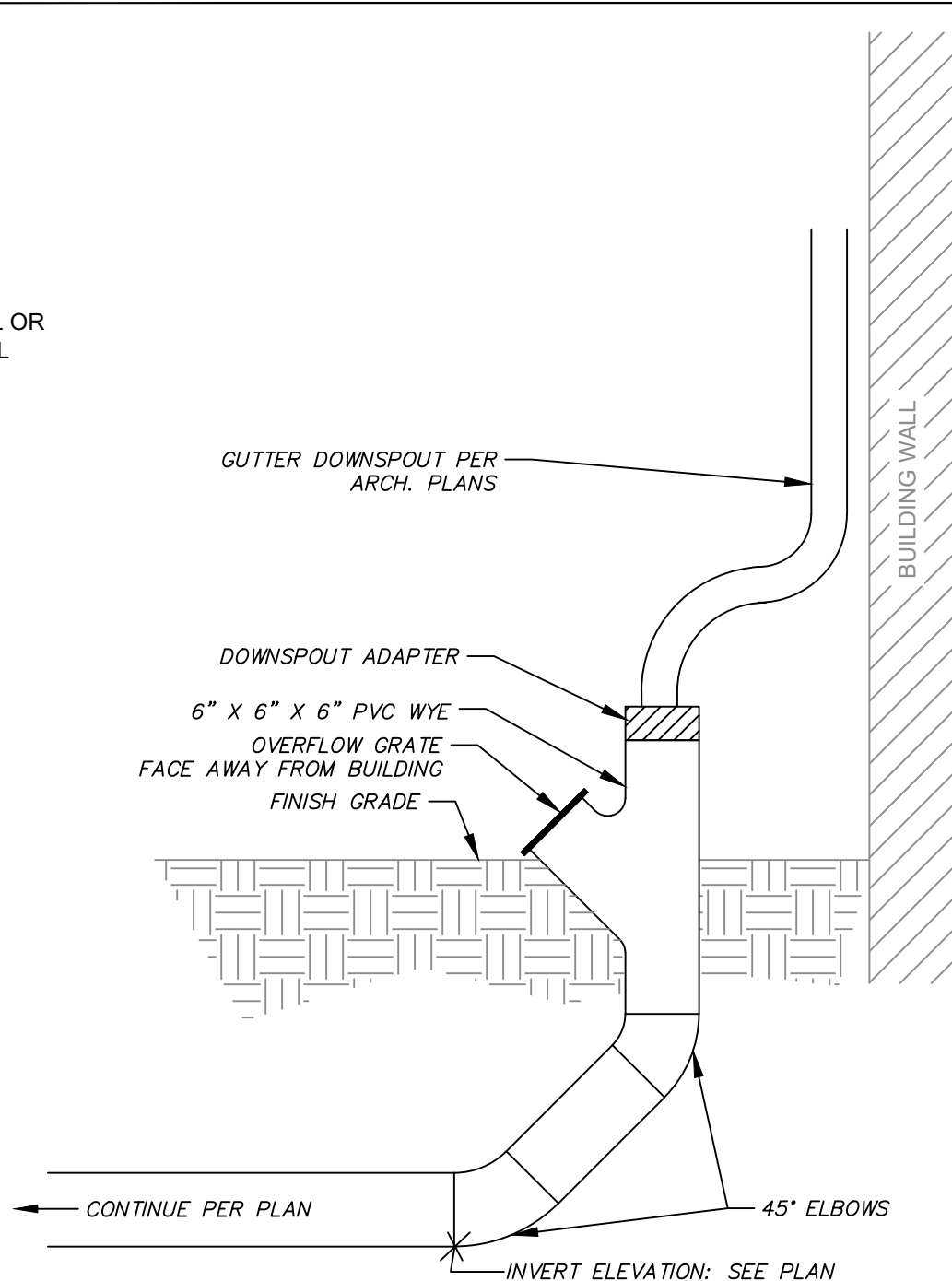


- NOTES:
- 1) IF POLE AND/OR FIXTURE ARE DIFFERENT THAN SPECIFIED, STRUCTURAL ENGINEER MUST BE NOTIFIED TO DESIGN NEW SYSTEM.
 - 2) IF LIGHTS ARE INSTALLED IN OR WITHIN 5' OF PAVEMENT, 3" OF ADDITIONAL CONCRETE FOUNDATION MUST BE EXPOSED WHILE MAINTAINING SPECIFIED FIXTURE HEIGHT.
 - 3) CONTRACTOR SHALL VERIFY ALL REQUIREMENTS WITH MANUFACTURERS FOR MOUNTING AND MOUNTING HARDWARE NEEDED FOR FIXTURES.

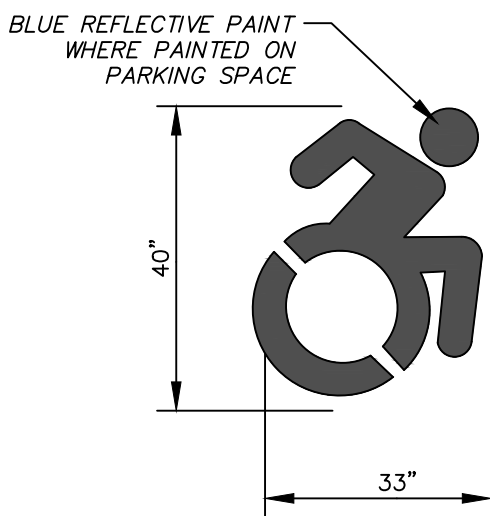
2	TYPICAL LIGHT POLE + BASE DETAIL	
C502	NOT TO SCALE	



6	TYPICAL RESERVED PARKING SIGN DETAIL	
C502	NOT TO SCALE	D157-01



10	TYPICAL DOWNSPOUT CONNECTION	
C502	NOT TO SCALE	



PROPORTIONING GUIDE

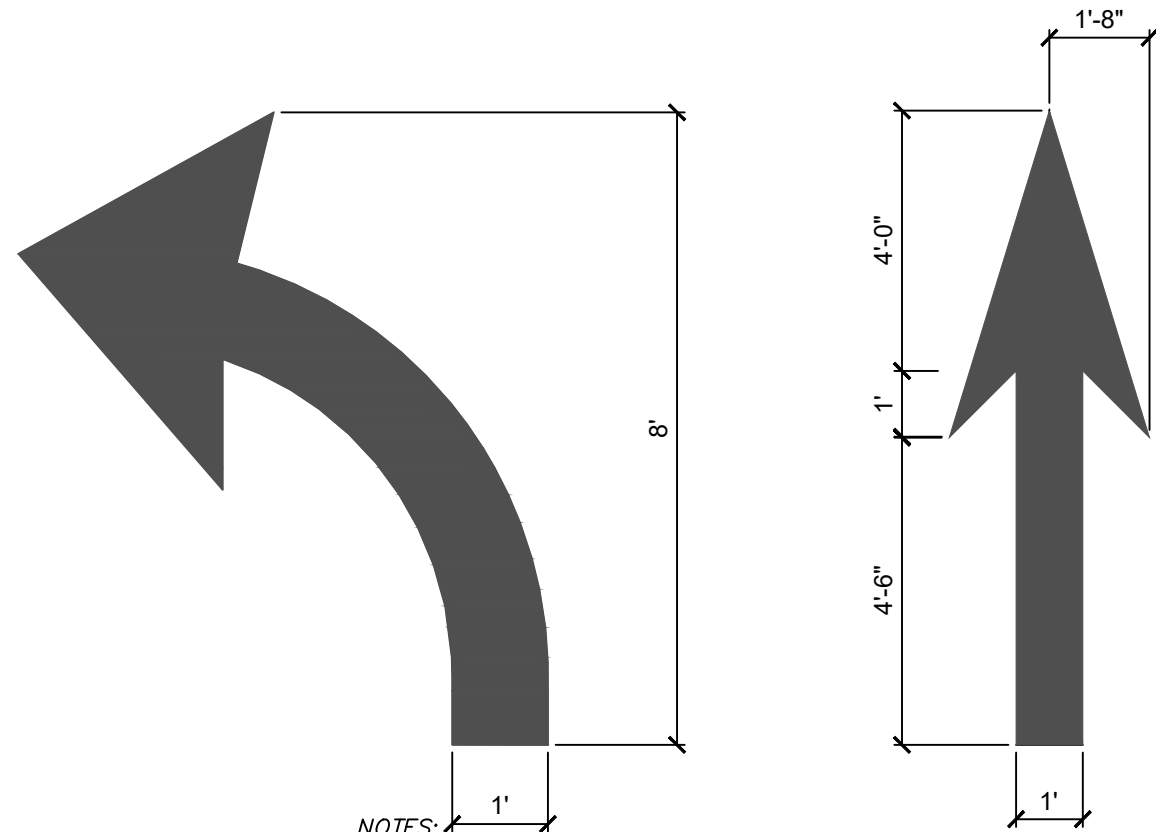
3	TYPICAL ADA PARKING SYMBOL DETAIL	
C502	NOT TO SCALE	D156-01

MUTCD R5-1
MATERIAL: HIGH INTENSITY REFLECTIVE ALUMINUM
SIZE: 24" X 24"MUTCD R1-1
MATERIAL: HIGH INTENSITY REFLECTIVE ALUMINUM
SIZE: 24" X 24"MUTCD R7-1
MATERIAL: HIGH INTENSITY REFLECTIVE ALUMINUM
SIZE: 12" X 18"MUTCD R7-8
MATERIAL: HIGH INTENSITY REFLECTIVE ALUMINUM
SIZE: 12" X 18"MUTCD R7-8A
MATERIAL: HIGH INTENSITY REFLECTIVE ALUMINUM
SIZE: 9" X 12"

NOTES:

1. ALL OUTSIDE SIGNS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ALL DETAILS WITHIN THE STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION STANDARD SHEETS SECTION 645. THIS INCLUDES BUT IS NOT LIMITED TO: STANDARD SIGN BLANK DETAILS (645-01); POSITIONING OF TRAFFIC SIGNS (645-03); AND BI- DIRECTIONAL BREAKAWAY BASE AND HINGE ASSEMBLY (645-11).
2. ALL SIGNS AND PAINT MARKINGS ARE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AS OUTLINED IN THE LATEST VERSION OF THE NYS MUTCD.

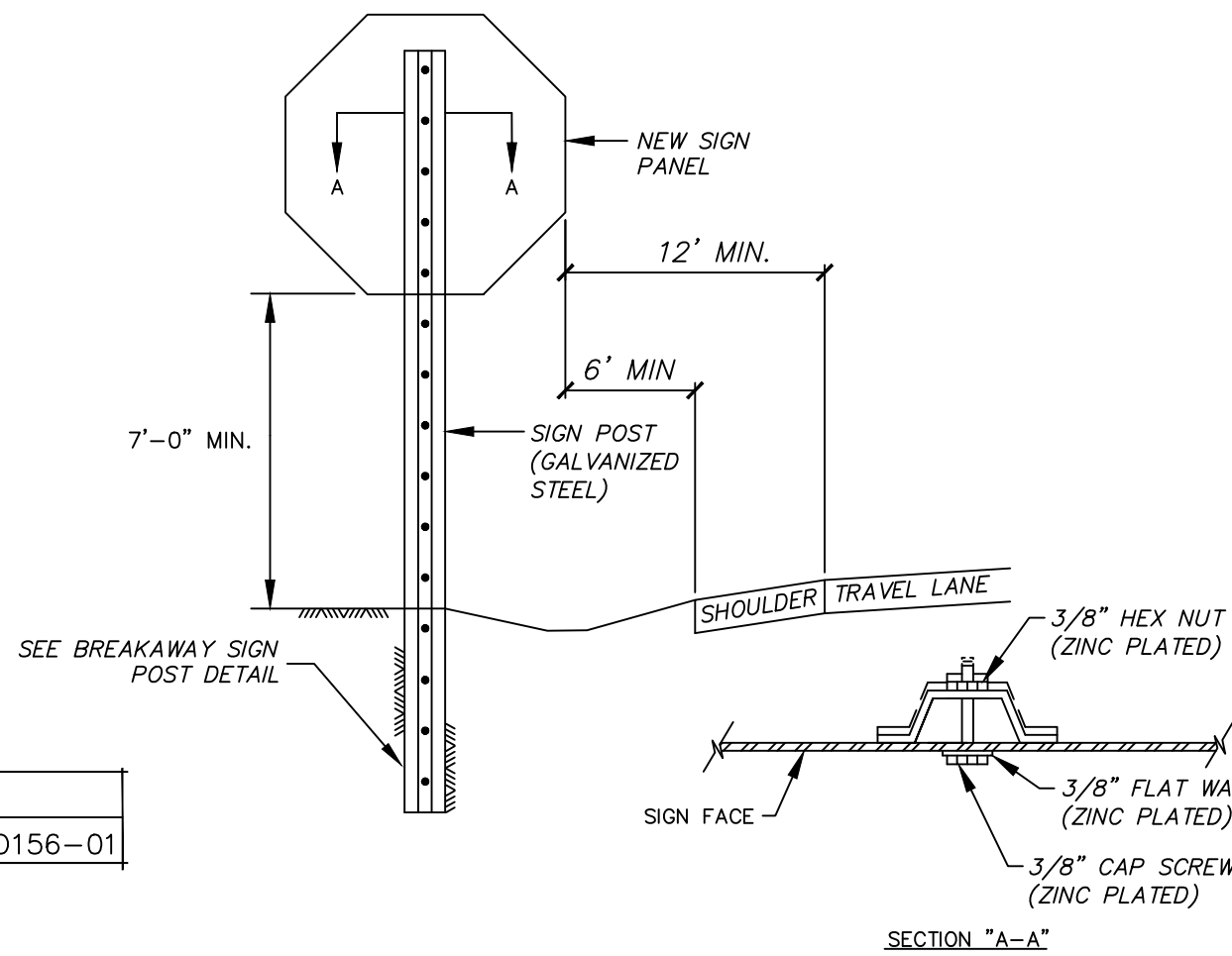
7	TYPICAL SIGN DETAILS	
C502	NOT TO SCALE	



NOTES:

1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN THE 2003 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

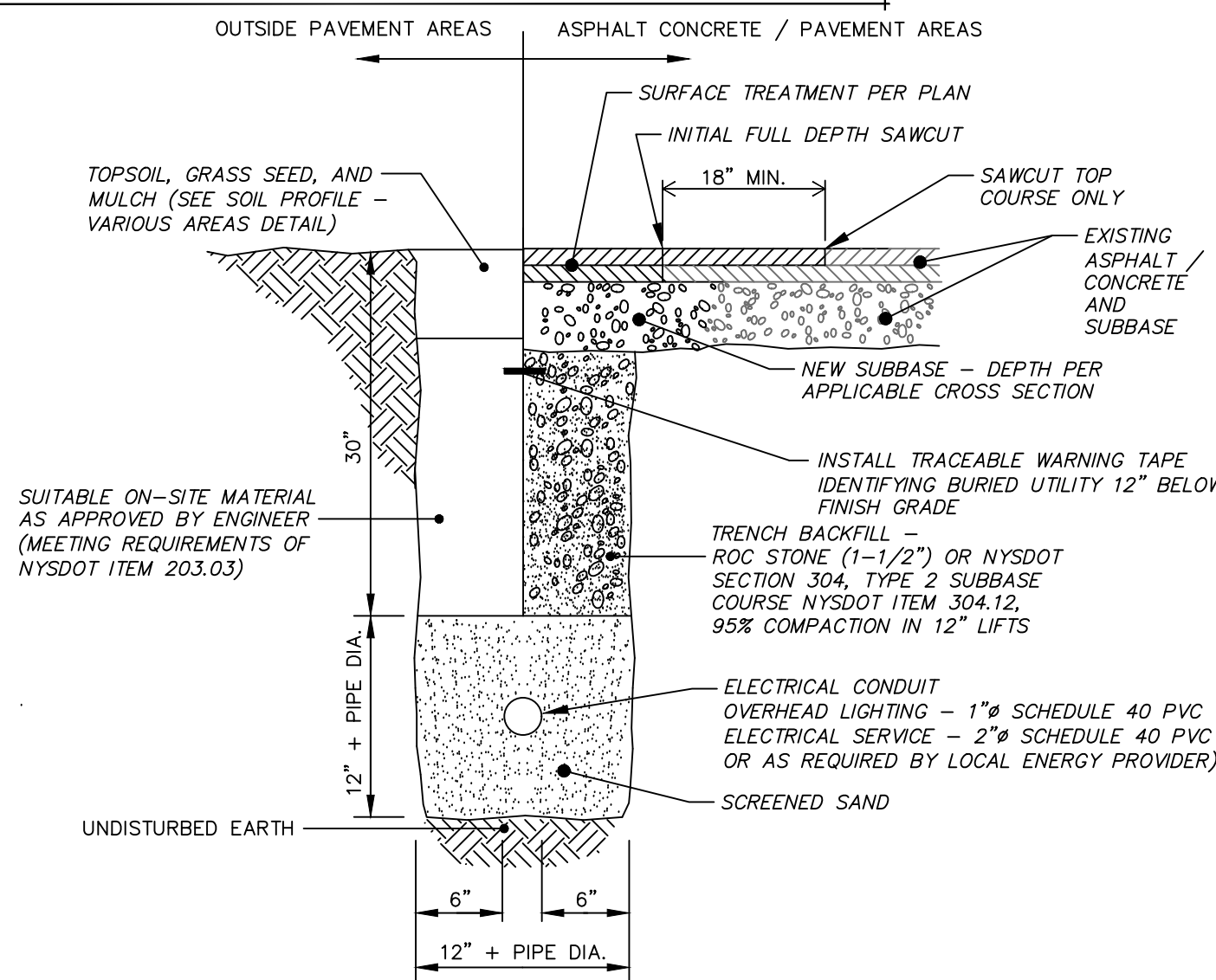
11	TYPICAL TRAFFIC FLOW ARROWS	
C502	NOT TO SCALE	



NOTES:

1. ALL OUTSIDE SIGNS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ALL DETAILS WITHIN THE STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION STANDARD SHEETS SECTION 645. THIS INCLUDES BUT IS NOT LIMITED TO: STANDARD SIGN BLANK DETAILS (645-01); POSITIONING OF TRAFFIC SIGNS (645-03); AND BI- DIRECTIONAL BREAKAWAY BASE AND HINGE ASSEMBLY (645-11).
2. ALL SIGNS AND PAINT MARKINGS ARE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AS OUTLINED IN THE LATEST VERSION OF THE NYS MUTCD.

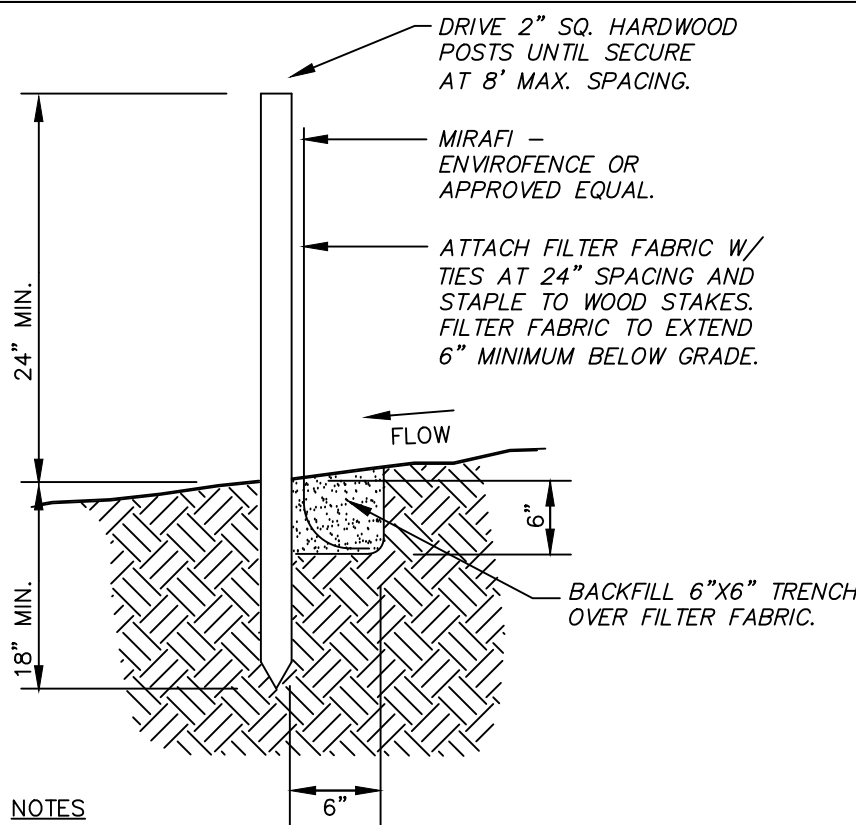
4	TYPICAL SIGN-IN GROUND INSTALLATION DETAIL	
C502	NOT TO SCALE	SW135-01



NOTES:

1. TRENCHES LOCATED ON ROAD SHOULDERS SHALL BE TREATED THE SAME AS UNDER PAVEMENT.
2. ELECTRICAL LINE TRENCH TO BE LOCATED A MINIMUM OF 2 FT. FROM COMMUNICATION LINE TRENCH.

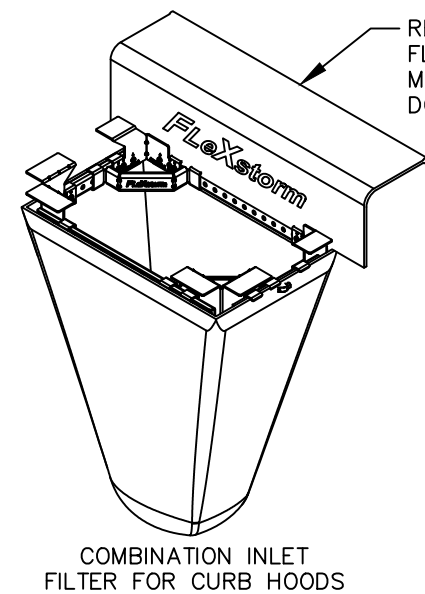
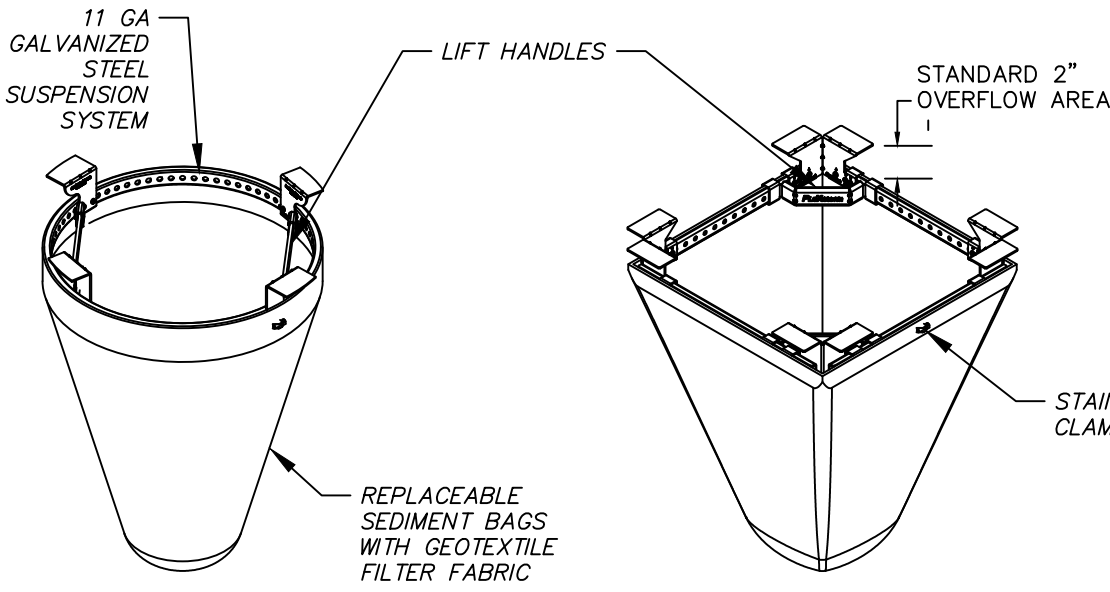
8	TYPICAL ELECTRICAL TRENCH DETAIL	
C502	NOT TO SCALE	E102-01



NOTES

1. SILTATION FENCE TO REMAIN IN PLACE UNTIL LAWNS HAVE BEEN ESTABLISHED AND/OR FINISH SURFACES HAVE BEEN INSTALLED.
2. SILTATION FENCE TO BE CHECKED AND MAINTAINED THROUGHOUT CONSTRUCTION. SILT ACCUMULATIONS SHALL BE REMOVED PERIODICALLY AS REQUIRED.
3. SECTIONS OF FILTER FABRIC TO HAVE 12" OVERLAP AT WOOD STAKES AND STAPLED IN PLACE.

12	TYPICAL SILTATION FENCE DETAIL	
C502	NOT TO SCALE	D120-01



TYPICAL ROUND INLET FILTER

TYPICAL RECTANGULAR INLET FILTER

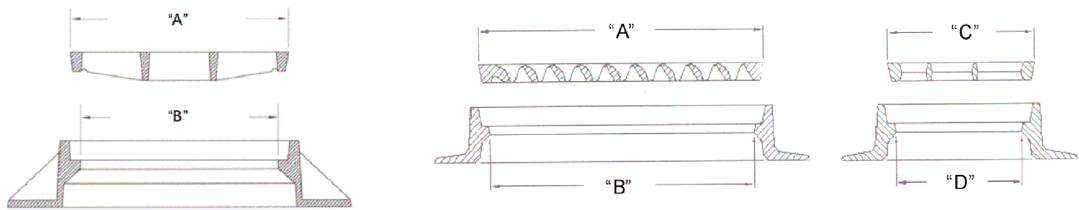
NOTES:

- ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL (ZINC PLATED OR GALVANIZED) FOR 7 YEAR MINIMUM SERVICE LIFE.
- UPON ORDERING CONFIRMATION OF THE DOT CALL OUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
- INLET PROTECTION TO BE INSTALLED ON ALL CATCH BASINS AND TO BE REMOVED AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE.
- CONTRACTOR TO CLEAN INLET PROTECTION PRIOR TO FINISHING CONSTRUCTION ACTIVITIES.
- FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

1. IDENTIFY YOUR FRAME STYLE AND SIZE		
STYLE	FRAME STYLE AND SIZE	Frame P/N:
ROUND	Small Round (up to 20.0" dia grates (A) dlm)	62SRD
	Med Round (20.1" - 26.0" dia grates (A) up to 25" dia openings (B))	62MRD
	Large Round (26.1" - 32.0" dia grates (A) up to 30" openings (B))	62LRD
	XL Round (32.1" dia - 39" dia grates (A) up to 37" dia openings (B))	62XLRD
RECT / SQUARE	Small Rect / Square (up to 16" (B) x 16" (D) openings or 64" perimeter)	62SSQ
	Med Rect / Square (up to 24" (B) x 24" (D) openings or 96" perimeter)	62MSQ
	Large Rect / Square (up to 36" (B) x 24" (D) openings or 120" perimeter)	62LSQ
	XL Rect / Square (side by side 2 ac set to fit up to 48" (B) x 36" (D) openings)	62XLSQ
COMBO INLETS	Small Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62SCB
	Med Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62MCB
	Large Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62LCB
	XL Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62XLCB
NYLOPLAST	12" diameter Nyloplast castings (Stainless Steel Framing standard)	6212NY
	15" diameter Nyloplast castings (Stainless Steel Framing standard)	6215NY
	18" diameter Nyloplast castings (Stainless Steel Framing standard)	6218NY
	24" diameter Nyloplast castings (Stainless Steel Framing standard)	6224NY
	30" diameter Nyloplast castings (Stainless Steel Framing standard)	6230NY

SPECIFICATIONS FOR STANDARD BAGS BY NOMINAL SIZE			
Nominal Bag Size	Solids Storage (CuFt)	Filtered Flow Rate at 50% Max (CFS)	
Small	1.6	1.2	0.9
Medium	2.1	1.7	1.3
Large	3.8	2.7	1.9
XL	4.2	3.6	2.6

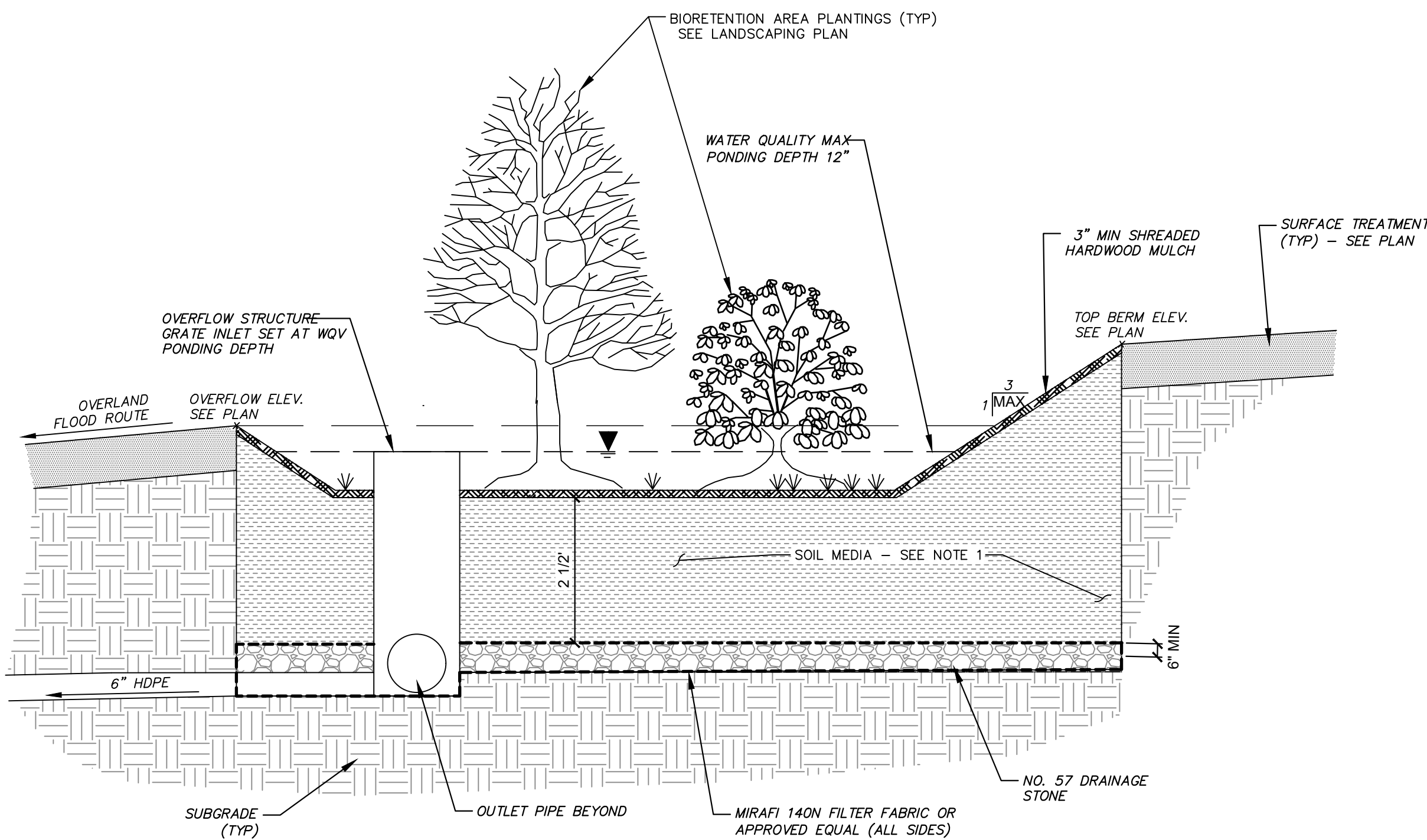
2. SELECT YOUR BAG PART NUMBER				
FLEXSTORM FILTER BAGS	(22" depth) STD Bag P/N	(12" depth) Short Bag P/N	Clean Water Flow Rate (GPM/5cFt)	Min A.O.S. (US Sieve)
FX: Standard Woven Bag	FX	FX-S	200	40
IL: IDOT Non-Woven Bag	IL	IL-S	145	70



INSTALLATION NOTES:

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

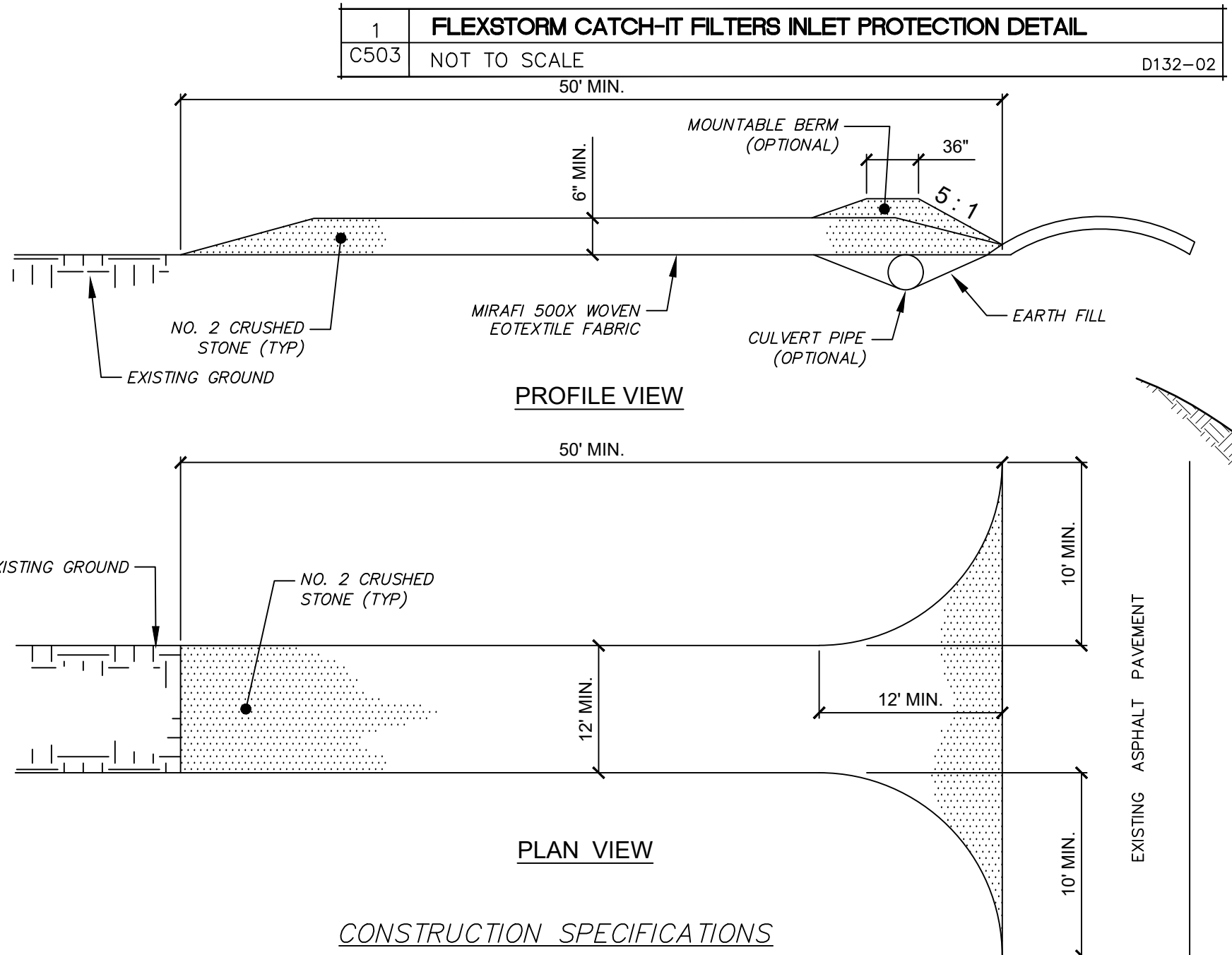
DETAIL AND DESIGN INFORMATION SHOWN FOR "FLEXSTORM CATCH-IT FILTERS INLET PROTECTION" HAS BEEN PROVIDED BY ADVANCED DRAINAGE SYSTEMS, INC.



NOTE:

- SOIL MEDIA TO CONSIST OF 30" LAYER OF PLANTING SOIL CONSISTING OF 35%-60% SAND, 30-55% SILT, AND 10-25% CLAY.
- SIDE SLOPES TO BE 4:1 TYPICAL, AND SHALL NOT TO EXCEED 3:1.

2	TYPICAL BIORETENTION AREA DETAIL
C503	NOT TO SCALE



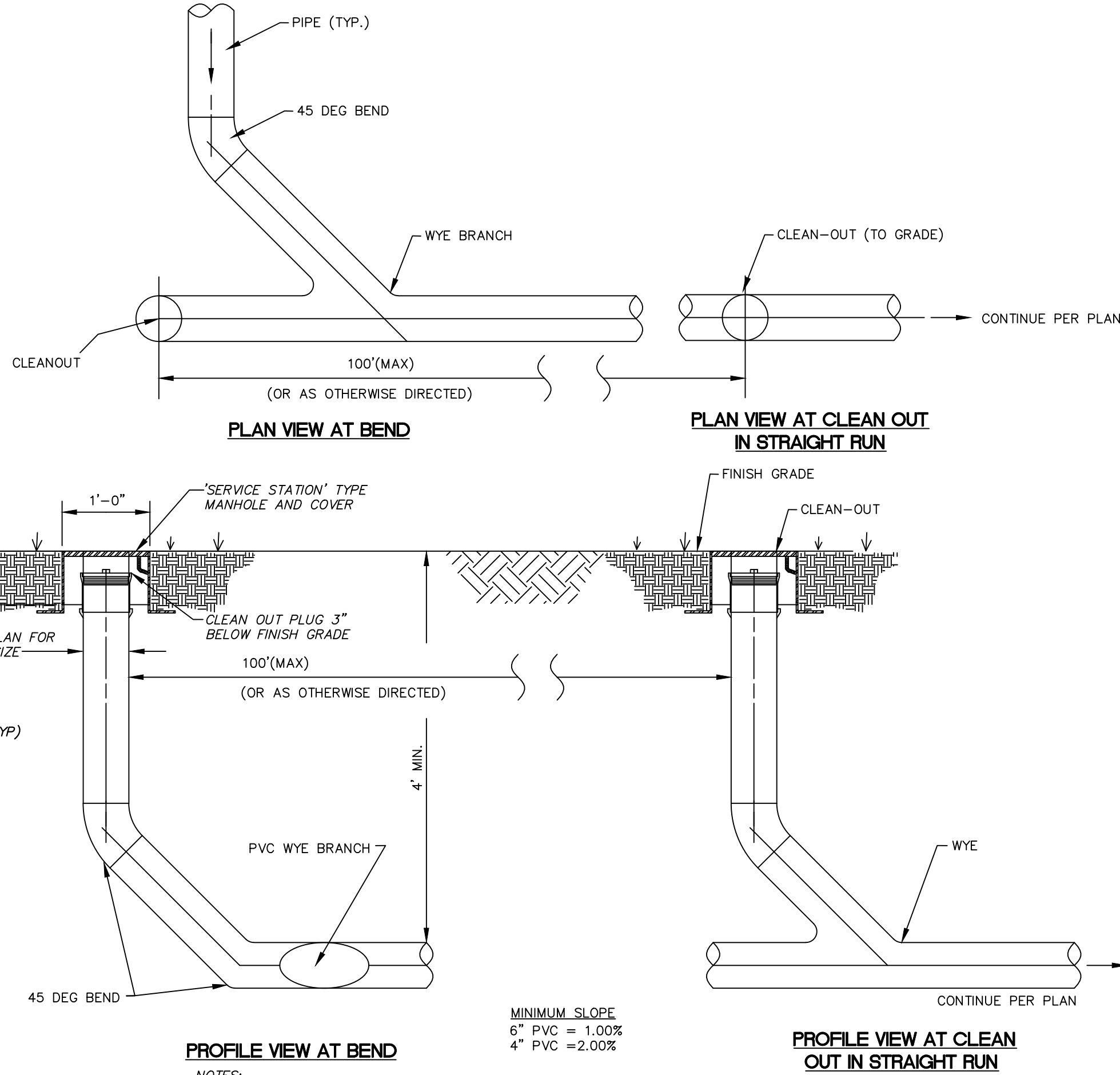
CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1" - 4" STONE OR RECLAIMED / RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
- THICKNESS - NOT LESS THAN SIX (6) INCHES
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AN WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPED DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

4	STABILIZED CONSTRUCTION ENTRANCE DETAIL
C503	NOT TO SCALE

SPACING REQUIREMENTS	
SLOPE	MAXIMUM SPACING
1:1	N/A
2:1	10'
3:1	15'
4:1	20'

5	SEDIMENT FILTER SOCK DETAIL
C503	NOT TO SCALE



NOTES:

- PIPE MATERIALS ARE PER TECHNICAL SPECIFICATIONS.

6	TYPICAL STORM AND SANITARY SEWER CLEANOUT DETAIL
C503	NOT TO SCALE

PROJECT NO:	2025 - 066
SCALE:	AS NOTED
DRAWN BY:	RAA
DESIGNED BY:	RAA/MJC
CHECKED BY:	MJC
DATE ISSUED:	08-12-2025



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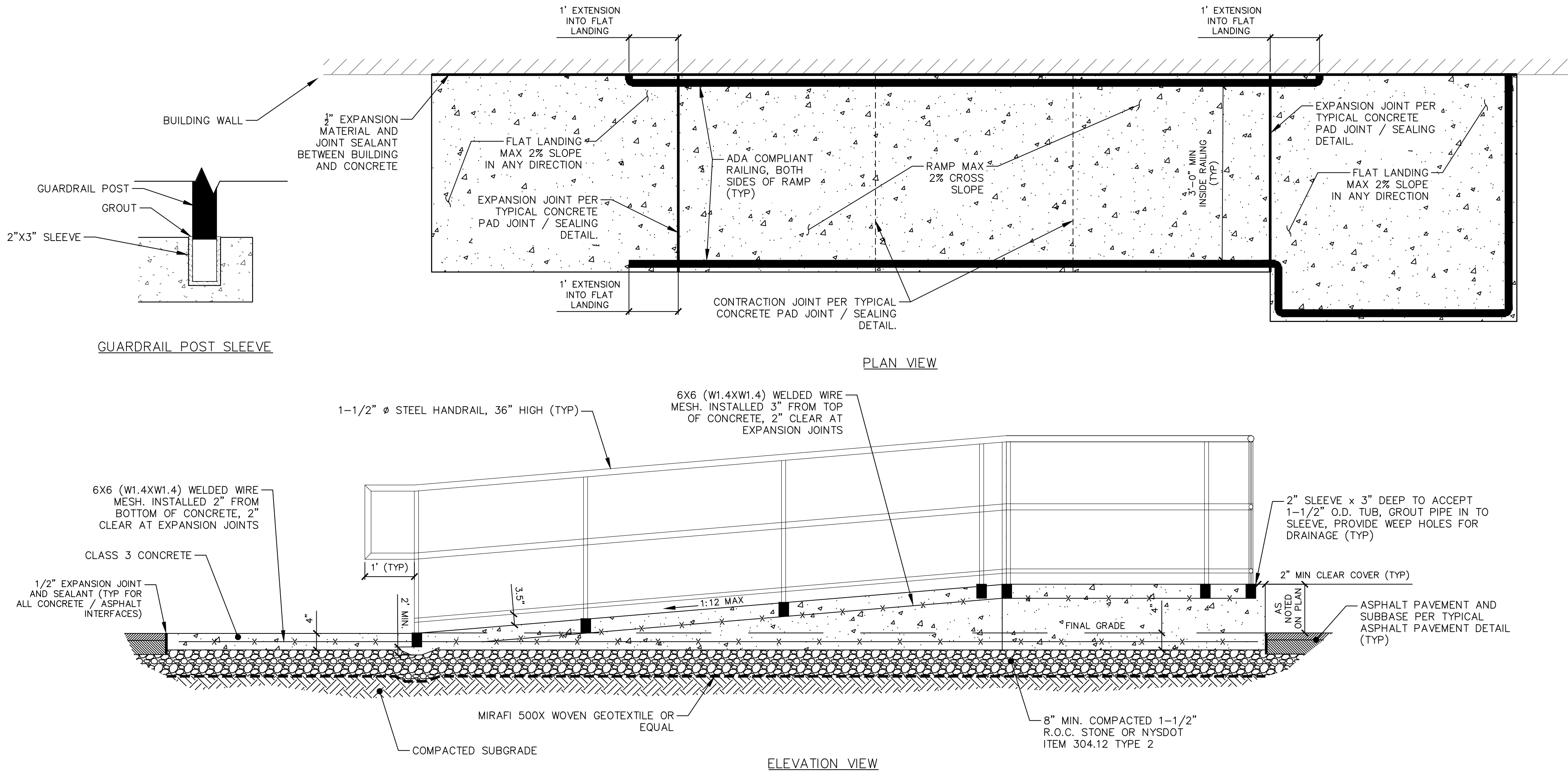
SEAL:

PROJECT NO: 2025 - 066
SCALE: AS NOTED
DRAWN BY: RAA
DESIGNED BY: RAA/MJC
CHECKED BY: MJC
DATE ISSUED: 08-12-2025

DETAILS
CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH
400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK

LAST REVISED: N/A
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DRAWING NO.
C504



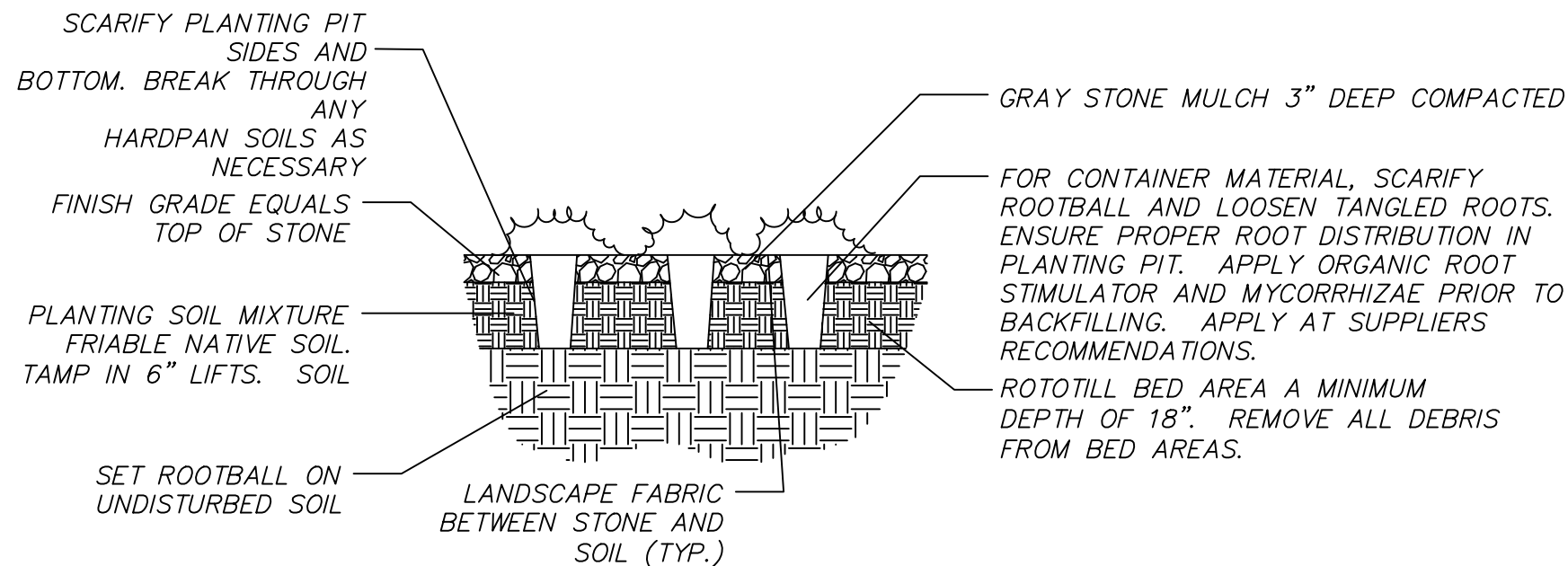
1	TYPICAL CONCRETE RAMP DETAIL
C504	NOT TO SCALE

GENERAL TREE PLANTING NOTES:

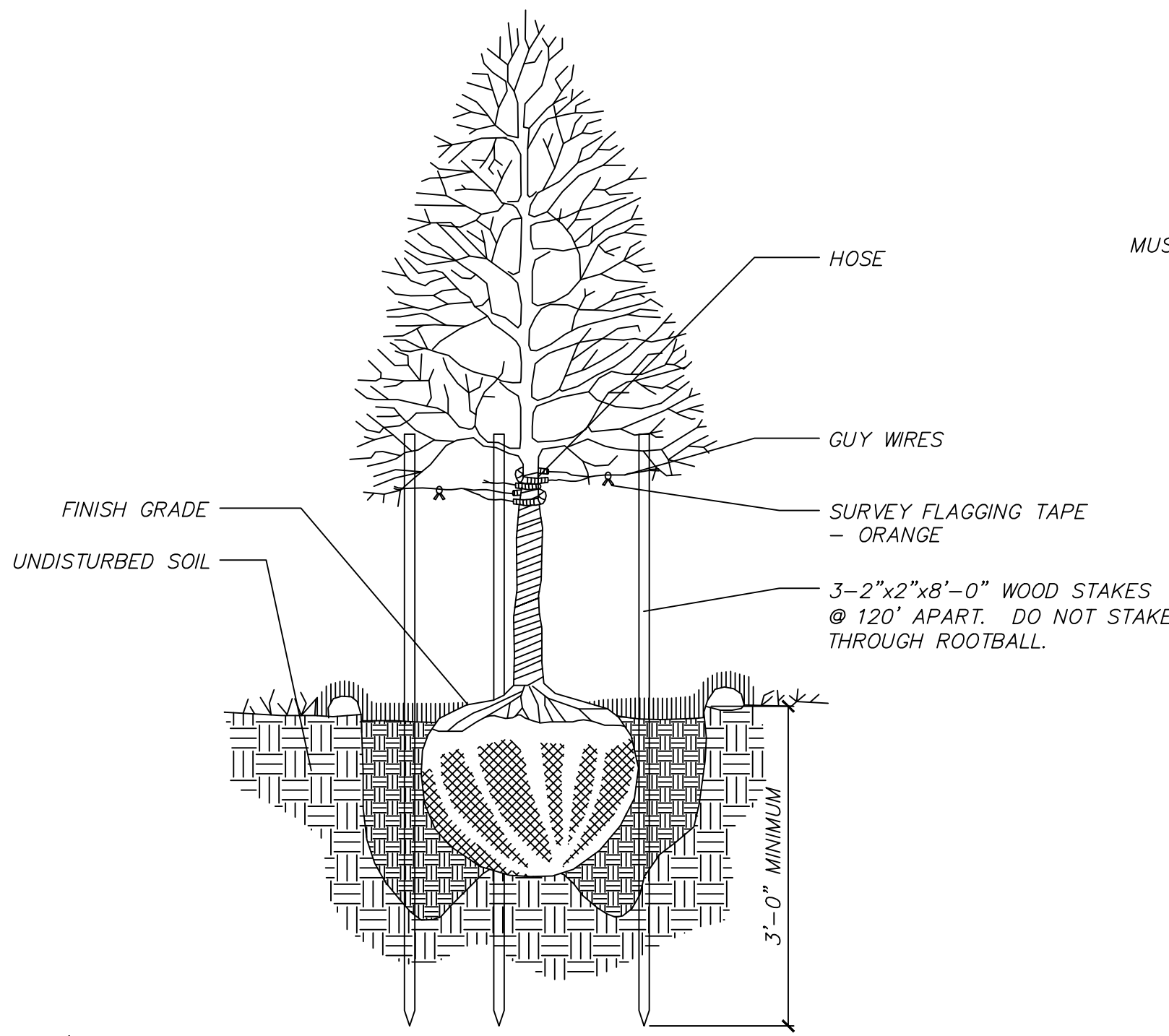
- THESE NOTES ARE PRESENTED AS A "SUMMARY" OF THE WRITTEN SPECIFICATIONS ISSUED FOR THE PROJECT. REFER TO THE WRITTEN SPECIFICATIONS FOR ADDITIONAL DETAIL AND FULL PROJECT REQUIREMENTS.
- ANY QUANTITIES INDICATED ON THE DRAWINGS OR ON THE TREE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE SUBCONTRACTOR BUT SHOULD NOT BE ASSUMED TO BE CORRECT. THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES INDICATED. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLATION. IN THE EVENT OF A DISCREPANCY, THE GRAPHIC REPRESENTATIONS SHOWN ON THE DRAWINGS SHALL GOVERN.
- NO SUBSTITUTIONS AS TO SIZE, TYPE, SPACING, QUANTITY OR QUALITY OF TREE MATERIAL SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES IN TREE MATERIAL MAY CONSTITUTE PLAN RE-APPROVAL.
- TREES SHALL BE SUPPLIED AT THE SIZES SPECIFIED ON THE DRAWINGS. THE SIZES SHOWN ARE THE MINIMUMS FOR EACH CATEGORY (HEIGHT, SPREAD, CALIPER, CONTAINER SIZE, ETC.) WHEN A RANGE OF SIZE IS GIVEN, 75% OF THE PLANTS SUPPLIED MUST MEET THE MAXIMUM RANGE SIZE, AND 25% OF THE PLANTS SUPPLIED SHALL BE THE MINIMUM RANGE SIZE SPECIFIED. THE PLANTS SUPPLIED MUST CONFORM TO ALL OF THE MINIMUM DIMENSIONS INDICATED. PLANTS OF LARGER SIZE MAY BE USED IF ACCEPTABLE TO THE ENGINEER AT NO ADDITIONAL COST AND IF SIZES OF CONTAINER OR ROOT BALLS, HEIGHT, AND SPREAD ARE INCREASED PROPORTIONATELY IN ACCORDANCE WITH ANSI Z60.1. ALL OTHER QUALITY REQUIREMENTS OF THE TREE MATERIAL MUST ALSO BE ADHERED.
- ALL TREES MUST BE NURSERY GROWN, BALL AND BURLAP (B&B) OR CONTAINER GROWN AS-SPECIFIED IN THE MATERIALS SCHEDULE. CONTAINER GROWN MATERIAL CAN BE SUBSTITUTED FOR B&B MATERIAL WITH WRITTEN APPROVAL BY THE D/B CONTRACTOR PRIOR TO INSTALLATION. ALL TREE MATERIALS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z-60.1, LATEST EDITION. ALL TREES SHALL COMPLY WITH ANSI Z-60.1 AND THE URBAN TREE FOUNDATION GUIDELINE FOR NURSERY TREE QUALITY, 2009 EDITION. ALL TREES SHALL BE HIGHEST QUALITY, FIRST CLASS REPRESENTATIVES OF THEIR SPECIES. SECONDS, CULLS, OR PARK GRADE MATERIAL WILL BE REJECTED.
- CALIPER SIZE IS NOT TO BE REDUCED. CALIPER MEASUREMENTS SHALL BE TAKEN IN ACCORDANCE WITH ANSI STANDARDS.
- ALL TREES MUST BE STRAIGHT TRUNK, HAVE A STRONG CENTRAL LEADER, FULL HEADED, AND MEET THE MINIMUM REQUIREMENTS. TREES WITH A "Y" SHAPE ARE NOT ACCEPTABLE. TREES THAT HAVE BEEN FRESHLY PRUNED TO MEET THESE SPECIFICATIONS SHALL BE REJECTED.
- THE TREES VEGETATIVE CANOPY SHOULD BE MOSTLY SYMMETRICAL AND FREE OF LARGE VOIDS OR FLAT SURFACE AREAS ON ONE SIDE.
- ALL STREET AND SHADE TREES SHALL HAVE A MINIMUM SIX FEET (6') CLEAR TRUNK UNLESS OTHERWISE NOTED ON PLANS OR PLANT LISTS.
- TREES MOVED DURING PERIODS OF HIGH TRANSPIRATION SHALL BE SPRAYED WITH AN ANTI-DESSICANT PRIOR TO MOVING. APPLY AND REMOVE ANTI-DESSICANTS AT THE MANUFACTURER'S RECOMMENDATIONS.
- TREES SHALL BE STAKED AND GUYED AS DETAILED AND SPECIFIED ONLY IF THE TREE CANNOT STAND ON ITS OWN AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. STAKE AND GUYED MATERIALS SHALL BE REMOVED BY THE LANDSCAPE SUBCONTRACTOR SIX (6) MONTHS AFTER FINAL ACCEPTANCE.
- ALL TREES ARE SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER AT ANY TIME PRIOR TO FINAL ACCEPTANCE. REJECTED PLANTS SHALL BE REPLACED IMMEDIATELY AT NO ADDITIONAL COST.
- THE LANDSCAPE SUBCONTRACTOR SHALL FIELD STAKE ALL TREES PRIOR TO INSTALLATION. THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL STAKED LOCATIONS PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO APPROVAL BY THE OWNER'S REPRESENTATIVE ARE SUBJECT TO REJECTION AND REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO COMMENCEMENT OF INSTALLATION, THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND SHALL AVOID DAMAGING UTILITIES DURING INSTALLATION. ANY UTILITIES DAMAGED DURING INSTALLATION SHALL BE REPAIRED BY THE LANDSCAPE SUBCONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY AND THE ENGINEER. ALL REPAIRS SHALL BE AT NO COST TO THE OWNER.
- NO TREES SHALL BE PLANTED WITHIN 10' OF SITE UTILITY LINES. TREE LOCATIONS PROPOSED WITHIN 10' SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO EXCAVATING. FIELD ADJUSTMENT OF TREE LOCATIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. PLANTS RELOCATED AND INSTALLED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT WILL BE REMOVED, REPLACED, AND RELOCATED AT NO ADDITIONAL COST.
- THE LANDSCAPE CONTRACTOR SHALL UTILIZE ON-SITE TOPSOIL AS AVAILABLE FROM THE EARTHWORK SUBCONTRACTOR. ALL TOPSOIL SHALL BE APPROVED BY THE ENGINEER.
- NO TREES SHALL BE INSTALLED IN POOR DRAINAGE CONDITIONS. LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR TESTING SUSPECT TREE PITS PRIOR TO TREE INSTALLATION. REFER TO THE LANDSCAPE SPECIFICATIONS FOR TREE PIT TESTING PROCEDURES.
- ALL TREES SHALL BE PLACED WITH THE BEST FACE FORWARD, TOWARDS THE STREET WHENEVER POSSIBLE.
- ALL TREES SHOULD BE PRUNED AS NECESSARY PRIOR TO INSTALLATION.
- PRE-EMERGENT HERBICIDES, TREFLAN, PREEN, OR APPROVED EQUAL, SHALL BE APPLIED TO ALL TREE PLANTING BEDS PRIOR TO MULCHING. APPLY AT MANUFACTURERS RECOMMENDATIONS. HERBICIDES SHALL BE INCORPORATED INTO THE SOIL AT THE RECOMMENDATION OF THE MANUFACTURER.
- APPLY ORGANIC ROOT STIMULATOR, CONTINUING MYCORRHIZAE, TO ALL TREES PRIOR TO BACKFILLING. APPLY AT MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO SUBMIT SAMPLES OF ROOT STIMULATOR TO THE ENGINEER FOR APPROVAL PRIOR TO USE.
- THE LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE PLANT INSTALLATIONS UNTIL ACCEPTED BY THE OWNER. MAINTENANCE SHALL INCLUDE RE-MULCHING, WATERING, APPLICATIONS OF HERBICIDES, FUNGICIDES, INSECTICIDES AND PESTICIDES AS NECESSARY. MAINTENANCE SHALL INCLUDE ALL TREES, SEEDED AREAS AND SOD.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL TREES SHALL BE IN A HEALTHY AND THRIVING CONDITION ACCORDING TO THE NATURAL GROWTH HABITS OF THE INDIVIDUAL SPECIES AT THE TIME OF THE PROJECT COMPLETION.

GENERAL LANDSCAPE AND SEEDING NOTES:

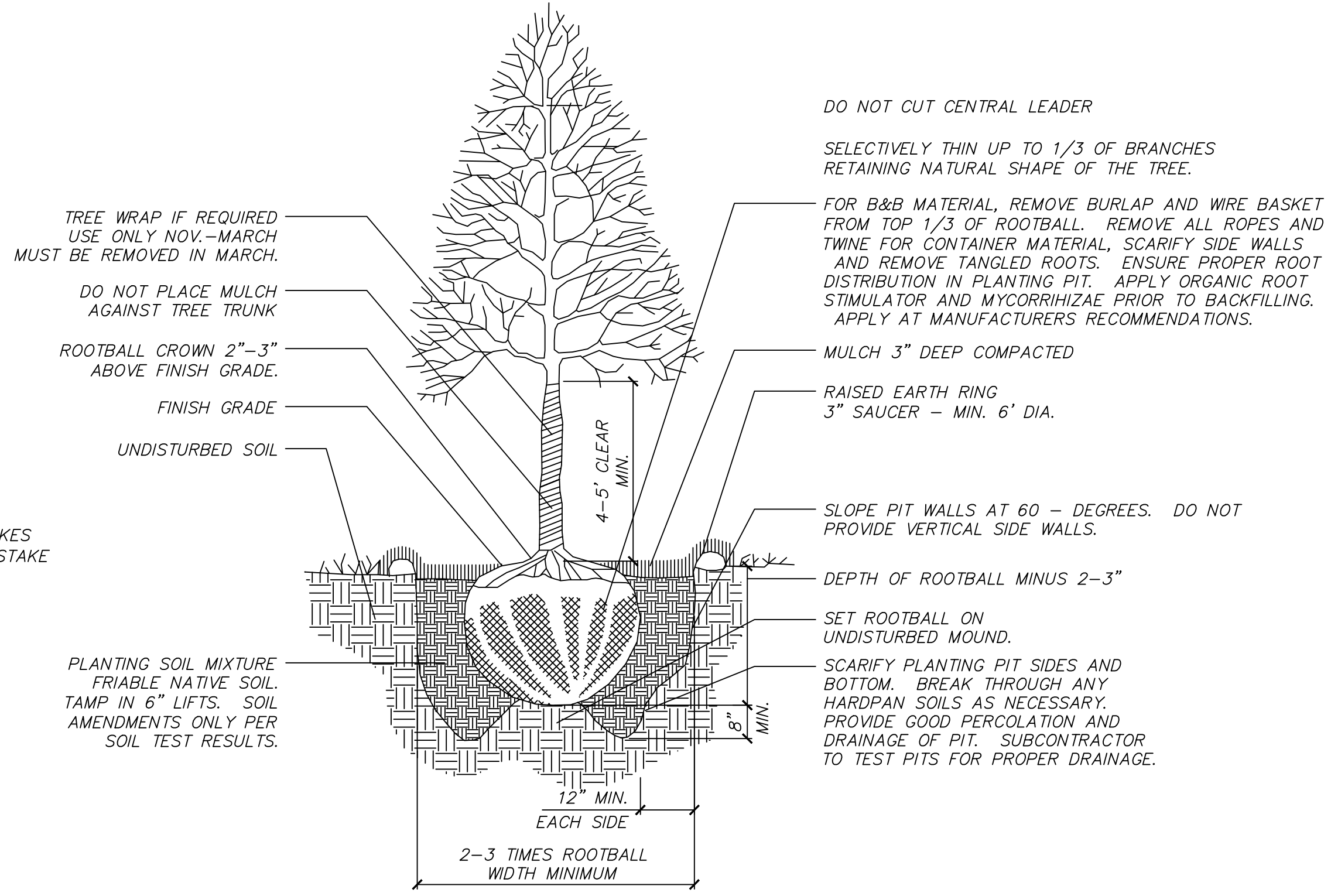
- SCARIFY, LOOSEN, FLOAT AND DRAG THE UPPER FOUR INCHES (4") OF SOIL TO BRING IT TO PROPER CONDITION AND GRADE PRIOR TO SEEDING / SODDING. REMOVE STONES LARGER THAN ONE INCH (1"), STICKS, ROOTS, RUBBISH, ETC. FINISHED GRADE SHALL BE LOOSE AND FREE DRAINING PRIOR TO SEEDING / SODDING.
- STRIP EXISTING GRASS AND WEEDS, INCLUDING ROOTS, PRIOR TO SEEDING. APPLY HERBICIDES AS NECESSARY TO SPOT TREAT UNWANTED SPECIES.
- INSTALL SEED PER THE WRITTEN SPECIFICATIONS. LANDSCAPE SUBCONTRACTOR MUST ADJUST APPLICATION RATES TO PURE LIVE SEED RATES AS INDICATED.
- ALL SEEDED AREAS MUST BE MAINTAINED BY THE LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE DESIGN BUILD CONTRACTOR.



3	PLANTING BED DETAIL
C505	NOT TO SCALE



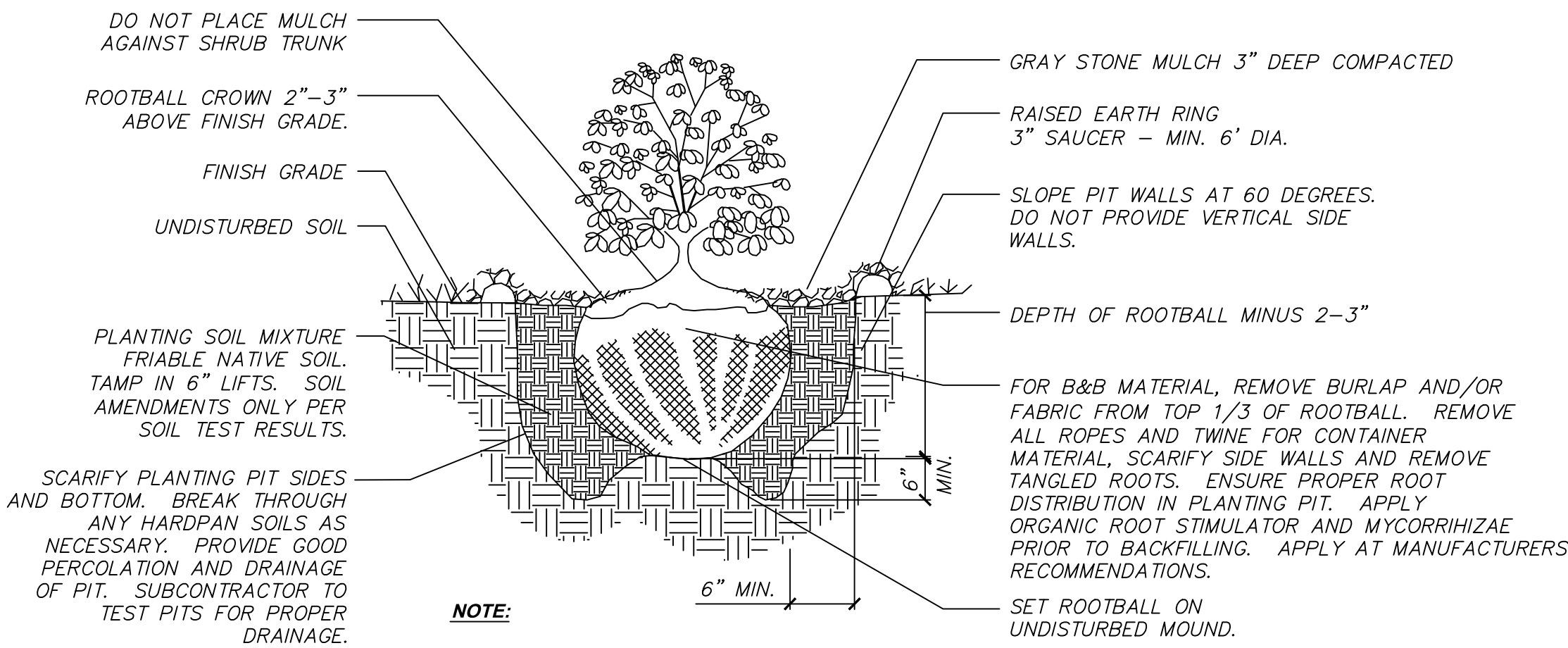
1	TREE STAKING DETAIL
C505	NOT TO SCALE



NOTE:

- ALL TREES SHALL BE PER ANSI STANDARDS CRACKED OR MUSHROOMED ROOTBALLS WILL BE REJECTED.
- EARTH RINGS NOT REQUIRED WHEN LOCATED IN A PLANTING BED.

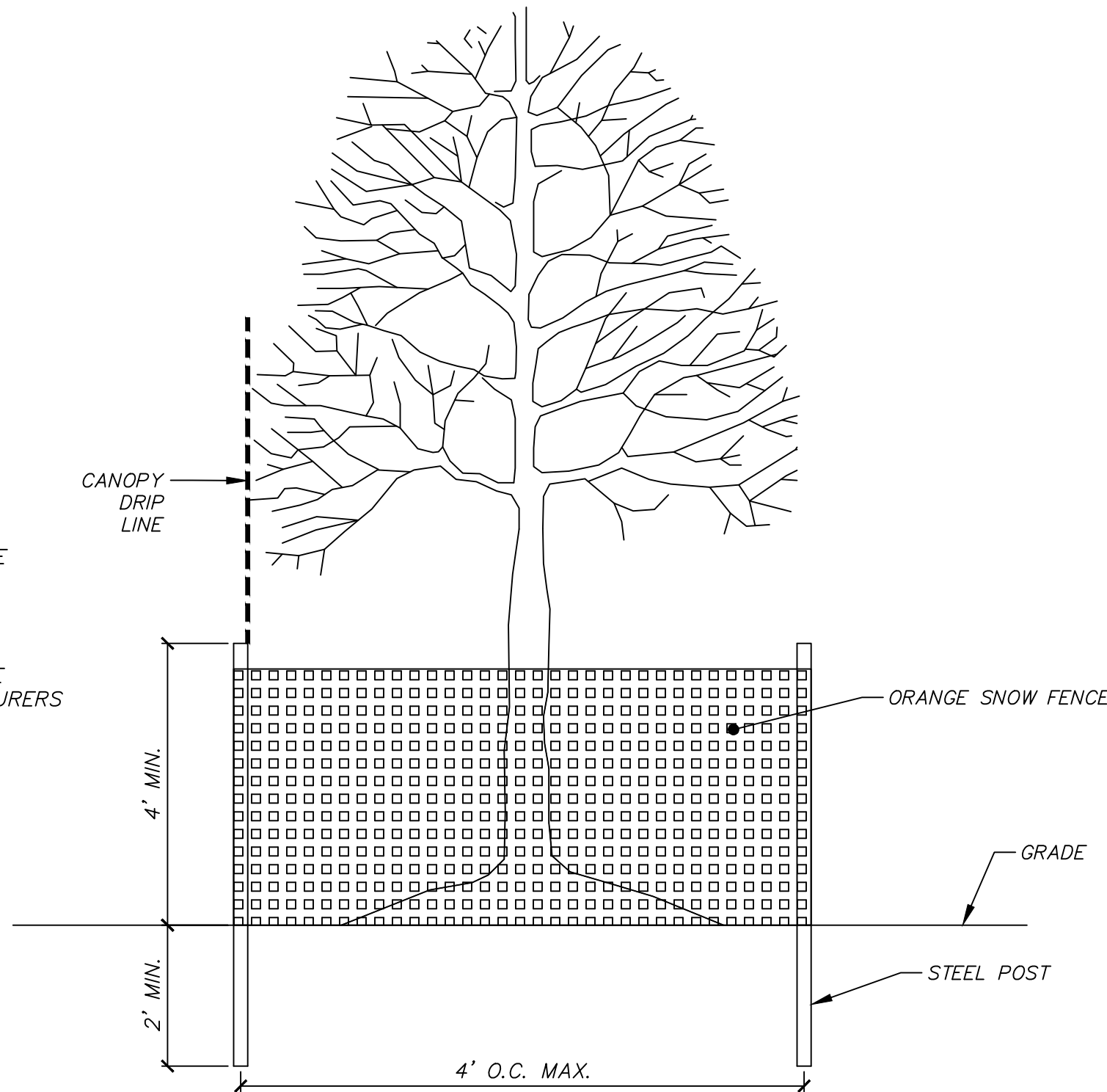
2	TREE PLANTING DETAIL
C505	NOT TO SCALE



NOTE:

- EARTH RINGS NOT REQUIRED WHEN LOCATED IN A PLANTING BED.

4	SHRUB PLANTING DETAIL
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5	TREE PROTECTION DETAIL
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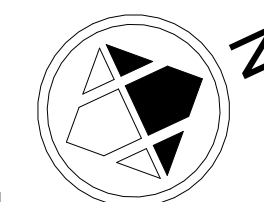
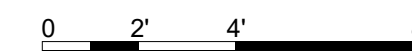
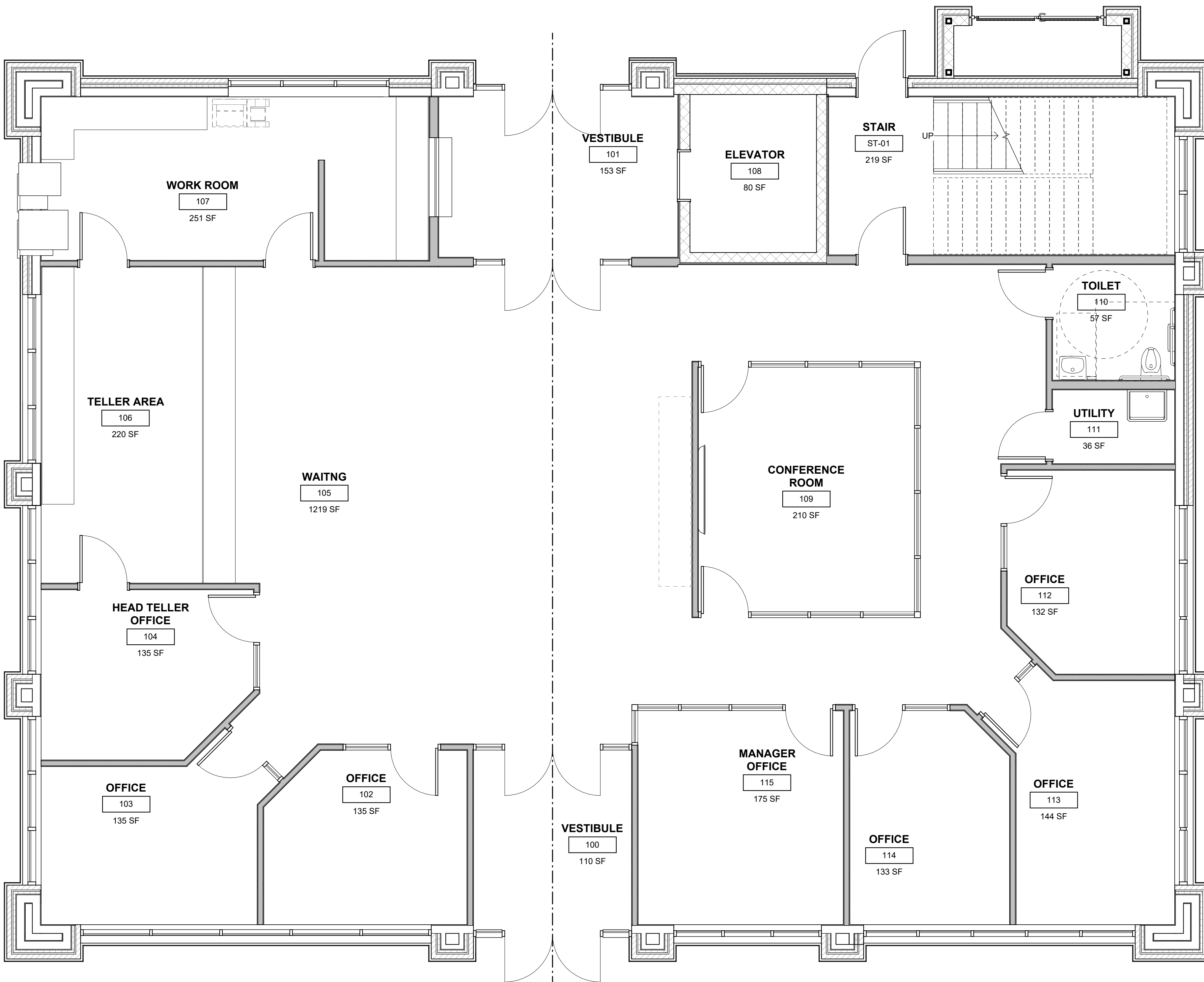
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SEAL:
PROJECT NO: 2025 - 066
SCALE: AS NOTED
DRAWN BY: RAAMJC
DESIGNED BY: MJC
CHECKED BY: MJC
DATE ISSUED: 08-12-2025

DETAILS
CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH
400 WASHINGTON STREET
CITY OF WATERTOWN, JEFFERSON COUNT, STATE OF NEW YORK

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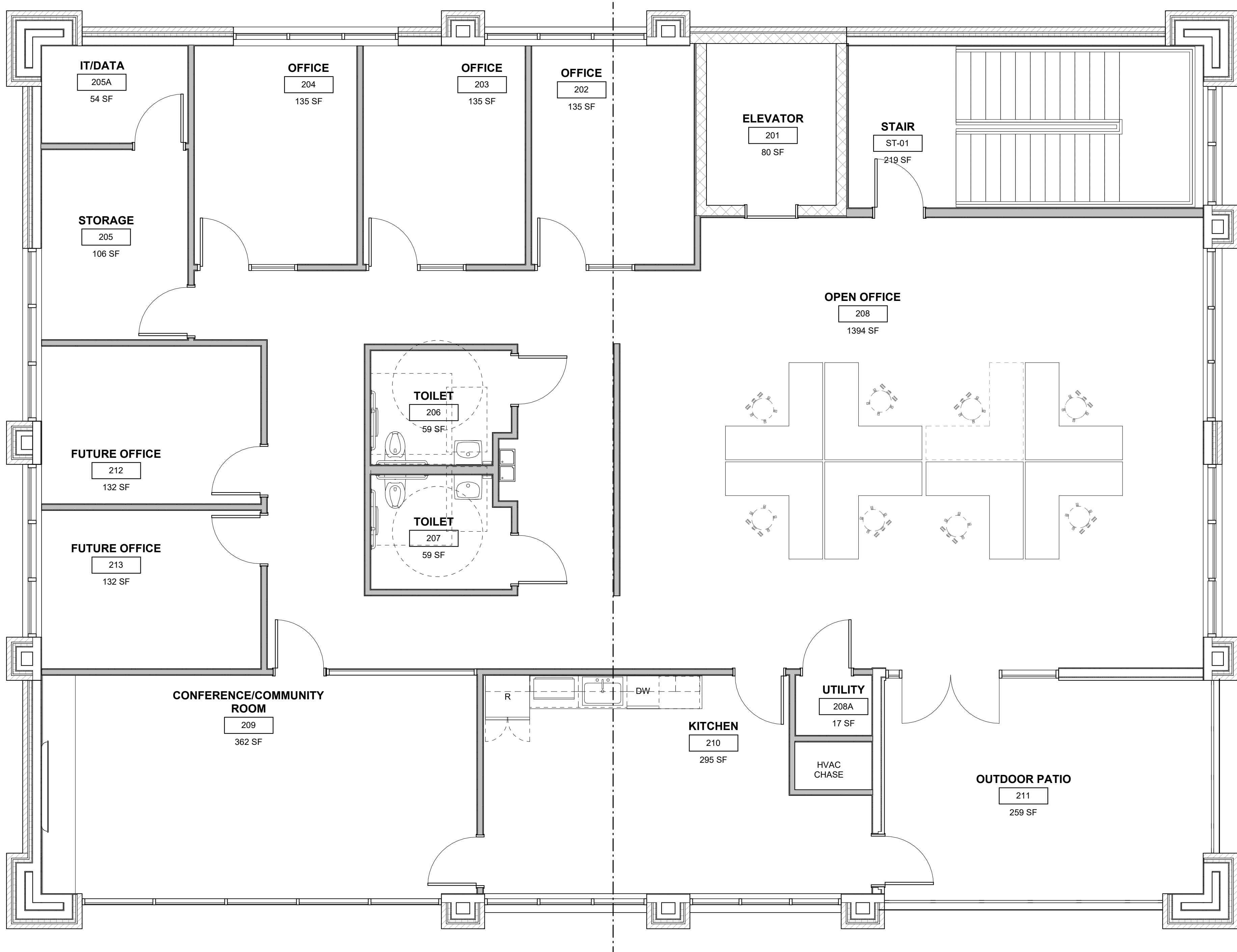
FIRST FLOOR PLAN

08/07/2025

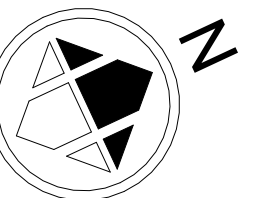
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HDG #: 2517





0 2' 4' 8'



SECOND FLOOR - CONCEPTUAL

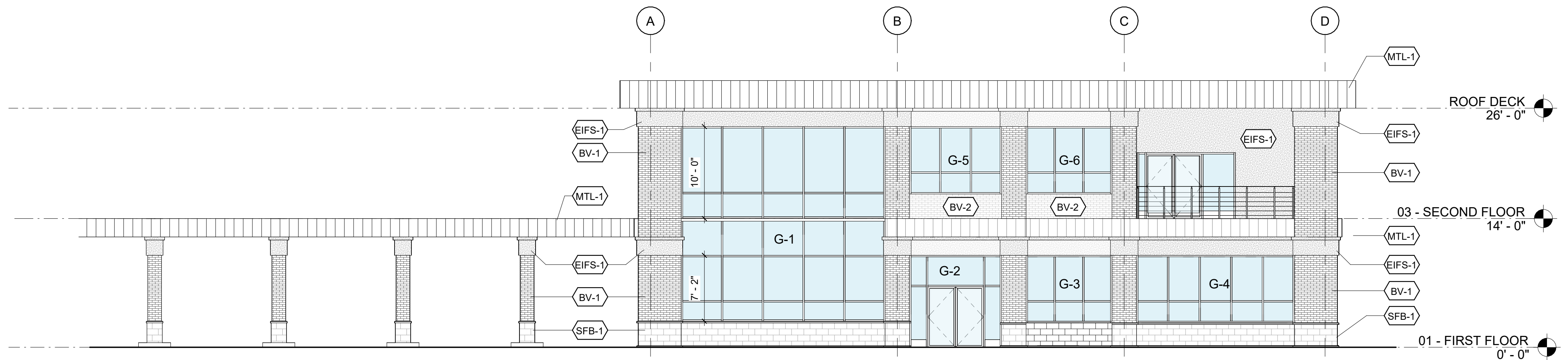
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CARTHAGE SAVINGS BANK

HDG #: 2517



EXTERIOR ELEVATION - SOUTH AT WASHINGTON ST

SCALE: 1/8" = 1'-0"

GLAZING SCHEDULE

FRONT ELEVATION AT WASHINGTON ST

GROUND FLOOR

GLAZING	SIZE	SF
G-1 (1)	7'-2" X 22'-2"	159
G-2	10'-0" X 10'-0"	100
G-3	9'-2" X 7'-2"	67
G-4	17'-2" X 7'-2"	123

GROUND FLOOR GLAZING AREA **449**

GROUND FLOOR TOTAL FACADE AREA (14'-0" X 76'-0") 1,064

40% = **426 SF** MIN OF TRANSPARENCY REQD.

UPPER FLOOR

GLAZING	SIZE	SF
G-1 (2)	10'-0" X 22'-2"	221
G-5	10'-0" X 7'-2"	73
G-6	9'-2" X 7'-2"	67
BALCONY	17'-2" X 10'-0"	206

UPPER FLOOR GLAZING AREA **567**

UPPER FLOOR TOTAL FACADE AREA (15'-0" X 76'-0") 1,140

30% = **342 SF** MIN OF TRANSPARENCY REQUIRED

SIDE ELEVATION AT MULLIN ST

GROUND FLOOR

GLAZING	SIZE	SF
G-8	10'-8" X 7'-2"	78
G-9	10'-8" X 7'-2"	78
G-10	7'-4" X 7'-2"	48

GROUND FLOOR GLAZING AREA **204**

GROUND FLOOR TOTAL FACADE AREA (14'-0" X 56'-8") 794

25% = **198 SF** MIN OF TRANSPARENCY REQUIRED

UPPER FLOOR

GLAZING	SIZE	SF
G-11	10'-8" X 7'-4"	78
G-12	10'-8" X 7'-4"	78
G-13	7'-4" X 7'-4"	53
BALCONY	10'-8" X 12'-0"	128

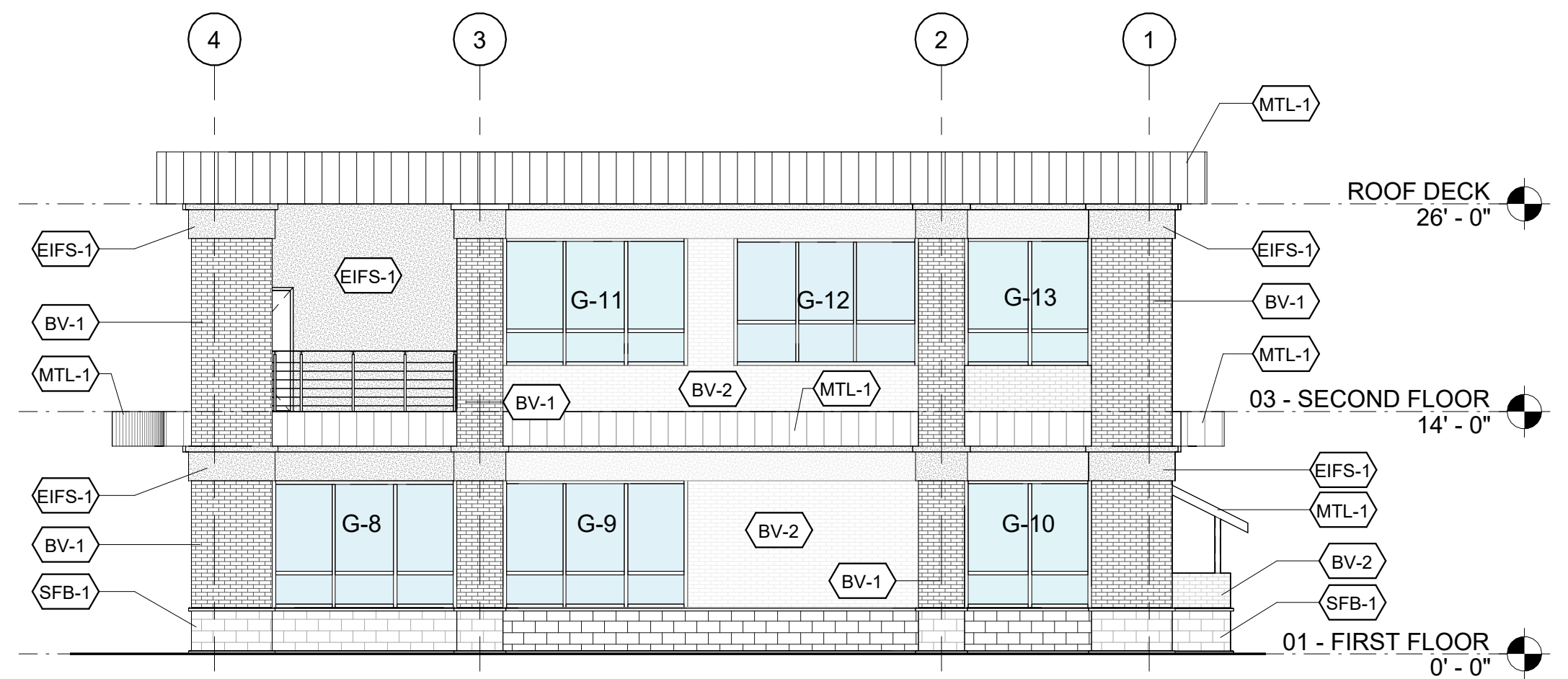
UPPER FLOOR GLAZING AREA **337**

UPPER FLOOR TOTAL FACADE AREA (15'-0" X 56'-8") 850

30% = **255 SF** MIN OF TRANSPARENCY REQUIRED

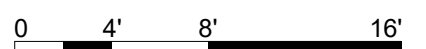
FINISH LEGEND

MTL-1	METAL SIDING PANELS
EIFS-1	EXTERIOR INSULATION FINISH SYSTEM
BV-1	BRICK VENEER - RED
BV-2	BRICK VENEER - TAN
SFB-1	SPLIT FACE BLOCK VENEER



EXTERIOR ELEVATION - EAST AT MULLIN ST

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATIONS

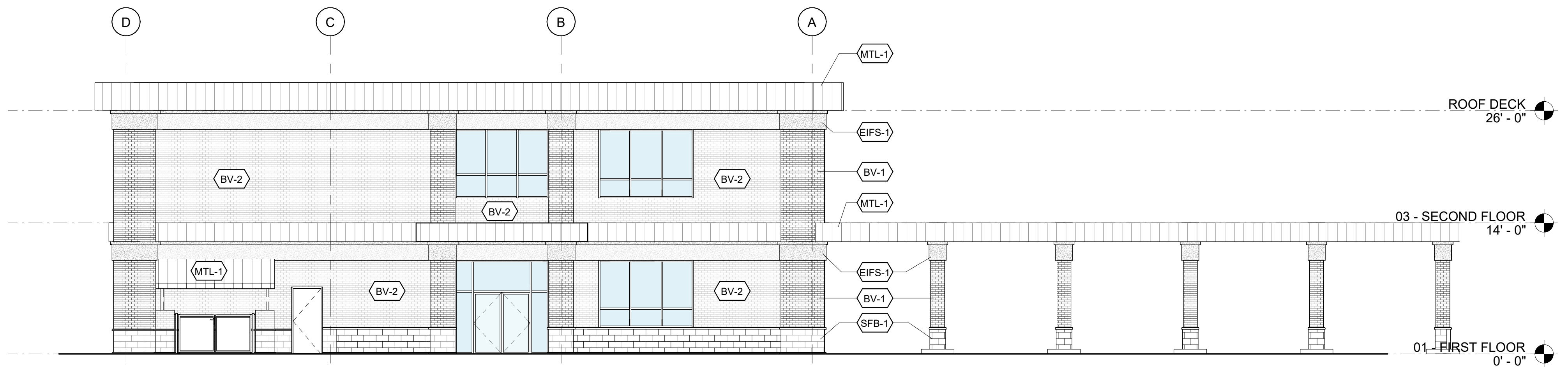
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CARTHAGE SAVINGS BANK

HDG #: 2517

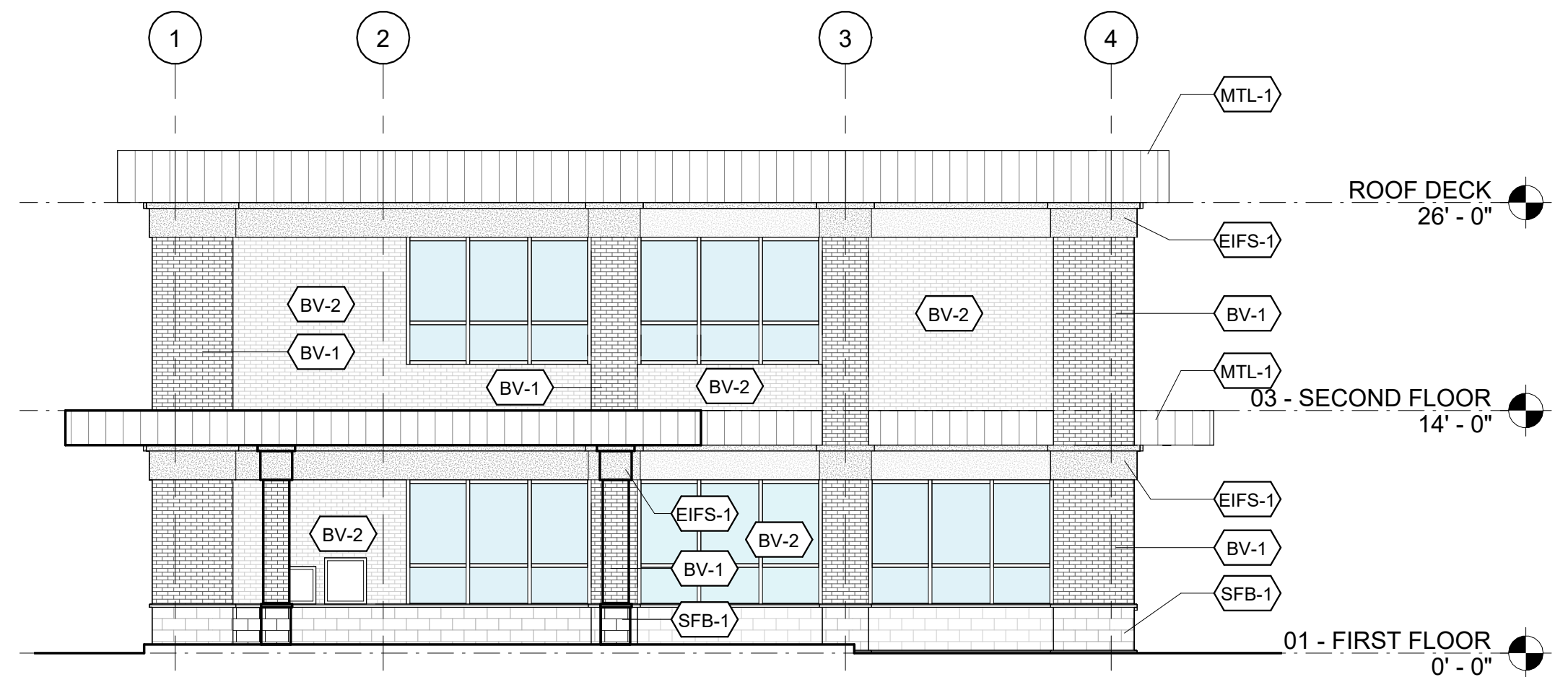


EXTERIOR ELEVATION - NORTH

SCALE: 1/8" = 1'-0"

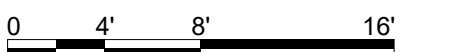
FINISH LEGEND

MTL-1	METAL SIDING PANELS
EIFS-1	EXTERIOR INSULATION FINISH SYSTEM
BV-1	BRICK VENEER - RED
BV-2	BRICK VENEER - TAN
SFB-1	SPLIT FACE BLOCK VENEER



EXTERIOR ELEVATION - WEST

SCALE: 1/8" = 1'-0"



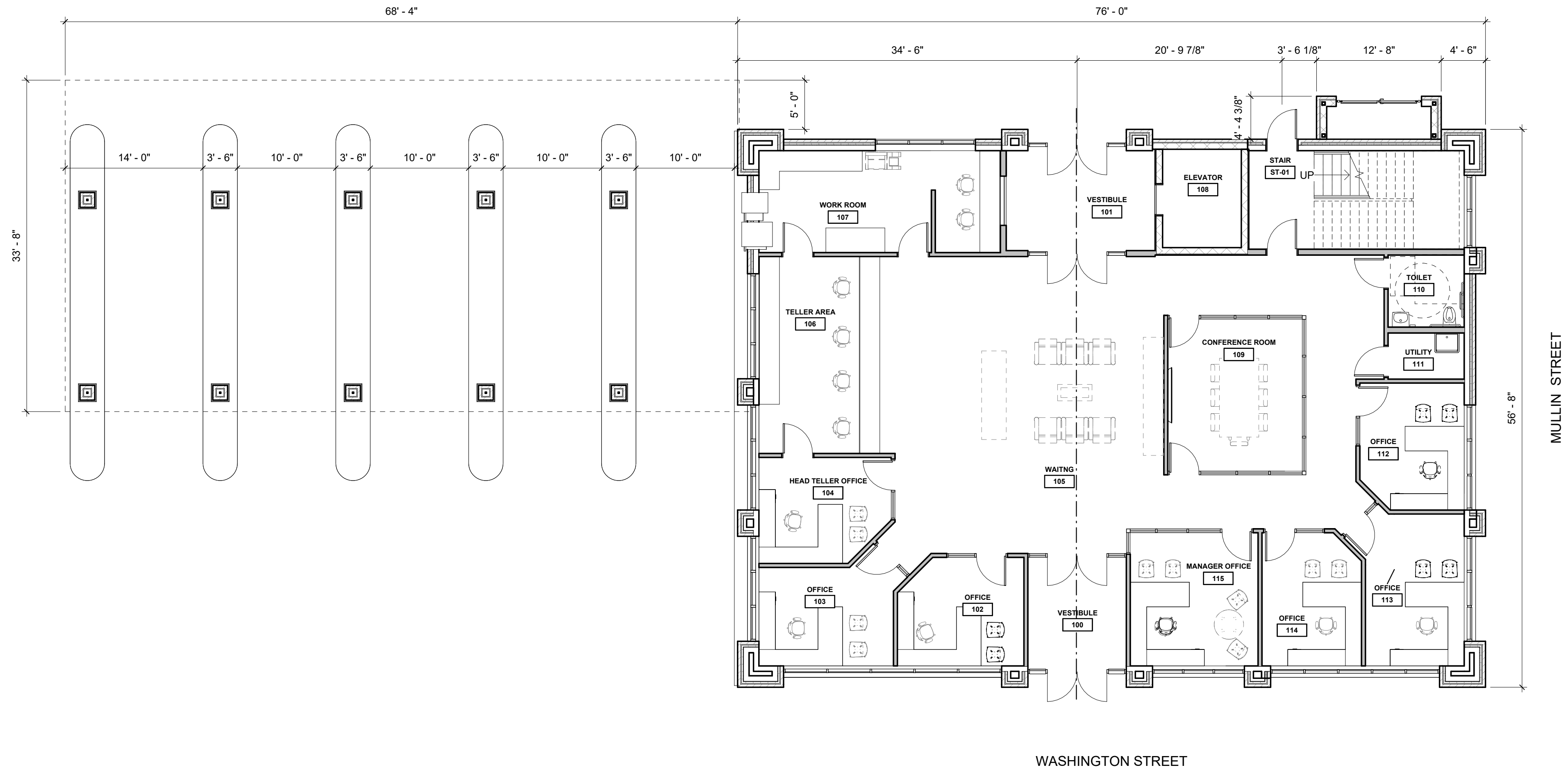
EXTERIOR ELEVATIONS

08/07/2025



CARTHAGE SAVINGS BANK - WATERTOWN NY

CARTHAGE SAVINGS BANK
HDG #: 2517

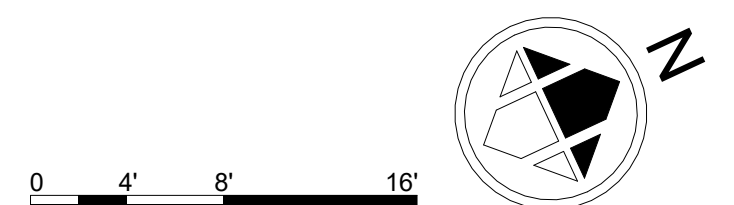


OVERALL FLOOR PLAN

08/07/2025

CARTHAGE SAVINGS BANK - WATERTOWN NY

CARTHAGE SAVINGS BANK
HDG #: 2517



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CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH

400 WASHINGTON STREET
CITY OF WATERTOWN
JEFFERSON COUNTY

ENGINEERING REPORT

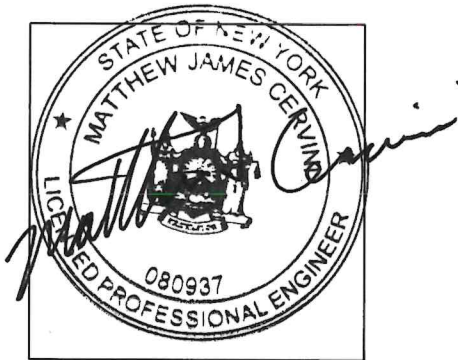
Job # 2025-066
Date: 08-12-2025

CARTHAGE SAVINGS AND LOAN NEW WATERTOWN BRANCH

PREPARED FOR:

CARTHAGE SAVINGS AND LOAN
313 STATE STREET
CARTHAGE NY 13619
CONTACT PERSON:
MR. DALE KLOCK
PH#: (315)-493-3480
EMAIL: DKLOCK@CARTHAGESAVINGS.COM

400 WASHINGTON STREET
CITY OF WATERTOWN
JEFFERSON COUNTY



MATTHEW J CERVINI, P.E.
MANAGING ENGINEER

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ENGINEERING REPORT

Job # 2025-066
Date: 08-12-2025



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Watertown, New York 13601
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	Appendix B – Stormwater Calculations	
	Stormwater Quality Calculations	
	Stormwater Quantity Calculations	
	Appendix C - Traffic Impacts	
	ITE Trip Generation	

1.0 PROJECT DESCRIPTION AND LOCATION

Carthage Savings and Loan is proposing to construct a new +/- 8600 square foot two story new bank office on their existing property located at 400 Washington Street in the City of Watertown. The project will also include construction of a new asphalt parking lot which will accommodate 20 parking spaces, including 1 ADA Accessible parking space, 4 bicycle parking spaces, 4 drive-through lanes for the bank, new stormwater management area, security lighting, as well as other related site improvements.

The existing property is located at tax parcel number 10-15-120.100 (400 Washington Street). The property currently has a vacant +/- 2800 square foot single-story bank building and a 5-lane bank drive through lanes. This building is planned to be demolished to accommodate the new facility. The existing parking lot currently has 36 parking spaces, including 1 ADA accessible parking space.

The parking lot on the site is currently shared with 121 Mullin St., which uses the 8 parking spaces along the western edge of the site. This arrangement is not intended to change as a result of the project. Additionally, an access agreement (Jefferson County Instrument Number 2017-00018384) currently exists between the Victims Assistance Center (418 Washington Street) and the owner to allow the Victims Assistance Center access to Mullin Street by traveling across the subject parcel. This agreement is intended to be terminated as part of the project 8 parking spaces. An access agreement currently exists between the owner and 418 Washington St. property allowing access to the property. This agreement due to traffic flow concerns. Refer to Existing Conditions Plan C101 in Appendix A for further information on existing site features.

The property is located within the Urban Mixed Use District of the City of Watertown Zoning. The new facility and drive through is an allowed use for Urban Mixed Use District.

2.0 EXISTING AND PROPOSED SANITARY SEWER FACILITIES

2.1 Existing Sanitary Facilities

The City of Watertown sanitary system on Mullin Street consists of a 10-inch clay tile pipe that runs in the eastbound travel lane. Additionally, a sanitary line that serves the Victims Assistance Center on 418 Washington Street runs down the middle of the existing parking lot. The existing catch basin on site is believed to be connected to the sewer main on Mullin Street.

2.2 Proposed Sanitary Facility

The NYS DEC guidelines for intermediate sized wastewater treatment systems recommends using a value of 15 gallons per day (gpd) for each employee to estimate sanitary sewer flows. Based on the maximum occupational load of the building of 49 persons, the estimated sanitary sewer production for the facility is 735 gallons per day.

The Proposed Bank Office Building is proposed to utilize a new sanitary sewer gravity lateral that will connect to the first manhole on Mullin Street. The existing sewer lateral will be located during construction and capped. Refer to drawing C105; Utility Plan.

3.0 EXISTING AND PROPOSED WATER FACILITIES

3.1 Existing Water Facilities

The City of Watertown water distribution system on Mullin Street consists of an 8-inch cast iron pipe that runs down the Westbound travel lane. The existing building on site is believed to be connected to the Mullin Street water main.

3.2 Proposed Water facilities

The NYS Department of Environmental Conservation (DEC) guidelines advise to assume water demands are equal to sewage usage. As described in Section 2.2, the estimated water consumption rate would be 735 gallons per day.

In addition, a sprinkler system is proposed for the building which will require upsizing the water service to the property. A new 4" HDPE water service is proposed to connect to the existing water main on Mullin Street. Domestic water will tap off the new 4" water service inside the building. The existing water lateral will be located during construction and capped. Refer to drawing C105; Utility Plan.

4.0 HYDROLOGIC AND HYDRAULIC ANALYSES

4.1 Existing Drainage

Currently the runoff from the 400 Washington Street property runs from the Southeast corner of the site to the Northwest corner where it enters a catch basin in the parking lot. Runoff that doesn't get collected by the catch basin, goes onto Mullin and Washington Street.

The majority of the 400 Washington Street property is covered in impervious area, being the parking lot and the +/- 2800 SF building. Some lawn and vegetated areas exist along the outside edge of the property except for the south-western edge of the property which is part of the parking lot. The southern and south-eastern portions of the property have some trees. The high point of the site is located on the south-eastern edge of the property. Water on the property sheet flows from this high point to the western edge of the property. Water is then conveyed to the next property over or to the catch basin in the north-western edge of the parking lot which is believed to be connected to the sewer main on Mullin Street. A portion of the water from the building sheet flows over the parking lot to the catch basin onsite and the other sheet flows to the catch basin in the intersection of Mullin Street and Washington Street. Offsite water from the neighboring property to the south sheet flows across the southwest corner of the site and flows offsite to the neighboring property, to the west.

4.2 Proposed Drainage

Because the proposed project will disturb less than 1 acre, a SWPPP is not required and will not be prepared. Consistent with City of Watertown requirements, the project will address stormwater quality and quantity requirements in accordance with NYSDEC SPDES Permit requirements.

The New York State Stormwater Design Manual classifies this project as a redevelopment with no increase in impervious area.

Proposed drainage for the site consists of a new catch basin, HDPE Stormwater gravity pipes and an infiltration bioretention area.

A new catch basin is proposed near the north-western portion of the project site to collect and convey stormwater to the old catch basin on the site which goes to the municipal combined sewer system along Mullin Street. To minimize the volume of stormwater that is conveyed to the municipal combined sewer system, roof drains for the new bank building are proposed to be connected to the storm system on Washington Street. Additionally, the use of infiltration practices on site are proposed to meet water quality requirements and minimize runoff to the combined sewer. An infiltration bioretention area is proposed to be in the southwest corner of the site and treat the storm runoff from the proposed drive lanes of the site. Per 6.4.3 of the 2024 NYS Stormwater Manual the use of a forebay will be utilized as pretreatment for the infiltration bioretention area. Excess stormwater that cannot be infiltrated will be conveyed to the proposed catch basin on site and flow to the combined sewer. The rest of the onsite stormwater will sheet flow offsite following existing flow paths.

Erosion and sediment impact on surrounding sites will be minimized through the proper implementation and maintenance of Best Management Practices (BMP's) during and after construction.

For more information, see the Proposed Drainage Area Map in Appendix A.

4.3 Proposed Storm Water Quantity Management

As stated above, the project is classified as a redevelopment project with reduction of impervious cover. Overall impervious cover on site will be reduced by +/- 3,550 SF which should result in a reduction of the peak runoff for the 1-yr, 10-yr, and 100-yr storm events. As a result, the peak flow rates were not calculated.

4.4 Proposed Storm Water Quality Management

The project involves redevelopment of existing impervious areas only, therefore the stormwater management objective is to provide water quality treatment or area reduction for 25% of the total disturbed existing impervious area. Per the NYS Stormwater Design manual, Runoff Reduction Volume (RRv) criteria do not apply for redevelopment projects. This 25% Water Quality Treatment goal will be accomplished through an infiltration bioretention area. In addition to treating on site stormwater, some stormwater from the Victims Assistance Center flows into the practice and will be captured by the infiltration practice. This additional volume has been accounted for in the size of the practice. A summary of the table of the WQv for the site is below.

Required Water Quality Treatment Volume			
Area	Impervious Area (ac)	WQv (cf)	Required WQv (cf) WQv* 0.25
Onsite Stormwater	0.55	1940	485

Infiltration Bioretention Water Quality Volume Sizing			
Drainage Area	Contributing Area (ac)	Impervious Area (ac)	Required Filter Area (sf)
DB 2	0.35	0.24	353
DB 3 (Offsite Stormwater)	0.58	0.32	476
		Total	829

Infiltration Bioretention Water Quality Volume Treatment					
Drainage Area	Contributing Area (ac)	Impervious Area (ac)	Required Filter Area (sf)	Provided Filter Area (sf)	Provided WQv (cf)
DB 2	0.35	0.24	350	868	829

The required amount of WQv to be treated for this redevelopment project is 475 cf as indicated in the required water treatment table above. The infiltration bioretention area had to be sized to contain offsite stormwater from the Victim's Assistance Center (DB 3) and a portion of the redeveloped parking lot (DB2). This requires the infiltration bioretention area to have a filter area of 868 square feet and provides 829 cf of WQv.

Preliminary design of the infiltration bioretention area used the minimum infiltration rate of 0.5"/hr. Two infiltration tests outside are proposed adjacent to the proposed infiltration bioretention area, to determine the infiltration rate of onsite soils and suitability if the stormwater practice. For storm water quality calculations, refer to Appendix B.

5.0 **TRAFFIC IMPACTS**

According to the ITE Trip Generation Rates – 8th edition, the traffic for the proposed bank can be estimated with the "Drive-in Bank" usage. The table below shows how the peak hour of traffic was calculated. For more information on this, see the ITE trip generation sheet in Appendix C.

ITE TRIP GENERATION RATES				
Usage	Units	Expected Units	Peak Hour	Cumulative Total
Drive-in Bank (912)	Drive-in Lanes	4	110	557
Drive-in Bank (912)	KSF	8.6	222	1,274

Since second story of the new bank addition will be used primarily for office space rather than serving customers, the drive-in bank usage with KSF did not seem feasible and was excluded.

Based on a traffic survey conducted by the bank at the Carthage Savings Bank on Court Street in Watertown, the average number of customers travelling to the bank by car was 193 per day. This location had a total of 2 drive-through lanes. Assuming the increase in traffic will be proportional to the number of drive-through lanes at the existing Carthage

Savings bank, and factoring in 10 percent for an expected increase in traffic due to the new development, this brings the total number of expected trips per day at 460.

Based on the ITE trip generation rates and traffic counts, the New Bank Branch will have an expected peak hour around 110 and expected Total General Trips from 460-557 trips per day are expected to range from.

Note that previously the existing bank had a total of five drive lanes. This means that the proposed Bank Branch would result in a decrease in the previous traffic based on ITE trip generation rates.

Significant impacts to traffic are not anticipated as a result of this development.

6.0 LIGHTING AND LANDSCAPING

6.1 Lighting

Lighting for the site will be provided by building mounted LED fixtures along the perimeter of the proposed building and proposed parking lot. Light fixtures have been selected to meet City of Watertown Lighting standards. Refer to the Utility Plan and Photometrics Plan in Appendix A for additional information.

6.2 Landscaping

Any space in the project site that was not utilized as part of the building or driveway was reclaimed as green space or landscaping areas. Landscaping is proposed along the property lines facing Mullin and Factory Street. An infiltration bioretention area is proposed along the back of the property. Species selected for the proposed infiltration bioretention will need to meet NYSDEC requirements to achieve the necessary stormwater treatment capabilities. Landscaping will be consistent with City of Watertown zoning requirements. Refer to the Landscaping Plan in Appendix A for further information on planting species and locations.

7.0 SUMMARY

The proposed Carthage Savings and Loan, new Watertown Branch and associated site improvements are not anticipated to have an adverse effect on the environment. Existing City of Watertown water and sewer infrastructure will be used to service the site. Storm water runoff generated from the new redevelopment will be less than pre-existing levels. The new development will help the Carthage Savings Bank better serve clients and customers throughout their service area.



Matthew J. Cervini, P.E.
Managing Engineer



Ryan Aubertine
Design Engineer

APPENDIX A: **PLANS**

APPENDIX B:
STORM WATER CALCULATIONS

Step 2 - Calculate Water Quality Volume

Is this project subject to Section 4.3 of the NYS Design Manual for Enhanced Phosphorus Removal?							No
What is the nature of this construction project?							Redevelopment with no increase in impervious area
Design Point:							
P=	1.00	inches	Enter 90% Rainfall Event as P				
Calculate Required WQv							
Drainage Area Number	Contributing Area (Acres)	Impervious Area (Acres)	Percent Impervious %	Rv	WQv (cf)	SMP Description	
1	0.79	0.55	70	0.68	1,940		
2						Infiltration Bioretention	
3							
4							
5							
6							
7							
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25							
26							
27							
28							
29							
30							
Total	0.79	0.55	70	0.68	1940	Required WQv	

Infiltration Bioretention (F-4)

Design Point:							
Enter Site Data For Drainage Area to be Treated by Practice							
Drainage Area Number	Contributing Area (Acres)	Impervious Area (Acres)	Percent Impervious %	Rv	WQv (cf)	Precipitation (in)	Description
3	0.54	0.32	59	0.58	1,143	1.00	0
Design Criteria							
Enter underlying soil infiltration rate (based on geotechnical testing, refer to Appendix D)			0.5				
Is the contributing area to the practice an "Infiltration Restricted" stormwater hotspot?			No				
Is the contributing area to the practice an "Infiltration Prohibited" stormwater hotspot?			No				
Is contributing area greater than max. contributing area?			No				
Enter depth to seasonal high water table (ft)			2				
Enter depth to bedrock (ft)			6.5				
Is pretreatment provided, in conformance with Section 6.4.3.1			No	Does not meet design criteria			
Enter average height of ponding (ft)			0.5				
Enter depth of surface layer (inches)			3				
Enter depth of filter media (ft)			2.5				
Enter depth of drainage layer (inches)			6				
Enter slope of maintenance access (%)			2				
Enter width of maintenance access (ft)			12				
Sizing Criteria							
			Value	Units	Notes		
Permeability Flow Rate			k	1	ft/day		
Filter Time			tf	2	days		
Required Filter Area			Af	476	sf		
Enter Provided Filter Area			Af	868	sf		
Calculate Runoff Reduction							
RRv Provided		0	cf				

Infiltration Bioretention (F-4)

Design Point:							
Enter Site Data For Drainage Area to be Treated by Practice							
Drainage Area Number	Contributing Area (Acres)	Impervious Area (Acres)	Percent Impervious %	Rv	WQv (cf)	Precipitation (in)	Description
2	0.35	0.24	69	0.67	848	1.00	Infiltration Bioretention
Design Criteria							
Enter underlying soil infiltration rate (based on geotechnical testing, refer to Appendix D)			0.5				
Is the contributing area to the practice an "Infiltration Restricted" stormwater hotspot?			No				
Is the contributing area to the practice an "Infiltration Prohibited" stormwater hotspot?			No				
Is contributing area greater than max. contributing area?			No				
Enter depth to seasonal high water table (ft)			2				
Enter depth to bedrock (ft)			6.5				
Is pretreatment provided, in conformance with Section 6.4.3.1			Yes				
Enter average height of ponding (ft)			0.5				
Enter depth of surface layer (inches)			3				
Enter depth of filter media (ft)			2.5				
Enter depth of drainage layer (inches)			6				
Enter slope of maintenance access (%)			2				
Enter width of maintenance access (ft)			12				
Sizing Criteria							
			Value	Units	Notes		
Permeability Flow Rate			k	1	ft/day		
Filter Time			tf	2	days		
Required Filter Area			Af	353	sf		
Enter Provided Filter Area			Af	868	sf		
Calculate Runoff Reduction							
RRv Provided		848	cf				

APPENDIX C:
TRAFFIC IMPACTS

12-Aug-25	ITE Trip Generation Rates - 8th Edition										Pass-by rates from ITE Trip Generation Handbook - 2nd Edition										Instructions: Enter Expected Unit Volumes into Column 'M'									
Description/ITE Code		Units	ITE Vehicle Trip Generation Rates								Expected Units	Total Generated Trips			Total Distribution of Generated Trips															
			(peak hours are for peak hour of adjacent street traffic unless highlighted)									Daily	AM Hour	PM Hour	AM In	AM Out	Pass-By	PM In	PM Out	Pass-By										
Drive-in Bank 912		Drive-in Lanes	139.25	9.44	27.41	47%	58%	42%	49%	51%	4.0	557	38	110	12	8	18	28	30	52										
Drive-in Bank 912		KSF ²	148.15	12.35	25.82	47%	56%	44%	50%	50%	8.6	1,274	106	222	32	25	50	59	59	104										