



CITY OF WATERTOWN, NEW YORK
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT

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MICHAEL A. LUMBIS
PLANNING AND COMMUNITY
DEVELOPMENT DIRECTOR

October 27, 2022

To: Planning Board Members
From: Michael A. Lumbis, Planning and Community Development Director
Subject: Preliminary Site Plan Discussion – Taco Bell

Stephanie Albright of APD Engineering on behalf of Hospitality Syracuse, Inc has requested a preliminary site plan discussion with the Planning Board to discuss the three site plan options for the proposed Taco Bell on the corner of State Street and Winthrop Street.

The site plans were received by the Planning Department on Thursday, October 27, 2022 just prior to the Planning Board agenda packets being sent out. Staff plans to prepare comments on the submitted options and will share during the Planning Board meeting on Tuesday, November 1, 2022.

cc: City Council Members
Michael Delaney, City Engineer
Stephanie Albright, APD Engineering, 615 Fishers Run, Victor, NY 14564
Mike McCracken, Hospitality Syracuse, Inc., 290 Elwood Davis Rd, Suite 320, Liverpool, NY 13088



AS REQUIRED BY NEW YORK STATE LAW, CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" (UFPO) @ 1-800-942-7962 FOR LOCATION STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL WORKING DAYS PRIOR TO ANY EXCAVATION.

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Revisions:	Date:
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Seal Seal
 CIVIL ENGINEER OF RECORD
 Name: Stephanie L. Albright
 New York License No.: 087051
 Exp. Date: December 31, 2023
 Firm Reg. No.: 0014815
 Exp. Date: December 31, 2023

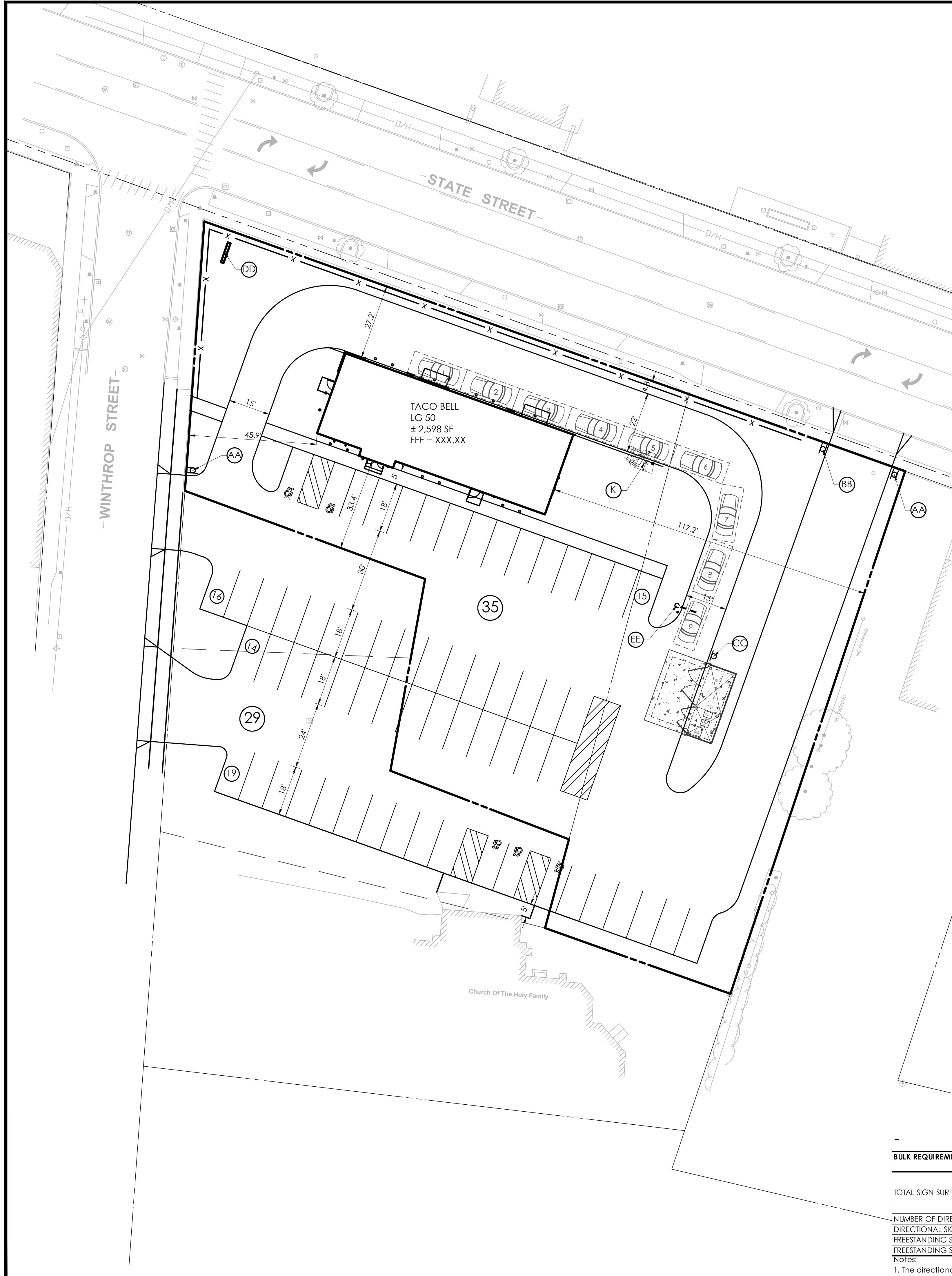
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APD
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Hospitality Syracuse, Inc.
 290 Elwood Davis Road
 Suite 320
 Liverpool, NY 13088
 315-451-1957
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Taco Bell - Watertown NY
 State St
 City of Watertown
 Jefferson County, NY
 Project Name & Location:

Sketch Plan
 Drawing Name:
 Date: 09/16/22 Project No. 22-0408
 Type: LG 50
 Drawn By: SLA SK1
 Scale: 1" = 20' Drawing No.



SITE LEGEND:

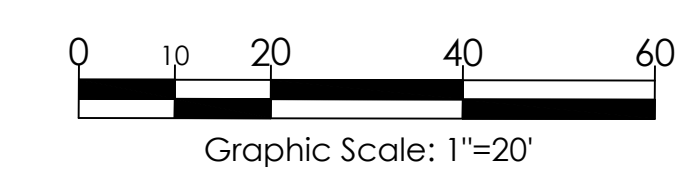
- (A) ACCESSIBLE PARKING SIGN, POST & BOLLARD (REFER TO DETAIL)
- (B) "NO PARKING ANY TIME" SIGN, POST & BOLLARD (REFER TO DETAIL)
- (C) "VAN ACCESSIBLE" SIGN (REFER TO DETAIL)
- (D) SYSL/4" PARKING STALL STRIPING
- (E) CONCRETE CURB (REFER TO DETAIL)
- (F) TRANSITION CURB (REFER TO DETAIL)
- (G) ADA RAMP AND DETECTABLE WARNING (REFER TO DETAIL)
- (H) BOLLARDS (REFER TO ARCH. PLAN DETAIL)
- (I) LAWN/MULCH AREA (REFER TO PLANTING PLAN FOR DELINEATION)
- (J) LIGHT POLE (REFER TO DETAIL)
- (K) MENU BOARD, CANOPY & SPEAKER BOX (REFER TO DETAIL)
- (L) 4' HIGH OPEN METAL FENCE WITH BRICK COLUMNS (REFER TO DETAIL)
- (AA) TACO BELL EXIT SIGN (PROVIDED BY SIGN VENDOR)
- (BB) TACO BELL ENTRANCE SIGN (PROVIDED BY SIGN VENDOR)
- (CC) TACO BELL DRIVE THRU SIGN (PROVIDED BY SIGN VENDOR)
- (DD) TACO BELL PYLON SIGN (PROVIDED BY SIGN VENDOR)
- (EE) CLEARANCE BAR (REFER TO DETAIL)
- (FF) CONCRETE DUMPSTER PAD (REFER TO ARCH. PLANS)

GENERAL NOTES:

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF WATERTOWN AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE DISTRICTS, AND/OR OTHER AUTHORITIES HAVING JURISDICTION.
- ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. ALL PAVING, CURBING, FLATWORK, SIDEWALKS, FENCING, BOLLARDS, ETC., WHICH CONFLICT WITH NEW CONSTRUCTION ARE TO BE DEMOLISHED AND DISPOSED OF IN ACCORDANCE WITH ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. OUTSIDE OF WORK LIMITS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
- REFER TO THE SURVEY FOR THE PROPERTY BOUNDARY INFORMATION (E.G. LOT AREA, BEARINGS, DISTANCES, ETC).
- ANY DAMAGE TO EXISTING SIDEWALKS ON WINTHROP STREET AS A RESULT OF GENERAL CONSTRUCTION MUST BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER.

REFERENCE:

- SV 1 OF 1, PRELIMINARY SURVEY LAST REVISED ON OCTOBER 4, 2022, PREPARED BY JACOBS LAND SURVEYING



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LEGEND OF EXISTING FEATURES

REFER TO THE SURVEY PREPARED BY JACOBS LAND SURVEYING

LEGEND OF IMPROVEMENTS

- BACK OF CURB / FACE OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- PROPOSED FENCE
- TRANSFORMER PAD
- HEAVY DUTY CONCRETE (REFER TO DETAIL)
- CONCRETE SIDEWALK (REFER TO DETAIL)
- HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- LIGHT POLES
- PAINTED VAN ACCESSIBLE PARKING SYMBOL (REFER TO DETAILS)
- PAINTED ACCESSIBLE PARKING SYMBOL (REFER TO DETAIL)
- PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2' O.C. AND AT 45° TO PARKING SPACE
- PAINTED PARKING LOT DRIVE AISLE ARROWS (REFER TO DETAIL)
- PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- SITE SIGN, PAINTED STOP BAR & "STOP" LETTERING

SITE NOTES:

- ALL NEW PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- THE SETBACK LINES AND NOTES RELATED TO SETBACKS SHOWN HEREIN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE CITY OF WATERTOWN AS OF THE DATE OF THIS PLAN AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
- REFER TO LIGHTING PLAN, SHEET XX, FOR LIGHT POLE AND BUILDING MOUNTED LIGHT LOCATIONS, AND FIXTURE TYPE.
- PYLON SIGNS SHALL BE CONSTRUCTED BY OTHERS, BUT ELECTRIC SERVICE TO THE PYLON SIGN SHALL BE INCLUDED IN THE CONTRACT.

SITE DATA:

LOCAL JURISDICTION:	CITY OF WATERTOWN
ZONING CLASSIFICATION:	COMMERCIAL/RESIDENCE C
PERMITTED USES:	RESTAURANT
OWNER:	3 PARCELS UNDER CONTRACT TO BE CONVEYED TO FAIRLANE DRIVE LLC
PROPERTY ACREAGE:	±0.84 AC (lots to be consolidated)
12-03-126:	0.21 AC
12-03-127:	0.28 AC
12-03-128:	0.35 AC

BULK REQUIREMENTS	REQUIRED (CURRENT ZONING)	PROPOSED	Variance Required
FRONT YARD	20 FT	27.2 FT	NO
REAR YARD	25 FT	33.4 FT	NO
SIDE YARD	5 FT	45.9 FT (WEST); 117.2 FT (EAST)	NO
MINIMUM LOT AREA	1,000 SF	36,700 SF	NO
FRONT YARD LANDSCAPE BUFFER	15 FT	4.8 FT	YES
SIDE/REAR YARD LANDSCAPE BUFFER	5 FT	7 FT	NO
PARKING REQUIREMENT	5 PARKING SPACES FOR 1,000 SF 2,598 SF Proposed = 13 SPACES	TACO BELL = 35 SPACES HOLY FAMILY = 29 SPACES	NO
MAXIMUM FENCE HEIGHT	4 FT	4 FT	NO

BULK REQUIREMENTS	ALLOWED	PROPOSED	VARIANCE
TOTAL SIGN SURFACE AREA	2 SF PER 1 LF OF BUILDING FRONTAGE, MAX SIGN SURFACE AREA IS 200 SF (87 LF = 174 SF ALLOWED)	(4x27.6)+13.98 +79.5 = 203.5 SF	YES
NUMBER OF DIRECTION SIGNS	1	4	YES
DIRECTIONAL SIGN MAX AREA	4 SF	4 SF	NO
FREESTANDING SIGN AREA	NA	80 SF	NO
FREESTANDING SIGN MAX HEIGHT	50 FT	25 FT	NO

Notes:
1. The directional and informational signs do not count toward the total sign surface area

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FOR APPROVAL ONLY/NOT FOR CONSTRUCTION

Seal _____ Seal _____

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Watertown, NY 13601

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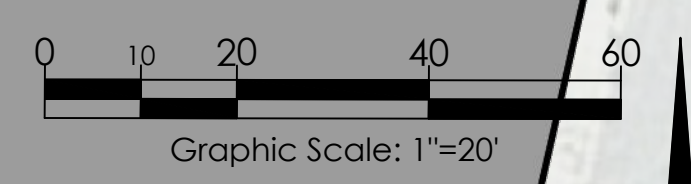
State St
City of Watertown
Jefferson County, NY
Project Name & Location:

Site Plan

Drawing Name: _____
Project No. 22-0408
Date: 10/12/22
Type: LG 50
Drawn By: SLA
Scale: 1" = 20'
Drawing No. C2



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