



MEMORANDUM

CITY OF WATERTOWN, NEW YORK
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
245 WASHINGTON STREET, ROOM 305, WATERTOWN, NY 13601
PHONE: 315-785-7741 – FAX: 315-782-9014

TO: Planning Commission Members

FROM: Michael A. Lumbis, Planning and Community Development Director

PRIMARY REVIEWER: Geoffrey T. Urda, Senior Planner

SUBJECT: Special Use Permit and Site Plan Approval – 440 State Street

DATE: June 4, 2026

Request: Special Use Permit and Site Plan Approval to construct a 544 square-foot (SF) coffee shop with an accessory drive-through and associated site improvements on lands that currently comprise **430 State Street**, Parcel Number 12-03-220.200 and **440 State Street**, Parcel Number 12-03-220.300.

Applicant: Kayla Kibling of Barton & Loguidice, D.P.C. on behalf of 454 State Street NNY, LLC

Proposed Use: Coffee shop (Bar/Restaurant/Café/Brewpub) with Drive-Through, Accessory

Property Owners: 454 State Street NNY, LLC

Submitted:

Property Survey: Yes	Preliminary Architectural Drawings: Yes
Site Plan: Yes	Preliminary Site Engineering Plans: Yes
Vehicle and Pedestrian Circulation Plan: Yes	Construction Time Schedule: Yes
Landscaping and Grading Plan: Yes	Description of Uses, Hours & Traffic Volume: Yes

SEQRA: Unlisted

Jefferson County 239-m Review: No

Zoning Information:

District: Urban Mixed Use (UMU)	Maximum Lot Coverage: 90 percent
Setback Requirements: No min. 12’ max , Side: none, Rear: none.	Buffer Zones Required: Yes

Project Overview: The applicant proposes to construct a 544 SF coffee shop with a walk-up sales window, an accessory drive-through, a 192 SF accessory storage shed, and associated site improvements, including

perimeter landscaping at 440 State Street. The proposed development will include 0.319 acres of land that is currently part of the adjacent parcel at 430 State Street, which the applicant also owns and proposes to convey to 440 State Street to enlarge the site. The applicant has concurrently applied for Subdivision Approval, for which Staff has prepared a memorandum under separate cover

Existing Conditions: The subject parcel is completely vacant, with no existing structures on the parcel. The site is almost entirely paved or covered with compacted gravel (see satellite image below). All four parcels on the 400-block of State Street are in the applicant's ownership.

430 State Street, which bounds the subject parcel to the west, contains the America's Rent-to-Own furniture rental business. This parcel, which is presently an "L-shaped" parcel that fronts on State Street, wraps around the corner parcel where it has a second frontage and curb cut on Parker Street. The corner parcel at 426 State Street contains a Little Caesar's pizza restaurant that also has an accessory drive-through. 454 State Street, which bounds the subject parcel to the east, contains the State Street Market, with the market building covering the entire parcel on the corner with Winthrop Street.

Directly opposite 440 State Street is the T-intersection with Mechanic Street. To the west of Mechanic Street on the north side of State Street are a Wendy's restaurant and a Burger King restaurant, both of which have existing drive-through accessory uses. To the east of the Mechanic Street intersection are the Midtown Towers courtyard on the northeast corner and Ace Hardware to the east of that.

A satellite map depicting the subject parcel and the surrounding lands as well as a Zoning Map for the area both are included at the end of this report.

Zoning: The proposed Bar/Restaurant/Café/Brewpub use is allowed in the Urban Mixed Use (UMU) District with Site Plan Approval. The Drive-Through, Accessory use requires a Special Use Permit in UMU. Section 310-114 of the Zoning Ordinance states:

"Site plan approval is required as part of the special use permit approval process for uses involving new construction, or any land development activities not specifically exempted by the site plan review process. Such site plan review shall be carried out in conjunction with these special use permit procedures."

Therefore, this memorandum addresses all aspects of a Site Plan Review in its examination of the Special Use Permit criteria below.

Special Use Permit Standards: Article XI of the Zoning Ordinance empowers the Planning Commission to issue Special Use Permits after holding a Public Hearing and reviewing the application against the Special Use Permit Review Criteria. Section 310-116 of the Zoning Ordinance contains the Special Use Permit Review Criteria that the Planning Commission is tasked with considering. Below is a list of all nine criteria with Staff's conclusions for each criterion. The following represents Staff's professional comments only and do not necessarily represent the final position of the Planning Commission, which must reach its own determinations.

- A. *The proposed use will be consistent with the purposes of this Chapter and the requirements of the zoning district in which it is located.*

The stated purpose of the Urban Mixed Use District, per the Zoning Ordinance is as follows:

"The UMU District functions as a downtown transition zone and is generally located at the edge of the Downtown District where land use transitions from intense urban business and

entertainment uses to less intense residential and compatible nonresidential uses. The UMU District has obvious changes in building types, architectural styles, lot sizes, and pedestrian activity. Buildings are generally lower in height and parking may be on-site, behind or at the side of the building to avoid a suburban look. Buildings are designed to be visually appealing with shorter setbacks to address the sidewalk and help reinforce a positive pedestrian experience.”

The UMU District implements the Urban Mixed Use/Downtown Transition future land use character area in the Comprehensive Plan, thus the very similar language to the vision for that character area quoted below.

The applicant has sought and obtained four Variances from the Zoning Board of Appeals (ZBA) for the subject parcel related to the proposed development:

- Area Variance to increase the maximum front-yard setback from 12 feet to 67.6 feet.
- Area Variance to waive the requirement of Section 310-50 (A) that pedestrian access from the sidewalk not cross a drive-through exit lane.
- Area Variance to increase the maximum unbuilt frontage from 24 feet to 167.8 feet.
- Area Variance to decrease the required landscaped buffer along a side property line from 10 feet to 0 feet along the eastern property line.

The ZBA granted all four Area Variances at its meeting on April 15, 2026. Prior to the Variance applications, the applicant had sought and successfully obtained a Zone Change from Downtown to Urban Mixed Use, as the entire 400-block except for the Wendy’s parcel was originally zoned Downtown when the City Council adopted the current Zoning Ordinance in February 2023.

B. The proposed use’s compatibility and consistency with the goals and recommendations of the City of Watertown Comprehensive Plan, Complete Streets Ordinance and other approved City plans and programs.

The subject parcel is in the Urban Mixed Use/Downtown Transition future land use character area. The Comprehensive Plan describes this character area as follows:

“The Urban Mixed-Use areas are historic areas generally located between the Central Business District (CBD) and residential neighborhoods where land use transitions from intense urban business to lesser intense residential and compatible non-residential uses. These transitional areas begin to have obvious changes in building types, architectural styles, lot sizes, and pedestrian activity. Buildings are generally lower in height and parking may be onsite, preferably behind or at the side of the building to avoid a suburban look. Buildings are designed to be visually appealing with shorter setbacks to address the sidewalk and help reinforce a positive pedestrian experience.”

Regarding consistency with the Comprehensive Plan, the proposed food service use is the type of compatible non-residential use that the district encourages. The applicant has sought to cater to pedestrians with an internal crosswalk connecting to a walk-up service window and allowing use of tables under the canopy at the adjacent State Street Market.

However, the development will create a suburban look and function, which conflicts with the urban design purpose of the UMU District and the Comprehensive Plan's vision for an urban feel with shorter setbacks and more built frontage. Much of the active land on the parcel will be used for stacking queued vehicles 270 degrees around the primary building.

The elevation drawings of the proposed building depict siding above a stone veneer on all facades and small windows. The proposed front (north-facing) window currently measures approximately 50 SF. This window will need to increase in size by approximately 15 SF to conform to the 40 percent ground floor, front façade transparency requirement of the UMU District. Alternatively, the applicant could add sidelight windows and/or a transom window in concert with a larger primary window to meet the aggregate 40 percent requirement.

The applicant has submitted a Vehicular and Pedestrian Circulation Plan that depicts the movements of a City fire truck and a refuse truck throughout the site.

The City's Complete Streets Policy, adopted by City Council on January 17, 2017, contains a Scope of Applicability section, which states that the City shall review all private development proposals with reference to the incorporation of Complete Streets principles and general consistency with the Complete Streets Policy.

The applicant proposes a direct pedestrian connection from the State Street sidewalk to the north facing walk-up service window. Although this connection required a Variance from the ZBA because it crosses a vehicular exit lane, it still satisfies the intent of the Complete Streets Policy. The applicant also provides an internal crosswalk from the internal parking spaces to the employee entrance to the primary building, a layout that required a Variance as identified above.

C. The impact on the nature and character of the surrounding neighborhood, natural environment, historic district, or corridor in which it is located.

This site is in the immediate vicinity of four other fast-food restaurants (Little Ceasars, Wendy's, Burger King, Taco Bell), all four of which have accessory drive-throughs. Midtown Towers, a 16-story apartment building on Mechanic Street, is approximately 300 feet from the site. The proposed use would be consistent with the existing nature and character of the surrounding neighborhood. The proposed development would increase green space and vegetation on the site, which is currently lacking on the entire block.

D. The overall impact on the site and its surroundings, considering environmental, social, and economic impacts of traffic, noise, dust, odors, release of harmful substances, solid waste disposal, glare, or any other nuisances.

The proposed development will generate significant vehicular trips to and from the site. The applicant does not propose any new curb cuts and instead proposes to provide vehicular access to the site across the adjacent Little Ceasars parcel (426 State Street), which the applicant also owns. The survey provided with the accompanying subdivision application indicates that there is a common right-of-way that measures 25' in width along the property line in this location. However, a note on the survey indicates that the current legal status is unknown due to "doctrine of merger/common ownership) The applicant should be prepared to discuss this issue with the Planning Commission.

The applicant proposes two distinct drive-through lanes and a pass-through exit lane for motorists that wish to exit the queue and leave the site. The applicant has previously communicated to Staff that one drive-through lane will be for advance mobile orders and the other for in-person orders. The Engineering Report states that the site will provide “adequate internal circulation and vehicle stacking capacity for the drive-thru lanes,” but does not specify how many cars each lane can hold at once.

Staff estimates from cursory measurements that “Drive-Thru Lane 1” could stack up to eight (8) cars, and “Drive-thru Lane 2” could stack up to ten (10) or eleven (11) cars. Any stacking beyond this would risk stacking onto adjacent property and/or onto State Street. The applicant should be prepared to discuss stacking capacity at the meeting.

Egress from the site will also be across the adjacent Little Ceasars parcel using the existing curb cut on that property. This curb cut is un-signalized, meaning any exiting vehicle leaving the site and turning left onto State Street (*inbound* towards downtown) will need to wait for a gap in westbound traffic. The coffee shop’s peak hours are likely to be in the morning and coincide with peak inbound commuting trips on State Street, when gaps in westbound traffic are more likely to be scarce. This could create internal stacking as a left-turning vehicle waiting for a gap could hold up other exiting vehicles behind it. The site’s design can absorb some egress stacking, but probably not more than (7) seven vehicles. The applicant shall also be prepared to discuss expected peak traffic volumes and the potential for egress stacking from the site.

Emissions and noise from vehicles idling in the queues are unavoidable and will affect the site and its surroundings. However, these impacts are unlikely to significantly exceed those caused by any of the other three drive-throughs in the vicinity.

The site plan, as submitted, depicts a dumpster enclosure at the southwest corner of the site that meets all requirements of Section §310-91.

- E. Restrictions and/or conditions on design of structures or operation of the use (including hours of operation) necessary either to ensure compatibility with the surrounding uses or to protect the natural resources of the City.*

The applicant did not submit any proposed hours of operation. The existing Jumping Goat location at 468 Coffeen Street is open from 5:30 a.m. – 8 p.m. seven (7) days a week. The other three drive-throughs in the vicinity (Burger King, Wendy’s Taco Bell) are all open until midnight or later. While these businesses serve a different part of the day than a coffee shop, the applicant should still confirm the proposed hours of operation for the Jumping Goat.

- F. The adequacy and accessibility of essential public facilities and services, such as streets, parking spaces, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools.*

Code Enforcement Staff reviewed the submission for emergency vehicle access, including a City fire truck, and found no significant areas of concern.

Engineering Staff reviewed the submission for water and sewer issues. A portion of the existing site is gravel, which allows some stormwater infiltration. The applicant proposes to

pave over almost all the existing gravel, creating a significant amount of impervious surface where infiltration was previously possible. The applicant also does not propose any catch basins on the site. This will result in substantial sheet flow and runoff into the State Street ROW. The applicant also did not provide any stormwater calculations.

Given the proposed increase in impervious surface and the lack of stormwater calculations, the applicant has not submitted sufficient information for the Planning Commission to make an informed decision about Special Use Permit Criterion F. The applicant must submit stormwater calculations, to the detail required by the City Engineering Department, so that Staff can make an informed recommendation to the Planning Commission regarding this Criterion.

It also appears the proposed water service connection conflicts with the existing light pole base. It is recommended that this be relocated to no longer be in conflict or be proven not to be.

- G. *The proposed use's impact on traffic congestion, impairment of pedestrian safety, or capacity challenges to Level of Service on existing streets, considering their current width, surfacing, and condition, and any improvements proposed to be made to them by the applicant.*

This site is located at a signalized T-intersection with Mechanic Street, but the applicant is not proposing a new curb cut. Instead of creating a four-way intersection that would require relocating and re-timing the existing signal, the applicant proposes access to and from the site via the adjacent Little Ceasars parcel, as discussed under SUP Standard "D" above.

Impacts on vehicular congestion and Level of Service (LOS) on State Street itself are likely to remain minimal, as the greatest congestion will be felt within the site itself. However, the applicant shall be prepared to discuss expected peak traffic volumes and stacking capacity at the site.

The site has the potential to generate pedestrian trips from Midtown Towers and the surrounding neighborhood. Every pedestrian accessing the walk-up window will need to cross both the pass-through exit lane and the pickup lane to access the window. When the ZBA granted the Variance allowing this layout, it conditioned that Variance on the applicant "installing two pedestrian crossing signs (11-2 in the Manual of Uniform Traffic Control Devices) on either side of the internal crosswalk connecting the State Street sidewalk to the primary building."

The site layout has changed since the ZBA granted this Variance, and the previously proposed one-legged crossing across approximately 30 feet of pavement has become a two-legged crossing, with one leg crossing the pass-through exit lane and the other leg crossing the pickup lane and an internal sidewalk acting as a pedestrian shelter island to bridge the two legs.

The intent of the ZBA's condition was to alert motorists using the pass-through lane to exit the queue (and the site) who are likely to be accelerating to the potential presence of crossing pedestrians. This condition of Variance #616 still applies to the northern internal crosswalk connecting from the State Street sidewalk to the internal sidewalk, which crosses the exit lane. The applicant is responsible for installing and maintaining two 11-2 pedestrian crossing signs on either side of this crosswalk. While these two signs, along with other site signage, are shown on sheet C503 in the site sign table, they are not clearly labeled on the site plan drawing. The applicant should therefore label the signpost symbols on the site plan.

The applicant depicts three detectible warning units on the internal sidewalk. One is at the north end of the site adjacent to the crosswalk connecting to the State Street sidewalk. The other two are on either side of the internal crosswalk across the pickup lane, which also connects the site's sole ADA parking space to the walk-up window. If the internal crosswalk is elevated from the pavement, then it must meet the 8 percent running slope requirement of the Americans with Disabilities Act as it approaches each detectible warning and associated crossing.

The applicant is not proposing a detectible warning where the sidewalk crosses the landscape setback on the northern landing from the crosswalk across the pass-thru exit lane. This is a crossing across a vehicular lane and warrants a detectible warning in this location. The applicant shall add a detectible warning at this landing.

Finally, it is unclear if and where the applicant proposed interior curbing, and what effects it would have on ADA accessibility and site drainage. The applicant shall be prepared to address this at the Planning Commission meeting.

H. The impact on adjacent historic resources as formally recognized by the New York State and Federal Registers of Historic Places.

The site is not located in or adjacent to a historic district or property. The nearest historic places on the National Register are Emerson Place, approximately 1,000 feet to the east and the Public Square Historic District over 1,100 feet to the west.

I. In reviewing the adequacy of the Supplemental or General Regulations as they may relate, the Planning Commission may impose more restrictive conditions.

This standard allows the Planning Commission to impose more restrictive conditions after review of this application. Any comments or additional conditions should be stated at the Planning Commission meeting.

Parking: The applicant proposes 13 on-site parking spaces, six in the center of the site adjacent to the interior sidewalk and seven at the east edge of the site adjacent to the State Street Market. This is within the maximum of 20 allowed in the UMU District. The applicant proposes to open up tables underneath the front canopy of the State Street Market for patrons of the coffee shop, although there will be no seating inside the coffee shop itself. These "dine-in" patrons, along with Jumping Goat employees, would be the primary users of on-site parking.

Landscaping: The applicant proposes 15 total trees around the perimeter of the site; 12 deciduous and three (3) evergreen trees. However, the applicant only proposes four species of trees, with one species accounting for seven (7) of the 15 trees. Section §310-83 (B)(1) of the Zoning Ordinance states that no one species of trees may take up more than 15% of the total amount of the proposed tree plantings. The applicant shall identify additional species to increase diversity on the site. Species diversity is important on development sites and within cities because without diversity, the tree canopy and overall landscape can be vulnerable to elimination if pests or diseases attack certain species in the future.

Along the street ROW, Section §310-83 (C)(1) of the Zoning Ordinance requires the applicant to provide one large deciduous tree every 40 linear feet or one small to medium deciduous tree every 20 linear feet. The site has 210 feet of frontage on State Street, and the applicant proposes four large deciduous trees.

Dividing $210 \div 4 = 52.5$, yielding an average of 52.5 feet between trees. However, the presence of a sign and the perpendicular sidewalk leading into the site make planting impractical along the full frontage. The proposal meets the intent of the Zoning Ordinance in good faith. The position of the Red Maple trees should allow for adequate growing space between them and the large-maturing street trees in the ROW on State Street. Before planting, the owner should contact the City Forester to have the positions approved.

Section §310-83 (F) of the Zoning Ordinance requires the applicant to provide one large deciduous tree every 40 linear feet or one small to medium deciduous tree every 20 linear feet or one large coniferous tree every 20 linear feet around the perimeter of parking lots. The applicant proposes three large coniferous trees along the rear property line, but at 42-foot intervals rather than 20-foot intervals. The applicant must either meet the spacing requirement for coniferous trees or alternatively plant large deciduous trees if the wider spacing is desired.

If additional coniferous trees are added along the rear property line, this could be an opportunity to add species diversity. White Spruce or Colorado Blue Spruce would be good options.

The two Honey locust trees in the back corner of the lot may be too close to the building at the rear of 430 State Street. This could cause additional maintenance for the trees which would be the responsibility of the property owner. The applicant should consider a smaller maturing or upright tree in these positions. This is another opportunity to diversify the planting plan. The applicant should also consider planting an alternating row of Honey locust with American Hornbeam, *Carpinus caroliniana* as an example. The similar mature shape and size of the Hornbeam would maintain the neat appearance of the row while adding diversity.

Not mentioned in the landscape plan is the treatment or preservation of the large Eastern Cottonwood tree at 122 Winthrop Street, along the rear property line. Section 310-83 (I) lays out the incentives to preserve “high quality”. Before excavation, a decision needs to be made with the adjacent property owner whether it will be removed or if it will stay and receive protection and any pruning necessary to give the conifers adequate overhead growing space.

Finally, the proposed tree locations along the rear property line are strategically placed in between the snow storage areas, although there is not much room between the two. If trees become damaged during snow removal activities, the property owner will be responsible for replacing any damaged trees to restore the site to the condition of the approved site plan.

SEQR: This project is considered an Unlisted Action under the State Environmental Quality Review Act (SEQRA). The applicant has submitted a completed Part 1 of a Short Environmental Assessment Form (EAF). Prior to approval, the Planning Commission must consider Part 2 of the Short Environmental Assessment Form (EAF) and make a determination of significance relative to SEQRA. The Planning Commission shall note that any Negative Declaration or other determination pursuant to SEQRA must consider the “whole action” of the Subdivision, Special Use Permit, and Site Plan

Permits: The applicant must obtain the following permits and other documentation, minimally, prior to construction: Building Permit, General City Permit and a Zoning Compliance Certificate.

Planning Commission Action: As noted above, the Planning Commission is required to hold a public hearing on the proposed Special Use Permit application. Planning Staff has scheduled a public hearing for Tuesday, June 9, 2026, at 5:20 p.m. during the Planning Commission meeting to hear public comment on the proposed Special Use Permit.

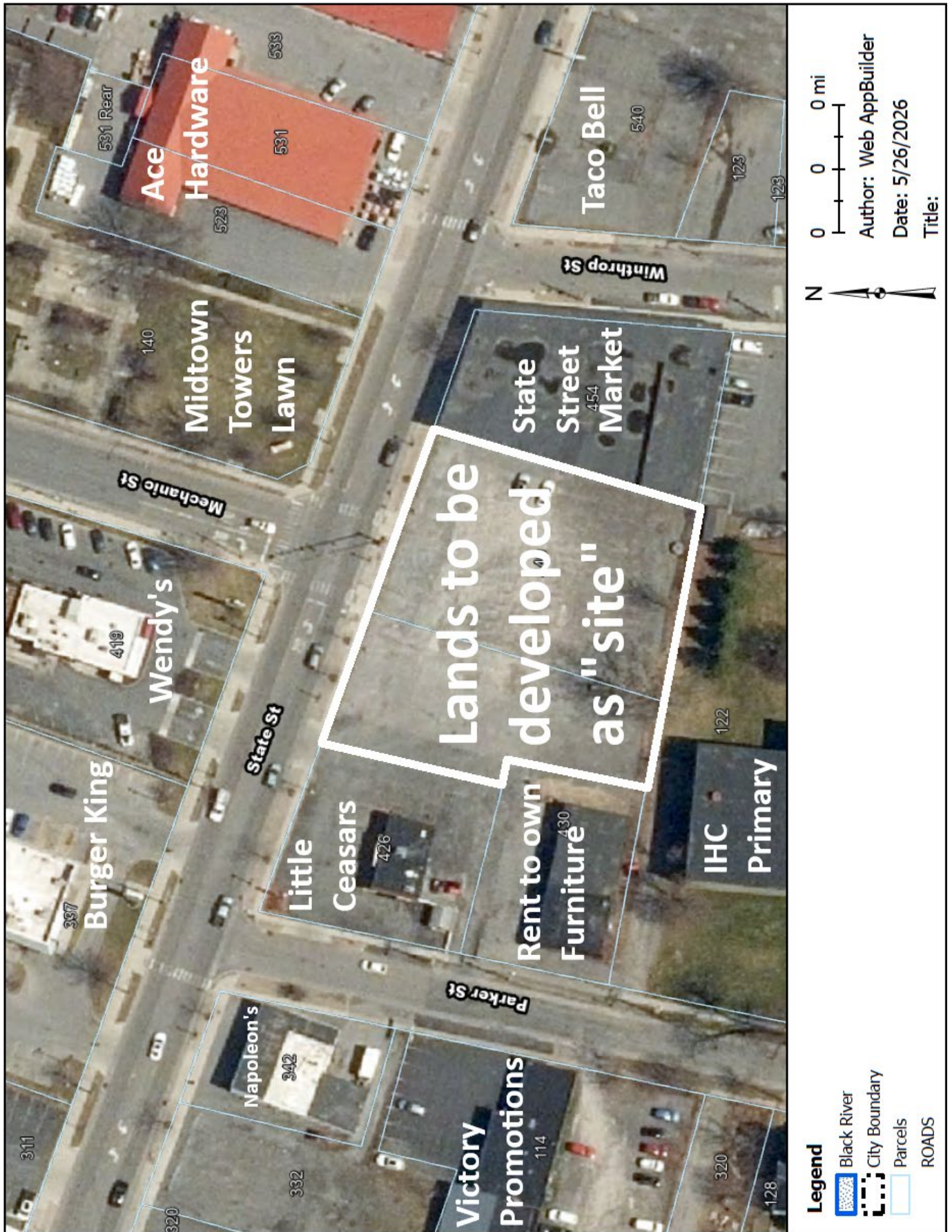
Following the review of the Special Use Permit and Site Plan application; Staff recommends that the Planning Commission table this application pending the receipt of required additional application materials as discussed above and summarized below, specifically drainage calculations for the site based on the volume of paving and lack of any catch basins on site.

Summary: The Planning Commission should discuss the following with the applicant and Staff, and the applicant should address each of these items in a revised submission based on those discussions:

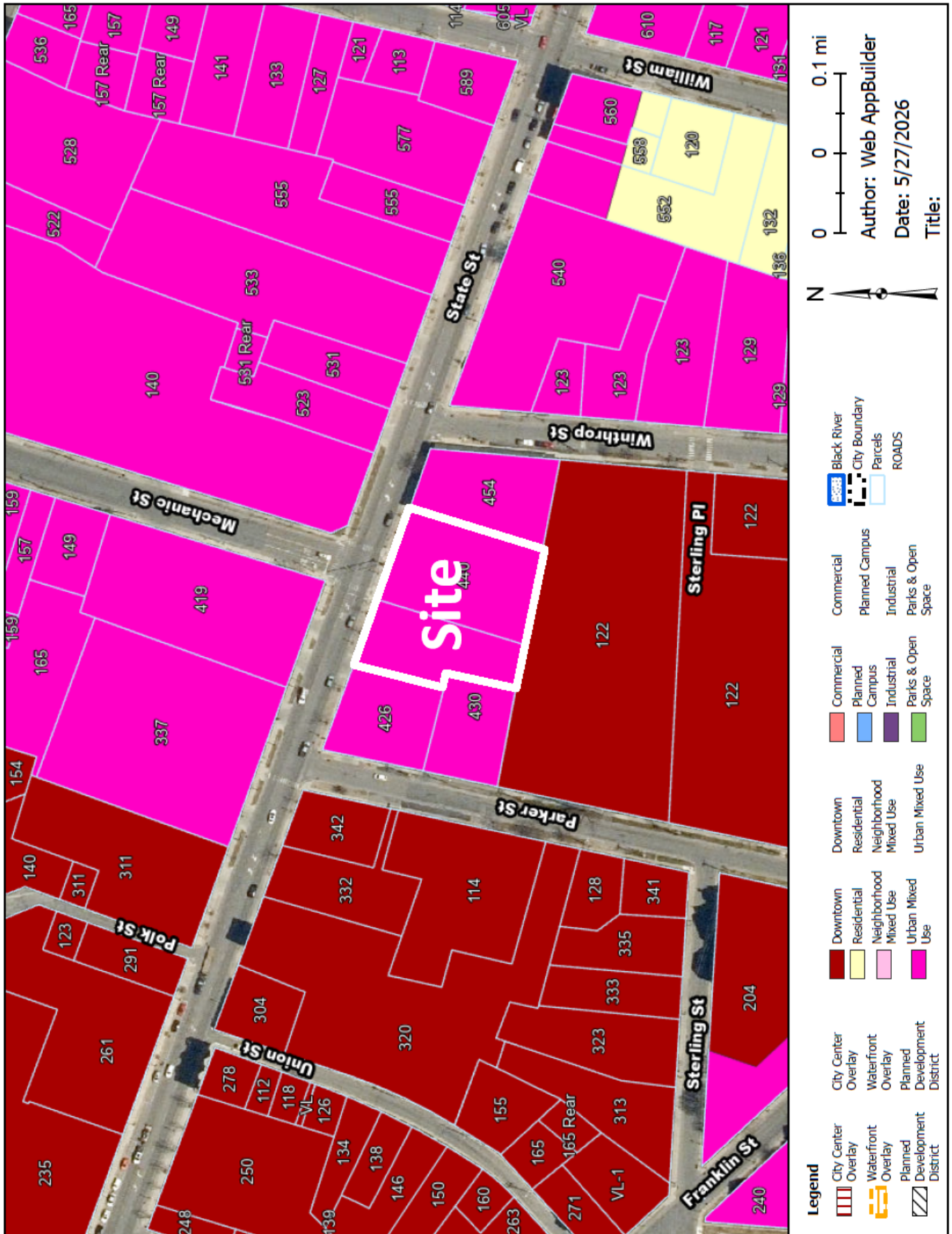
1. The applicant must obtain Subdivision Approval for 430 State Street before acquiring the lands that will form the westernmost section of the expanded site.
2. The applicant shall record a cross-access easement in the deed for the expanded 440 State Street parcel and in the deed for 426 State Street (Little Caesars).
3. The applicant will have to conform to the 50 percent ground floor, front façade transparency requirement of the UMU District.
4. The applicant shall be prepared to discuss expected peak traffic volumes and vehicular stacking capacity both for cars queuing to place and pick up orders and for cars queuing to exit the site.
5. The applicant shall identify proposed hours of operation.
6. The applicant shall submit a revised grading and drainage plan and stormwater calculations to the City Engineering Department in sufficient detail to determine the impact on public facilities.
7. The applicant shall either relocate the proposed water service connection or prove that there is no conflict with the existing light pole.
8. The applicant shall revise the site plan to show the installation of two pedestrian crossing signs (11-2 in the Manual of Uniform Traffic Control Devices) on either side of the crosswalk connecting from State Street to the internal sidewalk island, as required by the Zoning Board of Appeals as a condition of Variance #616.
9. The applicant shall construct all pedestrian accommodations to American Disability Act (ADA) standards, including but not limited to running slope, counter slope and cross slope.
10. The applicant shall add a detectible warning plate on the landing at the northern end of the crosswalk across the pass-thru exit lane where the internal sidewalk crosses the landscaped setback area.
11. The applicant shall clarify if and where any interior curbing is proposed.

12. The applicant shall revise the landscaping plan to conform to the requirements of Section 310-83 of the Zoning Ordinance.
13. The applicant shall obtain, minimally, each of the following: Building Permit, General City Permit and a Zoning Compliance Certificate.
14. The applicant shall submit a revised set of drawings that satisfies all summary items for approval of the Planning and Engineering Departments, prior to the issuance of any permits.

cc: Thomas Compo, City Engineer
Kayla Kibling, Barton & Loguidice, D.P.C.



Above: A satellite view of the subject parcels and their surrounding lands.



Above: A Zoning map of the site and its surrounding lands.

Site Photos



Above: A view of the existing ADA ramp opposite the T-intersection with Mechanic Street in front of the site.
Below: A view of the existing curb cut on the Little Caesars parcel that will provide access to the site.





Above: A view of the site looking northwest towards Little Caesars, Wendy's and Burger King.
Below: A reverse shot looking northeast towards the State Street Market and Midtown Towers.





Above: The area under the canopy at the State Street Market where the applicant proposes tables and seating.
Below: The proposed dumpster location at the rear of the site.



PLN-SP-USE2026-00023 - State Street Jumpin Goat Drive Thru

Menu Help

File Date: [05/19/2026](#)

Application Status: [Submitted](#)

Application Type: [Special Use Permit](#)

Application Detail: [Detail](#)

Description of Work: [The proposed project includes an approximately 544-square-foot coffee shop with two drive-thru lanes and a walk-up ordering window. Site improvements will include on-access, exterior lighting, landscaping enhancements, and stormwater management improvements \(i.e., green space\). The project also includes a 162-square-foot storage and seven \(7\) parking spaces for the adjacent State Street Market \(also owned by the Applicant\).](#)

Application Name: [State Street Jumpin Goat Drive Thru](#)

Address: [440 State St, Watertown, NY 13601](#)

Owner Name: [454 State Street NNY LLC](#)

Owner Address: [REDACTED]

Parcel No: [12-03-220.300](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	454 State Street NNY LLC	454 State Stree...	Applicant	Business, 142 Arcade S...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #
		0000515	Engineer	Kayla Kibling	BARTON & LOGUID...	

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$125.00](#)

Total Fee Invoiced: [\\$125.00](#)

Balance: [\\$125.00](#)

Custom Fields: PRE APPLICATION

Was a Sketch Plan Conference held for this case?: [Yes](#) Sketch Plan Conference Number: -

GENERAL INFORMATION

Existing Use Vacant	Proposed Use Bar, Restaurant, Café, Brewpub	Type of Development Commercial
Total Disturbed Area 0.8	Total Building Square Footage 736	Include Demolition
Include Tree Removal		

PROJECT INFORMATION

Number of Lots - Existing 2	Number of Lots - Proposed 2	Building Floor Area - Existing 0
Building Floor Area - Proposed 736	Number of Parking Spaces - Existing 0	Number of Parking Spaces - Proposed 13
Impervious Surface - Existing 32075	Impervious Surface - Proposed 23822	

LOCATION INFORMATION

Zoning District Urban Mixed Use	Adjacent Land Use Commercial, retail, and institutional	Historic Status No
Historic Status Description -	Water Provider Public	Sewer Provider Public
Roads Public	Existing Site Conditions Description Vacant impervious lot	

KEY DATES

Approved Date -	Appeal Period End Date -	Expiration Date -
Extension Date -		

Workflow Status:	Task	Assigned To	Status	Status Date	Action By
	Application Intake				
	Review Distribution				
	Building Review				
	Engineering Utilities ...				
	Planning Review				
	Fire Review				
	Arborist Review				
	Complete Streets Review				
	County Review				
	Review Consolidation				
	Staff Report				

Task	Assigned To	Status	Status Date	Action By
Supervisor Review				
Distribute PC Agenda P...				
PC Meeting				
Public Notice				
Public Hearing				
Final Notification				
Case Complete				

Conditions of Approval:

Group	Type	Condition Name	Short Comments	Status	Status D
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Documents:

File Name	Document Group	Category	Description	Type	Docur
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[Show all](#)

Application Comments:

View ID	Comment	Date
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Initiated by Product:

ACA

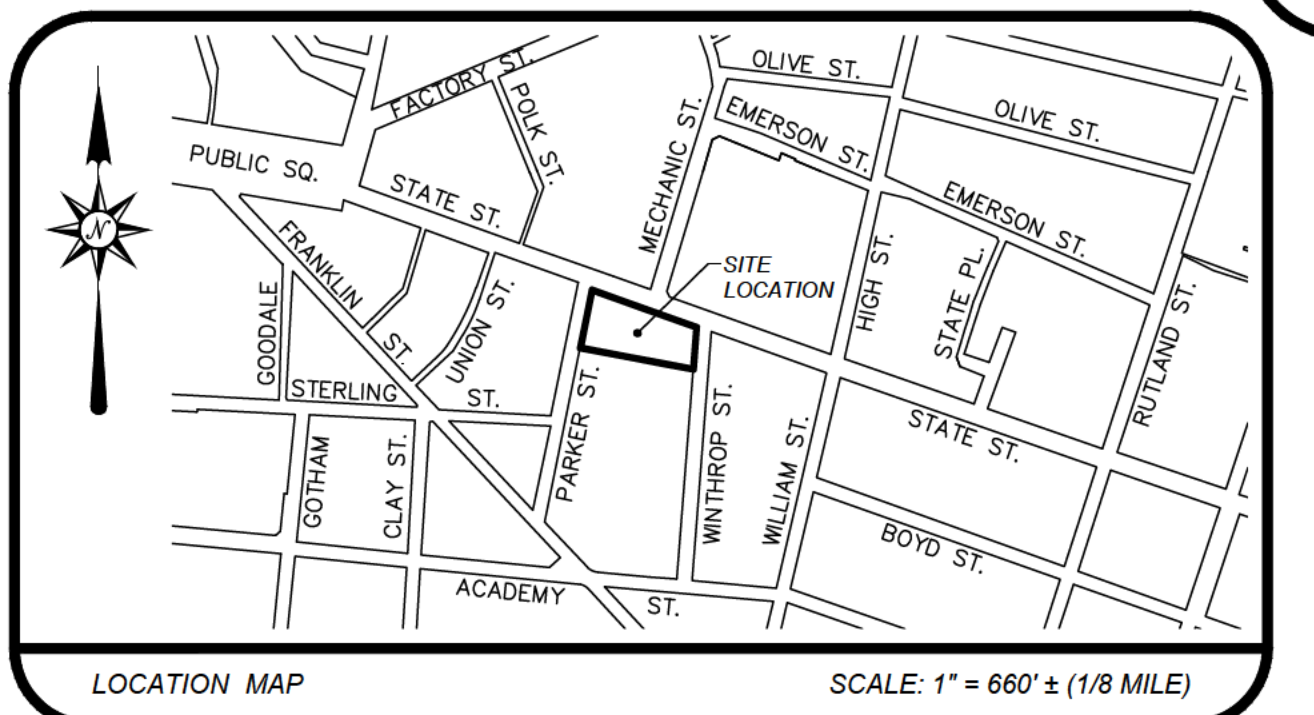
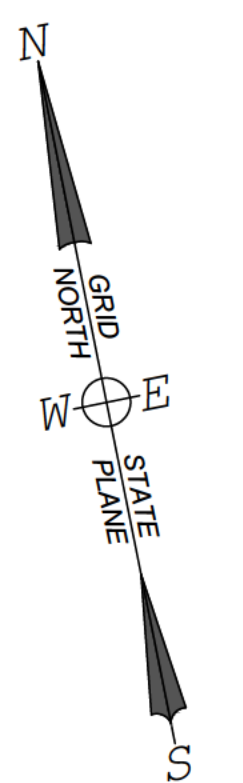
Scheduled/Pending Inspections:

Inspection Type	Scheduled Date	Inspector	Status	Comments
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Resulted Inspections:

Inspection Type	Inspection Date	Inspector	Status	Comments
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Required Inspections:



DEED REFERENCES:

1. JSJ NNY, LLC TO 454 STATE STREET NNY LLC DEED DATE: OCTOBER 13, 2021 DATE RECORDED: OCTOBER 15, 2021 INSTRUMENT NUMBER: 2021-17077
2. TALL TIMBER HOLDINGS LLC TO 454 STATE STREET NNY LLC DEED DATE: FEBRUARY 28, 2022 DATE RECORDED: MARCH 4, 2022 INSTRUMENT NUMBER: 2022-3677

ABSTRACT REFERENCES:

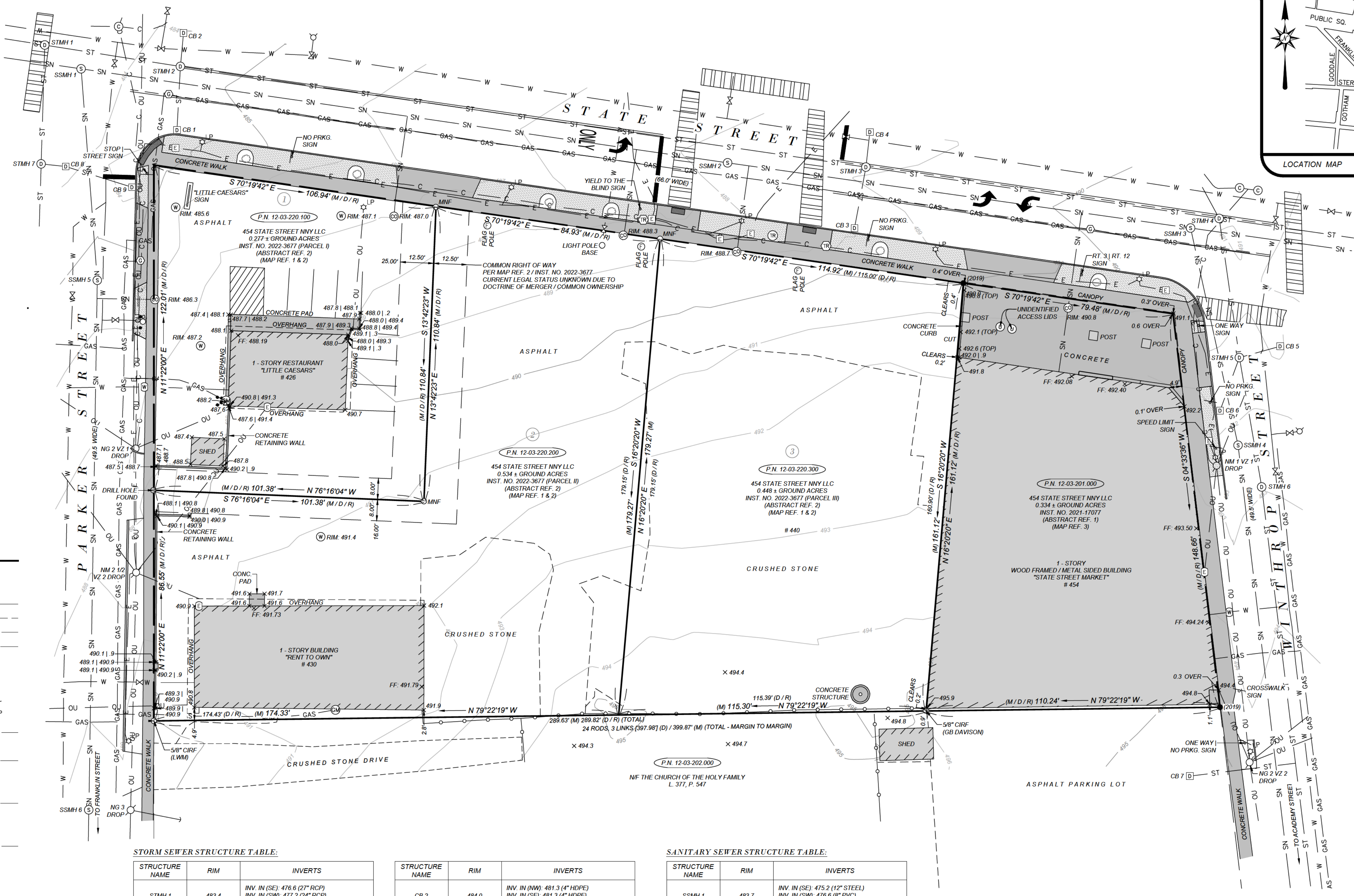
1. BROWNELL ABSTRACT CORPORATION NO. 149269, DATED OCTOBER 15, 2021
2. BROWNELL ABSTRACT CORPORATION NO. 151515, DATED MARCH 4, 2021

ADJOINER REFERENCE:

- MICHAEL R. BURNS TO THE CHURCH OF THE HOLY FAMILY DEED DATE: JANUARY 17, 1925 DATE RECORDED: FEBRUARY 4, 1925 LIBER 377, PAGE 547

LEGEND:

- LOT NO. (PER MAP REF. 2) (1)
- BOUNDARY LINE (—)
- IRON FOUND (AS NOTED) (O)
- 1/2" CAPPED IRON REBAR SET (●)
- STREET MARGIN (—)
- EDGE OF ASPHALT (—)
- OVERHEAD UTILITY LINE (OU)
- UNDERGROUND ELECTRIC LINE (E)
- ELECTRIC SERVICE / METER (EM)
- ELECTRIC BOX (E)
- UTILITY POLE (P)
- GUY WIRE (G)
- LIGHT POLE (L)
- COMMUNICATION LINE (C)
- COMMUNICATIONS MANHOLE (CM)
- STORM LINE (ST)
- CATCH BASIN (CB)
- STORM MANHOLE (SM)
- SANITARY LINE (SN)
- CLEAN-OUT (CO)
- SANITARY MANHOLE (SM)
- WATER LINE (W)
- WATER VALVE (V)
- HYDRANT (H)
- CURB STOP (CS)
- MONITORING WELL (M)
- GAS LINE (GAS)
- GAS VALVE (GV)
- GAS SERVICE / METER (GM)
- TRAFFIC POLE (TP)
- CROSSWALK POLE (CP)
- CONTOUR (490)
- INDEX CONTOUR (490)
- SPOT ELEVATION (x 490.7)
- TREE (T)
- CHAIN-LINK FENCE (—)
- SIGN (S)
- BOLLARD (B)



STORM SEWER STRUCTURE TABLE:

STRUCTURE NAME	RIM	INVERTS
STMH 1	483.4	INV. IN (SE): 476.6 (27" RCP) INV. IN (SW): 477.2 (24" RCP) INV. OUT (NW): 476.6 (27" RCP)
STMH 2	484.5	INV. IN (NE): 480.1 (12" HDPE) INV. IN (SE): 477.9 (27" RCP) INV. IN (SW): 478.4 (12" HDPE) INV. OUT (NW): 477.8 (27" RCP)
STMH 3	488.9	INV. IN (NE): 484.3 (12" HDPE) INV. IN (SE): 480.5 (27" RCP) INV. IN (SW): 483.2 (12" HDPE) INV. OUT (NW): 480.5 (27" RCP)
STMH 4	491.0	INV. IN (SE): 484.8 (27" RCP) INV. IN (SW): 484.5 (15" RCP) INV. IN (NW): 484.9 (12" RCP) INV. OUT (NW): 483.8 (27" RCP)
STMH 5	491.2	INV. IN (NE): 486.0 (12" HDPE) INV. IN (SW): 486.9 (12" HDPE) INV. IN (SW): 484.8 (15" HDPE) INV. OUT (NE): 484.7 (15" RCP)
STMH 6	493.0	INV. IN (SW): 487.7 (12" HDPE) INV. OUT (NE): 485.1 (15" HDPE)
STMH 7	484.3	INV. IN (SE): 479.3 (12" HDPE) INV. IN (SW): 481.0 (15" RCP) INV. OUT (NE): 477.9 (24" RCP)
CB 1	484.3	INV. IN (NW): 481.2 (4" HDPE) INV. IN (SE): 481.2 (4" HDPE) INV. OUT (NW): 479.8 (12" HDPE)

SANITARY SEWER STRUCTURE TABLE:

STRUCTURE NAME	RIM	INVERTS
CB 2	484.0	INV. IN (NW): 481.3 (4" HDPE) INV. IN (SE): 481.3 (4" HDPE) INV. OUT (SW): 480.1 (12" HDPE)
CB 3	488.5	INV. IN (NW): 485.1 (4" HDPE) INV. IN (SE): 485.0 (4" HDPE) INV. OUT (NE): 483.6 (12" HDPE)
CB 4	488.5	INV. IN (NW): 485.6 (4" HDPE) INV. IN (SE): 485.5 (4" HDPE) INV. OUT (SW): 484.8 (12" HDPE)
CB 5	490.9	INV. IN (NE): 488.7 (4" HDPE) INV. IN (SW): 488.7 (4" HDPE) INV. OUT (SW): 488.0 (12" HDPE)
CB 6	491.7	INV. IN (NE): 488.6 (4" HDPE) INV. IN (SW): 488.6 (4" HDPE) INV. OUT (NE): 487.6 (15" HDPE)
CB 7	494.5	INV. OUT: 490.8 (8" PVC)
CB 8	483.8	INV. IN (NE): 479.9 (4" HDPE) INV. IN (SE): 479.2 (12" HDPE) INV. IN (SW): 479.8 (4" HDPE) INV. OUT (NW): 479.2 (12" HDPE)
CB 9	483.8	INV. IN (NE): 481.0 (4" HDPE) INV. IN (SW): 481.1 (4" HDPE) INV. OUT (NW): 480.4 (12" HDPE)

UTILITY STRUCTURE TABLE:

STRUCTURE NAME	RIM	INVERTS
SSMH 1	483.7	INV. IN (SE): 475.2 (12" STEEL) INV. IN (SW): 476.6 (8" PVC) INV. OUT (NW): 475.1 (12" STEEL)
SSMH 2	488.3	INV. IN (SE): 479.2 (12" STEEL) INV. OUT (NW): 479.2 (12" STEEL)
SSMH 3	490.8	INV. IN (SE): 483.0 (12" STEEL) INV. IN (S): 483.5 (8" PVC) INV. OUT (NW): 482.4 (12" STEEL)
SSMH 4	492.3	INV. IN (S): 486.6 (8" PVC) INV. OUT (N): 484.7 (8" PVC)
SSMH 5	485.4	INV. IN (SW): 480.9 (8" PVC) INV. OUT (NE): 478.4 (8" PVC)
SSMH 6	489.2	INV. IN (SW): 483.5 (8" PVC) INV. OUT (NE): 482.3 (8" PVC)

REVISION NO.	DATE	DESCRIPTION
1	4/23/2026	ADD TOPOGRAPHIC & UTILITY DATA.

MAP REFERENCES:

1. "SURVEY PLAT OF A PARCEL OF LAND OWNED BY STATE STREET BODY WORKS, INC." FILE NO. 99-123, BY PATSY A. STORINO, DATED OCTOBER 29, 1999.
2. "FINAL SUBDIVISION PLAT ROUTE 57 DEVELOPMENT, LLC" FILE NO. 9-8 BY LAFAYE, WHITE & MCGOVERN, L.S.P.C. DATED MAY 14, 2009, FILED IN THE JEFFERSON COUNTY CLERK'S OFFICE AS MAP NO. 4838 ON SEPTEMBER 4, 2009.
3. "SURVEY PLAT OF A PARCEL OF LAND KNOWN AS TAX MAP P.N. 12-03-201.000, LANDS OF JSJ NNY, LLC," FILE NO. 2019-007, BY STORINO GEOMATICS, PLLC, DATED MARCH 18, 2019.
4. CITY OF WATERTOWN STREET MONUMENTATION RECORD:
 - SHEET 297, PARKER ST.
 - SHEET 342, STATE ST.
 - SHEET 391, WINTHROP ST.

SURVEY NOTES:

1. BEARINGS ARE REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (3102), AS REALIZED FROM STATIC GPS OBSERVATIONS REFERENCED TO NAD 83 (2011) MADE ON 10/16/2017 AND 10/18/2017 FOR THE CITY OF WATERTOWN 2017 GPS NETWORK - FILE NO. 2017-027.
2. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) AS REALIZED FROM STATIC GPS OBSERVATIONS REFERENCED TO GEOID12A MADE ON 10/16 AND 10/18/2017 FOR THE CITY OF WATERTOWN 2017 GPS NETWORK - FILE NO. 2017-027.
3. DISTANCES ARE GROUND DISTANCES (U.S. SURVEY FEET).
4. SURVEY DATES: 2/17, 2/23, 3/24, 4/3, AND 4/21/2026
5. FIELD WORK ON SURVEY DATES INDICATED ABOVE, WAS PERFORMED UNDER ADVERSE WEATHER CONDITIONS, INCLUDING SIGNIFICANT GROUND SNOW AND ICE COVER.
6. ALL ADJOINERS AND REFERENCES ARE PER THE CITY OF WATERTOWN ASSESSMENT DEPARTMENT.
7. THIS SURVEY PERFORMED WITHOUT THE BENEFIT OF UPDATED ABSTRACTS OF TITLE.
SURVEYOR HAS MADE NO INVESTIGATION NOR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT ACCURATE AND CURRENT ABSTRACT TITLE SEARCHES MAY DISCLOSE.
8. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES SHOWN HEREIN PER FIELD LOCATED MARKINGS, ABOVE GROUND VISIBLE FEATURES, AND AVAILABLE RECORDS, THEREFORE THEIR LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED.
THE SURVEYOR REQUESTED MARKING OF UTILITIES FOR THE SUBJECT PREMISES VIA A REGULAR TICKET REQUEST ON THE UDG-NY EXCAT/D PLATFORM. RESPECTIVE UTILITY COMPANIES / ENTITIES PROVIDED LIMITED RECORD INFORMATION. CLEARED THE SITE IN RESPONSE TO THE REQUEST, OR WERE UNRESPONSIVE.
THE SURVEYOR REQUESTED RECORD INFORMATION OF UTILITIES FOR THE SUBJECT PREMISES VIA A DESIGN TICKET REQUEST ON THE UDG-NY EXCAT/D PLATFORM. RESPECTIVE UTILITY COMPANIES / ENTITIES PROVIDED LIMITED RECORD INFORMATION. CLEARED THE SITE IN RESPONSE TO THE REQUEST, OR WERE UNRESPONSIVE.
ADDITIONAL UNDERGROUND FACILITIES, STRUCTURES AND OR UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS PLAT. PRIOR TO CONSTRUCTION CONTACT PRIVATE UTILITY LOCATE AND DIG SAFETY NEW YORK FOR LOCATIONS OF UNDERGROUND UTILITIES. (1-800-962-7962 OR 811).
9. (M) MEASURED DISTANCE CIRF: CAPPED IRON REBAR FOUND
(D) DEED DISTANCE MNF: MAG NAIL FOUND
(R) RECORD MAP DISTANCE
10. CAPS ON 1/2" CAPPED IRON REBAR SET (CIRS) ARE YELLOW AND READ "STOR GEOM PLS 50035".

SURVEY PLAT OF LANDS OF 454 STATE STREET NNY LLC

TAX MAP P.N. 12-03-201.000, P.N. 12-03-220.100, P.N. 12-03-220.200, & P.N. 12-03-220.300

426 - 454 STATE STREET COUNTY OF JEFFERSON CITY OF WATERTOWN STATE OF NEW YORK



STORINO GEOMATICS, PLLC
PROFESSIONAL LAND SURVEYORS
165 MULLIN STREET, WATERTOWN, NY 13601
(315) 788-0287 | STORINGEOMATICS.COM

DATE: 2/25/2026
SCALE: 1" = 20'
DRAWN BY: A.M.S.
CHECKED BY: T.M.S. / A.M.S.
FILE NO. 2026-004

V101
1 OF 1

Plotter: May 19, 2026 - 6:45AM By: kcbjg SYR State Street Properties\5074.001_001 Site Plans.dwg
i:\Projects\5000\5074.001_001 - State Street Properties\5074.001_001 Site Plans.dwg
Checked by: CAW Drawn by: KJK
Designed by: KJK In charge of: CAW

GENERAL NOTES

- 1. ALL DIMENSIONS SHALL BE FIELD MEASURED AND VERIFIED PRIOR TO COMMENCING ANY WORK.
- 2. THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY MATERIALS WHICH ARE TO REMAIN IN PLACE WILL NOT BE DAMAGED. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE OWNER'S REPRESENTATIVE AT THE EXPENSE OF THE CONTRACTOR.
- 3. THE CONTRACTOR SHALL BECOME ACQUAINTED WITH THE DRAINAGE CHARACTERISTICS OF THE AREA IN ORDER TO PROGRESS WORK EFFICIENTLY WITH FULL KNOWLEDGE OF THE POTENTIAL DRAINAGE PROBLEMS.
- 4. ALL EXISTING DRAINAGE SYSTEMS, INCLUDING CLOSED DRAINAGE WITHIN THE CONTRACT LIMITS SHALL BE KEPT CLEAN AND FREE FLOWING FOR THE DURATION OF THE CONTRACT.
- 5. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT, DUE TO THE NATURE OF THE PROJECT, THE EXACT EXTENT OF WORK CANNOT ALWAYS BE ACCURATELY PORTRAYED PRIOR TO THE COMMENCEMENT OF WORK. THESE CONTRACT DOCUMENTS HAVE BEEN PREPARED BASED ON FIELD SURVEY AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONAL MAY REQUIRE MODIFICATIONS TO CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH FIELD CONDITIONS.

WORK ZONE TRAFFIC CONTROL NOTES

- 1. PRIOR TO THE START OF ANY WORK OPERATIONS, THE CONTRACTOR WILL COMPLETE ALL RELATED WORK FOR PROPOSED MAINTENANCE AND PROTECTION OF TRAFFIC, INCLUDING ROAD CLOSURES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL SIGNS, PAVEMENT MARKINGS, BARRIERS, DELINEATION (TUBULAR MARKERS, DRUMS, ETC.), FLAGGERS, PAVEMENT MODIFICATIONS, AND ANY OTHER RELATED WORK.
- 2. THE CONTRACTOR SHALL SCHEDULE WORK SO THAT ALL TRAVEL LANES IN EACH DIRECTION ARE OPEN WHEN THE CONTRACTOR'S OPERATIONS ARE CLOSED DOWN OR SUBSTANTIALLY CLOSED DOWN.
- 3. WHERE POSSIBLE, ALL CHANNELIZING/DELINEATION DEVICES ARE TO BE PLACED SO AS TO PROVIDE A MINIMUM OF 2 FEET CLEARANCE TO THE TRAVELED WAY. THE CONTRACTOR SHALL MAKE CERTAIN THAT PLACEMENT OF CONES, DRUMS, AND MARKERS OR BARRICADES SHALL NOT INTERFERE WITH SIGHT DISTANCE.
- 4. COLORS USED FOR CONSTRUCTION SIGNING (INCLUDING TEMPORARY OR MODIFIED GUIDE SIGNS SHALL BE BLACK LEGEND ON ORANGE BACKGROUND.
- 5. ALL SIGNS NECESSARY FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC INCLUDING RELOCATION, MODIFICATION, AND/OR RESTORATION OF EXISTING SIGN PANELS SHALL BE IN ACCORDANCE WITH THE 2023 NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), MOST RECENT NYS SUPPLEMENT TO THE NATIONAL MUTCD AND NYS DOT STANDARD SPECIFICATIONS - SECTION 619 WORK ZONE TRAFFIC CONTROL, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND/OR LOCAL GOVERNING AUTHORITY.

SITE ACCESS

- 1. CONTRACTOR SHALL MAINTAIN A CLEAN WORK SITE AT ALL TIMES. AT THE END OF THE WORK DAY ALL EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED STAGING AREA AS COORDINATED WITH THE OWNER'S REPRESENTATIVE. ALL SOIL, DUST, AND MUD SHALL BE REMOVED FROM THE PROJECT AREA AND OUTSIDE THE PROJECT AREA. AT THE END OF THE DAY, TIRES OF CONSTRUCTION VEHICLES SHALL BE CLEANED OF SOIL AND MUD BEFORE BEING ALLOWED ON PUBLIC STREETS. ANY SOIL OR MUD DEPOSITED ON PUBLIC STREETS BY CONSTRUCTION VEHICLES SHALL BE REMOVED IMMEDIATELY.
- 2. ALL EQUIPMENT ENTERING AND LEAVING THE SITE SHALL BE COVERED BY LAW TO REDUCE DUST AND ODOR.
- 3. CONTRACTOR SHALL VERIFY THAT STAGING AREA AND EQUIPMENT WASHOUTS ARE LOCATED WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS.
- 4. THE CONTRACTOR SHALL, AT THEIR OWN EXPENSE, RESTORE LAWNS, DRIVEWAYS, DRAINAGE STRUCTURES, PIPES, FENCE, GUIDERAILS, SIGNS, AND OTHER PUBLIC AND PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD A CONDITION AS BEFORE BEING DISRUPTED.

UTILITIES

- 1. CONTRACTOR IS WARNED THAT LOCATIONS SHOWN ON THE PLANS IN THE PROJECT AREA ARE SUBJECT TO VERIFICATION. THE PLANS SHOW KNOWN ABOVE GROUND AND SUBSURFACE STRUCTURES, UTILITIES, FACILITIES, AND EXISTING FEATURES, AND THE EXACT OR APPROXIMATE LOCATIONS MAY DIFFER FROM THAT SHOWN, AND THERE MAY BE FEATURES NOT SHOWN.
- 2. CONTRACTOR SHALL COMPLY WITH THE STATE OF NEW YORK DEPARTMENT OF PUBLIC SERVICE, 16NYCRR PART 753, AND CONTACT UDIG NY AT 1-800-962-7962, OR 811, OR ONLINE AT HTTPS://UDIGNY.ORG FOR UTILITY LOCATION SERVICES. CONTRACTOR SHALL RETAIN A PRIVATE UTILITY LOCATOR AS NECESSARY FOR UTILITIES NOT LOCATED BY ONE-CALL SERVICES.
- 3. CONTRACTOR IS RESPONSIBLE FOR PROTECTING UTILITIES AND FACILITIES LOCATED IN THE PROJECT AREA. DAMAGE FROM FAILURE TO FOLLOW, OR NEGLIGENCE IN FOLLOWING, LOCATION PROCEDURES SHALL BE REPAIRED, RESTORED, OR REPLACED TO THE SATISFACTION OF THE OWNER AND ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- 4. CONTRACTOR SHALL IMMEDIATELY INFORM ENGINEER IF UTILITIES ARE DAMAGED BY CONSTRUCTION ACTIVITIES, AND CONTRACTOR SHALL IMMEDIATELY REPAIR THE UTILITY. CONTRACTOR MUST COMMIT ALL REQUIRED LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS, INCLUDING STOPPING PROJECT WORK IF NECESSARY, TO REMEDY THE DAMAGE UNTIL THE UTILITY IS ACCEPTABLY REPAIRED AND PLACED BACK INTO SERVICE.
- 5. CONTRACTOR SHALL FIELD VERIFY, INCLUDING TEST PITS OR EXPLORATORY EXCAVATIONS AS NECESSARY, ALL EXISTING LOCATIONS, ELEVATIONS, SIZES, DIMENSIONS, MATERIALS, CONNECTIONS, CROSSINGS, AND OTHER CONDITIONS WITHIN THE PROJECT AREA BEFORE WORK, AT NO ADDITIONAL COST TO THE OWNER.
- 6. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT APPROVAL OF THE ENGINEER AND OWNER. CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES BETWEEN PLANS AND CONDITIONS TO ENGINEER IN A TIMELY MANNER, IN WRITING, PRIOR TO WORK. FAILURE TO PROSPECT CONDITIONS OR VERIFY DIMENSIONS IN ADVANCE OF WORK SHALL NOT BE CAUSE FOR DELAY, OR ADDITIONAL COST TO OWNER.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS REQUIRED FOR THE WORK PRIOR TO CONSTRUCTION, EXCEPT AS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS.
- 8. CONTRACTOR ALONE IS RESPONSIBLE FOR THE EXECUTION OF THE WORK IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS. NEITHER OWNER NOR ENGINEER WILL INSPECT THE WORK OR THE METHODS OF CONSTRUCTION FOR COMPLIANCE WITH THESE REQUIREMENTS.
- 9. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE STATE STATUTES AND U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS. COPIES OF OSHA STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE.

- 10. PROVIDE 5 FEET-0 INCH MINIMUM COVER OVER TOP OF ALL BURIED SANITARY AND WATER PIPING, UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS. PIPE WITH LESS THAN 4 FEET COVER SHALL BE INSULATED WITH 2 INCH RIGID FOAM BOARD OR EQUIVALENT ON TOP AND BOTH SIDES, ACCORDING TO DETAILS.
- 11. PIPE BENDS MAY NOT BE SHOWN OR CALLED OUT. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REQUIRED HORIZONTAL AND VERTICAL FITTINGS TO CONSTRUCT THE PIPING AS SHOWN IN THE DRAWINGS AND IN ACCORDANCE WITH APPLICABLE STANDARDS. PIPE JOINT DEFLECTION MAY BE USED WITHIN MANUFACTURER'S TOLERANCES.
- 12. ALL HORIZONTAL AND VERTICAL FITTINGS MUST BE RESTRAINED, UNLESS OTHERWISE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. VERTICAL 90 DEGREE FITTINGS ARE NOT PERMITTED.
- 13. CONTRACTOR SHALL FURNISH ALL LABOR, TOOLS, TRANSPORTATION, MATERIALS, APPURTENANCES, AND INCIDENTALS TO COMPLETE THE WORK CALLED FOR AND/OR SHOWN ON THE DRAWINGS AND SPECIFICATIONS. MATERIALS OR WORK NOT SPECIFICALLY MENTIONED OR SHOWN ON THE DRAWINGS OR SPECIFICATIONS, BUT NECESSARY TO COMPLETE THE WORK, SHALL BE PROVIDED.
- 14. CONTRACTOR SHALL VERIFY INSTALLATIONS AND REMOVALS TO ACCOUNT FOR ANY NECESSARY WORK NOT SHOWN. INSTALLATION OF NEW EQUIPMENT AND PIPING MAY REQUIRE ADDITIONAL MODIFICATIONS NOT SPECIFICALLY SHOWN. ALL WORK NECESSARY FOR THE INSTALLATION OF THE EQUIPMENT AND SYSTEMS SHOWN AND/OR SPECIFIED SHALL BE INCLUDED IN THE APPLICABLE BID PRICE. INCIDENTAL ADDITIONAL WORK NOT SHOWN ON THE DRAWINGS, BUT NECESSARY FOR COMPLETE OPERATION, SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- 15. LOCATION OF NEW WATER SERVICE CONNECTIONS TO BE DETERMINED BY OWNER AND LANDOWNER.

EXCAVATION AND TRENCHING

- 1. CONTRACTOR SHALL PROVIDE EQUIPMENT AS NECESSARY TO COMPLETE EXCAVATIONS AS SHOWN. THESE DRAWINGS DO NOT SHOW SPECIFIED EXCAVATION SUPPORTS AND CONTRACTOR SHALL SUBMIT ITS EXCAVATION PLAN FOR EACH LOCATION INCLUDED IN THE PROJECT. NO ADDITIONAL PAYMENT WILL BE MADE FOR SHEETING OR BRACING LEFT IN PLACE.
- 2. WHERE THE TOLERANCE ZONE OF A GAS MAIN IS LOCATED WITHIN THE LIMITS OF TRENCHING, AS DEFINED IN 16NYCRR PART 753, THE CONTRACTOR SHALL VERIFY THE LOCATION OF THE GAS MAIN BY MEANS OF HAND DUG HOLES PER 16NYCRR PART 753. NATIONAL GRID REQUIRES THAT THEIR INSPECTOR BE ON SITE PRIOR TO EXCAVATION WITHIN THE TOLERANCE ZONE OF THEIR GAS MAIN. ALL CROSSINGS OF GAS PIPING SHALL PROVIDE A MINIMUM 18 INCHES CLEARANCE.
- 3. THE CONTRACTOR SHALL COORDINATE THE TEMPORARY SUPPORT, HOLDING, OR RELOCATION OF UTILITY POLES WITH THE RESPECTIVE UTILITY DURING PROXIMATE CONSTRUCTION, WHERE NECESSARY, AT NO ADDITIONAL COST TO THE OWNER.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION, INCLUDING ANY ROCK OR CONCRETE EXCAVATION, AND NO ADDITIONAL PAYMENT WILL BE MADE FOR STRUCTURES, CONCRETE EXCAVATION OR REMOVAL OF CONSTRUCTION DEBRIS AND OBSTRUCTIONS AT THE PROJECT SITE.
- 5. WHERE DEWATERING IS NECESSARY, CONTRACTOR SHALL SUBMIT A NARRATIVE OF INTENDED FILTERING METHODOLOGY AND PRODUCTS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING EXCAVATION FOR FOUNDATIONS OR FACILITIES AND DEWATERING ACTIVITIES; SEE SPECIFICATION SECTION FOR DEWATERING.
- 6. TRENCHES SHALL NOT BE LEFT OPEN DURING NON-CONSTRUCTION HOURS WITHOUT SPECIFIC PERMISSION FROM THE ENGINEER AND OWNER, AND ONLY IN INSTANCES WHERE A SPECIAL HARSHIP CAN BE SHOWN. MARKING, PROTECTION, AND TEMPORARY COVERAGE SHALL COMPLY WITH OSHA REGULATIONS.
- 7. ALL BURIED PIPING ENTERING/LEAVING A STRUCTURE SHALL HAVE A JOINT WITHIN FOUR (4) FEET OF THE STRUCTURE'S WALL OR FOUNDATION.
- 8. ALL NON-METALLIC WATER OR SANITARY SEWER PIPING SHALL BE INSTALLED WITH TRACER WIRE. TRACER WIRE SHALL BE STAINLESS STEEL WIRE NOT LESS THAN 0.10 INCH IN DIAMETER.
- 9. PREVENT SURFACE AND SUBSURFACE WATER FROM FLOWING INTO EXCAVATIONS AND TRENCHES AND FROM FLOODING THE SITE AND SURROUNDING AREAS. PROVIDE ALL NECESSARY PUMPING EQUIPMENT AS REQUIRED TO KEEP ALL EXCAVATIONS FREE FROM SURFACE AND SUBSURFACE WATER ENCOUNTERED DURING CONSTRUCTION. PROVIDE ALL NECESSARY PROTECTION AGAINST WATER POLLUTION RESULTING FROM WATER DISCHARGE FROM PUMPING EQUIPMENT.
- 10. CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER 24 HOURS PRIOR TO BACKFILLING OPERATIONS.
- 11. BACKFILL EXCAVATIONS AS PROMPTLY AS PRACTICABLE, BUT ONLY AFTER REQUIRED APPROVALS FROM THE OWNER/ENGINEER. DO NOT BACKFILL WITH EXCAVATED MATERIAL UNLESS IT MEETS THE REQUIREMENTS FOR SUITABLE BACKFILL MATERIAL.
- 12. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN SIX (6) INCHES THICK IN LOOSE DEPTH UNLESS OTHERWISE SPECIFIED. BEFORE COMPACTION, MOISTEN AND AERATE EACH LAYER AS NECESSARY TO FACILITATE COMPACTION TO THE REQUIRED DENSITY. DO NOT PLACE BACKFILL OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR COVERED WITH ICE.
- 13. PREVENT WEDGING ACTION OF BACKFILL AGAINST SURROUNDING STRUCTURES BY PLACING BACKFILL UNIFORMLY AROUND STRUCTURE TO APPROXIMATELY THE SAME ELEVATION IN EACH LAYER.
- 14. UNDER LANDSCAPED AREAS, PLACE APPROVED MATERIAL WHEN REQUIRED TO COMPLETE FILL OR BACKFILL AREAS UP TO SUBGRADE SURFACE ELEVATION. DO NOT USE MATERIAL CONTAINING ROCKS OVER FOUR (4) INCHES IN DIAMETER WITHIN THE TOP 12 INCHES OF APPROVED MATERIAL.
- 15. COMPACT EACH LAYER OF FILL AND BACKFILL TO 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT SUITABLE TO OBTAIN THE REQUIRED DENSITIES, BUT NOT LESS THAN 3% DRIER OR MORE THAN 2% WETTER THAN THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698. IF A COMPACTED LAYER FAILS TO MEET THE SPECIFIED DENSITY, THE LAYER SHALL BE WETTED OR DRIED, AND COMPACTED UNTIL THE MINIMUM DENSITY IS ACHIEVED.
- 16. COMPACTION TESTING SHALL BE PROVIDED BY THE GENERAL CONTRACTOR ON EACH INSTALLATION AS DIRECTED BY THE OWNER/ENGINEER OR IN THE FREQUENCY AS FOLLOWS:
A. ONE FOR EACH TYPE OF SUBGRADE ENCOUNTERED IN THE CONSTRUCTION AREAS (OWNER/ENGINEER IS TO REVIEW IN THE FIELD)
B. ONE ON APPROVED BACKFILL MATERIAL USED FOR EMBANKMENT OR BACKFILL.
C. ONE ON SELECT GRANULAR MATERIAL.

MAINTENANCE OF SERVICES AND SITE CONDITIONS

- 1. ALL WATER MAIN AND SERVICE WORK SHALL BE COORDINATED WITH THE CITY OF WATERTOWN WATER DEPARTMENT.

EROSION & SEDIMENT CONTROL NOTES:

SEEDING & STABILIZATION

- 1. RESTORE ALL SURFACES TO AS GOOD AS OR BETTER CONDITION THAN BEFORE CONSTRUCTION AS SOON AS POSSIBLE FOLLOWING THE COMPLETION OF WORK IN ANY AREA.
- 2. UNDER NO CONDITION, SHALL ANY AREA OF UNPROTECTED ERODIBLE EARTH MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, BORROW, OR FILL BE LEFT IN AN UNPROTECTED CONDITION. ANY PORTION OF AN AREA ON WHICH CLEARING AND GRUBBING, EXCAVATION, BORROW, OR FILL HAS PERMANENTLY CEASED SHALL BE STABILIZED, BY EITHER TEMPORARY OR PERMANENT MEANS. THE CONTRACTOR WILL ALSO BE AWARE OF IMPENDING WEATHER CONDITIONS AND THE NEED TO APPLY MULCH AND ROLLED EROSION CONTROL PRODUCT (RECP) ON AREAS THAT WORK IS PROGRESSING.
- 3. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN FOURTEEN (14) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED.
- 4. MAINTENANCE OF TEMPORARY SEEDED AREAS SHALL INCLUDE RE-SEEDING AS NEEDED (OR AS ORDERED BY THE ENGINEER) TO ESTABLISH A SATISFACTORY STAND OF TURF. THE COST OF RESEEDING SHALL BE AT THE CONTRACTOR'S EXPENSE. IT IS HIGHLY RECOMMENDED THAT THE SEEDING BE DONE PRIOR TO INSTALLING THE RECP.
- 5. ALL SLOPES SHALL BE BROUGHT TO FINISHED GRADE AND TRIMMED AS SOON AS POSSIBLE.
- 6. PERMANENT EROSION CONTROL MEASURES OF SEEDING AND MULCHING (SEED ONLY WITHIN SEEDING DATES) SHALL BE CARRIED OUT ONCE THE SLOPES HAVE REACHED FINAL GRADE. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN IN THE TEMPORARY SLOPE TREATMENT TABLE SHALL BE EMPLOYED AS INDICATED.
- 7. ALL DISTURBED AREAS WILL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH THE PLANS AND DETAILS IN THE CONTRACT DOCUMENTS. FOR ALL UNPAVED DISTURBED AREAS SPECIFIED OR DIRECTED FOR TURF ESTABLISHMENT, PLACE TOPSOIL, SEED AND MULCH IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- 8. FINAL SITE STABILIZATION WILL BE DEFINED AS 80% VEGETATIVE COVER OVER THE ENTIRE SITE. FOLLOWING SITE STABILIZATION, ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES WILL BE REMOVED SUBJECT TO THE APPROVAL OF THE ENGINEER.

PROTECTION OF DRAINAGE STRUCTURES

- 1. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT CONTAMINATION OF ANY DRAINAGE STRUCTURES BY SILT, SEDIMENTS, FUEL SOLVENTS, LUBRICANTS, EPOXY COATINGS, DEBRIS, CONCRETE LEACHATE OR ANY OTHER POLLUTANT ASSOCIATED WITH CONSTRUCTION AND CONSTRUCTION PROCEDURES.
- 2. DURING CONSTRUCTION, NO WET OR FRESH CONCRETE OR LEACHATE SHALL BE ALLOWED TO ESCAPE INTO THE DRAINAGE STRUCTURES. EQUIPMENT, TOOLS, TRUCKS AND OTHER DEVICES USED IN THIS PROJECT SHALL BE CLEANED IN SUCH A MANNER AS TO PREVENT WASH WATER FROM ENTERING ANY DRAINAGE STRUCTURE. WASHOUT BASINS MUST BE USED. PLATFORMS, NETS, SCREENS OR OTHER PROTECTIVE DEVICES SHALL BE USED TO CATCH THE MATERIAL. IF THE ENGINEER DETERMINES THAT ADEQUATE PROTECTIVE DEVICES ARE NOT BEING EMPLOYED, THE WORK SHALL BE SUSPENDED UNTIL ADEQUATE PROTECTION IS PROVIDED.
- 3. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT THE ENTRANCE OF WET OR FRESH CONCRETE OR LEACHATE INTO DRAINAGE STRUCTURES.
- 4. ANY DEBRIS OR EXCESS MATERIALS FROM CONSTRUCTION SHALL BE IMMEDIATELY AND COMPLETELY REMOVED FROM THE SITE TO APPROPRIATE OFFSITE AREAS FOR DISPOSAL.
- 5. ANY MATERIAL ENTERING THE DRAINAGE STRUCTURES, FOR ANY REASON WHATSOEVER, WHICH IS NOT PART OF THE INTENDED WORK, SHALL BE REMOVED AND DISPOSED OF PROPERLY.
- 6. IN THE EVENT A DEWATERING OPERATION BECOMES NECESSARY, A SETTLING BASIN OR DISCHARGE FILTER WILL BE REQUIRED UNLESS THE PUMP DISCHARGE IS FREE OF SEDIMENT.
- 7. SPILLAGE OF OIL AND HAZARDOUS SUBSTANCES IS ESPECIALLY PROHIBITED BY SECTION 311 OF THE CLEAN WATER ACT OF 1977. MEASURES INCLUDING PROPER MAINTENANCE OF CONSTRUCTION EQUIPMENT, DESIGNATING FUEL/HAZARDOUS SUBSTANCES, HANDLING AREAS TO ALLOW SPILLS TO BE CONTAINED BEFORE REACHING THE DRAINAGE STRUCTURES, INSTRUCTING PERSONNEL NOT TO DISPOSE OF OIL AND OTHER SUCH MATERIALS INTO DRAINAGE STRUCTURES DIRECTLY, AND OTHER NECESSARY PROCEDURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION ACTIVITIES. IF, IN SPITE OF SUCH PLANNING, OIL/HAZARDOUS SUBSTANCES ARE SPILLED INTO A WATERCOURSE, IMMEDIATE NOTIFICATION SHALL BE GIVEN TO THE N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION AT TELEPHONE NUMBER (518) 457-7362 AND THE NATIONAL RESPONSE CENTER AT TELEPHONE NUMBER 1-800-424-8802. A CONTAINMENT BOOM AND A SUPPLY OF STRAW, OR OTHER ABSORBENT SHOULD BE RETAINED SO THAT IT MAY BE RAPIDLY DEPLOYED TO SOAK UP ANY POSSIBLE SPILLAGE. PENDING ENVIRONMENTAL CONSERVATION AND/OR COAST GUARD ARRIVAL ON THE SCENE, THE USE OF CHEMICAL DISPERSING AGENTS AND EMULSIFIERS IS NOT AUTHORIZED WITHOUT PRIOR, SPECIFIC, FEDERAL, STATE, OR LOCAL APPROVAL.

GENERAL EROSION AND SEDIMENT CONTROL

- 1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED IN CONFORMANCE WITH THE MOST CURRENT REVISION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (THE "BLUE BOOK"). IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL STABILIZATION, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE. THIS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. ANY PROPOSED CHANGES TO THE EROSION AND WATER POLLUTION CONTROL MEASURES SHALL BE APPROVED BY THE ENGINEER PRIOR TO BEING IMPLEMENTED.
- 3. THE SYMBOLS SHOWN ON THE CONSTRUCTION PLAN SHEETS REPRESENT THE EROSION CONTROL ITEMS TO BE USED IN CONJUNCTION WITH THE PROPOSED WORK. THE INSTALLATION METHODS, INCLUDING APPLICABLE PLACEMENT INTERVALS, ARE AS SHOWN ON THE PLANS AND DETAILS IN THE CONTRACT DOCUMENTS.
- 4. THE CONTRACTOR IS ADVISED THAT THE LOCATIONS OF THE TEMPORARY DEVICES ARE APPROXIMATE. THE EXACT DEVICE LOCATIONS TO ACCOMMODATE THE PROPOSED WORK SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 5. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT THROUGHOUT THE DURATION OF THE CONTRACT, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL DRAINAGE STRUCTURES FROM SEDIMENT OR POLLUTANTS ORIGINATING FROM ANY WORK BEING DONE ON OR IN SUPPORT OF THIS PROJECT.

- 6. THE POLLUTION CONTROL NOTES AND DETAILS SHOWN IN THESE DRAWINGS ARE NOT INTENDED TO BE ALL INCLUSIVE BUT TO SERVE AS A GUIDELINE FOR THE DEVELOPMENT OF THE CONTRACTOR'S REQUIRED EROSION CONTROL SCHEME.
- 7. TO MINIMIZE EXTENT OF TEMPORARY NON-STABILIZED SOILS, CONTRACTOR SHALL BACKFILL AND STABILIZE DISTURBED SOILS AS WORK PROGRESSES. MAXIMUM LENGTH OF NON-STABILIZED SOILS IN, LINEAR TRENCHED AREAS SHALL BE 300-FT. NO ADDITIONAL OPEN TRENCHING WILL BE ALLOWED IF MORE THAN 300-FT OF TRENCHING EXISTS.

TEMPORARY EROSION AND SEDIMENT CONTROLS

- 1. THE PROPOSED WORK WILL REQUIRE THAT THE TEMPORARY EROSION AND SEDIMENT CONTROLS BE PLACED OVER THE COURSE OF THE PROJECT AS WORK PROGRESSES. NO WORK SHALL BE PERFORMED WITHOUT THE APPROPRIATE CONTROLS ONSITE.
- 2. ALL EROSION AND SEDIMENT CONTROLS SHALL BE PLACED PRIOR TO STARTING EARTHWORK OPERATIONS AND CONSTRUCTION OPERATIONS AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS AND THE NEW SLOPES ARE STABILIZED WITH SEEDING AND/OR SLOPE PROTECTION, AND A.O.B.E. STABILIZATION WILL BE CONSIDERED AS 80% COVER, PER SQUARE FOOT, ACROSS THE SITE. PROPOSED CONTROL MEASURES SHALL BE MAINTAINED ACCORDING TO THE CURRENT REVISION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (THE "BLUE BOOK"). CONTRACTOR SHALL REMOVE CONTROL MEASURES UPON CONSTRUCTION COMPLETION.
- 3. FIBER LOGS ARE USED TO CAPTURE SEDIMENT DEPOSITS THAT BREAK FREE FROM THE EROSION CONTROLS.
- 4. IMMEDIATELY UPON COMPLETION OF EXCAVATION OR EMBANKMENT, THE CONTRACTOR SHALL PLACE TEMPORARY FIBER ROLLS IN ALL ROADWAY AS ORDERED BY THE ENGINEER OR AS SHOWN TO PREVENT SEDIMENTATION.
- 5. ROLLED EROSION CONTROL PRODUCT (RECP) IS FOR EROSION PREVENTION.
- 6. STREETS/DRIVEWAYS SHALL BE CLEANED DAILY IN A MANNER WHICH WILL MINIMIZE DUST. NO SEDIMENT SHALL BE TRACKED OFF-SITE OR ONTO ROADS, SWEEPING OF ROADS SHALL BE CONDUCTED TO REMOVE ANY TRACKED SEDIMENT.
- 7. THE CONTRACTOR SHALL FURNISH AND APPLY WATER FOR DUST CONTROL, AS NEEDED.
- 8. CONTRACTOR SHALL PROTECT ALL STOCKPILED SOILS WITH APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES. FILTER FABRIC SHALL SATISFY THE REQUIREMENTS OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (THE "BLUE BOOK").
- 9. THERE ARE NO LOCATIONS WITHIN THE PROJECT LIMITS FOR THE DISPOSAL OF CONSTRUCTION DEBRIS OR SPOILS.

DUST CONTROL NOTES:

TEMPORARY METHODS:

- 1. MULCHES: IN ACCORDANCE WITH THE APPROVED SWPPP.
- 2. ADHESIVES: USE ON MINERAL SOILS ONLY (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. THE FOLLOWING TABLE MAY BE USED FOR GENERAL GUIDANCE.

TYPE OF EMULSION	WATER DILUTION	TYPE OF NOZZLE	APPLY GAL/AC.
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1	FINE SPRAY	300
ACRYLIC EMULSION (NON-TRAFFIC)	7:1	COARSE SPRAY	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE SPRAY	350

- 3. TILLAGE: FOR EMERGENCY TEMPORARY TREATMENT, SCARIFY THE SOIL SURFACE TO PREVENT OR REDUCE THE AMOUNT OF BLOWING DUST UNTIL A MORE APPROPRIATE SOLUTION CAN BE IMPLEMENTED. BEGIN THE TILLAGE OPERATION ON THE WINDWARD SIDE OF THE SITE USING A CHISEL-TYPE PLOW FOR BEST RESULTS.
- 4. SPRINKLING: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED.
- 5. CALCIUM CHLORIDE: APPLY AS FLAKES OR GRANULAR MATERIAL WITH A SPREADER AT A RATE THAT WILL KEEP THE SOIL SURFACE MOIST. RE-APPLY AS NECESSARY.
- 6. BARRIERS: PLACE BARRIERS SUCH AS SOLID BOARD FENCES, SNOW FENCES, HAY BALES, ETC. AT RIGHT ANGLES TO THE PREVAILING AIR CURRENTS AT INTERVALS OF APPROX. 10X THEIR HEIGHT.

PERMANENT METHODS:

- 7. STONE: APPLY LAYER OF CRUSHED STONE OR COARSE GRAVEL TO PROTECT SOIL SURFACE.

SITE DRAWING INDEX	
SHEET NO.	SHEET TITLE
C001	GENERAL NOTES AND INDEX
C100	DEMOLITION AND EROSION & SEDIMENT CONTROL PLAN
C101	SITE PLAN
C102	GRADING PLAN
C103	UTILITY PLAN
L101	LANDSCAPING PLAN
C501	EROSION & SEDIMENT CONTROL DETAILS
C502	SITE DETAILS
C503	SITE DETAILS

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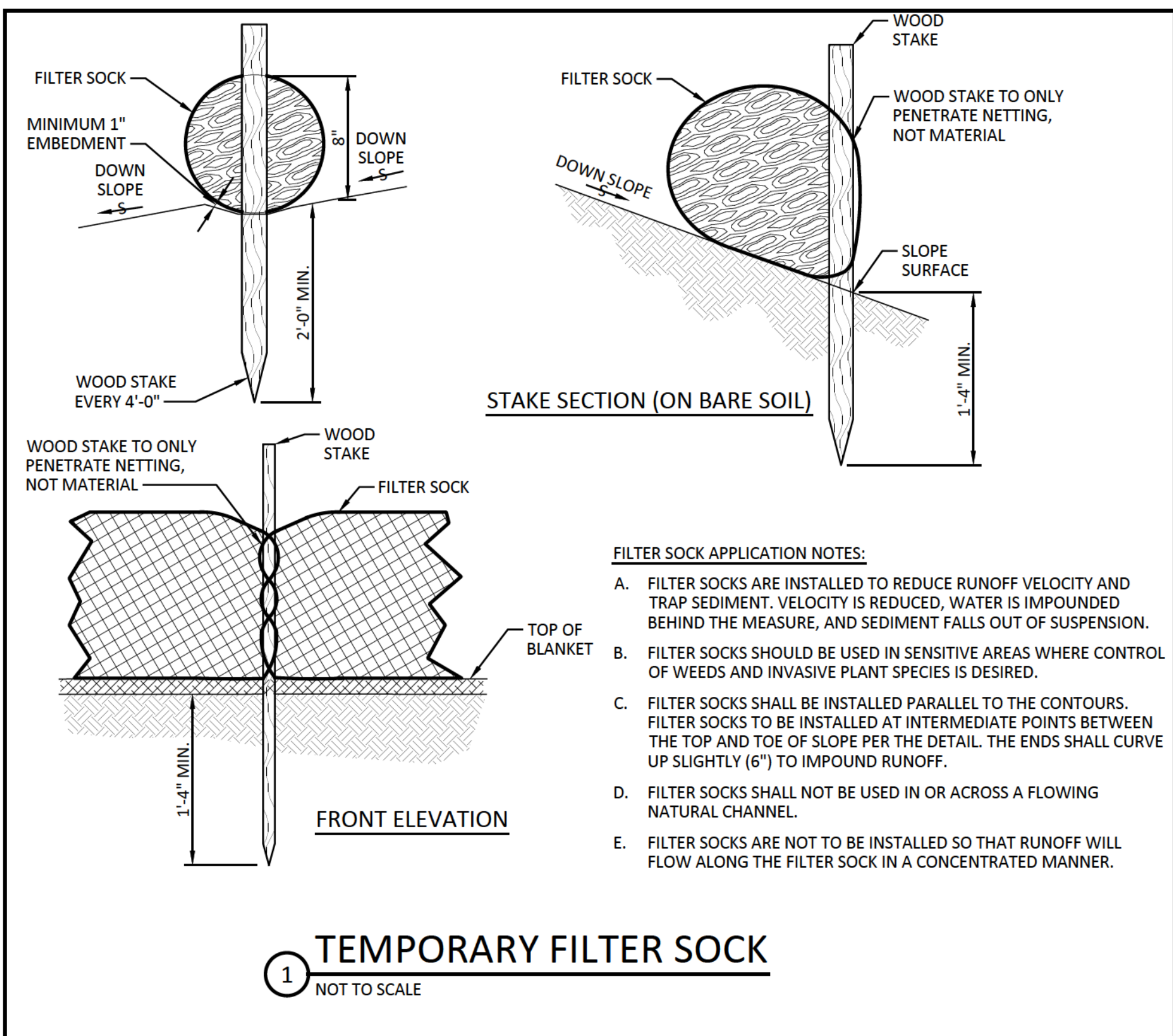
REVISIONS	
NO.	DESCRIPTION

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JEFFERSON COUNTY, NEW YORK
CITY OF WATERTOWN

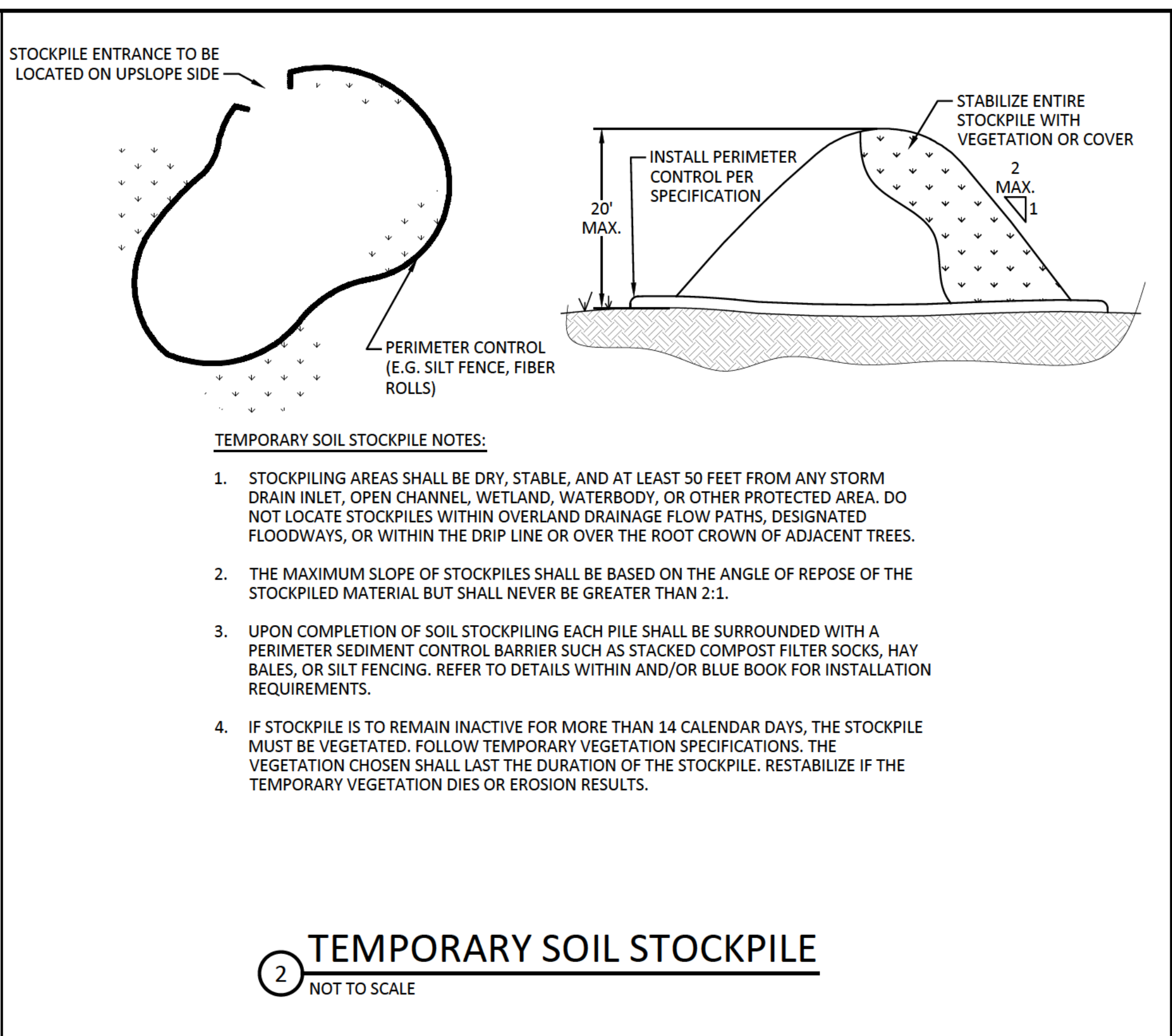
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Watertown, New York
13601
Barton & Loguidice, D.P.C.

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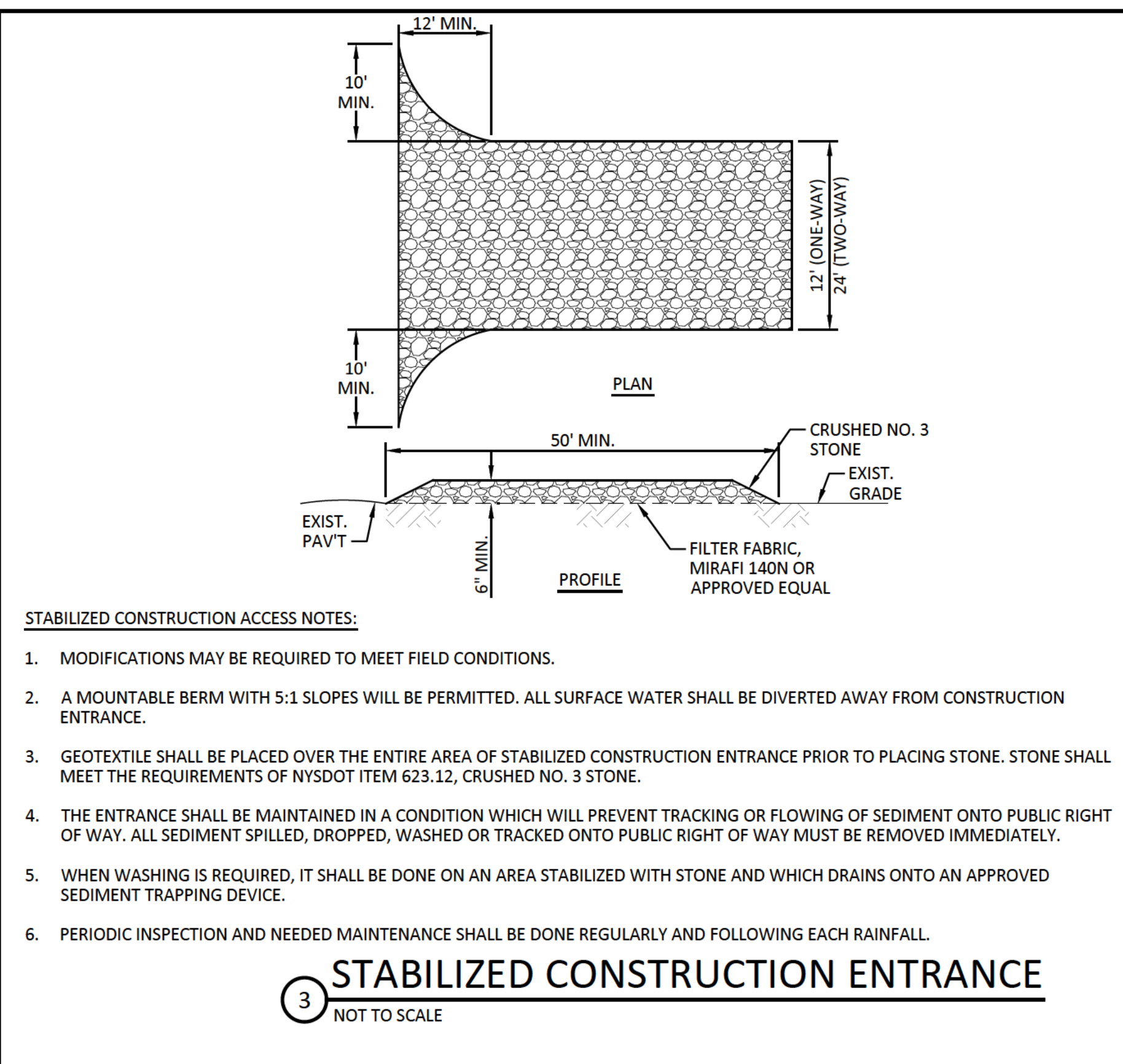


1 TEMPORARY FILTER SOCK
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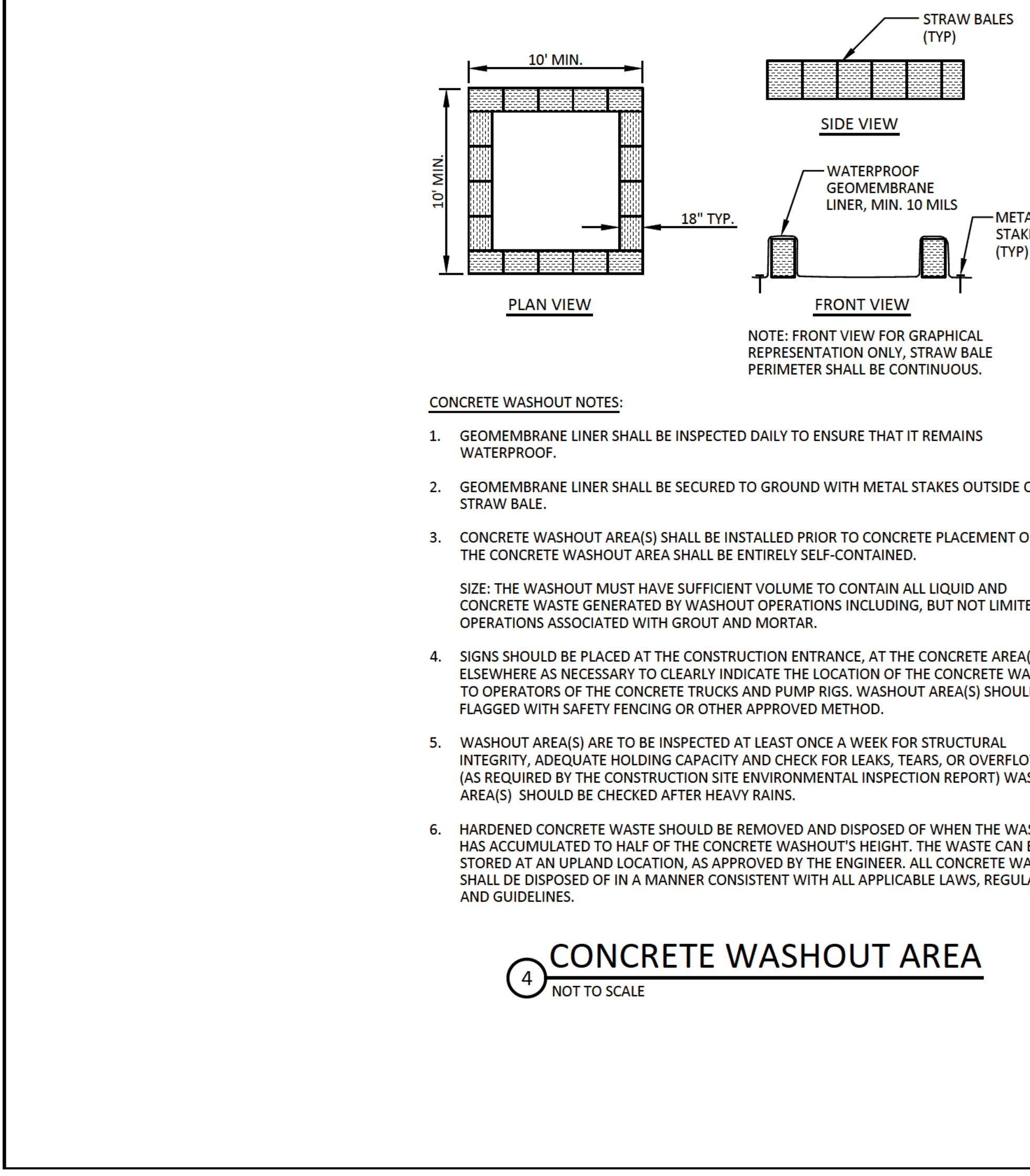
2 TEMPORARY SOIL STOCKPILE
NOT TO SCALE

- TEMPORARY SOIL STOCKPILE NOTES:**
- STOCKPILING AREAS SHALL BE DRY, STABLE, AND AT LEAST 50 FEET FROM ANY STORM DRAIN INLET, OPEN CHANNEL, WETLAND, WATERBODY, OR OTHER PROTECTED AREA. DO NOT LOCATE STOCKPILES WITHIN OVERLAND DRAINAGE FLOW PATHS, DESIGNATED FLOODWAYS, OR WITHIN THE DRIP LINE OR OVER THE ROOT CROWN OF ADJACENT TREES.
 - THE MAXIMUM SLOPE OF STOCKPILES SHALL BE BASED ON THE ANGLE OF REPOSE OF THE STOCKPILED MATERIAL BUT SHALL NEVER BE GREATER THAN 2:1.
 - UPON COMPLETION OF SOIL STOCKPILING EACH PILE SHALL BE SURROUNDED WITH A PERIMETER SEDIMENT CONTROL BARRIER SUCH AS STACKED COMPOST FILTER SOCKS, HAY BALES, OR SILT FENCING. REFER TO DETAILS WITHIN AND/OR BLUE BOOK FOR INSTALLATION REQUIREMENTS.
 - IF STOCKPILE IS TO REMAIN INACTIVE FOR MORE THAN 14 CALENDAR DAYS, THE STOCKPILE MUST BE VEGETATED. FOLLOW TEMPORARY VEGETATION SPECIFICATIONS. THE VEGETATION CHOSEN SHALL LAST THE DURATION OF THE STOCKPILE. RESTABILIZE IF THE TEMPORARY VEGETATION DIES OR EROSION RESULTS.



3 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

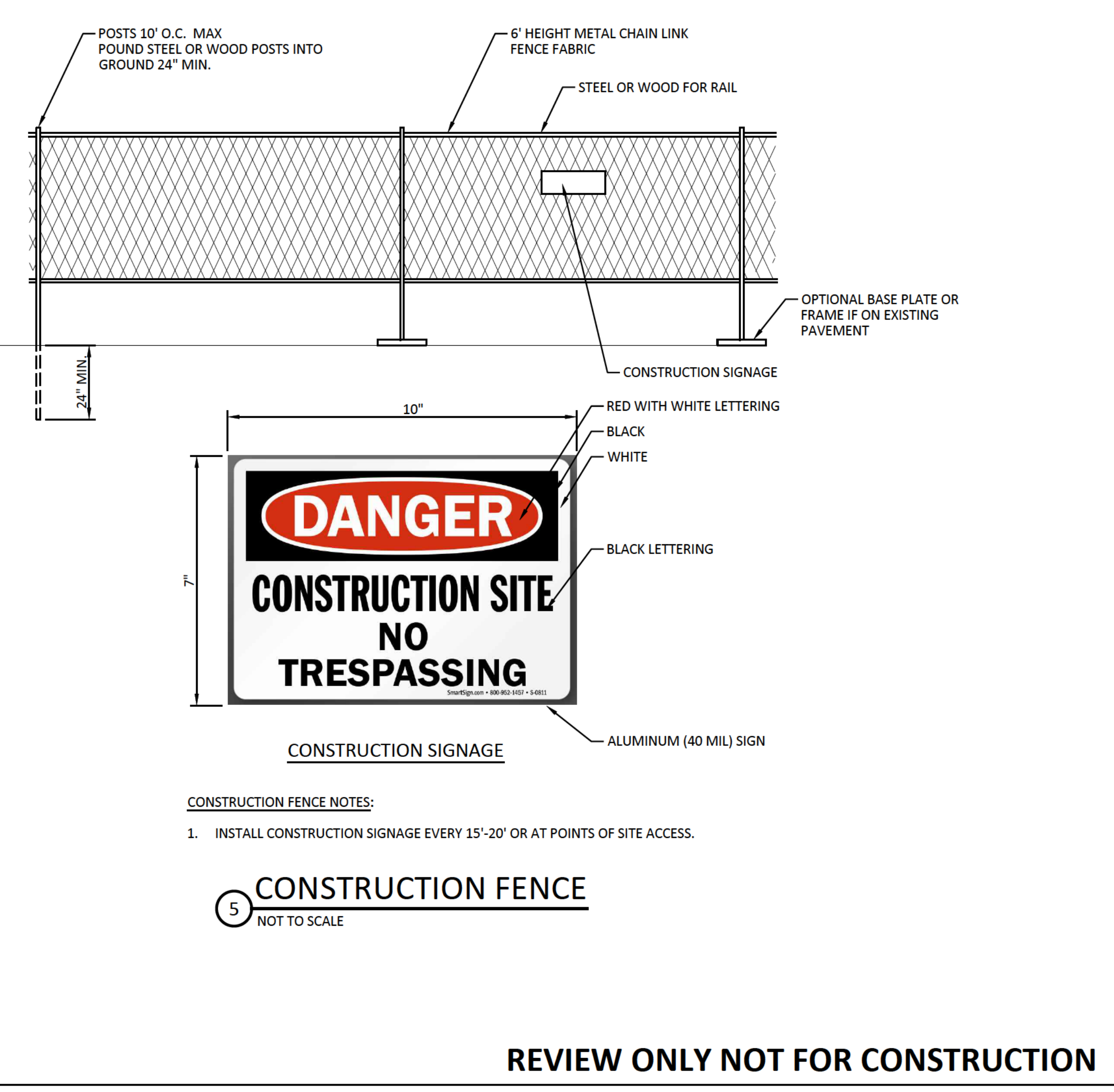
- STABILIZED CONSTRUCTION ACCESS NOTES:**
- MODIFICATIONS MAY BE REQUIRED TO MEET FIELD CONDITIONS.
 - A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED. ALL SURFACE WATER SHALL BE DIVERTED AWAY FROM CONSTRUCTION ENTRANCE.
 - GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE AREA OF STABILIZED CONSTRUCTION ENTRANCE PRIOR TO PLACING STONE. STONE SHALL MEET THE REQUIREMENTS OF NYSDOT ITEM 623.12, CRUSHED NO. 3 STONE.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS ONTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE DONE REGULARLY AND FOLLOWING EACH RAINFALL.



4 CONCRETE WASHOUT AREA
NOT TO SCALE

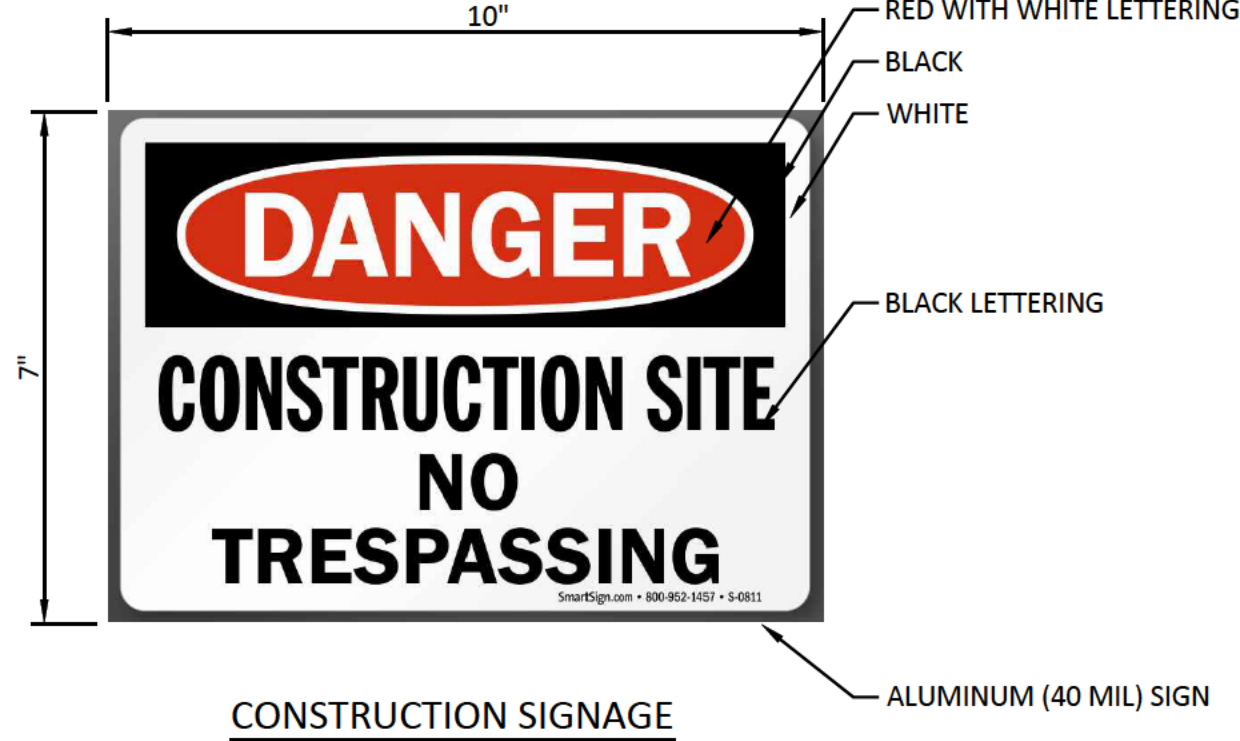
- CONCRETE WASHOUT NOTES:**
- GEOMEMBRANE LINER SHALL BE INSPECTED DAILY TO ENSURE THAT IT REMAINS WATERPROOF.
 - GEOMEMBRANE LINER SHALL BE SECURED TO GROUND WITH METAL STAKES OUTSIDE OF STRAW BALE.
 - CONCRETE WASHOUT AREA(S) SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE. THE CONCRETE WASHOUT AREA SHALL BE ENTIRELY SELF-CONTAINED.

SIZE: THE WASHOUT MUST HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS INCLUDING, BUT NOT LIMITED TO, OPERATIONS ASSOCIATED WITH GROUT AND MORTAR.
 - SIGNS SHOULD BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CONCRETE AREA(S) AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT TO OPERATORS OF THE CONCRETE TRUCKS AND PUMP RIGS. WASHOUT AREA(S) SHOULD BE FLAGGED WITH SAFETY FENCING OR OTHER APPROVED METHOD.
 - WASHOUT AREA(S) ARE TO BE INSPECTED AT LEAST ONCE A WEEK FOR STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY AND CHECK FOR LEAKS, TEARS, OR OVERFLOWS. (AS REQUIRED BY THE CONSTRUCTION SITE ENVIRONMENTAL INSPECTION REPORT) WASHOUT AREA(S) SHOULD BE CHECKED AFTER HEAVY RAINS.
 - HARDENED CONCRETE WASTE SHOULD BE REMOVED AND DISPOSED OF WHEN THE WASTE HAS ACCUMULATED TO HALF OF THE CONCRETE WASHOUT'S HEIGHT. THE WASTE CAN BE STORED AT AN UPLAND LOCATION, AS APPROVED BY THE ENGINEER. ALL CONCRETE WASTE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL APPLICABLE LAWS, REGULATIONS, AND GUIDELINES.



5 CONSTRUCTION FENCE
NOT TO SCALE

- CONSTRUCTION FENCE NOTES:**
- INSTALL CONSTRUCTION SIGNAGE EVERY 15'-20' OR AT POINTS OF SITE ACCESS.



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JEFFERSON COUNTY, NEW YORK

EROSION AND SEDIMENT CONTROL DETAILS
CITY OF WATERTOWN

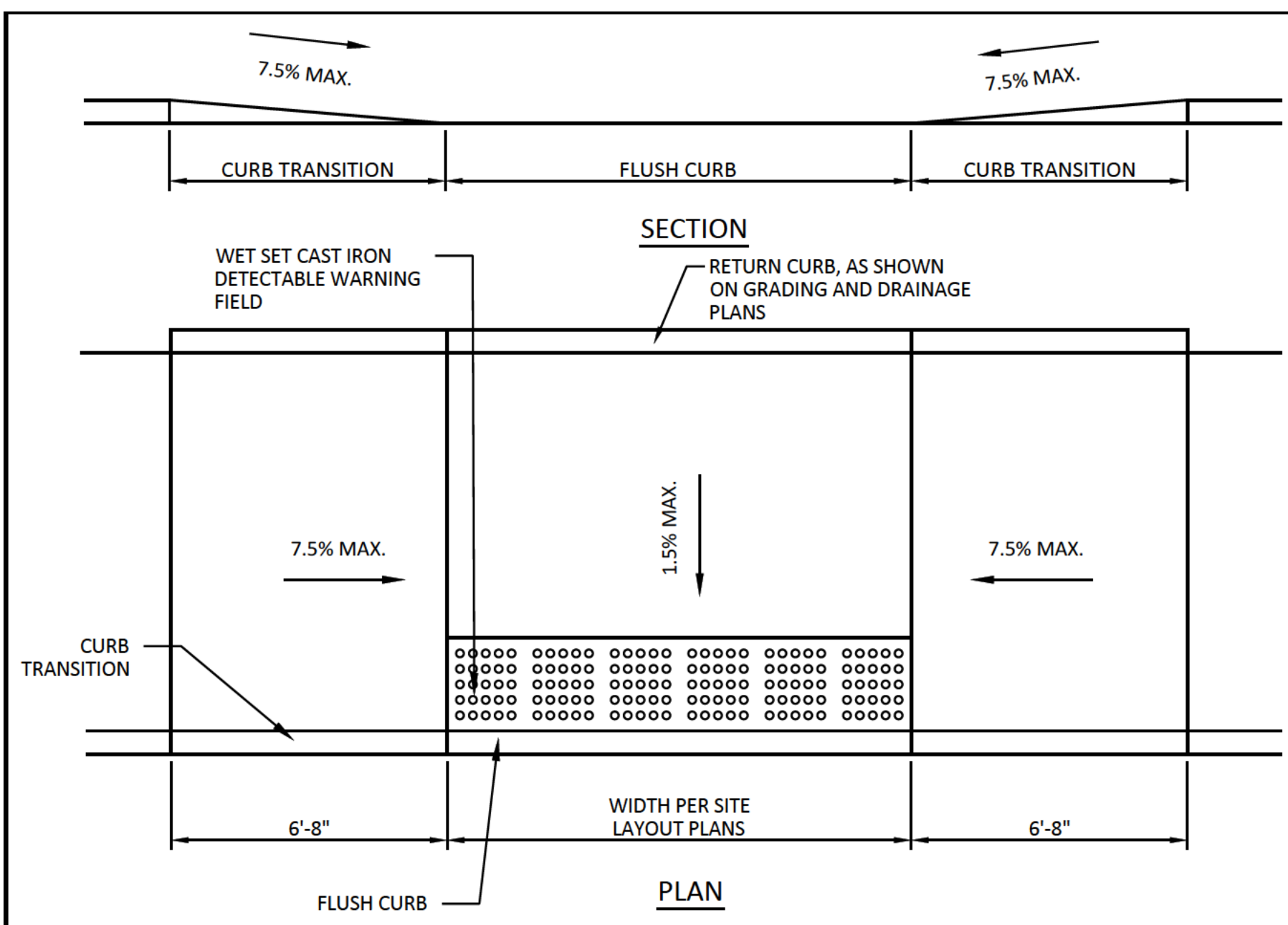
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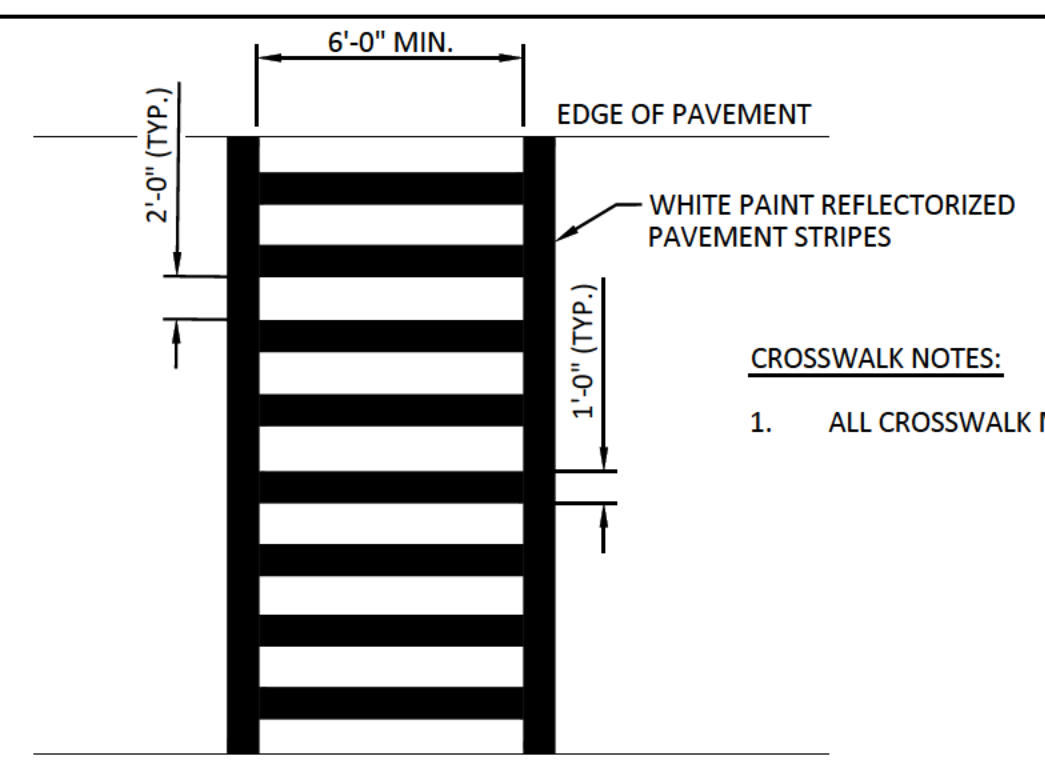
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 Designed by: CAW
 Drawn by: KJK
 In charge of: CAW

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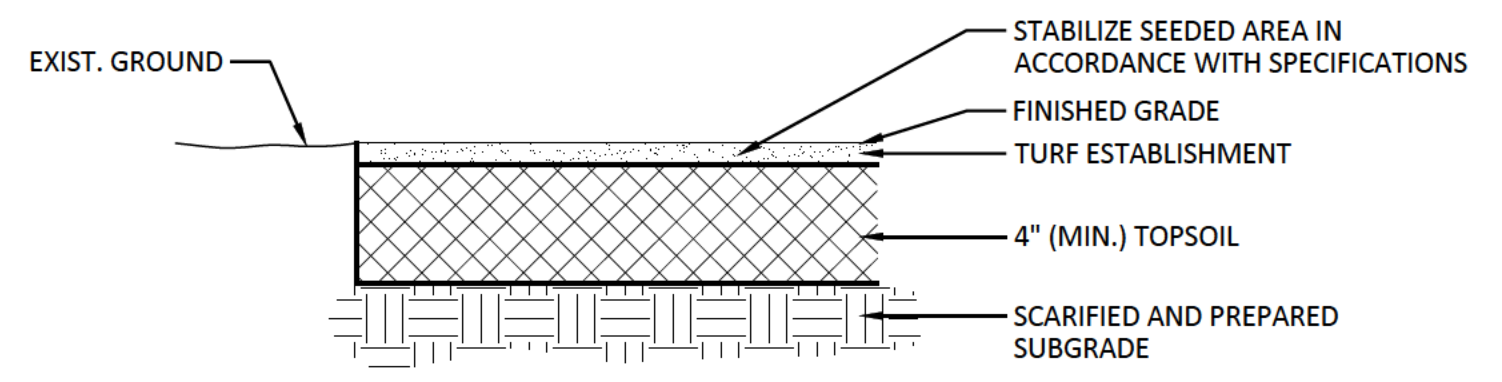
- CURB RAMP NOTES:**
1. DETECTABLE WARNING FIELD SHALL EXTEND 24" MINIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL ACROSS THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUDING ANY FLARED SIDES. TRUNCATED DOMES TO BE ALIGNED WITH DIRECTION OF TRAVEL.
 2. GRADE BREAKS SHOULD BE PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL AND SHALL NOT BE ROUNDED.
 3. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MIN. WIDTH OF 36" (EXCLUDING CURBSTONE) SHALL BE MAINTAINED PAST ALL OBSTRUCTIONS (UTILITY POLES, SIGNS, SIGNAL FOUNDATIONS ALONG DRIVE OPENINGS, ETC.) THE DESIRABLE WIDTH IS 4 FT.
 4. FIELD OBJECTS (I.E. UTILITY POLES, HYDRANTS, ETC.) MUST NOT ENCRoACH THE LEVEL LANDING PORTION OF THE CURB RAMP. IF FIELD OBJECTS ARE LOCATED WITHIN THE TRANSITION SLOPES, A MIN. OF 36" CLEAR SHALL BE PROVIDED.
 5. AT NO TIME IS ANY PART OF THE CURB RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE THE CROSSWALK. THE CURB RAMP ENTRANCE IS TO BE CENTERED IN THE CROSSWALK WHENEVER POSSIBLE.
 6. THE ENTRANCE OF CURB RAMP SHALL BE FLUSH WITH THE ROADWAY.
 7. REFER TO NYSDOT STANDARD SHEETS 608-01 'PEDESTRIAN FACILITIES' FOR ADDITIONAL GUIDANCE ON CURB RAMP LAYOUT.

1 ADA CURB RAMP
NOT TO SCALE

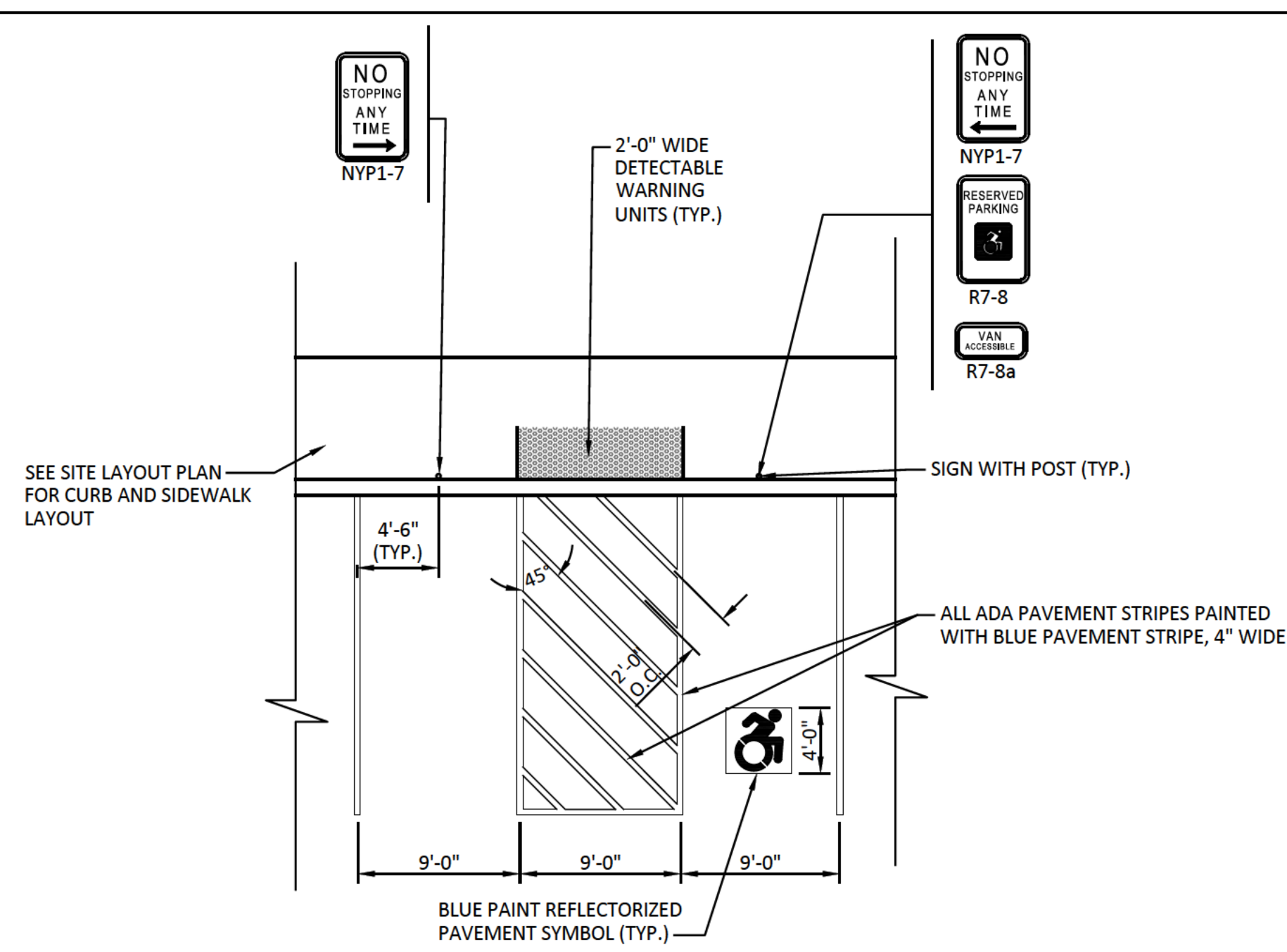


- CROSSWALK NOTES:**
1. ALL CROSSWALK MARKINGS SHALL BE WHITE.

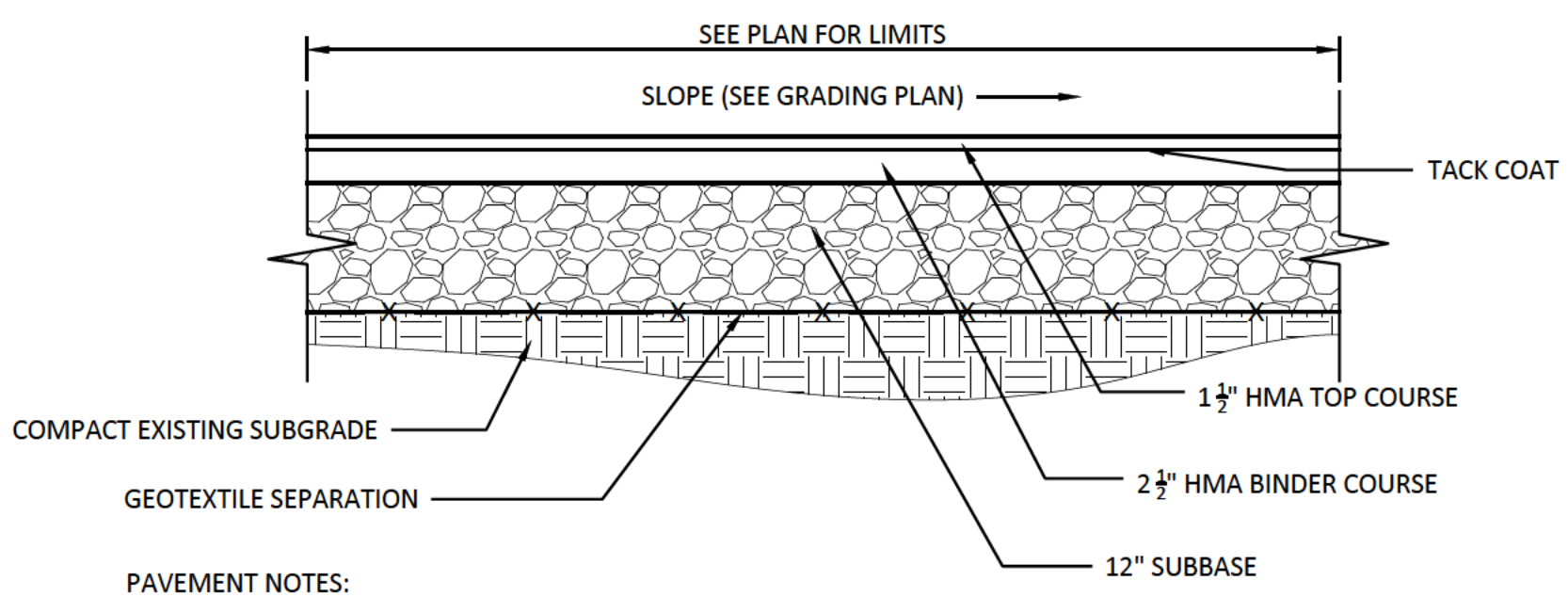
4 CROSSWALK - TYPE LS
NOT TO SCALE



7 TURF ESTABLISHMENT
NOT TO SCALE

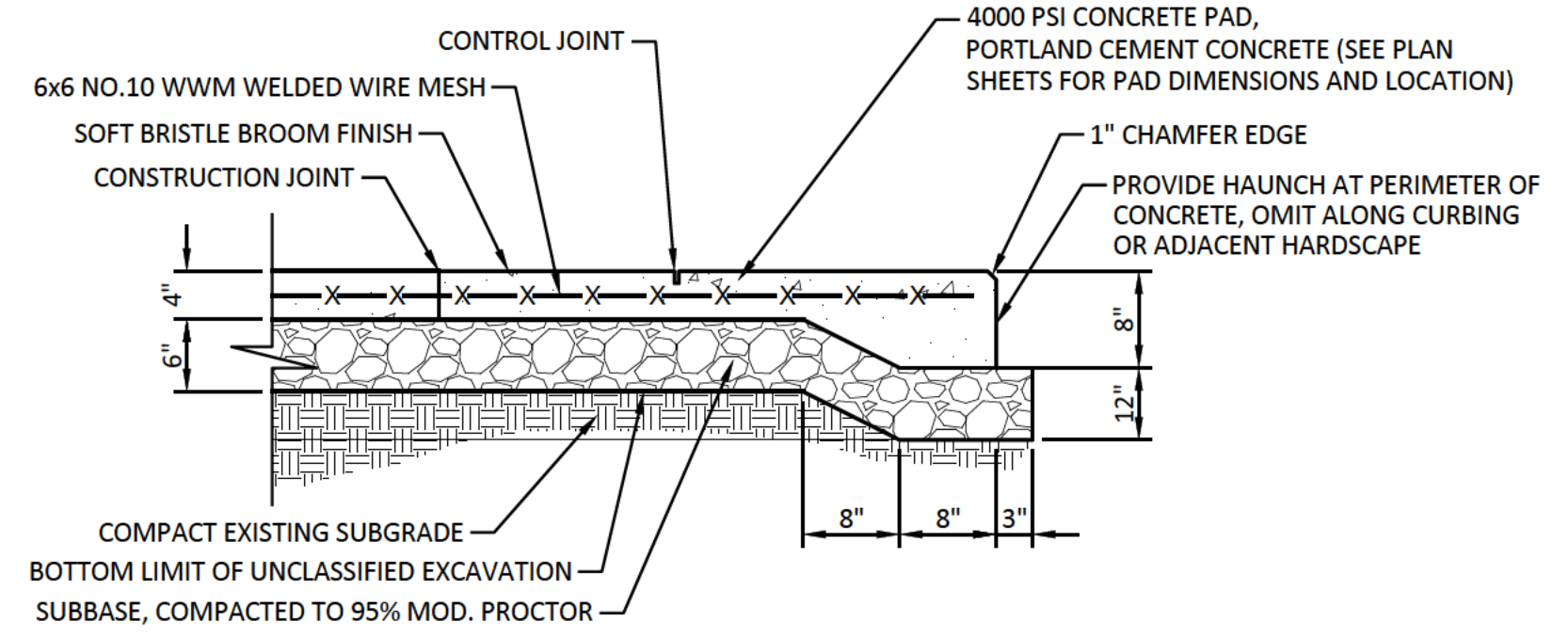


2 ADA ACCESSIBLE PARKING AREA
NOT TO SCALE



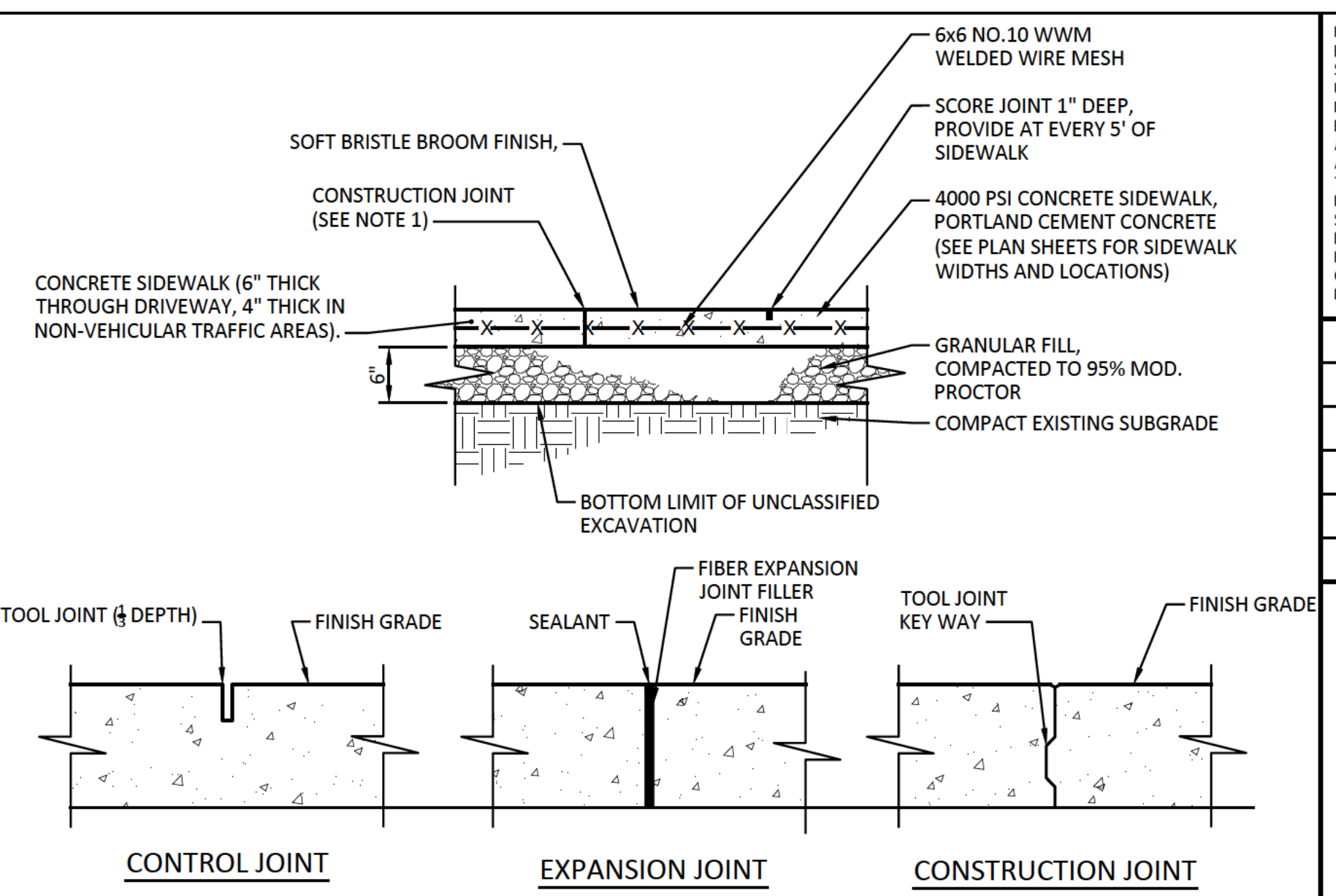
- PAVEMENT NOTES:**
1. TACK COAT SHALL BE APPLIED BETWEEN ALL LIFTS OF ASPHALT AND TO ALL VERTICAL EDGES, PER NYSDOT STANDARD SPECIFICATIONS.
 2. REFER TO GRADING AND DRAINAGE PLANS FOR PAVEMENT CROSS SLOPE.

5 ASPHALT PARKING LOTS AND DRIVEWAYS
NOT TO SCALE



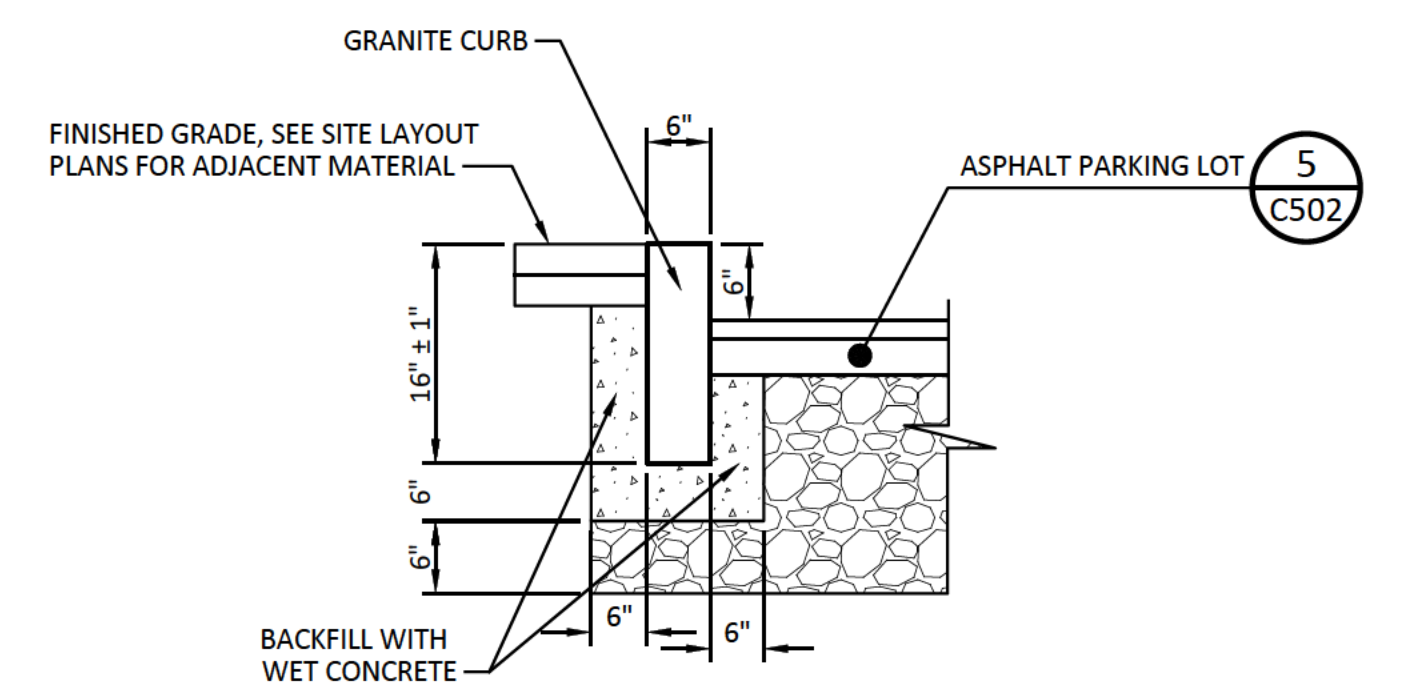
- CONCRETE PAD NOTES:**
1. TRANSVERSE CONSTRUCTION JOINTS SHALL EXTEND TO THE FULL DEPTH OF CONCRETE AND SHALL BE SPACED 20' APART. PREMOLDED RESILIENT JOINT FILLER SHALL BE INSTALLED AT ALL JOINTS BETWEEN SIDEWALK AND CURB, PAVEMENT, AND MISC. HARD OBJECTS.
 2. CONTRACTOR TO PROVIDE PROPOSED JOINT AND SCORING PATTERN FOR APPROVAL.

8 CONCRETE DUMPSTER PAD
NOT TO SCALE



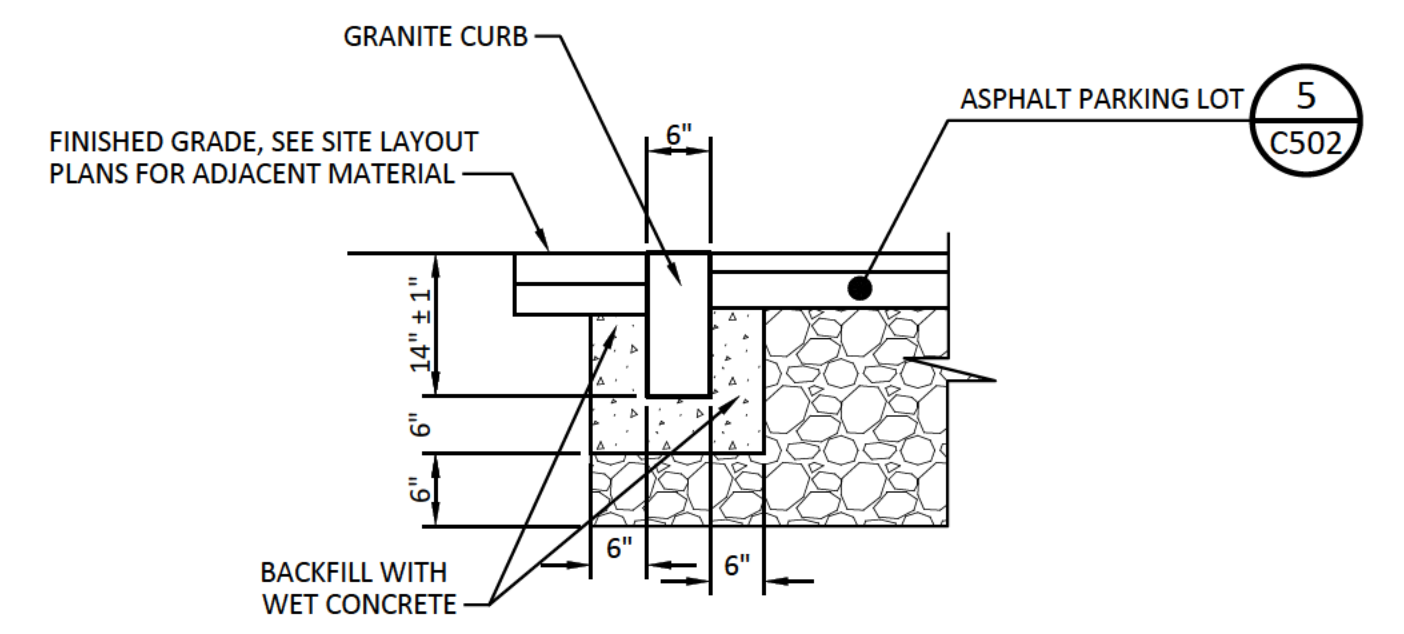
- SIDEWALK NOTES:**
1. TRANSVERSE CONSTRUCTION JOINTS SHALL EXTEND TO THE FULL DEPTH OF CONCRETE AND SHALL BE SPACED 20' APART. PREMOLDED RESILIENT JOINT FILLER SHALL BE INSTALLED @ ALL JOINTS BETWEEN SIDEWALK AND CURB, PAVEMENT, AND MISC. HARD OBJECTS.
 2. CROSS SLOPE PER GRADING AND DRAINAGE PLANS. MAXIMUM CROSS SLOPE ON SIDEWALK IS 2%.

3 CONCRETE SIDEWALK
NOT TO SCALE



- GRANITE CURB NOTES:**
1. CURB SHALL BE STRAIGHT GRANITE, SAWED FINISH TOP, QUARRY SPLIT FINISH FACE.

6 FULL GRANITE CURB
NOT TO SCALE



- GRANITE CURB NOTES:**
1. CURB SHALL BE STRAIGHT GRANITE, SAWED FINISH TOP, QUARRY SPLIT FINISH FACE.

9 FLUSH GRANITE CURB
NOT TO SCALE

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NO.	REVISIONS

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JEFFERSON COUNTY, NEW YORK

CITY OF WATERTOWN

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Drawn by: KJK
Designed by: KJK
In charge of: CAW

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 Drawn by KJK
 In charge of CAW

SEE SIGN TABLE FOR TYPE

5' MIN. & 7' MAX MOUNTING HEIGHT

STEEL U-CHANNEL POST

INSTALL AS PER MUTCD STANDARDS

EXISTING GROUND OR FINISHED GRADE

4" MIN.

3'-0"

2'-6"

3" MIN.

8" Ø

CLASS "C" CONCRETE

NYS DOT NO. 2 STONE

SITE SIGN TABLE							
SIGN NO.	DESCRIPTION	MUTCD NO.	QUANTITY	SIGN NO.	DESCRIPTION	MUTCD NO.	QUANTITY
1		R1-1	1	7		R5-1	3
2		R7-8	1				
3		R7-8a	1				
4		NYP1-7	1				
5		NYP1-7	1				
6		W11-2	2				

1 SIGN POST INSTALLATION
NOT TO SCALE

PAVED AREAS

TURF AREAS

SOLID LID, 7" TALL CLEAN OUT/MONUMENT BOX ASSEMBLY, EJ - PRODUCT NO. 1570Z 2965A ASSEMBLY OR APPROVED EQUAL.

1'-0"

2'-0" SQ. CONCRETE COLLAR

CLEAN OUT

6" SDR35 PVC

BRASS FERRAL CAP

1/8TH BEND

FLOW

6" SDR35 PVC

2 SANITARY SEWER CLEAN OUT
NOT TO SCALE

OUTSIDE OF PAVEMENT AREAS
SEE LAWN RESTORATION DETAIL FOR CONSTRUCTION IN NON-TRAFFIC AREAS

UNDER PAVEMENT AREAS
SEE ASPHALT PAVEMENT RESTORATION DETAIL FOR CONSTRUCTION IN EXISTING AND NEWLY PAVED AREAS

EXISTING GRADE

SHEETING AS NECESSARY

2'-0" MAX. SHEETED TRENCH OR 1'-0" OUTSIDE OF BELL, WHICHEVER IS GREATER

4'-0" MAX. OPEN TRENCH WIDTH AT GROUND SURFACE, TYP.

9" CUTBACK (TYP)

EXISTING PAVEMENT

SLOPE/SLORE TRENCH AS REQUIRED BY OSHA

SEE ASPHALT PAVEMENT RESTORATION DETAIL 6/C501.

4" TOPSOIL (AFTER COMPACTION) WITH SEEDING

SUBBASE MATERIAL (TYPE 2)

FINAL BACKFILL UNDER NON-TRAFFIC AREAS

INITIAL BACKFILL (TYPE 1 STONE)

SEE SPECIFICATIONS FOR MINIMUM COVER

12"

12"

6" MIN. 12" MAX. (TYP)

UNDISTURBED SOIL

METALLIC STRIP IMPRINTED WITH SERVICE TYPE

FURNISH SUBBASE MATERIAL TYPE 2 COMPACTED IN 12" LIFTS. COMPACT 95% PROCTOR DENSITY

FURNISH GRANULAR FILL TO 12" ABOVE CROWN OF PIPE, COMPACTED IN 8" LIFTS

COATED TRACER WIRE INSTALLED ABOVE PIPE REFER TO SECTION 33 05 97. (PLASTIC PIPE ONLY)

CONDUIT O.D.

FURNISH PIPE BEDDING TO THE SPRINGLINE OF THE PIPE, COMPACTED IN 6" LIFTS

3 TYPICAL TRENCHING DETAIL
NOT TO SCALE

NOTES:

- EXCAVATIONS SHALL BE IN ACCORDANCE WITH DETAILS OF APPLICABLE CODES, RULES, LAWS AND REGULATIONS, INCLUDING OSHA TITLE 29, CFR PART 1926, SUBPART P AS MAY BE AMENDED BY THE LOCAL JURISDICTION.
- 12" HORIZONTAL AND VERTICAL CLEARANCE BETWEEN OUTSIDE DIAMETERS SHALL BE MAINTAINED FOR ADJACENT CONDUITS WITHIN THE SAME TRENCH UNLESS OTHERWISE ALLOWED BY THE CONTRACT DOCUMENTS.
- PAVEMENT MATERIALS TO BE REMOVED SHALL BE NEATLY SAW-CUT ALONG ALL EDGES AT RIGHT ANGLES.
- EXISTING PAVEMENT MATERIALS REMOVED OR DAMAGED BY TRENCHING OPERATIONS SHALL BE REPLACED AS INDICATED OR BY SAME MATERIALS IF NOT SPECIFICALLY INDICATED.
- PAVEMENT OVER TRENCH SHALL BE CUT ON A LINE PARALLEL TO AND 24" BEYOND THE EDGE OF THE TRENCH. ANY PAVEMENT LESS THAN 4 FEET IN WIDTH SHALL ALSO BE REMOVED AND REPLACED IN ITS ENTIRETY.
- WHEN A TRENCH IS ADJACENT TO THE EDGE OF PAVEMENT AREAS, COMPACTED GRANULAR BACKFILL SHALL EXTEND FROM 12" ABOVE THE TOP OF THE PIPE UPWARD TO A PLANE SLOPING DOWN AND OUTWARD AT A 45° ANGLE FROM A POINT 3 FEET OUTSIDE THE EDGE OF PAVEMENT.
- CONTRACTOR SHALL COMPLY WITH OSHA RULES ON TRENCH EXCAVATION AND BACKFILL.
- AS NECESSARY, XPS INSULATION SHALL BE FORMULA R250 BY OWENS, CORNING, OR EQUAL. INSULATION SHALL BE INSTALLED WHEN PIPE IS ABOVE FROST DEPTH.
- TYPE 2 SUBBASE = NYS DOT ITEM #304.12
- SELECT FILL = NYS DOT ITEM #203.07
- INITIAL BACKFILL MATERIAL = TYPE 1 STONE

REVIEW ONLY NOT FOR CONSTRUCTION

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REVISIONS

454 STATE STREET NNY LLC
 STATE STREET JUMPIN' GOAT DRIVE-THRU CAFE
 CITY OF WATERTOWN
 JEFFERSON COUNTY, NEW YORK

B&L
 120 Washington Street
 Suite 100
 Watertown, New York
 13601
Barton & Loguidice, D.P.C.

REVIEW ONLY NOT FOR CONSTRUCTION

Date: MAY 2026
 Scale: AS SHOWN
 Sheet Number: C503
 Project Number: 5074.001.001



May 19, 2026

Mr. Michael A. Lumbis, Planning and Community Development Director
City of Watertown
245 Washington Street, Room 305
Watertown, New York 13601

Re: Proposed State Street Jumpin Goat Drive-Thru
Subj: Site Plan Application
File: 5074.001.001

Dear Mr. Lumbis:

454 State Street NNY, LLC (Applicant) is proposing a cafe featuring drive-thru and walk-up services at the properties of 430 and 440 State Street (Tax Parcel IDs: 12-03-220.200 and 12-03-220.300, respectively), in the City of Watertown, Jefferson County, New York.

The proposed project includes an approximately 544-square-foot cafe with two drive-thru lanes and a walk-up ordering window. Site improvements will include on-site parking for six (6) vehicles, pedestrian access, exterior lighting, landscaping enhancements, and stormwater management improvements (i.e., overall reduction in impervious cover area). The project also includes a 162-square-foot storage shed, internal vehicular circulation areas, and seven (7) parking spaces for the adjacent State Street Market (also owned by the Applicant).

To accommodate the proposed building placement and drive-thru circulation layout, a lot line adjustment between Parcel 12-03-220.300 and the adjacent Parcel 12-03-220.200 is proposed. The adjustment is intended to improve site functionality and allow for compliant circulation on both parcels.

The project was previously reviewed by the City Planning Commission and subsequently by the City Council to obtain approval for a zoning district change necessary to permit the proposed use at this location. Additionally, the City Zoning Board of Appeals approved four (4) area variance requests.

On behalf of the Applicant, enclosed please find the following materials that represent an initial submission for Site Plan Approval:

Mr. Michael A. Lumbis, Planning and Community Development Director
City of Watertown
May 19, 2026
Page 2



List of Attachments
Cover Letter
Boundary and Topographic Survey
Demolition and Erosion & Sediment Control Plan
Site Plan
Grading Plan
Utility Plan
Landscaping Plan
Vehicular and Pedestrian Circulation Plans
Photometrics
Construction Details and Notes
Preliminary Architectural Plans
Engineering Report
SEQR Assessment Form

We request to be placed on the agenda at the next Planning Commission meeting, scheduled for June 9, 2026, to meet with Board members and formally request the Site Plan Approval. If you have any questions regarding these initial application documents, please contact me at

[REDACTED]

Sincerely,

BARTON & LOGUIDICE, D.P.C.

[REDACTED]

Kayla J. Kibling
Staff Engineer

KJK/jjb

cc: Jake Johnson (454 State Street NNY, LLC)

Attachments



May 19, 2026

Mr. Michael A. Lumbis, Planning and Community Development Director
City of Watertown
245 Washington Street, Room 305
Watertown, NY 13601

Re: Proposed State Street Jumping Goat Drive-Thru
Subj: Special Use Permit Application
File: 5074.001.001

Dear Mr. Lumbis:

On behalf of 454 State Street NNY, LLC (Applicant), we respectfully submit this application for a Special Use Permit to permit an accessory drive-thru use at the properties of 430 and 440 State Street (Tax Parcel IDs: 12-03-220.200 and 12-03-220.300, respectively), in the City of Watertown, Jefferson County, New York.

The proposed project includes an approximately 544-square-foot coffee shop with two drive-thru lanes and a walk-up ordering window. Site improvements will include on-site parking for six (6) vehicles, pedestrian access, exterior lighting, landscaping enhancements, and stormwater management improvements (i.e., green space). The project also includes a 162-square-foot storage shed, internal vehicular circulation areas, and seven (7) parking spaces for the adjacent State Street Market (also owned by the Applicant).

To accommodate the proposed building placement and drive-thru circulation layout, a lot line adjustment between Parcel 12-03-220.300 and the adjacent Parcel 12-03-220.200 will be proposed. The adjustment is intended to improve site functionality and allow for compliant circulation on both parcels.

The project was previously reviewed by the City Planning Commission and subsequently by the City Council to obtain approval for a zoning district change necessary to permit the proposed use at this location. Additionally, the City Zoning Board of Appeals approved four (4) area variance requests.

On behalf of the Applicant, enclosed please find the following materials that represent an initial submission for a Special Use Permit.

Mr. Michael A. Lumbis, Planning and Community Development Director
City of Watertown
May 19, 2026
Page 2



List of Attachments
Cover Letter
Site Drawing
Tax Map
SEQR Assessment Form

We request to be placed on the agenda at the next Planning Commission meeting, scheduled for June 9, 2026, to meet with Board members and formally request the Special Use Permit. If you have any questions regarding these initial application documents, please contact me at [REDACTED]

Sincerely,

BARTON & LOGUIDICE, D.P.C.

[REDACTED]
Kayla J. Kibling
Staff Engineer

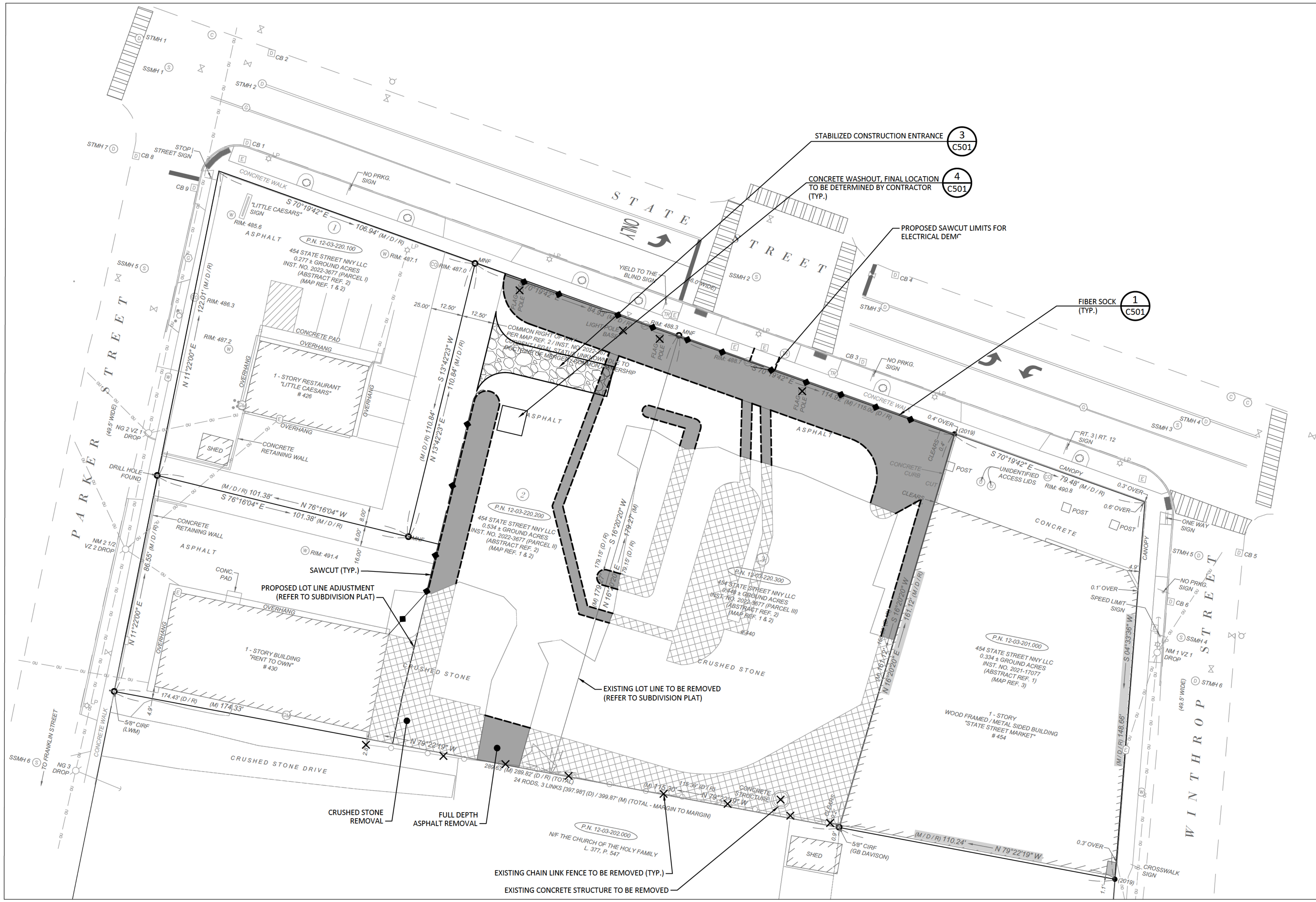
KJK/jjb

cc: Jake Johnson (454 State Street NNY, LLC)

Attachments

Plotter: May 19, 2026 - 6:45AM
 I: \\Projects\5000\5074.001.001 - State Street Properties\5074.001.001 Site Plans.dwg
 Drawn by: KJK
 Checked by: CAW

In charge of: CAW



- DEMOLITION LEGEND**
- FULL DEPTH ASPHALT REMOVAL
 - CRUSHED STONE REMOVAL
 - SAWCUT
 - SITE FEATURE/STRUCTURE REMOVAL
- EROSION & SEDIMENT CONTROL LEGEND**
- STABILIZED CONSTRUCTION ACCESS
 - FIBER SOCK
 - INLET PROTECTION
 - CONCRETE WASHOUT AREA

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REVISIONS

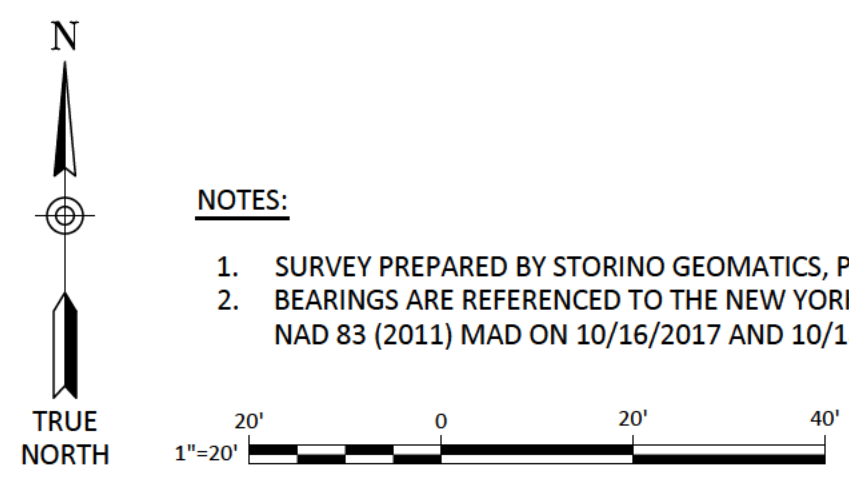
454 STATE STREET NNY LLC
 STATE STREET JUMPIN' GOAT DRIVE-THRU CAFE
DEMOLITION & EROSION AND SEDIMENT PLAN
 CITY OF WATERTOWN
 JEFFERSON COUNTY, NEW YORK

B&L
 120 Washington Street
 Suite 100
 Watertown, New York
 13601
Barton & Loguidice, D.P.C.

REVIEW ONLY
 NOT FOR
 CONSTRUCTION

Date: MAY 2026
 Scale: AS SHOWN
 Sheet Number: **C100**
 Project Number: 5074.001.001

- NOTES:**
- SURVEY PREPARED BY STORINO GEOMATICS, PLLC ON 2/17, 2/23, AND 2/24/2026.
 - BEARINGS ARE REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (3102), AS REALIZED FROM STATIC GPS OBSERVATIONS REFERENCED TO NAD 83 (2011) MAD ON 10/16/2017 AND 10/18/2017 FOR THE CITY OF WATERTOWN 2017 GPS NETWORK - FILE 2017-027.



REVIEW ONLY NOT FOR CONSTRUCTION



Barton & Loguidice

Memo To: Michael A. Lumbis, Planning and Community Development Director
City of Watertown Date: May 19, 2026

From: Kayla Kibling Project No.: 5074.001.001

Re: Engineering Memo for Proposed State Street
Jumpin Goat Drive-Thru

Project Location and Description

This technical memorandum was completed by Barton & Loguidice, D.P.C. (B&L) on behalf of 454 State Street NNY, LLC (Applicant) in support of design and permitting efforts for a proposed cafe featuring drive-thru and walk-up services at the properties located at 430 and 440 State Street (Tax Parcel IDs: 12-03-220.200 and 12-03-220.300, respectively) in the City of Watertown, Jefferson County, New York.

The project site is currently vacant and consists of approximately 0.8 acres comprised of impervious surfaces including asphalt pavement and compacted crushed stone. The proposed project includes an approximately 544-square-foot cafe with two drive-thru lanes and a walk-up ordering window. Site improvements will include on-site parking for six (6) vehicles, pedestrian access, exterior lighting, landscaping enhancements, and stormwater management improvements (i.e., overall reduction in impervious cover area). The project also includes a 162-square-foot storage shed, internal vehicular circulation areas, and seven (7) parking spaces for the adjacent State Street Market (also owned by the Applicant).

Sanitary Sewer and Water Service

Water and sanitary sewer services for the proposed development will be provided via connection to the existing public infrastructure located along State Street. Based on existing operational data from the Coffeen Street Jumpin Goat location, the estimated water usage for the proposed cafe is anticipated to be approximately 550 gallons per day (gpd).

Water and sanitary sewer infrastructure, including service sizing and connection details, will be designed in coordination with the City of Watertown Engineering and Water Department as part of final project design and permitting.

Stormwater Management

Existing site conditions consist of approximately 0.8 acres of impervious cover including crushed stone and asphalt pavement. Stormwater runoff under existing conditions generally flows northwesterly across the site toward State Street.

The proposed project will reduce the amount of impervious cover on the site through the incorporation of new landscaped and pervious green space areas. These improvements are expected to improve on site stormwater infiltration and reduce peak stormwater runoff to the drainage system along State Street.

Temporary erosion and sediment control measures will be installed and maintained throughout construction in accordance with applicable regulatory requirements and accepted engineering practices.

Traffic Impact

The proposed drive-thru cafe is anticipated to generate traffic volumes consistent with similar quick-service food and beverage establishments. The proposed site layout has been designed to provide adequate internal circulation and vehicle stacking capacity for the drive-thru lanes. Vehicle queues are not anticipated to interfere with parking circulation or adjacent public roadways.

Vehicular and pedestrian circulation paths are included within the application package and demonstrate that a fire pumper truck and refuse collection truck can adequately maneuver throughout the site.

Lighting Summary

Site lighting has been designed to provide safe vehicular and pedestrian circulation while minimizing off-site glare and light trespass onto adjacent properties. Proposed lighting improvements include eight (8) pole-mounted LED fixtures, tape lighting beneath the building canopy, and menu board lighting associated with the drive-thru operation.

All proposed fixtures will utilize full cutoff/shielded luminaires directed downward to minimize off-site light spillover. Illumination levels have been designed in accordance with applicable municipal requirements and accepted industry standards. Photometric analysis indicates that lighting levels at the property lines remain within acceptable limits. Photometric plans and lighting fixture cut sheets have been included within the application package.

Michael A. Lumbis, Planning and Community Development Director
City of Watertown
Engineering Memou
May 19, 2026
Page 3

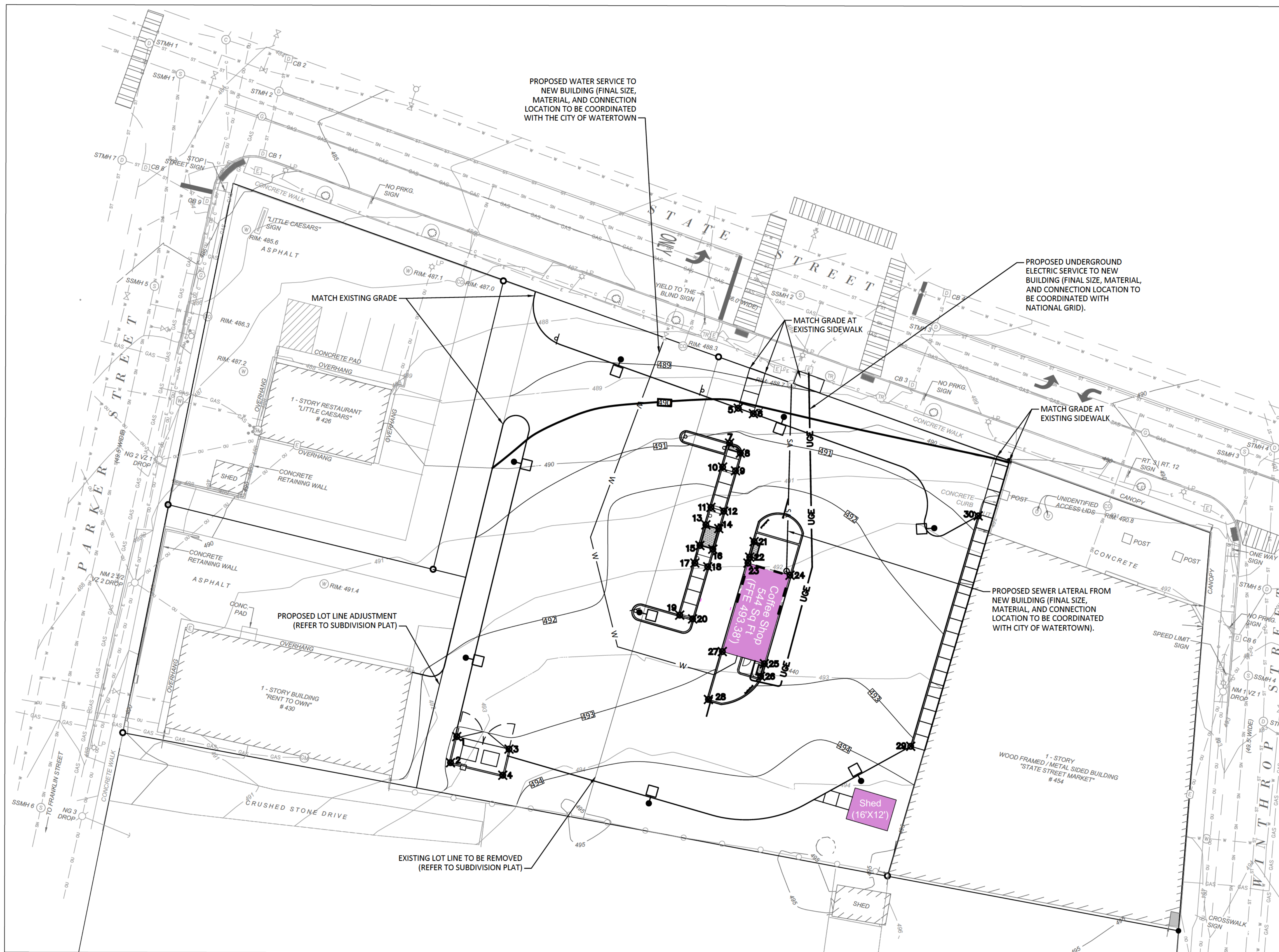
Landscaping Summary

The proposed landscape plan includes perimeter landscape buffers and green space areas adjacent to State Street and internal circulation areas. Proposed landscaping consists of a combination of deciduous and evergreen tree plantings and lawn areas distributed throughout the site to soften the appearance of paved surfaces and provide visual screening for adjacent properties and site features.

The proposed reduction in impervious cover and incorporation of additional landscaped areas will provide improved stormwater infiltration opportunities and enhanced site aesthetics relative to existing conditions.

Plant selections consist of native and adaptive species suitable for local climate and site conditions. Landscaped areas will be maintained by the property owner to ensure long-term plant health, functionality, and overall site appearance. Landscape details, layout, and planting schedules are included within the application package.

KJK/jjb



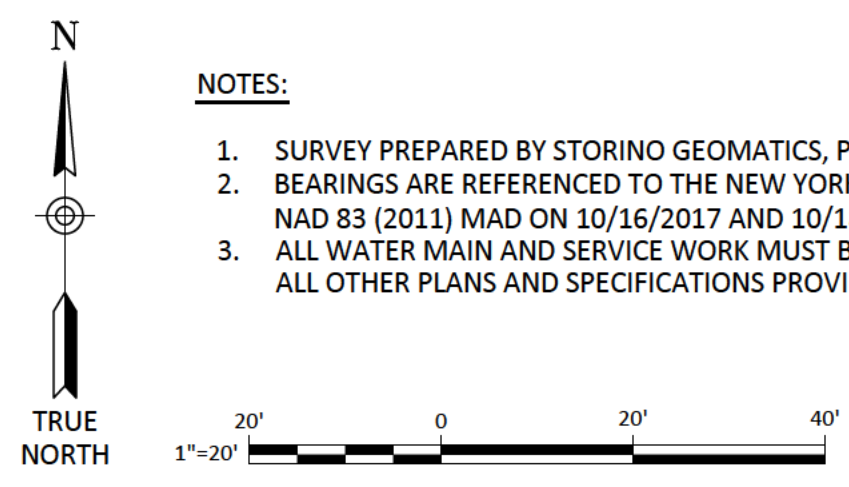
LEGEND

	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED UNDERGROUND ELECTRICAL CONDUIT

Point Table

Point #	Elevation	Northing	Easting	Description
1	493.12	1448383.60	998868.44	DUMPSTER PAD
2	493.22	1448373.88	998866.12	DUMPSTER PAD
3	493.12	1448378.95	998887.89	DUMPSTER PAD
4	493.22	1448369.22	998885.57	DUMPSTER PAD
5	490.25	1448505.84	998973.23	SIDEWALK
6	490.34	1448503.82	998978.88	SIDEWALK
7	491.43	1448492.87	998970.00	FLUSH CURB
8	491.43	1448489.10	998974.02	FLUSH CURB
9	491.90	1448482.54	998972.21	TOP OF CURB (TOC)
10	491.90	1448483.93	998967.41	TOC
11	493.07	1448468.92	998963.06	FLUSH CURB
12	493.07	1448467.52	998967.86	FLUSH CURB
13	492.71	1448462.43	998961.18	FLUSH CURB
14	492.70	1448461.04	998965.98	FLUSH CURB
15	492.80	1448454.75	998958.96	FLUSH CURB
16	492.80	1448453.36	998963.76	FLUSH CURB
17	493.21	1448448.22	998957.06	TOC
18	493.21	1448446.83	998961.87	TOC
19	493.00	1448428.81	998951.44	TOC
20	492.99	1448427.42	998956.25	TOC
21	492.77	1448456.19	998979.15	FLUSH CURB
22	492.86	1448450.42	998977.48	FLUSH CURB
23	493.38	1448448.20	998976.84	BUILDING/TOC
24	493.38	1448443.66	998992.50	BUILDING/TOC
25	493.38	1448410.72	998982.95	BUILDING/TOC
26	492.89	1448406.04	998981.59	FLUSH CURB
27	493.38	1448415.25	998967.30	BUILDING/TOC
28	493.38	1448397.42	998962.13	TOC
29	493.08	1448379.99	999037.43	TOC
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- NOTES:**
1. SURVEY PREPARED BY STORINO GEOMATICS, PLLC ON 2/17, 2/23, AND 2/24/2026.
 2. BEARINGS ARE REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (3102), AS REALIZED FROM STATIC GPS OBSERVATIONS REFERENCED TO NAD 83 (2011) MAD ON 10/16/2017 AND 10/18/2017 FOR THE CITY OF WATERTOWN 2017 GPS NETWORK - FILE 2017-027.
 3. ALL WATER MAIN AND SERVICE WORK MUST BE COORDINATED WITH THE CITY OF WATERTOWN WATER DEPARTMENT. THE WATER DEPARTMENT REQUIREMENTS SUPERSEDE ALL OTHER PLANS AND SPECIFICATIONS PROVIDED.



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REVISIONS

NO.	DATE	DESCRIPTION

454 STATE STREET NNY LLC
 STATE STREET JUMPIN' GOAT DRIVE-THRU CAFE
GRADING & UTILITY PLAN
 JEFFERSON COUNTY, NEW YORK
 CITY OF WATERTOWN

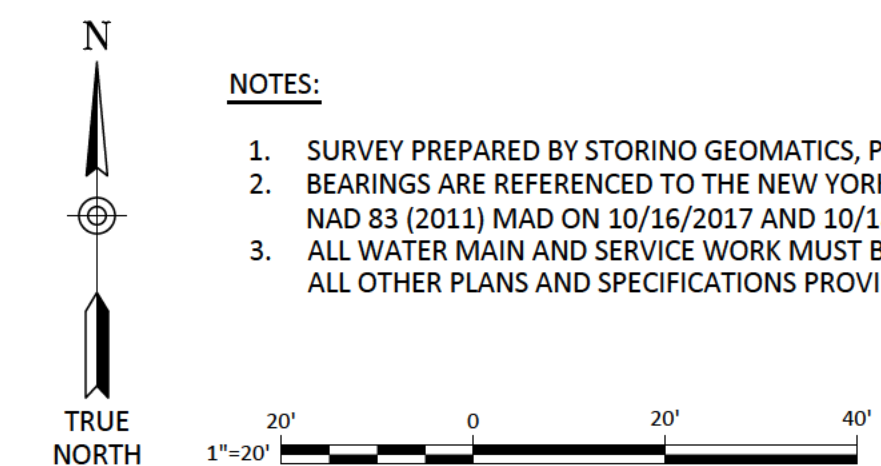
120 Washington Street
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Barton & Loguidice, D.P.C.

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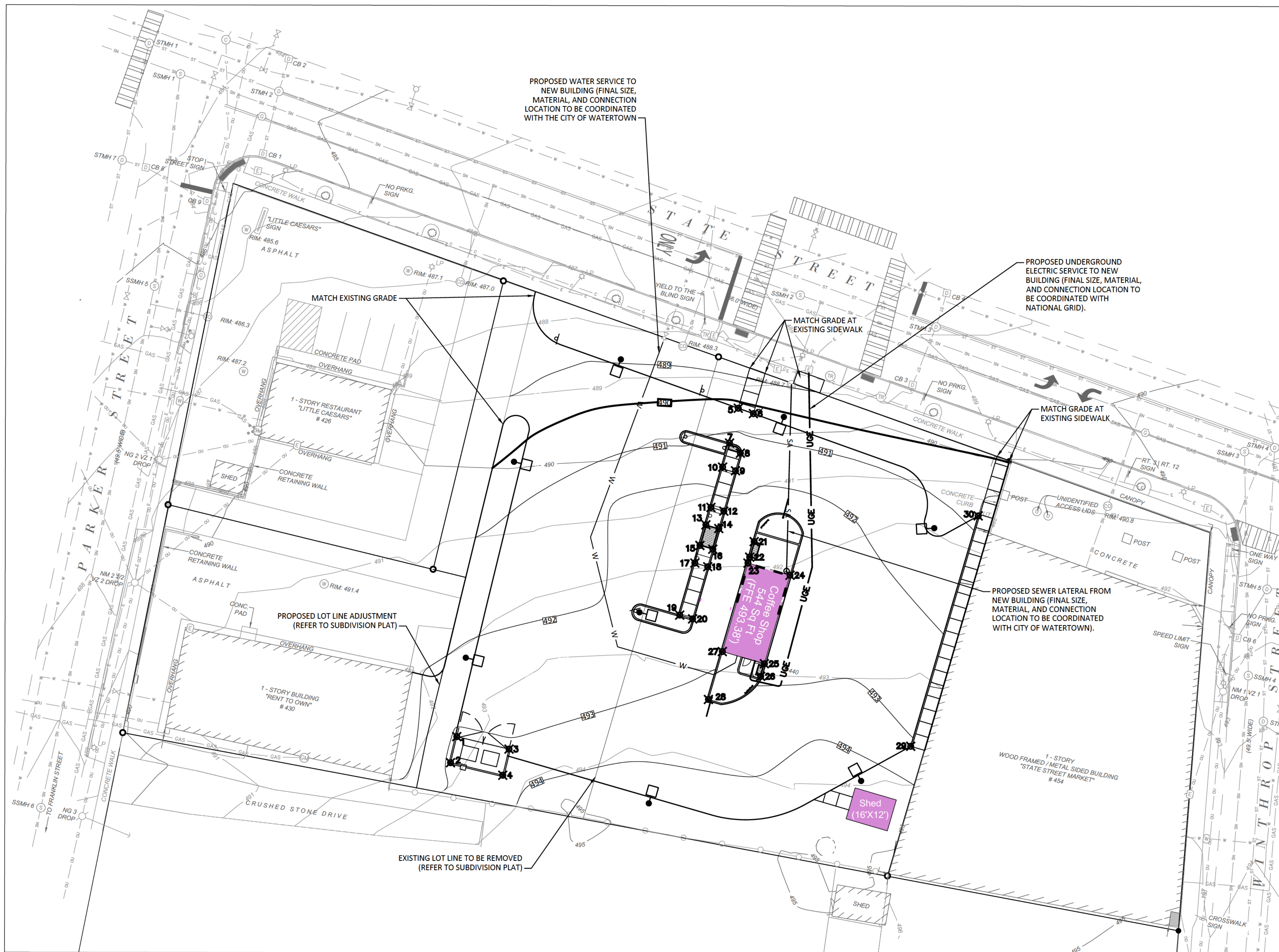
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Scale	AS SHOWN
Sheet Number	C102
Project Number	5074.001.001

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NOTES:

1. SURVEY PREPARED BY STORINO GEOMATICS, PLLC ON 2/17, 2/23, AND 2/24/2026.
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LEGEND

- 552 PROPOSED MAJOR CONTOUR
- 552 PROPOSED MINOR CONTOUR
- W PROPOSED WATER LINE
- SA PROPOSED SANITARY SEWER LINE
- UGE PROPOSED UNDERGROUND ELECTRICAL CONDUIT

Point Table

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NO.	REVISIONS

454 STATE STREET NNY LLC
 STATE STREET JUMPIN' GOAT DRIVE-THRU CAFE
GRADING & UTILITY PLAN
 JEFFERSON COUNTY, NEW YORK
 CITY OF WATERTOWN

120 Washington Street
 Suite 100
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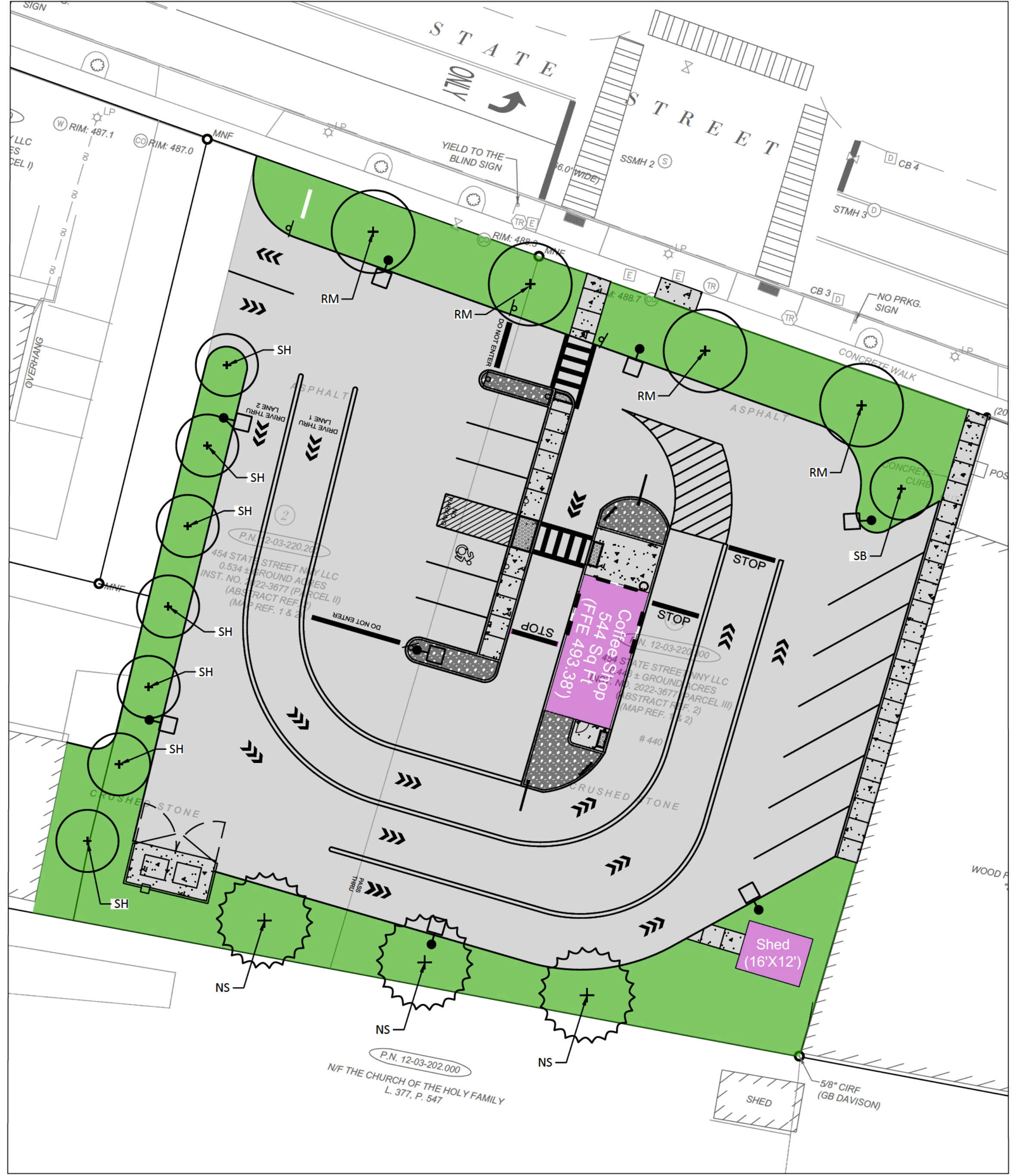
Barton & Loguidice, D.P.C.

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 CONSTRUCTION

Date: MAY 2026
 Scale: AS SHOWN
 Sheet Number: **C102**
 Project Number: 5074.001.001

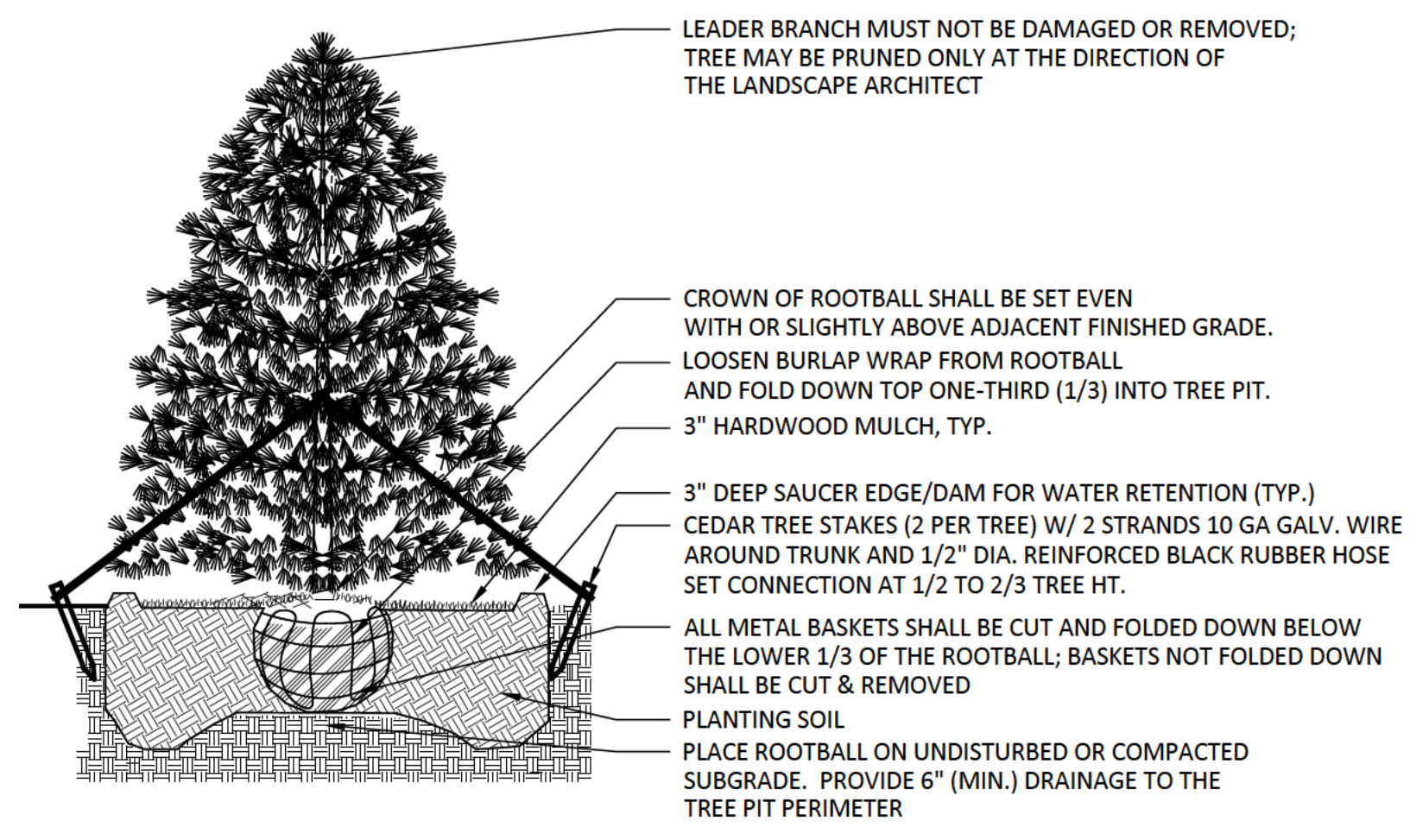
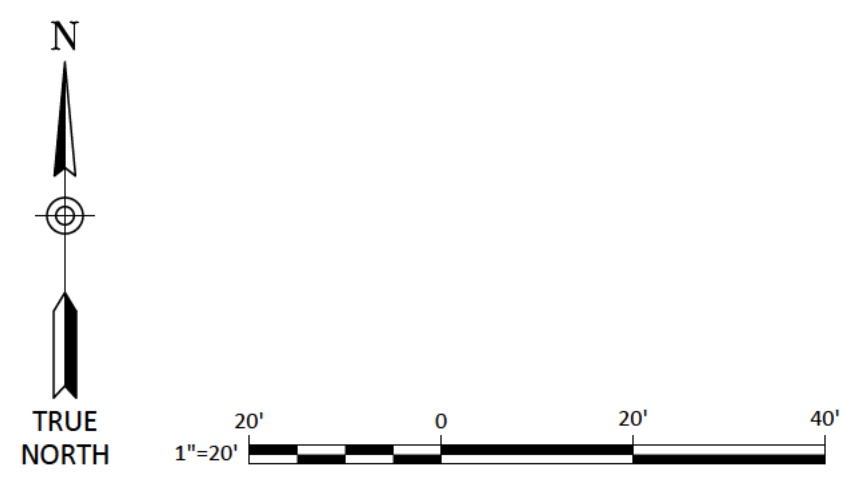
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Plotter: May 19, 2026 - 8:03AM
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 Designed by KJK
 Drawn by KJK
 Checked by CAW
 In charge of CAW



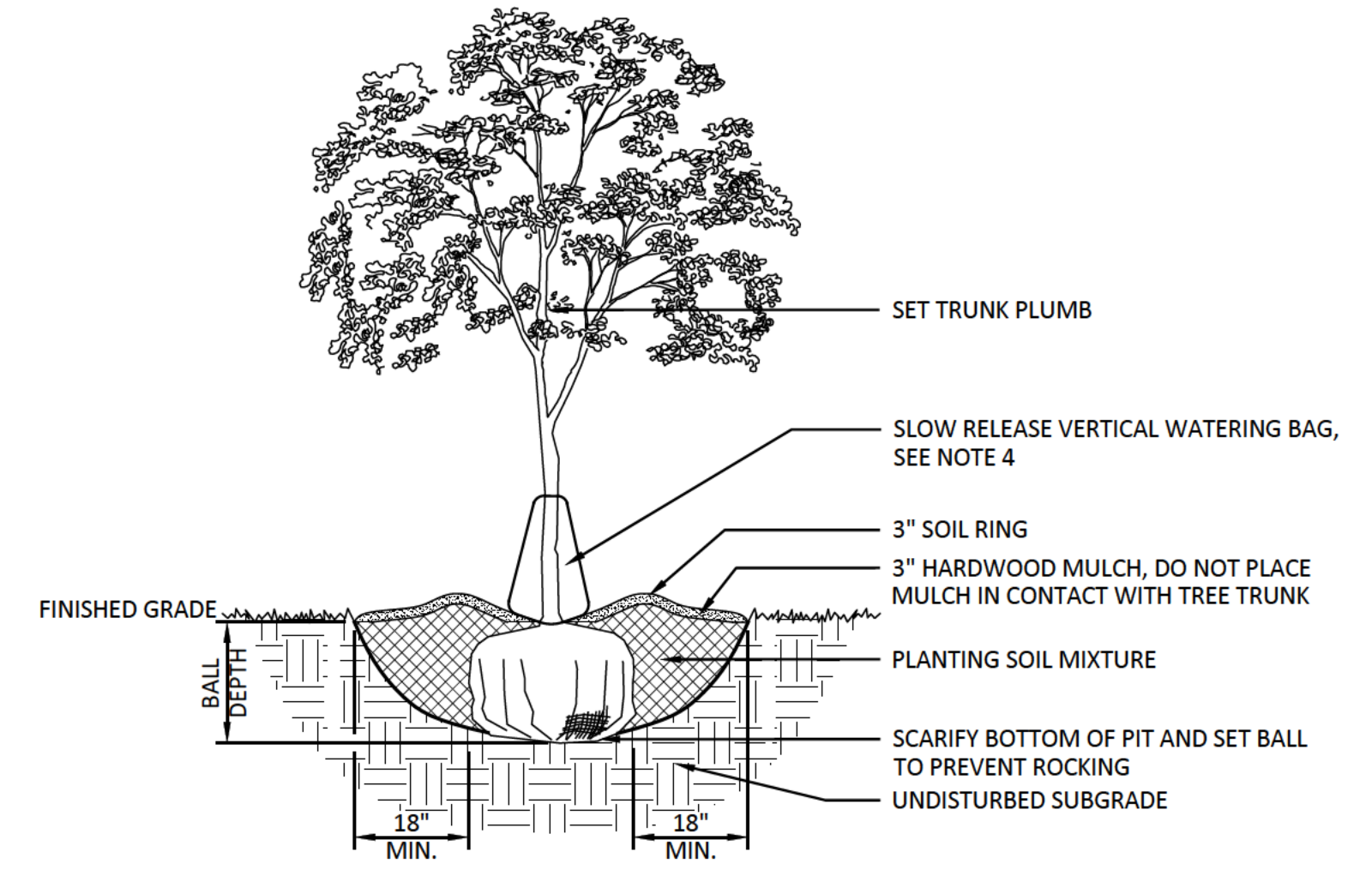
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QTY	ID	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING	SIZE AT MATURITY	ROOT	SPACING
DECIDUOUS TREE							
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1	SB	<i>Amelanchier canadensis</i>	Serviceberry	2.5" cal.	15'-25' Ht.	B&B	AS SHOWN
7	SH	<i>Gleditsia triacanthos</i> var. 'inermis' 'Skyline'	Skyline Honeylocust	2.5" cal.	40'-50' Ht.	B&B	AS SHOWN
EVERGREEN TREE							
3	NS	<i>Picea abies</i>	Norway Spruce	8'-10' Ht.	40'-60' Ht.	B&B	AS SHOWN

- PLANTING NOTES:**
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITY LOCATIONS PRIOR TO INSTALLING ANY PLANT MATERIAL.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
 - ALL PLANTS SHALL BE DELIVERED AS SPECIFIED IN THE PLANT LIST. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTIC SHALL BE REMOVED ENTIRELY AT TIME OF PLANTING.
 - PLANTING TAGS SHOWING PLANT TYPE AND SPECIES SHALL REMAIN ON THE PLANTINGS UNTIL FINAL INSPECTION BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE LOOSENEED BY CUTTING OR SLICING THE SURFACE OF THE BALL VERTICALLY IN THREE LOCATIONS TO ENCOURAGE IMMEDIATE ROOT GROWTH.
 - ALL LOCATIONS OF ALL TREE AND SHRUB PLANTINGS SHALL BE STAKED ONE DAY PRIOR TO PLANTING INSTALLATIONS, FOR APPROVAL BY LANDSCAPE ARCHITECT, VIA THE E.I.C.
 - ALL PLANTS SHALL BE SET PLUMB UNLESS DIRECTED OTHERWISE.
 - ALL SHRUB BEDS AND PLANTING AREAS SHALL RECEIVE MINIMUM 3" DEPTH OF SHREDDED BARK MULCH AS SPECIFIED.
 - ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY. AT MINIMUM, DURING THE ENTIRE FIRST GROWING SEASON.
 - THE CONTRACTOR SHALL INSTALL TREE, AND BACKFILL IN THE HOLE WITH TOPSOIL - SPECIAL PLANTING MIX CONFORMING TO NYS DOT ITEM 610.1404, COMPACTING 8" LIFTS TO ENSURE THE SOIL IS FIRM AND PROVIDES SUPPORT FOR THE TREE.
 - RESTORE ALL SURFACES TO AS GOOD AS OR BETTER CONDITION THAN BEFORE CONSTRUCTION AS SOON AS POSSIBLE FOLLOWING THE COMPLETION OF WORK IN ANY AREA.
 - ALL DISTURBED AREAS ARE TO BE RAKED, SEED, AND FERTILIZED.



- NOTES:**
- REMOVE BURLAP, ROPE, OR WIRE BASKET FROM TOP 1/3 OF BALL MINIMUM, CUT REMAINING PORTIONS OF ROPE OR WIRE BASKET ONCE PLANT IS IN THE FINAL POSITION IN PIT.
 - TOP OF ROOT BALL SHALL BE SET FLUSH WITH SURROUNDING FINISHED GRADE. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER TOP OF ROOT BALL WITH SOIL.
 - MARK THE NORTH SIDE OF THE TREE IN NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHERE POSSIBLE.

1 EVERGREEN TREE PLANTING
 NOT TO SCALE



- DECIDUOUS TREE PLANTING NOTES:**
- REMOVE BURLAP, ROPE, OR WIRE BASKET FROM TOP 1/3 OF BALL MINIMUM, CUT REMAINING PORTIONS OF ROPE OR WIRE BASKET ONCE PLANT IS IN THE FINAL POSITION IN PIT.
 - TOP OF ROOT BALL SHALL BE SET FLUSH WITH SURROUNDING FINISHED GRADE. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER TOP OF ROOT BALL WITH SOIL.
 - MARK THE NORTH SIDE OF THE TREE IN NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHERE POSSIBLE.
 - CONTRACTOR TO FILL SLOW RELEASE VERTICAL WATER BAG ONCE PER WEEK FOR ENTIRE FIRST GROWING SEASON.
 - LANDSCAPE ARCHITECT TO INSPECT AND CONFIRM TAGGED TREES, SHRUBS, AND PLANTS AT THE NURSERY.
 - LANDSCAPE ARCHITECT TO FIELD VERIFY LOCATION OF ALL TREES, SHRUBS, AND PLANTS PRIOR TO BEING PLACED IN THE GROUND.

2 DECIDUOUS TREE PLANTING
 NOT TO SCALE

LEGEND

- PROPOSED ASPHALT PAVING (SEE DETAIL 5/C502)
- PROPOSED CONCRETE (SEE DETAIL 3/C502)
- DETECTABLE WARNING UNITS
- SIGN & SIGN POSTS
- LIGHT POSTS
- PROPOSED REFUSE ENCLOSURE FENCE
- LAWN AREAS (SEE DETAIL 7/C502)
- LANDSCAPING AREAS

PLANTING LEGEND

- EVERGREEN TREES
- DECIDUOUS TREES

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145 § 7209 SPECIAL PROVISIONS, FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

JEFFERSON COUNTY, NEW YORK

454 STATE STREET NNY LLC
 STATE STREET JUMPIN' GOAT DRIVE-THRU CAFE

LANDSCAPING PLAN

CITY OF WATERTOWN

B&L
 Barton & Loguidice, D.P.C.

120 Washington Street
 Suite 100
 Watertown, New York
 13601

REVIEW ONLY NOT FOR CONSTRUCTION

Date: MAY 2026
 Scale: AS SHOWN
 Sheet Number: L101
 Project Number: 5074.001.001

REVIEW ONLY NOT FOR CONSTRUCTION

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpclr	PtSpCb	Meter Type
Parking	Illuminance	Fc	1.70	4.4	0.4	4.25	11.00	Readings taken @ 0'-0" AFG	10	10	Horizontal
Property Line	Illuminance	Fc	0.16	1.5	0.0	N.A.	N.A.	Readings taken @ 0'-0" AFG	10	N.A.	Horizontal
Sidewalk	Illuminance	Fc	0.94	1.7	0.4	2.35	4.25	Readings taken @ 0'-0" AFG	4	4	Horizontal
Sidewalk_1	Illuminance	Fc	1.15	3.6	0.2	5.75	18.00	Readings taken @ 0'-0" AFG	4	4	Horizontal
Sidewalk_2	Illuminance	Fc	1.35	2.6	0.7	1.93	3.71	Readings taken @ 0'-0" AFG	4	4	Horizontal

All quotes/orders generated from this layout must be forwarded to the Local Rep Agency										
SYM	Qty	Tag	Label	ARR	Lum. Lumens	LLF	Description	Lum. Watts	Total Watts	BUG Rating
→	20	E	TOSRGB_1	Single	401	0.250	RGB Tapelight	6.6625	133.25	B0-U1-G0
→	28	D	TOSRGB	Single	401	1.000	RGB Tapelight	6.6625	186.55	B0-U1-G0
↙	4	C	ALED54TN	Single	5735	1.000	Pole Mount Type IV 40W @ 4000K	40.9	163.6	B1-U0-G2
↘	2	B	ALED55TN	Single	6353	1.000	Pole Mount Type V 40W @ 4000K	42.1	84.2	B3-U0-G1
↘	2	A	ALED53TN	Single	5650	1.000	Pole Mount Type III 40W @ 4000K	40.5	81	B1-U0-G1

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	C	998889.843	1448485.883	18	346.294	0
2	A	998929.476	1448523.921	18	250.074	0
3	A	998990.172	1448502.492	18	250.074	0
4	C	998871.892	1448412.941	18	346.294	0
5	C	998939.954	1448358.582	18	73.846	0
6	C	999018.909	1448367.176	18	116.675	0
7	B	999044.496	1448454.922	18	184.267	0
8	B	998936.642	1448429.885	18	344.055	0
9	D	998968.075	1448417	10.3	73.87	0
10	D	998969.007	1448420.182	10.3	73.87	0
11	D	998969.94	1448423.364	10.3	73.87	0
12	D	998970.846	1448426.589	10.3	73.87	0
13	D	998971.759	1448429.793	10.3	73.87	0
14	D	998976.572	1448446.451	10.3	73.87	0
15	D	998983.659	1448412.645	10.3	73.707	0
16	D	998984.578	1448415.831	10.3	73.707	0
17	D	998985.497	1448419.017	10.3	73.707	0
18	D	998986.415	1448422.225	10.3	73.707	0
19	D	998987.362	1448425.419	10.3	73.707	0
20	D	998992.062	1448441.869	10.3	73.707	0
21	D	998970.7	1448433.835	11.3	73.928	33
22	D	998971.476	1448436.506	13.1	73.928	33
23	D	998973.671	1448444.11	11.3	253.821	33
24	D	998972.902	1448441.437	13.1	253.821	33
25	D	998990.443	1448428.163	11.3	73.779	33
26	D	998991.214	1448430.836	13.1	73.779	33
27	D	998993.421	1448438.436	11.3	253.886	33
28	D	998992.643	1448435.766	13.1	253.886	33
29	D	998969.01	1448414.964	11.35	343.854	32
30	D	998971.689	1448414.186	13.1	343.854	32
31	D	998981.576	1448411.33	11.35	163.89	32
32	D	998978.896	1448412.102	13.1	163.89	32
33	D	998978.484	1448447.731	11.35	343.892	32
34	D	998981.165	1448446.959	13.1	343.892	32
35	D	998991.051	1448444.098	11.35	163.856	32
36	D	998988.372	1448444.876	13.1	163.856	32
37	E	998970.868	1448432.274	10.3	343.874	0
38	E	998971.927	1448431.972	10.3	343.874	0
39	E	998974.593	1448445.231	10.3	343.874	0
40	E	998975.652	1448444.929	10.3	343.874	0
41	E	998988.311	1448427.178	10.3	343.874	0
42	E	998989.37	1448426.876	10.3	343.874	0
43	E	998992.105	1448440.243	10.3	343.874	0
44	E	998993.164	1448439.941	10.3	343.874	0
45	E	998971.987	1448438.289	14.3	73.61	33
46	E	998972.374	1448439.619	14.3	253.97	33
47	E	998991.723	1448432.594	14.3	74.134	33
48	E	998992.105	1448433.926	14.3	253.774	33
49	E	998973.476	1448413.673	14.25	344.144	32
50	E	998974.395	1448413.409	14.85	344.144	32
51	E	998977.105	1448412.619	14.25	163.905	32
52	E	998976.186	1448412.881	14.85	163.905	32
53	E	998982.95	1448446.44	14.25	343.602	32
54	E	998983.868	1448446.172	14.85	343.602	32
55	E	998986.582	1448445.394	14.25	163.841	32
56	E	998985.665	1448445.663	14.85	163.841	32

Total Quantity: 56



TOS_RGB



ALED54TN



ALED55TN

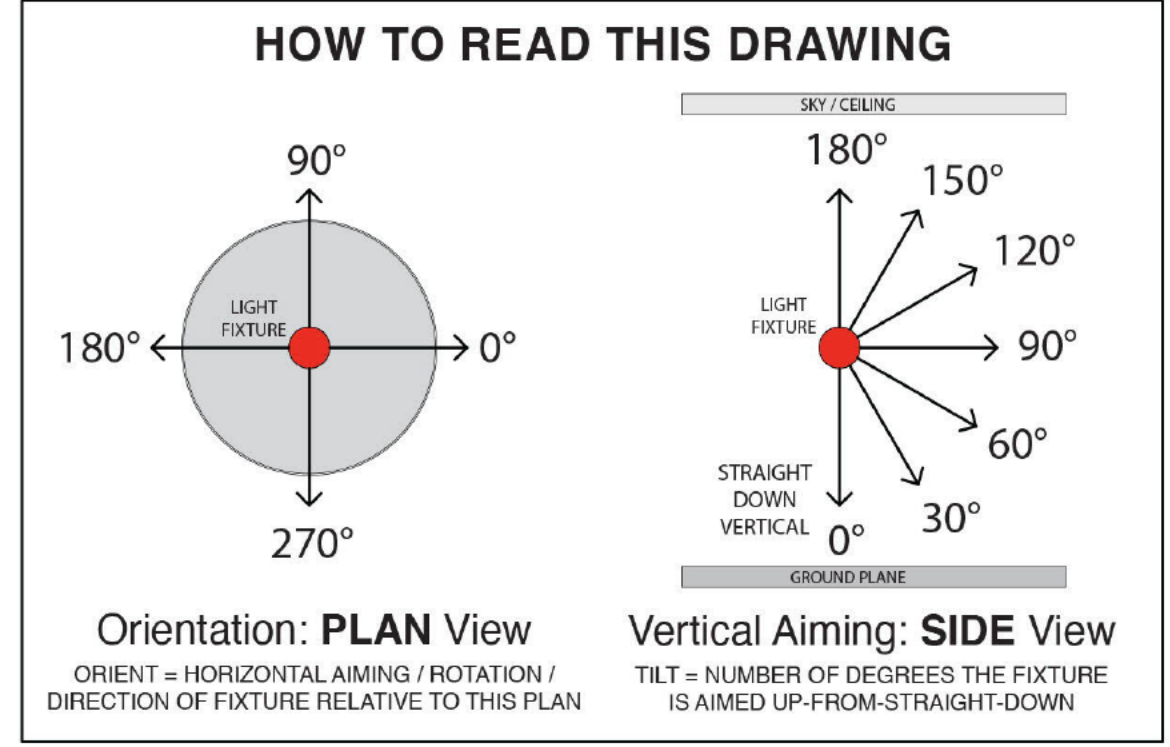


ALED53TN



PS4-11-15D2

PROPOSED POLES TO BE MOUNTED ON 36" TALL RAISED CONCRETE BASE. BASE TO BE DESIGNED BY OTHERS.



NOTES:

* The light loss factor (LLF) is a product of many variables. RAB's standard is to use the initial 1.0 LLF in accordance with most municipal lighting ordinance light trespass requirements, unless otherwise noted.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

* Mounting height determination is job site specific. Our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* RAB disclaims all responsibility for the suitability of existing or proposed poles and bases to support proposed fixtures. This is the owner's, installer's and/or end-user's responsibility based on the weight and effective projected area ("EPA") of the proposed fixtures and the owner's site and soil conditions, wind zone, and many other factors. A professional engineer licensed to practice in the state the site is located should be engaged to assist in this determination.

* The landscape material shown hereon is conceptual and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.

* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB Lighting Design. The owner/contractor/customer/end-user must provide accurate and complete construction drawings that reflect what will be the final construction RAB is not responsible for any inaccuracies caused by incomplete, inaccurate, or outdated information provided by the owner/contractor/customer/end-user.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending may apply. Please see www.rablighting.com/ip.

* The Lighting Analysis, ELayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.

* RAB does not warranty, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design.

* Refer to RAB Product Specification Sheets for specific ambient temperature ranges. Verify ambient temperature at project location is within published performance range.

* This Lighting Layout is issued as "EXEMPLARY DOCUMENTS ONLY" - NOT FOR CONSTRUCTION OR CODE APPROVAL. RAB does not warranty, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as exemplary documents for informational and convenience purposes only, is not intended for construction nor as a part of a project's construction documentation package and should not be relied upon for any purpose.

* Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the lumen output of the fixtures being ordered (as shown on RAB's website) match the lumen output shown in the Lighting Design. Occasionally, Lighting Designs previously provided use fixtures that are then updated prior to an order and such updates could change the lumen output of the fixture. This in turn, could impact the installed lighting performance that differs from the Lighting Design.

The Lighting Analysis, ELayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.

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RAB does not warranty, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as exemplary documents for informational and convenience purposes only, is not intended for construction nor as a part of a project's construction documentation package and should not be relied upon for any purpose.

The location of exit signs, emergency lights, and luminaires operating in emergency mode cannot be validated as providing compliance to any code, regulation, or ordinance. This includes but is not limited to NFPA 101 - Life Safety Code, for illumination of the means of egress. It is recommended that a registered electrical engineer or architect be located for the project review to confirm compliance.

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Date: 5/14/2026
Scale: as noted
Project # 4448036004
Filename: Coffee Shop Watertown 4448036004A-AGI
Drawn By: Donald G. Andrews

Job Name: Coffee Shop Watertown Watertown, NJ
Lighting Layout Version A

Prepared For: Osterman Fox and Associates
2801 Court St, Suite C2
Syracuse, NY 13208
Tel: 315-437-7750

Filename: C:\Users\donald.andrews\RAB Lighting Dropbox\Lighting Design\Designs\Osterman Fox 108107\Coffee Shop Watertown 4448036004\Working Files\AGI\Coffee Shop Watertown 4448036004A-AGI.rvt

RAB
408 W 14th Street, New York, NY 10014
888-722-1000 • rablighting.com



Color: Bronze

Weight: 13.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.67A
208V	0.40A
240V	0.34A
277V	0.30A
Input Watts	40.5/57.5/81.2W

LED Info

Watts	80W
Color Temp	4000K (Neutral)
Color Accuracy	82 CRI
L70 Lifespan	100,000 Hours
Lumens	5650/7778/10458 lm
Efficacy	139.5/135.3/128.8 lm/W

Technical Specifications

Field Adjustability

Field Adjustable (Wattage):

Field adjustable light output in 3 discrete steps:
Small Housing: 80W/60W/40W (factory default 80W)

Compliance

UL Listed:

Suitable for wet locations

IP Rating:

Ingress protection rating of IP66 for dust and water

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Trade Agreements Act Compliant:

This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act

DLC Listed:

This product family is listed with the DesignLights Consortium (DLC). Individual SKUs within this family may carry either a DLC Standard or DLC Premium qualification. Please refer to the individual product specification sheet or the DLC Qualified Products List (QPL) at designlights.org to confirm the qualification status of a specific SKU prior to specification or purchase.

LED Characteristics

LEDs:

Long-life, high-efficacy, discrete, surface-mount LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warrantied to Shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

40W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.34A, 208V: 0.20A, 240V: 0.17A, 277V: 0.15A

60W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.50A, 208V: 0.30A, 240V: 0.25A, 277V: 0.22A

80W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.67A, 208V: 0.40A, 240V: 0.34A, 277V: 0.30A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

2.02% at 120V, 8.16% at 277V

Power Factor:

99.9% at 120V, 96.5% at 277V

Surge Protection:

Line to Line: 10 kV
Line to Ground: 6 kV

Performance

Lifespan:

100,000-Hour LED lifespan based on IESIm-80 results and TM-21 calculations

Technical Specifications (continued)

Wattage Equivalency:

Equivalent to 250W Metal Halide

Optical

IES Classification:

The Type III distribution is meant to be located near the side of an area, projecting the light outward to fill the area. Ideal for roadways, general parking areas, lighting applications and where a large pool of light is required.

Bug Rating:

80W: B1 U0 G2

60W: B1 U0 G2

40W: B1 U0 G1

Construction

Cold Weather Starting:

The minimum starting temperature is -40°F (-40°C)

Ambient Temperature :

Max Power Temp Rating: 104°F (40°C)

Middle Power Temp Rating: 52°C (125°F)

Low Power Temp Rating: 58°C (137°F)

Housing:

Die-cast aluminum

Reflector:

Aluminum reflector with white polycarbonate

Vibration Rating:

3G vibration rating per ANSI C136.31

Effective Projected Area (EPA):

1 Fixture: 0.35

2 Fixtures at 90°: 0.54

2 Fixtures at 180°: 0.7

3 Fixtures at 90°: 0.9

4 Fixtures at 90°: 0.9

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Installation

Mounting:

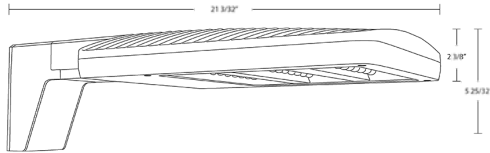
Universal mounting arm compatible for hole spacing patterns from 1" to 3" center to center. Round Pole adapter plate included as a standard. Easy slide and lock to mount fixture with ease.

Other

10-Year, No-Compromise Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Dimensions



Features

- 0-10V dimmable standard
- IP66 Rated
- 100,000-Hour LED lifespan
- 10-Year, No-Compromise Warranty

Ordering Matrix

Family	Housing Size	Distribution	Mounting	Color Temp	Finish	Driver	Options
ALED	S	3T		N			
	M = Medium (150W/90W/78W) L = Large (260W/220W/170W) XL = Extra Large (385W/345W/300W) S = Small (80W/60W/40W)	2T = Type II 3T = Type III 4T = Type IV 5T = Type V AT = Auto Dealership Optic	Blank = Universal Pole Mount SF = Slipfitter WM = Wall Mount	Blank = 5000K Cool Y = 3000K Warm ¹ N = 4000K Neutral	Blank = Bronze W = White B = Black	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming	Blank = No Option /7PR = 7 Pin Twistlock Receptacle /WS2 = Wattstopper, 20ft lens /WS4 = Wattstopper, 40ft lens ³

¹ Dark sky approved in 3000K, available only on Small and Medium fixtures

² 480V available only on Medium, Large & Extra Large fixtures

³ Wattstopper option available only on Large & Extra Large fixtures



Color: Bronze

Weight: 13.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.67A
208V	0.40A
240V	0.34A
277V	0.30A
Input Watts	40.9/58.1/82.0W

LED Info

Watts	80W
Color Temp	4000K (Neutral)
Color Accuracy	82/82/83 CRI
L70 Lifespan	100,000 Hours
Lumens	5735/7895/10616 lm
Efficacy	140.2/135.9/129.5 lm/W

Technical Specifications

Field Adjustability

Field Adjustable (Wattage):

Field adjustable light output in 3 discrete steps:
Small Housing: 80W/60W/40W (factory default 80W)

Compliance

UL Listed:

Suitable for wet locations

IP Rating:

Ingress protection rating of IP66 for dust and water

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Trade Agreements Act Compliant:

This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act

DLC Listed:

This product family is listed with the DesignLights Consortium (DLC). Individual SKUs within this family may carry either a DLC Standard or DLC Premium qualification. Please refer to the individual product specification sheet or the DLC Qualified Products List (QPL) at designlights.org to confirm the qualification status of a specific SKU prior to specification or purchase.

LED Characteristics

LEDs:

Long-life, high-efficacy, discrete, surface-mount LEDs

Color Consistency:

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Color Stability:

LED color temperature is warrantied to Shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

40W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.34A, 208V: 0.20A, 240V: 0.17A, 277V: 0.15A

60W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.50A, 208V: 0.30A, 240V: 0.25A, 277V: 0.22A

80W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.67A, 208V: 0.40A, 240V: 0.34A, 277V: 0.30A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

2.22% at 120V, 7.07% at 277V

Power Factor:

99.9% at 120V, 96.6% at 277V

Surge Protection:

Line to Line: 10 kV
Line to Ground: 6 kV

Performance

Lifespan:

100,000-Hour LED lifespan based on IESIm-80 results and TM-21 calculations

Technical Specifications (continued)

Wattage Equivalency:

Equivalent to 250W Metal Halide

Optical

IES Classification:

The Type IV distribution is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

Bug Rating:

80W: B1 U0 G2

60W: B1 U0 G2

40W: B1 U0 G2

Construction

Cold Weather Starting:

The minimum starting temperature is -40°F (-40°C)

Ambient Temperature :

Max Power Temp Rating: 104°F (40°C)

Middle Power Temp Rating: 52°C (125°F)

Low Power Temp Rating: 58°C (137°F)

Housing:

Die-cast aluminum

Reflector:

Aluminum reflector with white polycarbonate

Vibration Rating:

3G vibration rating per ANSI C136.31

Effective Projected Area (EPA):

1 Fixture: 0.35

2 Fixtures at 90°: 0.54

2 Fixtures at 180°: 0.7

3 Fixtures at 90°: 0.9

4 Fixtures at 90°: 0.9

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Installation

Mounting:

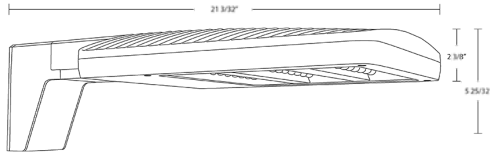
Universal mounting arm compatible for hole spacing patterns from 1" to 3" center to center. Round Pole adapter plate included as a standard. Easy slide and lock to mount fixture with ease.

Other

10-Year, No-Compromise Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Dimensions



Features

- 0-10V dimmable standard
- IP66 Rated
- 100,000-Hour LED lifespan
- 10-Year, No-Compromise Warranty

Ordering Matrix

Family	Housing Size	Distribution	Mounting	Color Temp	Finish	Driver	Options
ALED	S	4T		N			
	M = Medium (150W/90W/78W) L = Large (260W/220W/170W) XL = Extra Large (385W/345W/300W) S = Small (80W/60W/40W)	2T = Type II 3T = Type III 4T = Type IV 5T = Type V AT = Auto Dealership Optic	Blank = Universal Pole Mount SF = Slipfitter WM = Wall Mount	Blank = 5000K Cool Y = 3000K Warm ¹ N = 4000K Neutral	Blank = Bronze W = White B = Black	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming	Blank = No Option /7PR = 7 Pin Twistlock Receptacle /WS2 = Wattstopper, 20ft lens /WS4 = Wattstopper, 40ft lens ³

¹ Dark sky approved in 3000K, available only on Small and Medium fixtures

² 480V available only on Medium, Large & Extra Large fixtures

³ Wattstopper option available only on Large & Extra Large fixtures



Color: Bronze

Weight: 13.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.67A
208V	0.40A
240V	0.34A
277V	0.30A
Input Watts	42.1/59.8/84.4W

LED Info

Watts	80W
Color Temp	4000K (Neutral)
Color Accuracy	82 CRI
L70 Lifespan	100,000 Hours
Lumens	6353/8746/11760 lm
Efficacy	150.9/146.3/139.3 lm/W

Technical Specifications

Field Adjustability

Field Adjustable (Wattage):

Field adjustable light output in 3 discrete steps:
Small Housing: 80W/60W/40W (factory default 80W)

Compliance

UL Listed:

Suitable for wet locations

IP Rating:

Ingress protection rating of IP66 for dust and water

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Trade Agreements Act Compliant:

This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act

DLC Listed:

This product family is listed with the DesignLights Consortium (DLC). Individual SKUs within this family may carry either a DLC Standard or DLC Premium qualification. Please refer to the individual product specification sheet or the DLC Qualified Products List (QPL) at designlights.org to confirm the qualification status of a specific SKU prior to specification or purchase.

LED Characteristics

LEDs:

Long-life, high-efficacy, discrete, surface-mount LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warrantied to Shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

40W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.34A, 208V: 0.20A, 240V: 0.17A, 277V: 0.15A

60W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.50A, 208V: 0.30A, 240V: 0.25A, 277V: 0.22A

80W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.67A, 208V: 0.40A, 240V: 0.34A, 277V: 0.30A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

2.01% at 120V, 6.71% at 277V

Power Factor:

99.9% at 120V, 96.8% at 277V

Surge Protection:

Line to Line: 10 kV
Line to Ground: 6 kV

Performance

Lifespan:

100,000-Hour LED lifespan based on IESIm-80 results and TM-21 calculations

Technical Specifications (continued)

Wattage Equivalency:

Equivalent to 250W Metal Halide

Optical

IES Classification:

The Type V distribution produces light in a wide and uniform 360° pattern that is perfect for large outdoor areas such as parking lots, corporate parks and retail settings

Bug Rating:

80W: B3-U0-G2

60W: B3 U0 G1

40W: B3 U0 G1

Construction

Cold Weather Starting:

The minimum starting temperature is -40°F (-40°C)

Ambient Temperature :

Max Power Temp Rating: 104°F (40°C)

Middle Power Temp Rating: 52°C (125°F)

Low Power Temp Rating: 58°C (137°F)

Housing:

Die-cast aluminum

Reflector:

Aluminum reflector with white polycarbonate

Vibration Rating:

3G vibration rating per ANSI C136.31

Effective Projected Area (EPA):

1 Fixture: 0.35

2 Fixtures at 90°: 0.54

2 Fixtures at 180°: 0.7

3 Fixtures at 90°: 0.9

4 Fixtures at 90°: 0.9

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

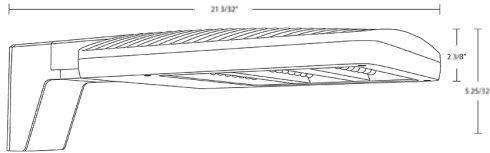
Mercury and UV free. RoHS-compliant components.

Installation

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 3" center to center. Round Pole adapter plate included as a standard. Easy slide and lock to mount fixture with ease.

Dimensions



Features

- 0-10V dimmable standard
- IP66 Rated
- 100,000-Hour LED lifespan
- 10-Year, No-Compromise Warranty

Ordering Matrix

Family	Housing Size	Distribution	Mounting	Color Temp	Finish	Driver	Options
ALED	S	5T		N			
	M = Medium (150W/90W/78W) L = Large (260W/220W/170W) XL = Extra Large (385W/345W/300W) S = Small (80W/60W/40W)	2T = Type II 3T = Type III 4T = Type IV 5T = Type V AT = Auto Dealership Optic	Blank = Universal Pole Mount SF = Slipfitter WM = Wall Mount	Blank = 5000K Cool Y = 3000K Warm ¹ N = 4000K Neutral	Blank = Bronze W = White B = Black	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming	Blank = No Option /7PR = 7 Pin Twistlock Receptacle /WS2 = Wattstopper, 20ft lens /WS4 = Wattstopper, 40ft lens ³

¹ Dark sky approved in 3000K, available only on Small and Medium fixtures

² 480V available only on Medium, Large & Extra Large fixtures

³ Wattstopper option available only on Large & Extra Large fixtures



Weight: 1.8 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	N/A
120V	N/A
208V	N/A
240V	N/A
277V	N/A
Input Watts	N/A

LED Info

Watts	N/A
Color Temp	N/A
Color Accuracy	N/A
L70 Lifespan	50,000 Hours
Lumens	N/A
Efficacy	N/A

Technical Specifications

Performance

Product Type:

LED Tape Light Driver Wet Rated

Description:

Driver IP67 96W 120-277V for Lightcloud Blue ARCTAPE, FLEXTAPE, NEOFLEX

L70 Lifespan:

50,000-Hour LED lifespan based on IES LM-70 results

Electrical

Power Factor:

0.95

Dimmable:

Yes via the Lightcloud Blue mobile app and devices.

This driver will not operate properly when connected to a standard (incandescent) dimmer or dimming control.

Input Voltage:

120-277V

Output Power:

96W Max

Output Voltage:

24VDC

Output Current:

4A

Operating Frequency:

47-63Hz

Operating Temperature:

-4°F to 113°F (-20°C to 45°C)

Construction

Material Construction:

Dedicated line voltage and low-voltage wiring compartments. Multiple 7/8" knock-outs for easy wire configuration.

Compliance

Listings:

UL8750

Environment:

Suitable for use indoors and outdoors in dry, damp, or wet environments.

IP Rating:

IP67

California Title 24 JA8 Compliant:

No

California Energy Commission (CEC) Status:

Lawful for Sales in California

RoHS:

Mercury and UV free. RoHS-compliant components.

FCC:

Complies with Part 15 of the FCC Rules

Other

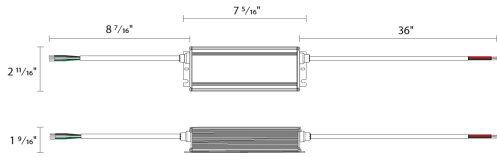
Compatible Products:

Compatible with the following ARCTAPE products: TIC/LCB

Compatible with the following FLEXTAPE products: TOS/LCB, TOS/RGB

Compatible with the following NEOFLEX products: TNF/LCB, TNF/RGB

Dimensions



Features

120-277V Universal input voltage



Weight: 0.0 lbs

Project:

Type:

Prepared By:

Date:

Technical Specifications

Performance

Product Type:

Tape Light Accessories - Silicone glue

Description:

Tape Light Silicone Glue 10ml

Other

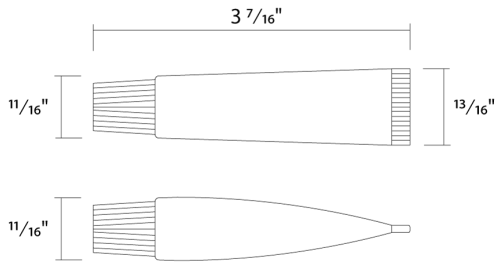
Compatible Products:

Compatible with the following FLEXTAPE products:
TOSYY, TOSY, TOSYN, TOSN, TOSCW, TOSLYY, TOSLY,
TOSLYN, TOSLN, TOSLCW, TOSHYY, TOSHY, TOSHYN,
TOSHN, TOSHCW, TOS/LCB, TOS/RGB

Compatible with the following NEOFLEX products:

TNFYY, TNFY, TNFYN, TNFN, TNFLGY, TNF/LCB,
TNF/RGB

Dimensions



Features

10mL Silicone Glue for Tape Light



Weight: 1.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Voltage
120V	N/A
208V	N/A
240V	N/A
277V	N/A
Input Watts	6.1 W/ftW

LED Info

Watts	6.1 W/ftW
Color Temp	RGBW
Color Accuracy	90 CRI
L70 Lifespan	50,000 Hours
Lumens	230lm/ft Im
Efficacy	N/A

Technical Specifications

Lightcloud

Factory Reset:
See LCBLVD/RGB on rablighting.com

Performance

Product Type:
Wet Location SMD Tape RGBW

Description:

FLEXTAPE is a bendable, outdoor LED tape that provides energy-efficient lighting for both indoor and outdoor applications.

Input Wattage:

6.1 W/ft

Lumens:

R:28lm/ft
G:100lm/ft
B:22lm/ft
W:107lm/ft
Mix:250lm/ft

Lumens/Foot:

230 lm/ft

L70 Lifespan:

50,000-Hour LED lifespan based on IES LM-70 results

Electrical

Dimmable:
Yes, using Lightcloud Blue
This product will not operate properly when connected to a standard (incandescent) dimmer or dimming control.

Input Voltage:

DC24V

Operating Temperature:

-4°F to 113°F (-20°C to 45°C)

LED Characteristics

Beam Angle:

120°

Color Temperature:

Default: 3000K
2200-3000K and 16+ million colors using Lightcloud Blue

Color Accuracy (CRI):

90 CRI

Color Changing:

Color Changing-2559c

R9 Value:

High color performance with R9 greater than 60

Color Consistency:

<5-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Chip Density:

18 chips/ft

Pixel/Meter:

10 pixels/m

LED/Pixel:

6 LED/pixel

Field Cuttable Increment:

Cuttable every 3.9"

Length Adjustments:

Use the mobile app to adjust Minimum Segment Unit (MSU) and Maximum Segement Configuration (MSC) to ensure proper illumination. See the Lightcloud Blue Mobile App User Guide or contact RAB for more information.

Installation

Mounting:

Easy installation to most surfaces by using pre-attached 3M® double-sided tape

Construction

Length:

16.4 ft

Technical Specifications (continued)**Max Run Length:**

32.8 ft

Light Source:

SMD 5050

Material Construction:

Weather-resistant, high-grade silicone cover with super-flexible bending.

Light Effect:

Soft linear lighting performance

Spool Length:

16.4 ft

Bendable:

Top bend

Compliance**Listings:**

UL2108

Environment:

Suitable for use indoors and outdoors in dry, damp, or wet environments.

IP Rating:

IP67

California Title 24 JA8 Compliant:

Can be used to conform with the requirements of California Title 24 Part 6.

California Energy Commission (CEC) Status:

Lawful for Sales in California

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

RoHS:

Mercury and UV free. RoHS-compliant components.

FCC:

Complies with Part 15 of the FCC Rules

Other**Compatible Products:**

LCBLVD/RGB

Lightcloud Blue controller for RGBW tape light

Field Wiring Accessories:

TOJ5

Tape Light Connector IP65 5-Pin PCB Width 12mm W/ 15cm Wire

TPF5

End Caps

TPFES

Tape Light Wire Extender IP67 5-Pin Connectors w/ 8ft Wire

TPFSS

Tape Light Wire Splitter IP67 5-Pin + 2-Pin Connectors

Mounting Accessories:

TAP15

15.5mm Wide Aluminum Channel Kit

TAP16TL

Trimless 16mm Wide Aluminium Profile

TSG

Silicone Glue

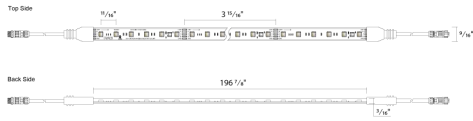
Compatible Drivers:

TND-96

96W Indoor/Outdoor Driver ON/OFF

5-Year Limited Warranty:The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Dimensions



Features

- Flexible, wet location LED tape provides energy-efficient lighting for both indoor and outdoor applications.
- Easy installation to most surfaces by using pre-attached 3M® double-sided tape
- Create dynamic RGB light shows with customizable effects and color sequences. Requires Lightcloud Blue controller (sold separately)
- 60W & 96W Indoor or outdoor rated drivers available (sold separately)
- 50,000-hr rated life, Title 24 Compliant, and 5-year limited warranty



Weight: 0.2 lbs

Project:

Type:

Prepared By:

Date:

Technical Specifications

Performance

Product Type:

Tape Light Accessories - Splitter

Description:

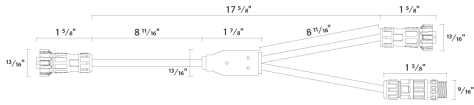
Tape Light Wire Splitter IP67 5-Pin + 2-Pin
Connectors

Other

Compatible Products:

Compatible with the following FLEXTAPE products:
TOS/RGB

Dimensions



Features

- Tape Light Wire Splitter
- 5-pin + 2-pin Connectors



Weight: 0.4 lbs

Project:

Type:

Prepared By:

Date:

Technical Specifications

Performance

Product Type:

Tape Light Accessories - 5-Pin Connector

Description:

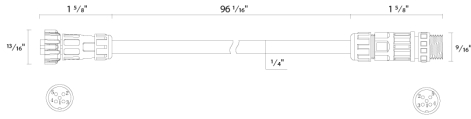
Tape Light Wire Extender IP67 5-Pin Connectors w/
8ft Wire

Other

Compatible Products:

Compatible with the following FLEXTAPE products:
TOS/RGB

Dimensions



Features

- Tape Light Wire Extender
- 5-pin connected w/8 ft. wire



Weight: 0.1 lbs

Project:

Type:

Prepared By:

Date:

Technical Specifications

Performance

Product Type:

Tape Light Accessories - 5-Pin Connector

Description:

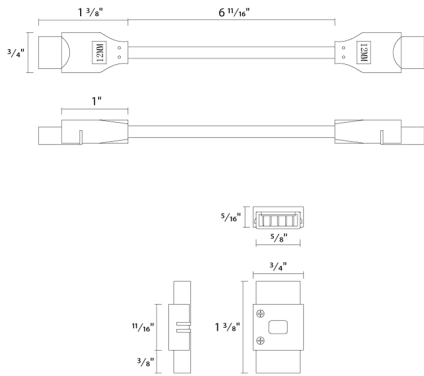
Tape Light Connector IP65 5-Pin PCB Width 12mm
W/ 15cm Wire

Other

Compatible Products:

Compatible with the following FLEXTAPE products:
TOS/RGB

Dimensions



Features

- Tape Light 5-pin Connector Kit
- Includes 1 PCB-PCB connector
- 1 PCB-Wire connector + 1 end cap
- 1 PCB-Wire-PCB connector



Weight: 0.2 lbs

Project:

Type:

Prepared By:

Date:

Technical Specifications

Performance

Product Type:

Tape Light Accessories - Splitter

Description:

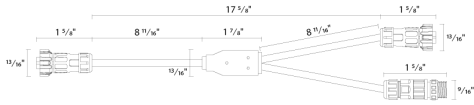
Tape Light Wire Splitter IP67 5-Pin + 2-Pin
Connectors

Other

Compatible Products:

Compatible with the following FLEXTAPE products:
TOS/RGB

Dimensions



Features

- Tape Light Wire Splitter
- 5-pin + 2-pin Connectors



Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 105.8 lbs

Project:

Type:

Prepared By:

Date:

Technical Specifications

Compliance

CSA Listed:

Suitable for wet locations

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover

Base Plates:

Slotted base plates 36,000 p.s.i.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage

Color:

Bronze powder coating

Height:

15 ft

Weight:

106 lbs

Gauge:

11

Wall Thickness:

1/8"

Shaft Size:

4"

Hand Hole Dimensions:

3" x 5"

Bolt Circle:

8 1/2"

Base Dimension:

8"

Anchor Bolt:

Anchor bolt kits are sold separately. Order [ABK4-11-BCK-S4](#) for anchor bolt kits.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available [online](#).

Max EPA's/Max Weights:

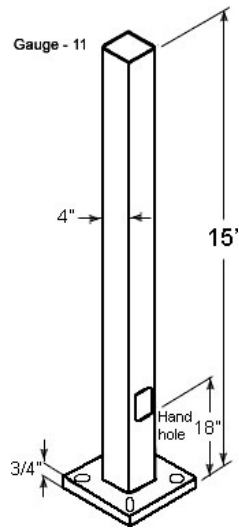
- 70MPH 17.4 ft/450 lb.
- 80MPH 12.5 ft/440 lb.
- 90MPH 9.0 ft/440 lb.
- 100MPH 6.6 ft/440 lb.
- 110MPH 4.8 ft/435 lb.
- 120MPH 3.4 ft/435 lb.
- 130MPH 2.3 ft/435 lb.
- 140MPH 1.4 ft/430 lb.
- 150MPH 0.8 ft/420 lb

Other

Terms of Sale:

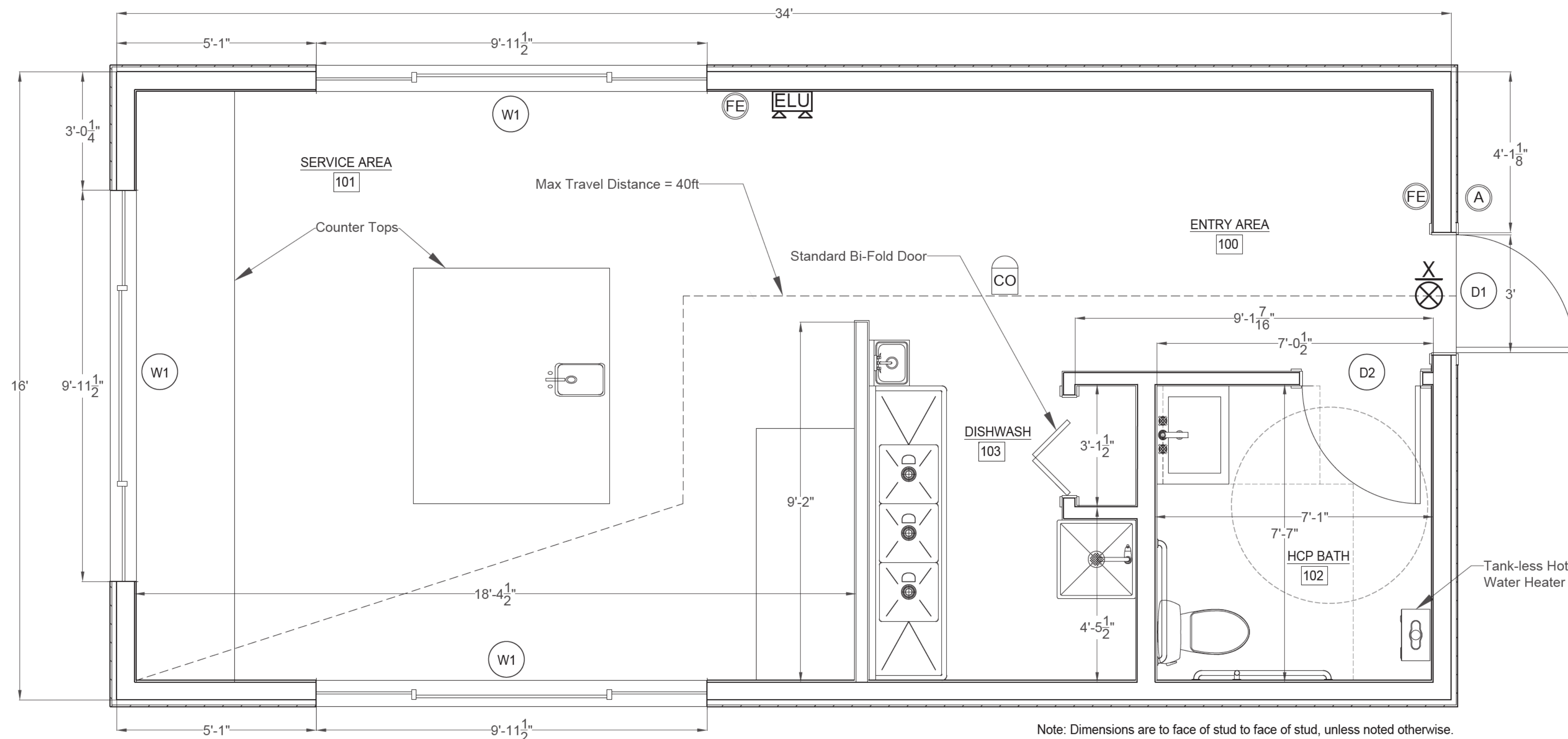
Pole Terms of Sale is available [online](#).

Dimensions



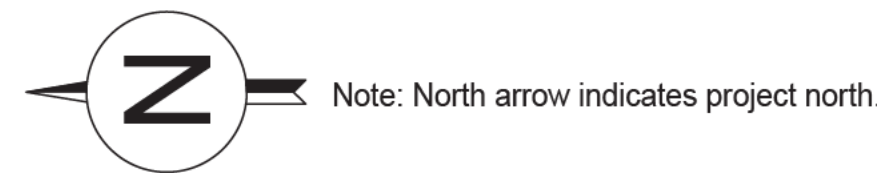
Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Pole caps, base covers & bolts are sold separately
- Custom manufactured for each application

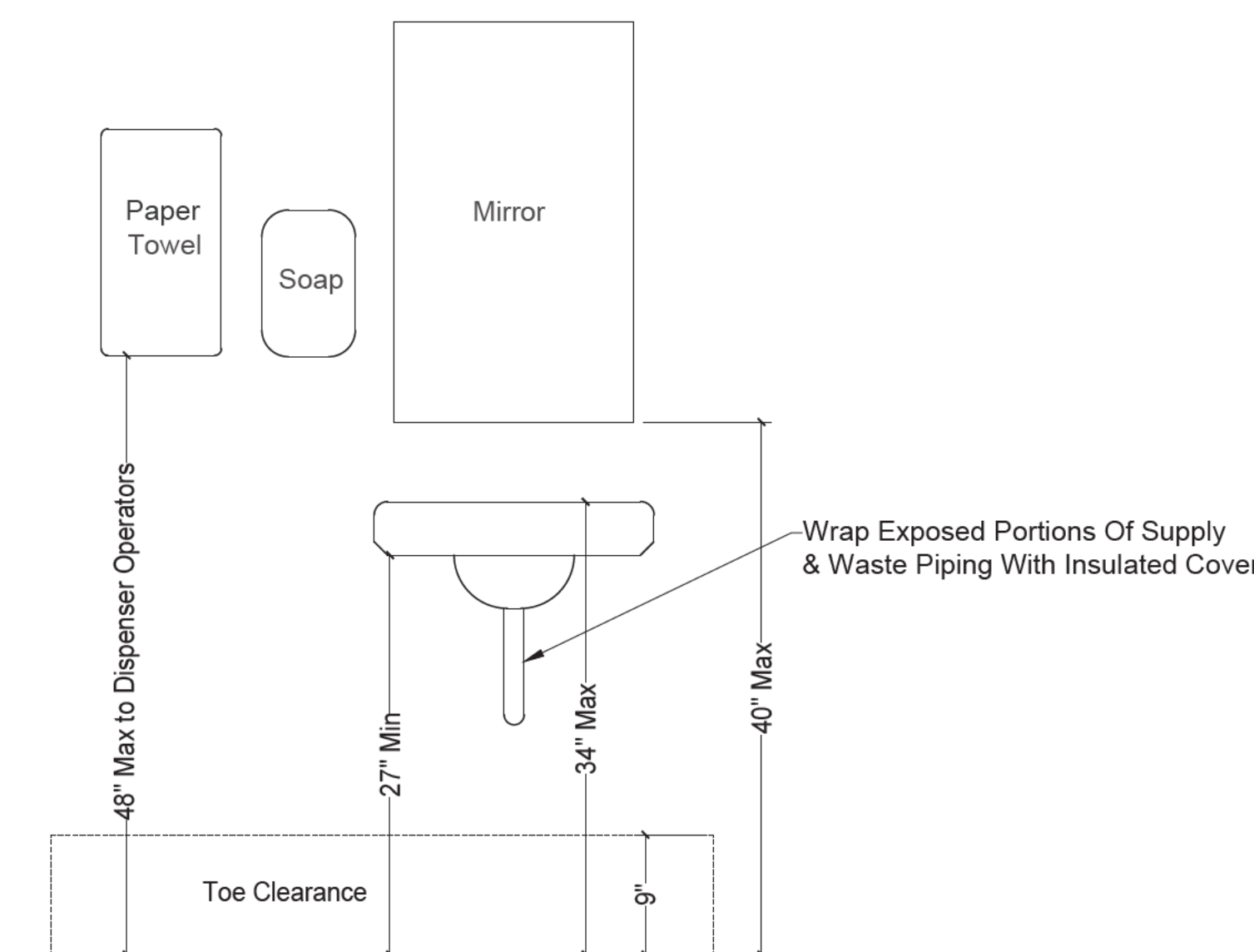


Note: Dimensions are to face of stud to face of stud, unless noted otherwise.

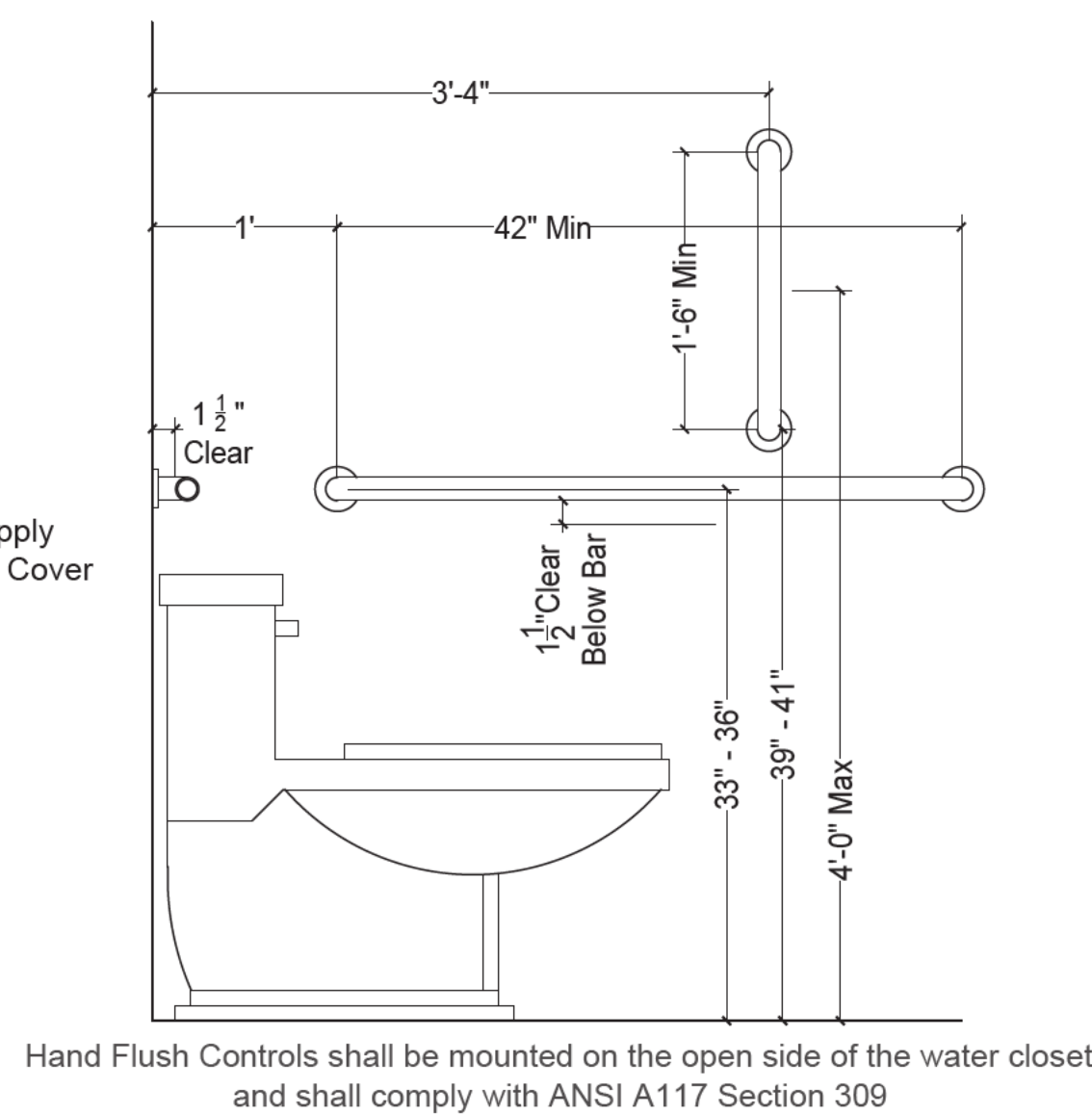
Symbols	
Emergency Light Unit, 90 minute Battery Back Up	
Emergency Light/Exit Combo	
Fire Extinguisher	
Carbon Monoxide Detector	
Exterior Wall Sconce - To Be Determined	



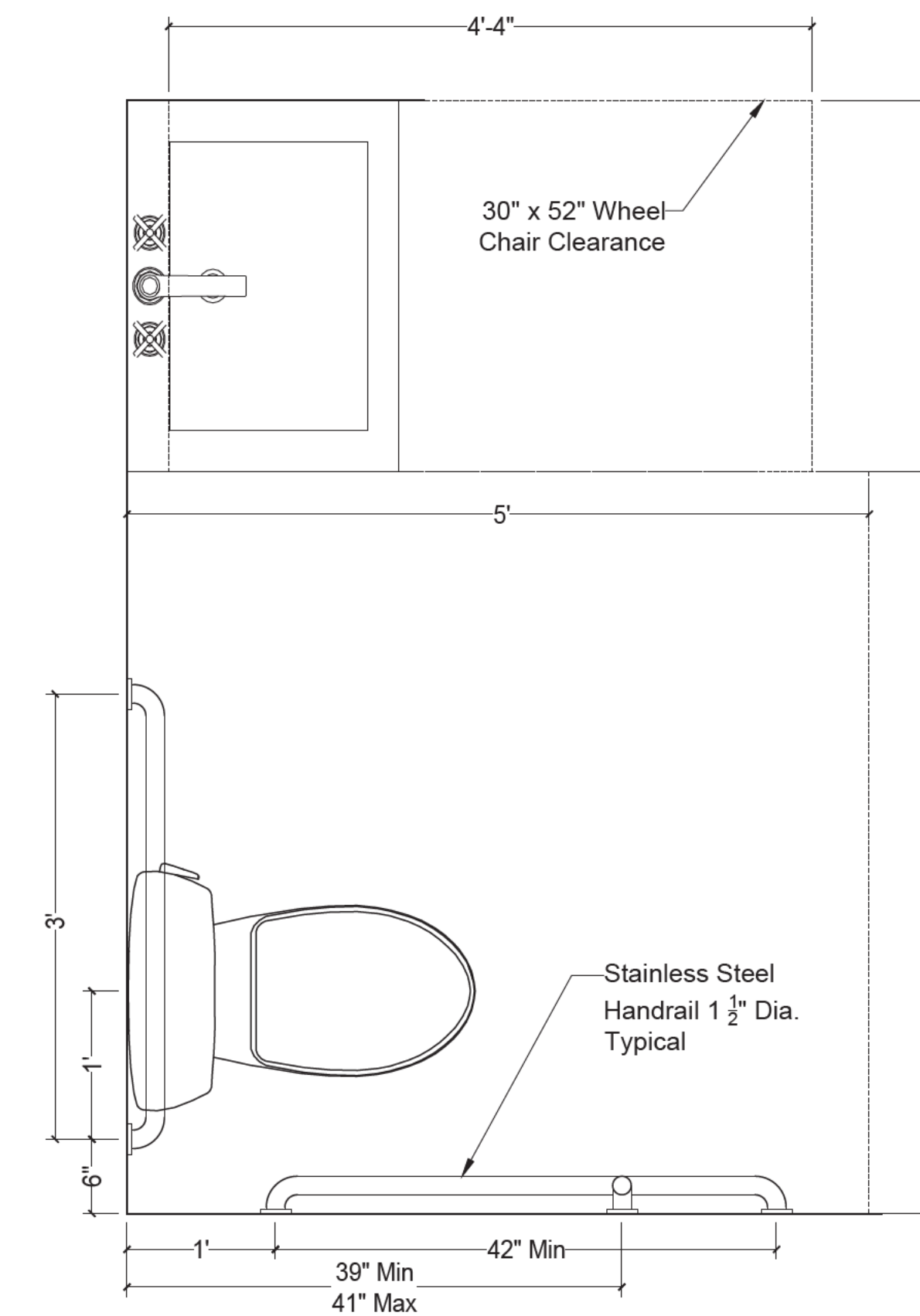
FLOOR PLAN
SCALE: 1/2" = 1'-0"



Accessory Heights



Side Wall View



Fixture Plan View

Note: Provide adequate blocking for grab bars and bathroom accessories

ADA BATHROOM LAYOUT
SCALE: 1" = 1'-0"

Jumpin' Goat Drive Through Shop
440 State Street Watertown, NY 13601

MARK	DATE	DESCRIPTION

Project No.:	JG-JOHNSON-001
Drawn By:	AMS
Checked By:	AMS
Date:	5/19/2026
Scale:	X/X"=1'-0"

Sheet Title
Floor Plan

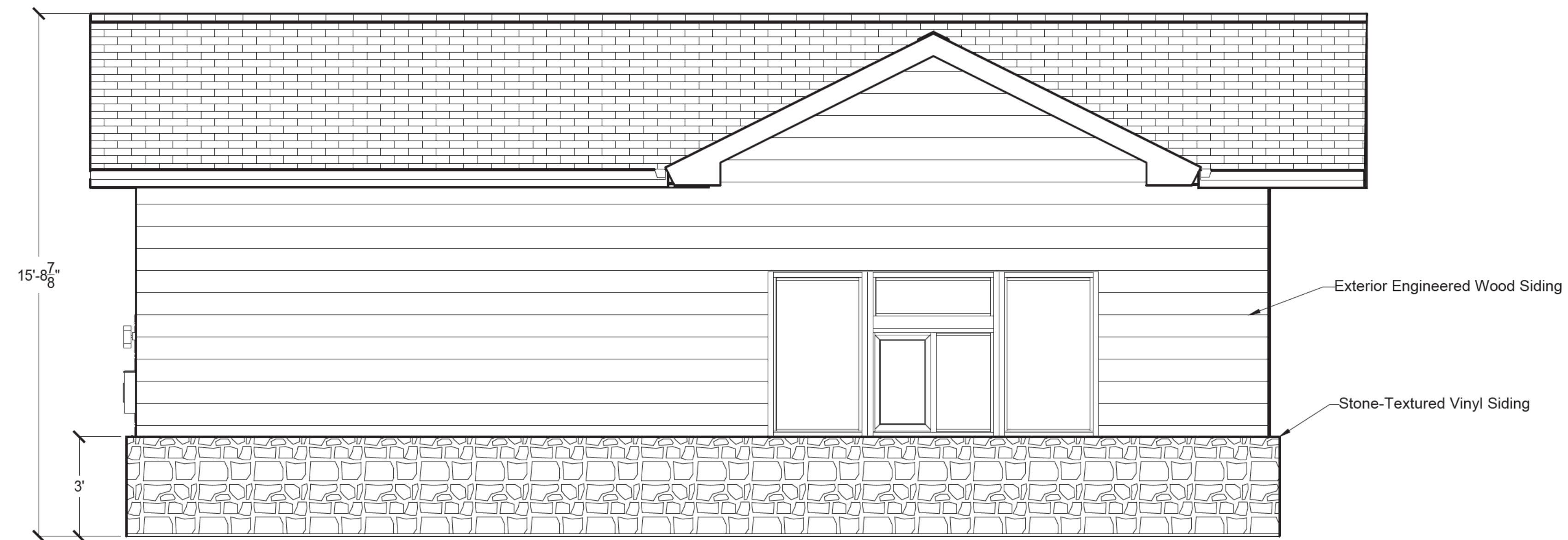
It is a violation of New York State Education Department Law, for any person, unless he/she is acting under the direction of a licensed professional, to alter this drawing in any way. Alterations must have the seal of the licensed professional, the signature and the date affixed along with the description of the alteration.



NORTH ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



EAST ELEVATION (WEST ELEVATION SIMILAR)
SCALE: 3/8" = 1'-0"

Jumpin' Goat Drive Through Shop
440 State Street Watertown, NY 13601

MARK	DATE	DESCRIPTION
	5/19/2026	ISSUE

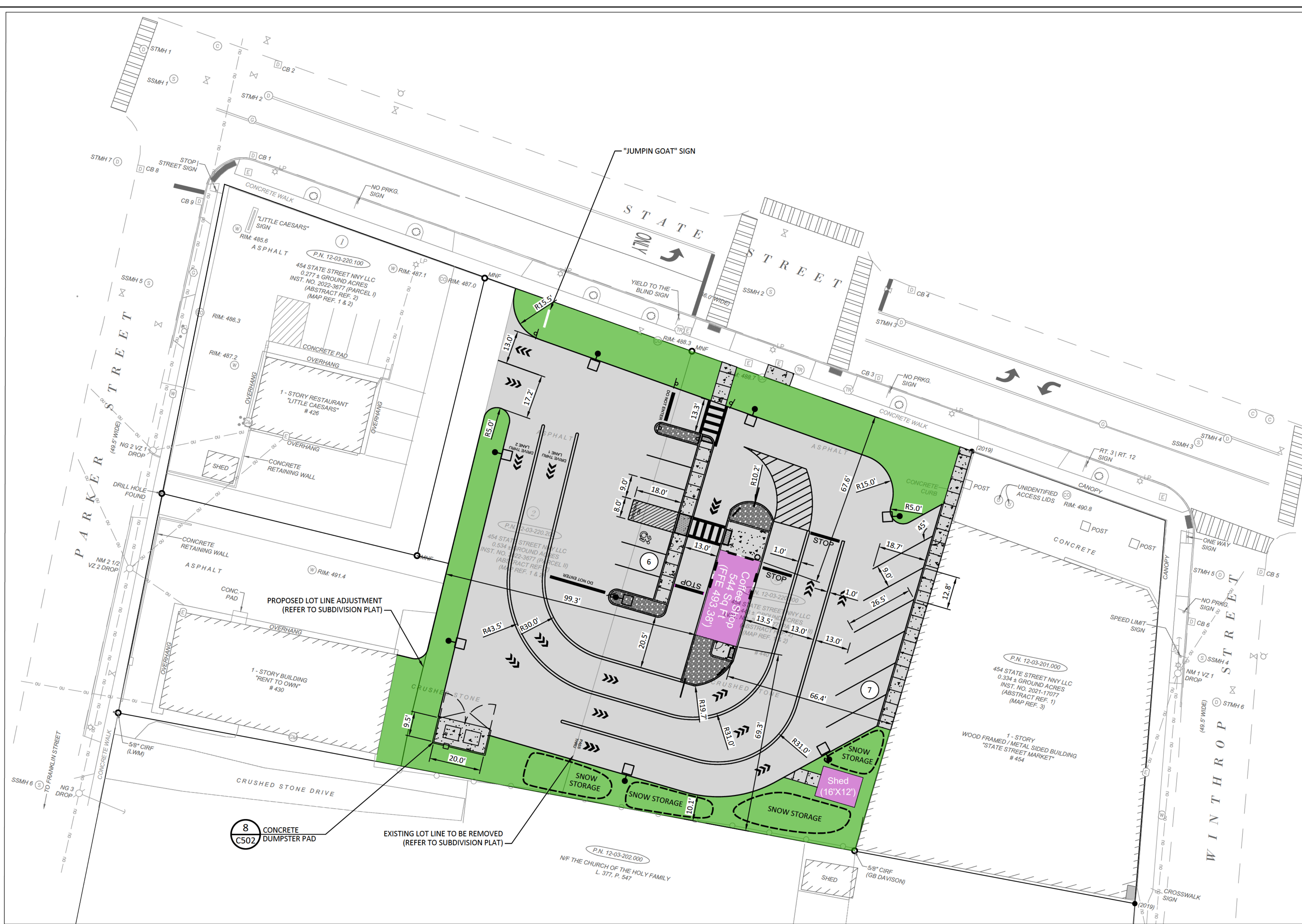
Project No.:	JG-JOHNSON-001
Drawn By:	AMS
Checked By:	AMS
Date:	5/19/2026
Scale:	X/X"=1'-0"

Sheet Title
Elevations

Sheet No.
3

It is a violation of New York State Education Department Law, for any person, unless he/she is acting under the direction of a licensed professional, to alter this drawing in any way. Alterations must have the seal of the licensed professional, the signature and the date affixed along with the description of the alteration.

Plotter: May 19, 2026 - 8:02AM
 i:\Projects\5000\5074.001.001 - Site Plans.dwg
 Drawn by KJK
 Checked by CAW
 Designed by KJK
 In charge of CAW



LEGEND

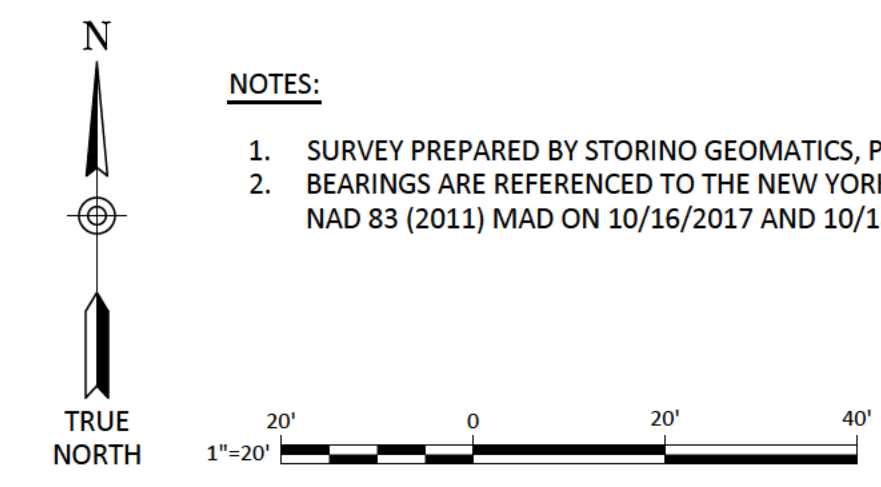
	PROPOSED ASPHALT PAVING (SEE DETAIL 5/C502)
	PROPOSED CONCRETE (SEE DETAIL 3/C502)
	DETECTABLE WARNING UNITS
	SIGN & SIGN POSTS
	LIGHT POLE BASE (REFER TO PHOTOMETRICS PLAN, BY OTHERS)
	PROPOSED REFUSE ENCLOSURE FENCE
	LAWN AREAS (SEE DETAIL 7/C502)
	LANDSCAPING AREAS

PROJECT DATA

PARCEL INFORMATION		
PARCEL ADDRESS	440 STATE STREET, WATERTOWN, NY 13601	
TAX NUMBERS	12-03-220.300 (REFER TO SUBDIVISION PLAT)	
PARCEL AREA	±0.8 ACRES (REFER TO SUBDIVISION PLAT)	
DISTURBED AREA/WORK LIMITS	±0.8 ACRES	
ZONING INFORMATION		
ZONING DISTRICT	URBAN MIXED USE	
PROPOSED USE	CAFE WITH ACCESSORY DRIVE THRU	
	<u>REQUIRED</u>	<u>PROPOSED</u>
LOT AREA	NO MIN.	±0.8 ACRES
LOT WIDTH (MIN.)	15 FEET	±200 FEET
LOT COVERAGE (MAX.)	90%	75%
ACCESSORY STRUCTURE MAX. TOTAL FOOTPRINT	N/A	-
FRONT YARD SETBACK (MIN./MAX.)	0 FEET/12 FEET	67.6 FEET*
FACADE LENGTH (MAX.)	N/A	-
SIDE YARDS (MIN. TOTAL)	N/A	-
REAR YARD (MIN.)	5 FEET	-
PARKING & LOADING SETBACK	N/A	-
ACCESSORY STRUCTURE SETBACK	N/A	-

- NOTES:**
1. SURVEY PREPARED BY STORINO GEOMATICS, PLLC ON 2/17, 2/23, AND 2/24/2026.
 2. BEARINGS ARE REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (3102), AS REALIZED FROM STATIC GPS OBSERVATIONS REFERENCED TO NAD 83 (2011) MAD ON 10/16/2017 AND 10/18/2017 FOR THE CITY OF WATERTOWN 2017 GPS NETWORK - FILE 2017-027.

- *VARIANCE REQUESTS APPROVED BY THE CITY OF WATERTOWN ZONING BOARD OF APPEALS ON APRIL 15, 2026:
1. AREA VARIANCE TO INCREASE THE MAXIMUM FRONT-YARD SETBACK TO 67.6 FEET.
 2. AREA VARIANCE TO WAIVE THE REQUIREMENT THAT PEDESTRIAN ACCESS FROM THE SIDEWALK NOT CROSS A DRIVE-THROUGH EXIT LANE. VARIANCE IS CONTINGENT UPON THE INSTALLATION OF TWO PEDESTRIAN CROSSING SIGNS ON EITHER SIDE OF THE INTERNAL CROSSWALK CONNECTING THE STATE STREET SIDEWALK TO THE PRIMARY BUILDING.
 3. AREA VARIANCE TO INCREASE THE MAXIMUM UN-BUILT FRONTAGE FROM 24 FEET TO 167.8 FEET.
 4. AREA VARIANCE TO DECREASE THE REQUIRED LANDSCAPED BUFFER ALONG THE EASTERN SIDE PROPERTY LINE FROM 10 FEET TO 0 FEET.



IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145 § 7209 SPECIAL PROVISIONS, FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS	

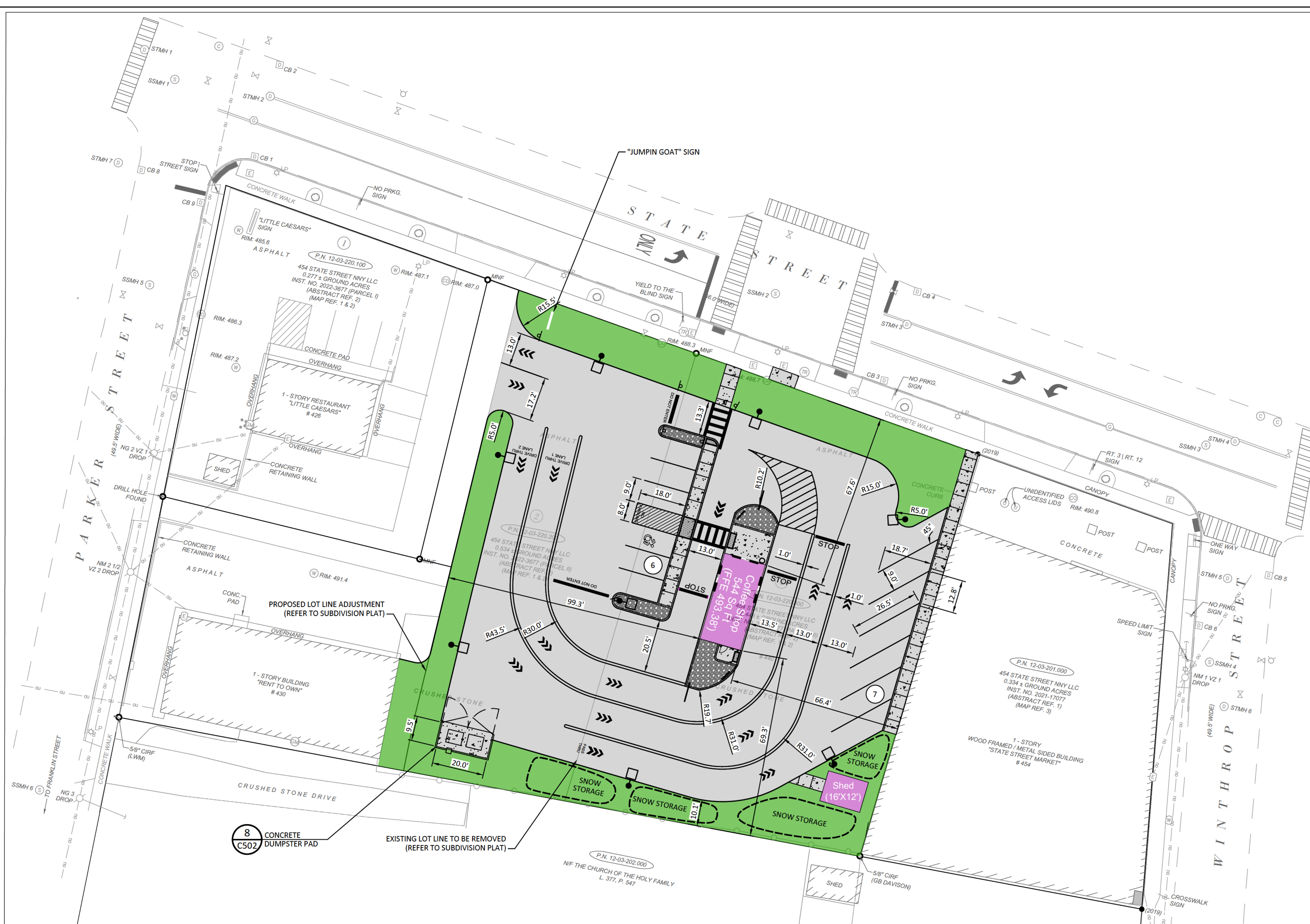
454 STATE STREET NNY LLC
 STATE STREET 'JUMPIN' GOAT DRIVE-THRU CAFE
SITE PLAN
 JEFFERSON COUNTY, NEW YORK

120 Washington Street
 Suite 100
 Watertown, New York
 13601
Barton & Loguidice, D.P.C.

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Date	MAY 2026
Scale	AS SHOWN
Sheet Number	C101
Project Number	5074.001.001

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Plotter: May 19, 2026 - 8:02AM
 i:\Projects\5000\5074.001.001 - Site Plans.dwg
 Drawn by KJK
 Checked by CAW
 Designed by KJK
 In charge of CAW



LEGEND

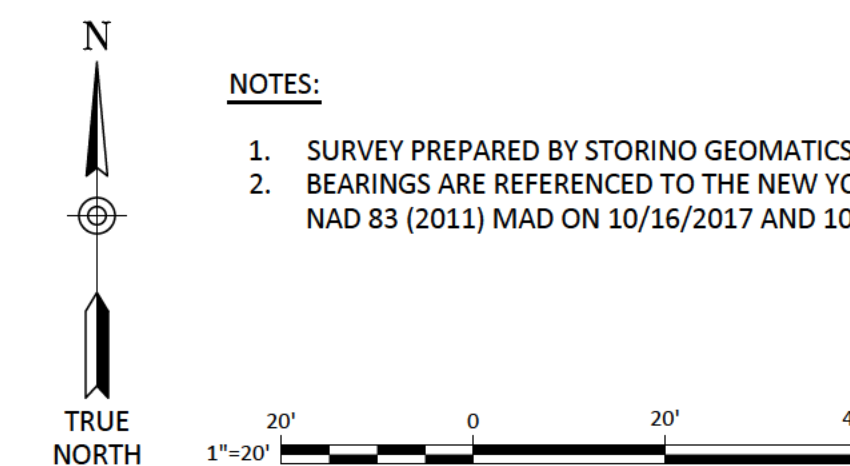
	PROPOSED ASPHALT PAVING (SEE DETAIL 5/C502)
	PROPOSED CONCRETE (SEE DETAIL 3/C502)
	DETECTABLE WARNING UNITS
	SIGN & SIGN POSTS
	LIGHT POLE BASE (REFER TO PHOTOMETRICS PLAN, BY OTHERS)
	PROPOSED REFUSE ENCLOSURE FENCE
	LAWN AREAS (SEE DETAIL 7/C502)
	LANDSCAPING AREAS

PROJECT DATA

PARCEL INFORMATION	
PARCEL ADDRESS	440 STATE STREET, WATERTOWN, NY 13601
TAX NUMBERS	12-03-220.300 (REFER TO SUBDIVISION PLAT)
PARCEL AREA	±0.8 ACRES (REFER TO SUBDIVISION PLAT)
DISTURBED AREA/WORK LIMITS	±0.8 ACRES
ZONING INFORMATION	
ZONING DISTRICT	URBAN MIXED USE
PROPOSED USE	CAFE WITH ACCESSORY DRIVE THRU
	REQUIRED PROPOSED
LOT AREA	NO MIN. ±0.8 ACRES
LOT WIDTH (MIN.)	15 FEET ±200 FEET
LOT COVERAGE (MAX.)	90% 75%
ACCESSORY STRUCTURE MAX. TOTAL FOOTPRINT	N/A -
FRONT YARD SETBACK (MIN./MAX.)	0 FEET/12 FEET 67.6 FEET*
FACADE LENGTH (MAX.)	N/A -
SIDE YARDS (MIN. TOTAL)	N/A -
REAR YARD (MIN.)	5 FEET -
PARKING & LOADING SETBACK	N/A -
ACCESSORY STRUCTURE SETBACK	N/A -

- NOTES:**
1. SURVEY PREPARED BY STORINO GEOMATICS, PLLC ON 2/17, 2/23, AND 2/24/2026.
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REVISIONS	

454 STATE STREET NNY LLC
 STATE STREET 'JUMPIN' GOAT DRIVE-THRU CAFE
SITE PLAN

JEFFERSON COUNTY, NEW YORK

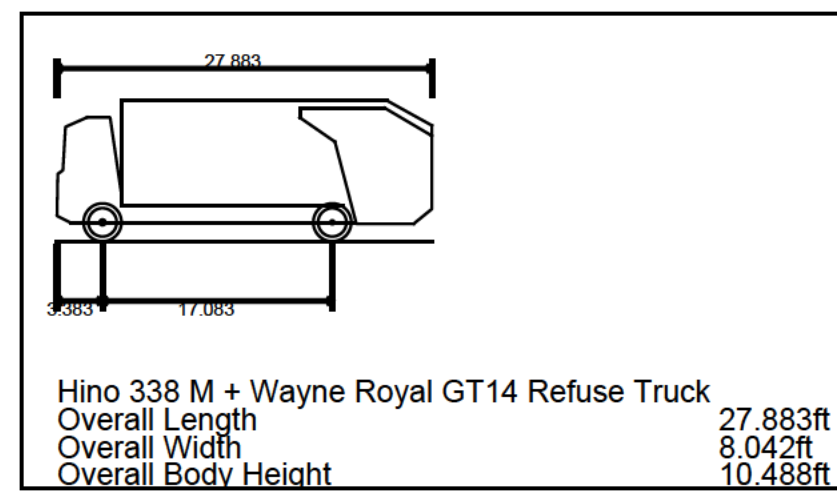
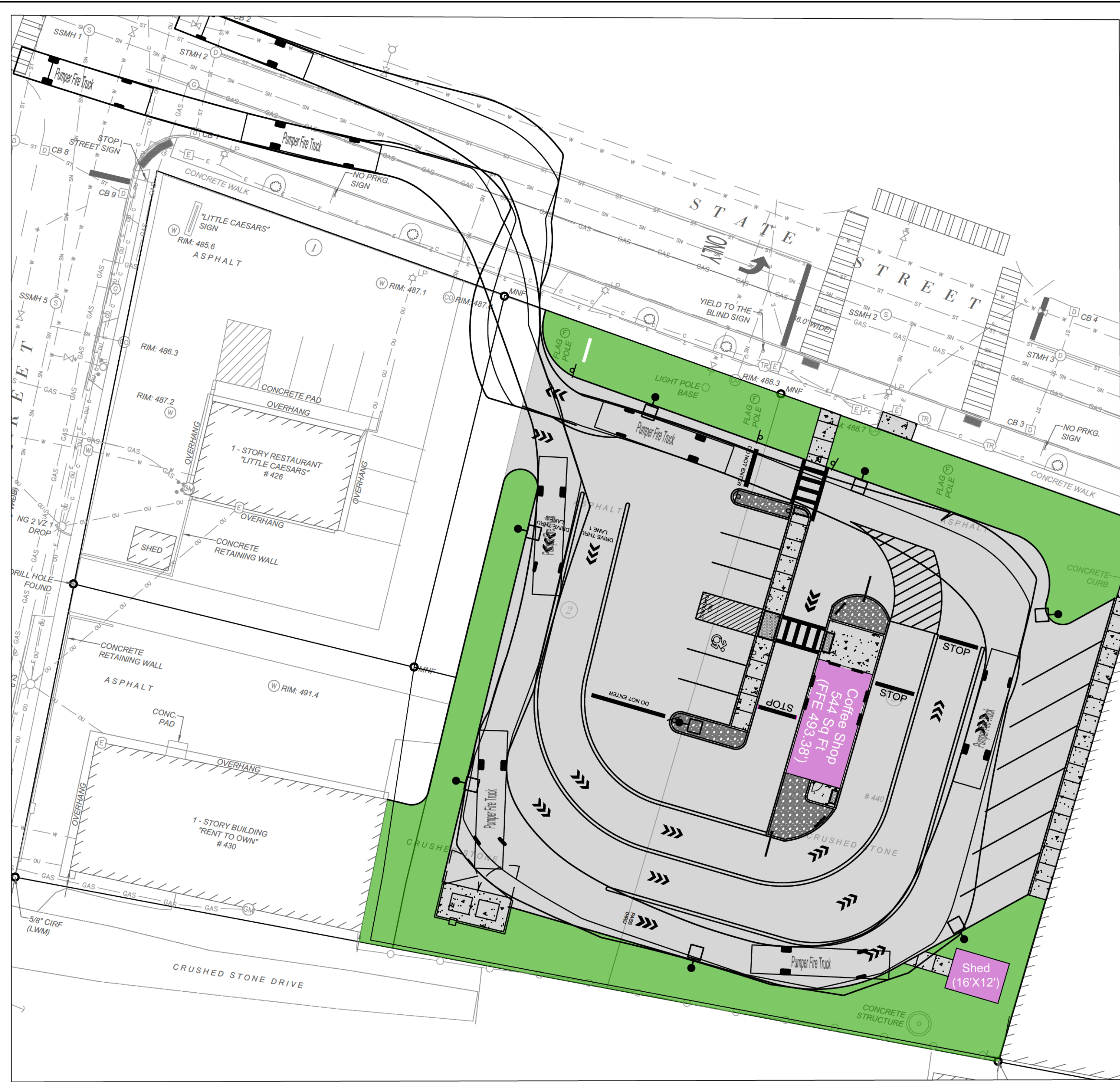
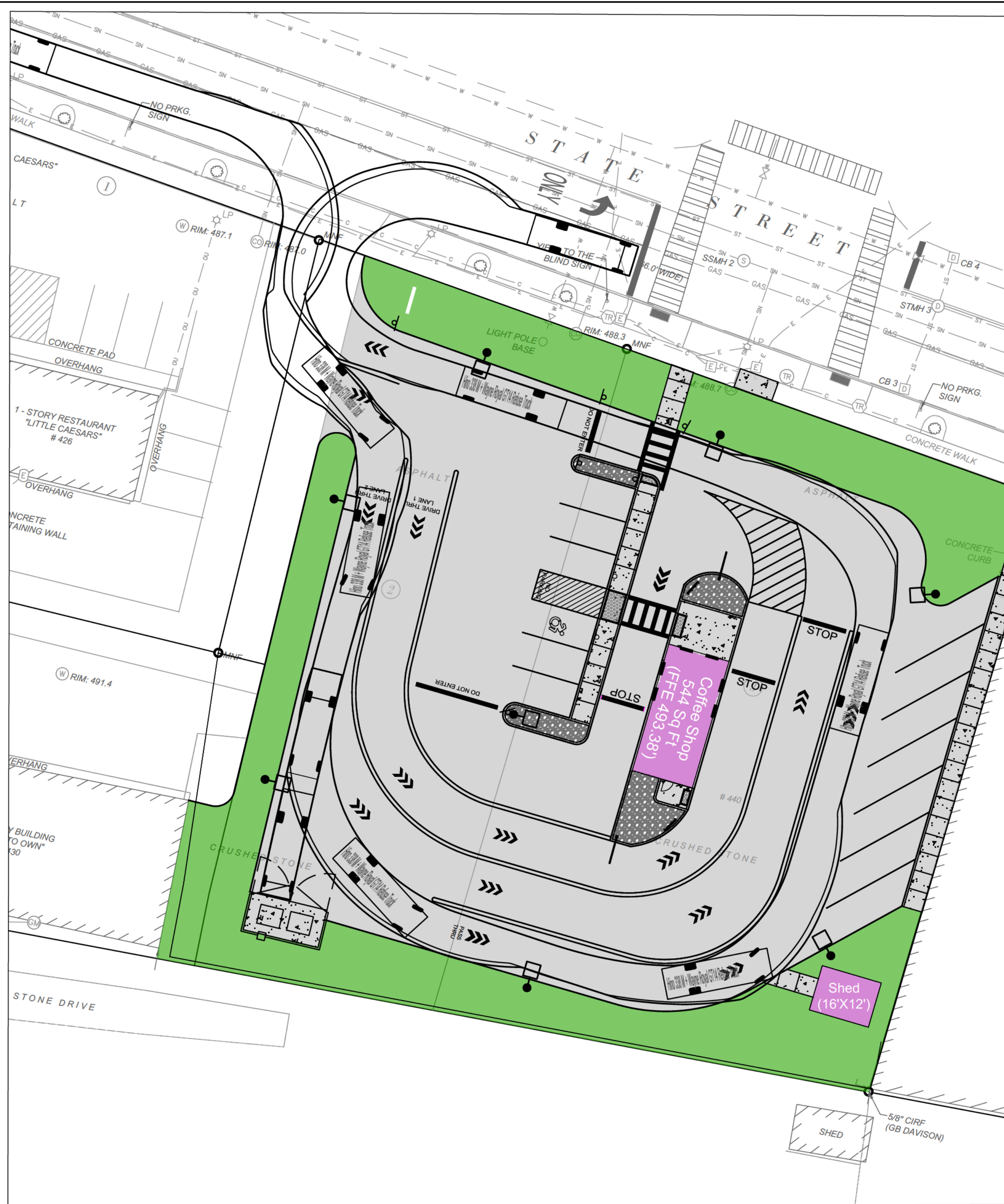
120 Washington Street
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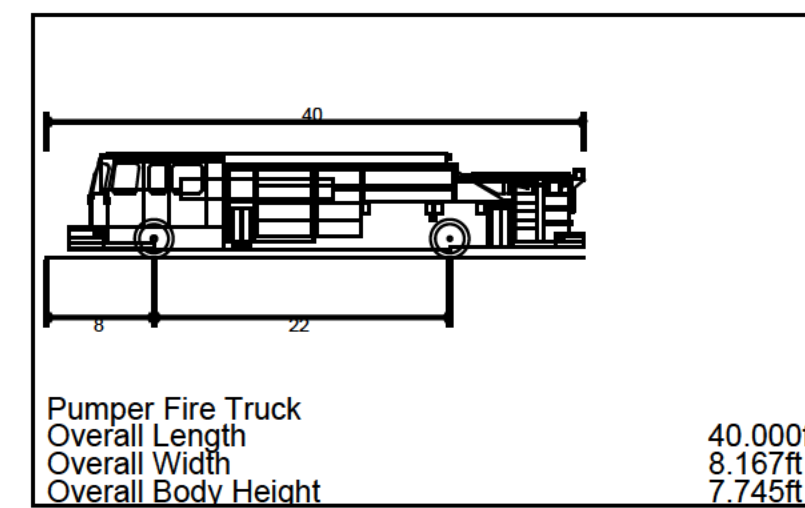
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Date	MAY 2026
Scale	AS SHOWN
Sheet Number	C101
Project Number	5074.001.001

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1 TYPICAL REFUSE TRUCK PROFILE
 NOT TO SCALE



2 TYPICAL PUMPER FIRE TRUCK PROFILE
 NOT TO SCALE



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REVISIONS	

454 STATE STREET NNY LLC
 STATE STREET JUMPIN' GOAT DRIVE-THRU CAFE
 VEHICULAR & PEDESTRIAN CIRCULATION PLAN
 CITY OF WATERTOWN
 JEFFERSON COUNTY, NEW YORK

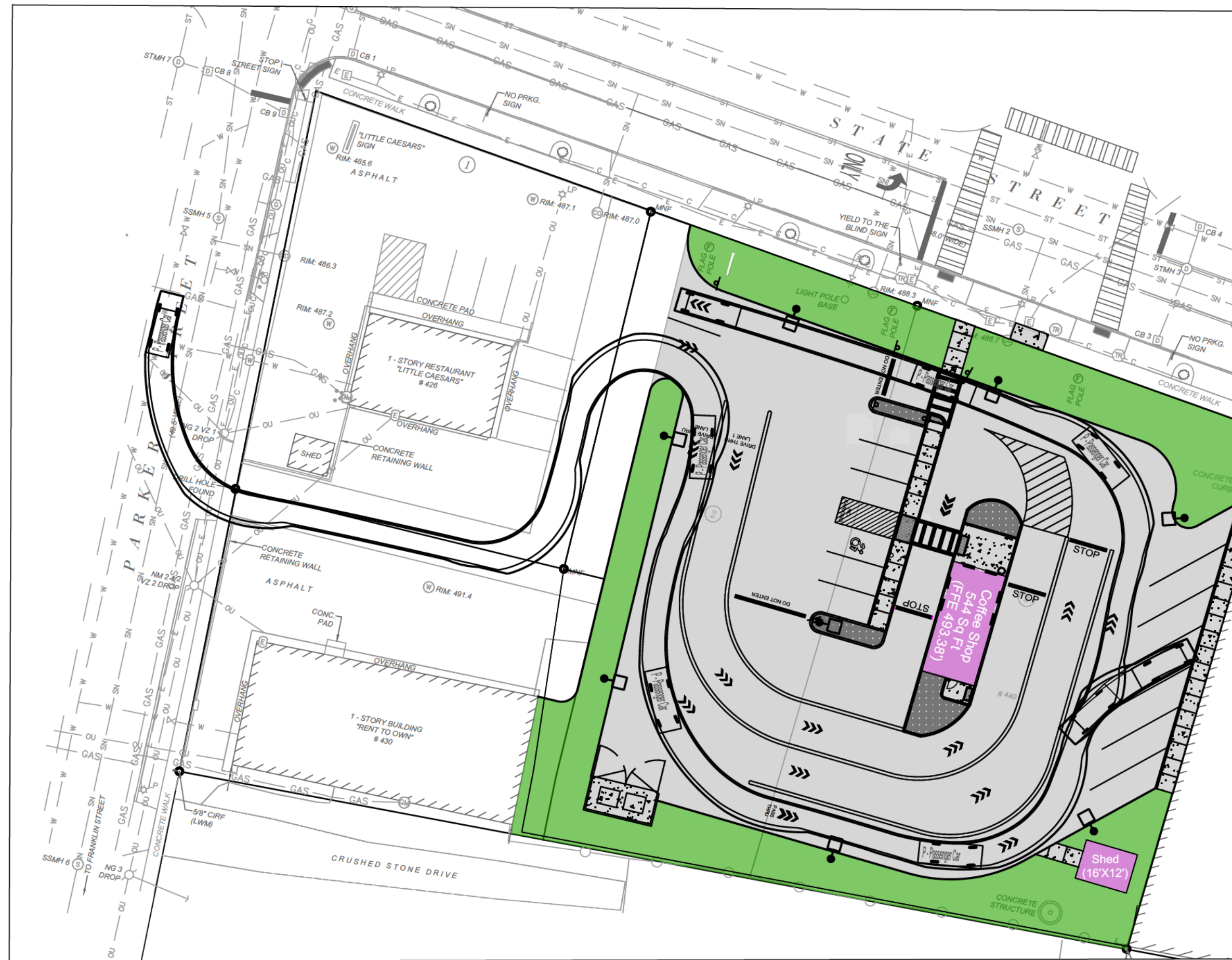
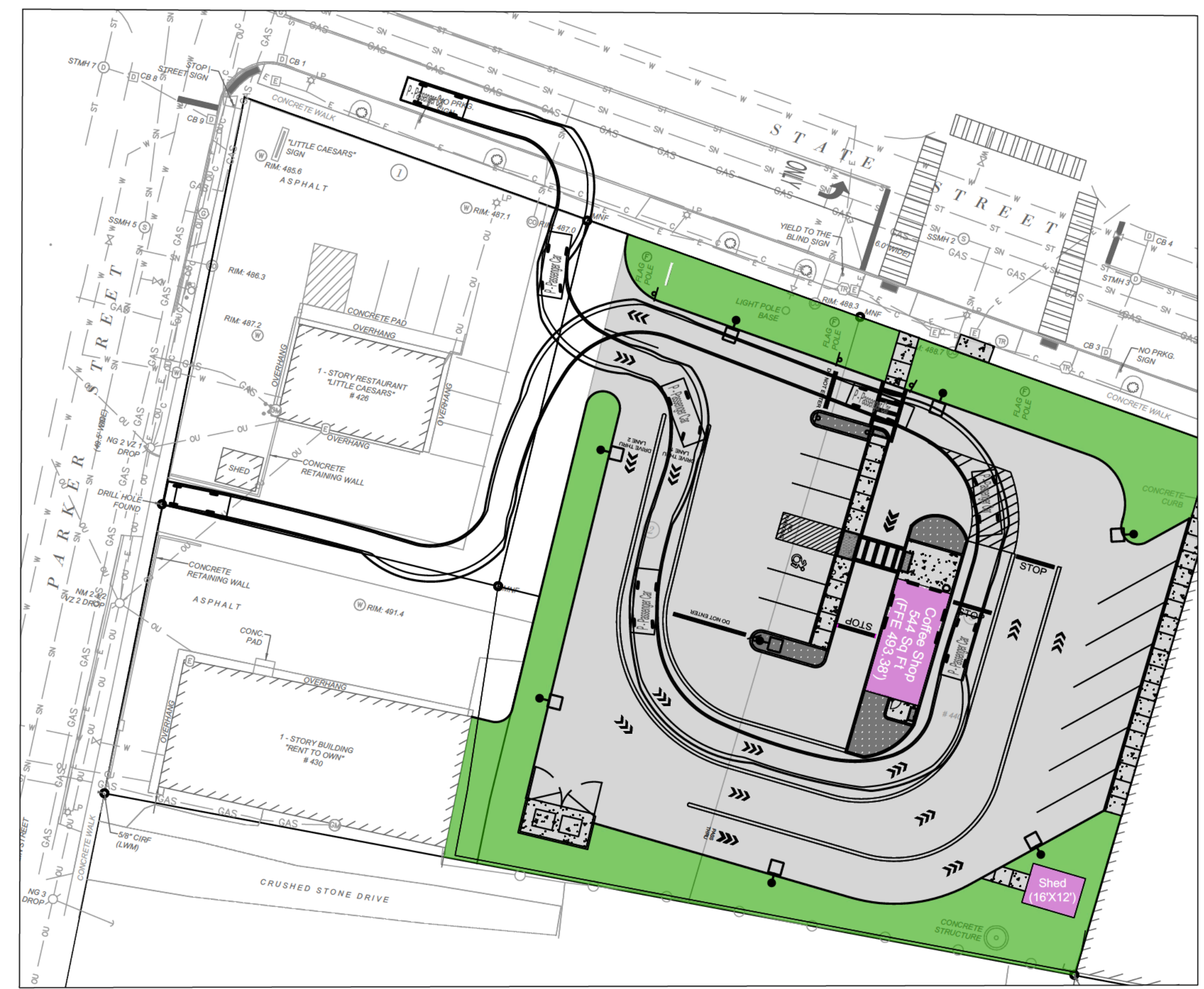
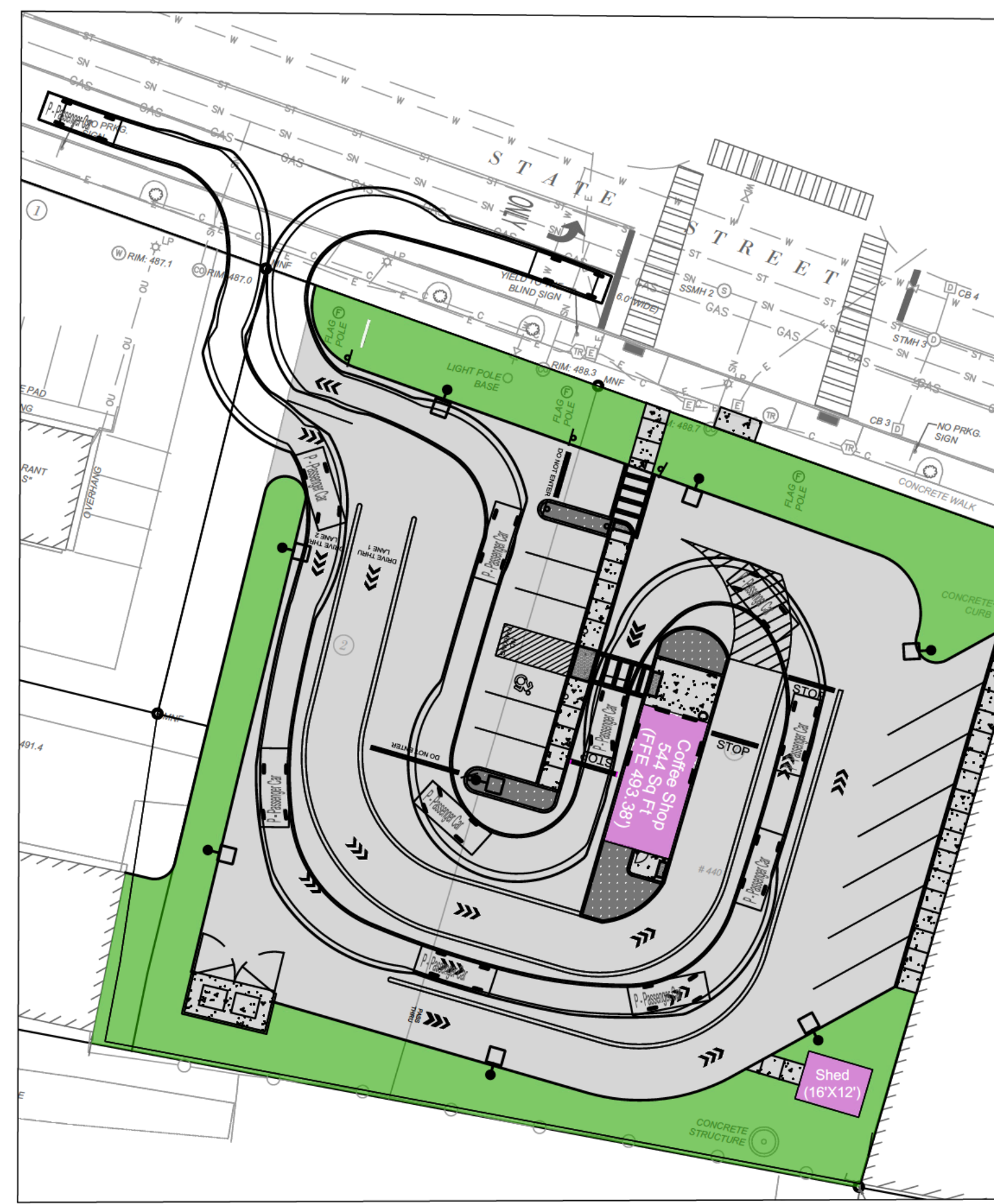
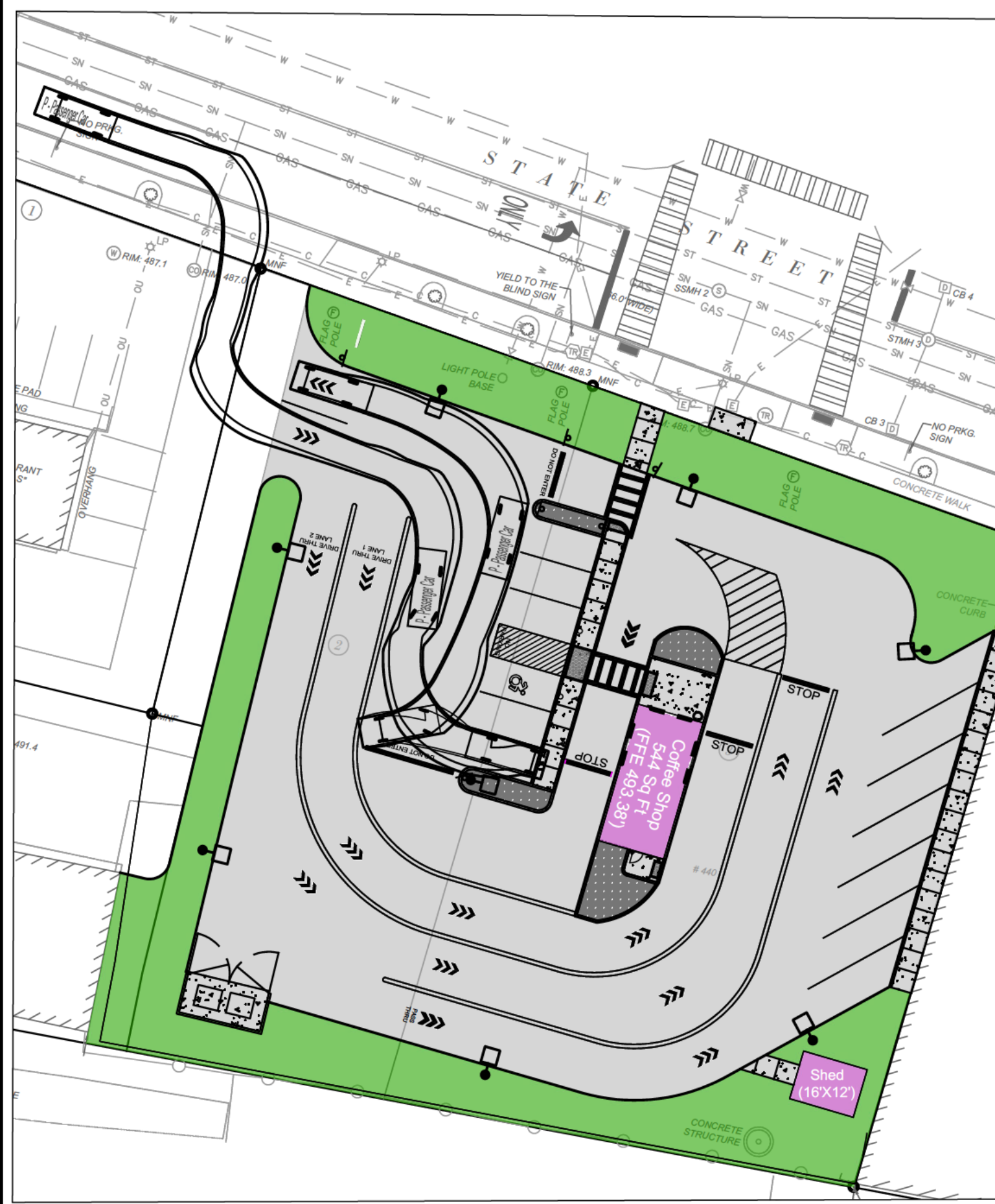
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Date: MAY 2026
 Scale: AS SHOWN
 Sheet Number:

VP1
 Project Number: 5074.001.001

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REVISIONS	

454 STATE STREET NNY LLC
 STATE STREET JUMPIN' GOAT DRIVE-THRU CAFE
VEHICULAR & PEDESTRIAN CIRCULATION PLAN
 CITY OF WATERTOWN
 JEFFERSON COUNTY, NEW YORK

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Date: MAY 2026
 Scale: AS SHOWN
 Sheet Number: VP2
 Project Number: 5074.001.001

REVIEW ONLY NOT FOR CONSTRUCTION

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Jumpin' Goat Drive-Thru Shop			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action: The proposed action includes a coffee shop featuring drive-thru and walk-up service at the properties of 430 and 440 State Street (Tax Parcel IDs: 12-03-220.200 and 12-03-220.300, respectively), in the City of Watertown, Jefferson County, New York. The proposed project includes an approximately 544-square-foot coffee shop with two drive-thru lanes and a walk-up ordering window. Site improvements will include on-site parking for six (6) vehicles, pedestrian access, exterior lighting, landscaping enhancements, and stormwater management improvements (i.e., green space). The project also includes a 162-square-foot storage shed, internal vehicular circulation areas, and seven (7) parking spaces for the adjacent State Street Market (also owned by the Applicant). A lot line adjustment between Parcel 12-03-220.300 and the adjacent Parcel 12-03-220.200, is also proposed. A zoning change was approved for both properties to Urban Mixed-use (UMU). Four (4) area variances were also approved by the City ZBA including relief to increase the maximum front-yard setback, relief to increase the maximum unbuild frontage allowance, relief to decrease the minimum landscaped buffer requirement along a street ROW, and waiver of the requirement of Code Section 310-50.			
Name of Applicant or Sponsor:		Telephone: [REDACTED]	
		E-Mail: [REDACTED]	
Address: [REDACTED]			
City/PO: Watertown		State: NY	Zip Code: 13601
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 0.77 acres	
b. Total acreage to be physically disturbed?		_____ 0.77 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.59 acres	

4. Check all land uses that occur on, are adjoining or near the proposed action:

5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)
 Forest Agriculture Aquatic Other(Specify): Institutional
 Parkland

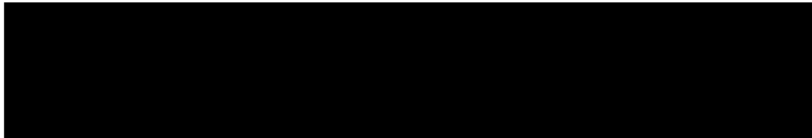
5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

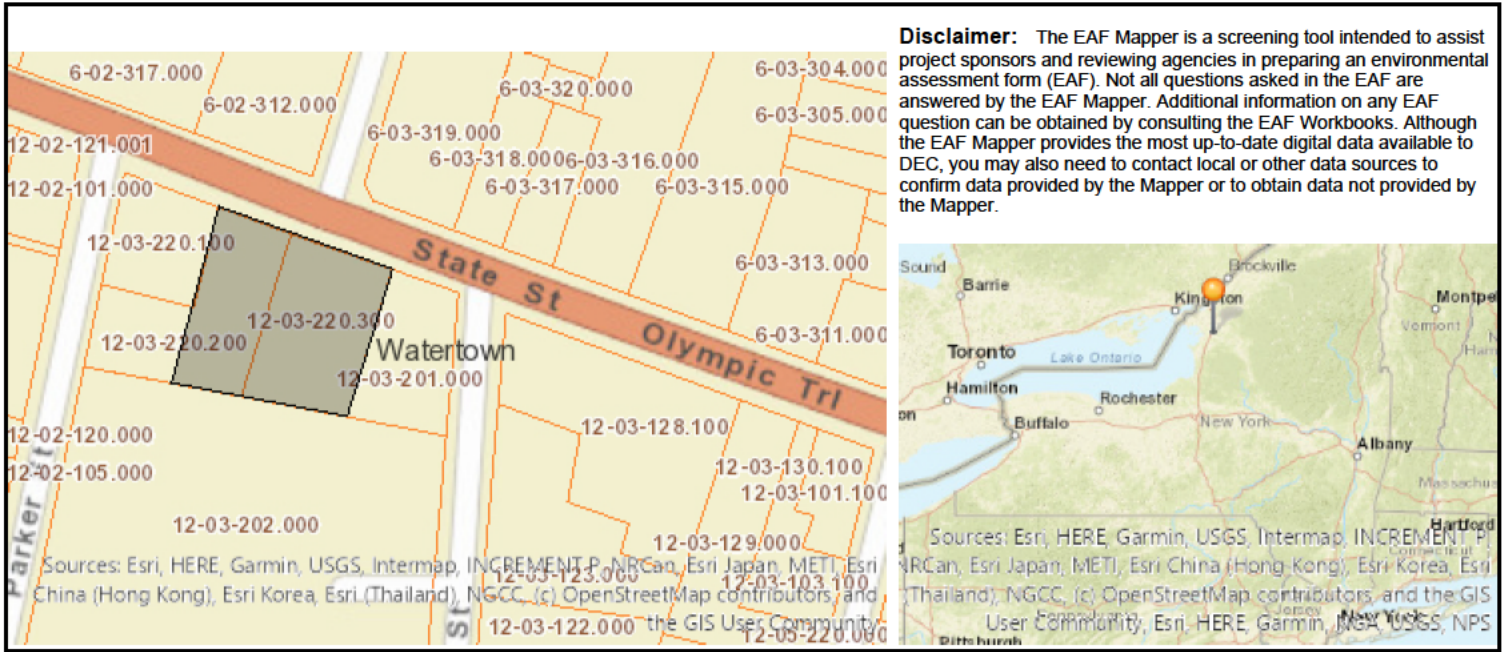
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional
 Wetland Urban Suburban

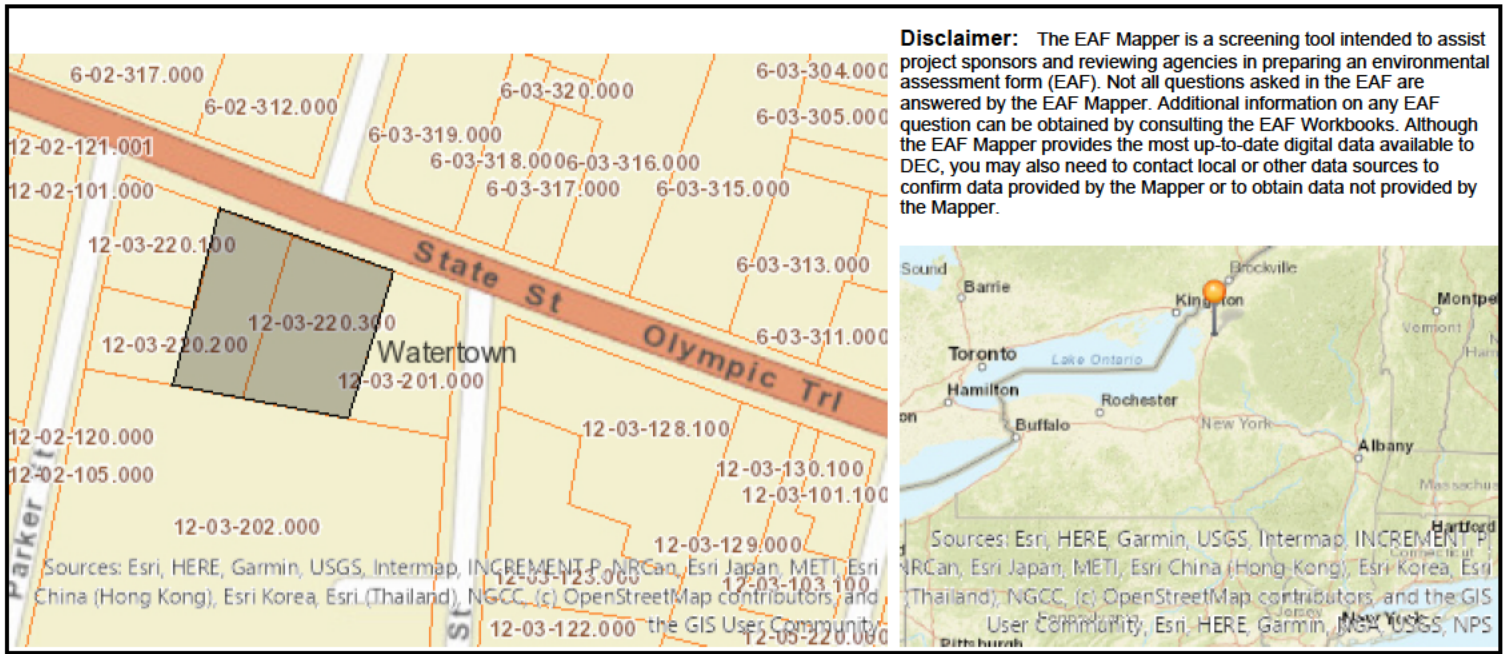
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: Stormwater runoff will be conveyed to onsite green space where possible and ultimately offsite to the City's storm sewer system.	NO <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: 420 State Street (spill # 2202009; closed 2/8/2023), 422 State Street (spill #s 9810923, 9811517, 0013571; closed 3/5/2033, 3/12/2003, 9/23/2020), 440 State Street lot 3 (spill # 1108355; closed 7/24/2012).	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE


Date: 4/20/2026
Title: Project Sponsor



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	Yes



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
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Part 1 / Question 20 [Remediation Site]	Yes

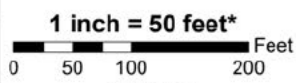


Prepared by
 City of Watertown GIS
 For
 City of Watertown
 Assessment Department

For Tax Purposes Only
 Not to be Used for Conveyance

Parcel	Date
12-03-102.100	08/06/2014
12-03-125.000	05/09/2023
12-03-127.000	05/09/2023
12-03-130.000	08/06/2014
12-03-128.000	05/09/2023

- Property Line
- - - Historic Property Line
- Building Outline
- Railroad
- - - City Boundary
- School District Boundary



Tax Map
City of Watertown
 Jefferson County, NY
 Section 12 Block 03
 Printed Date: 6/3/2024