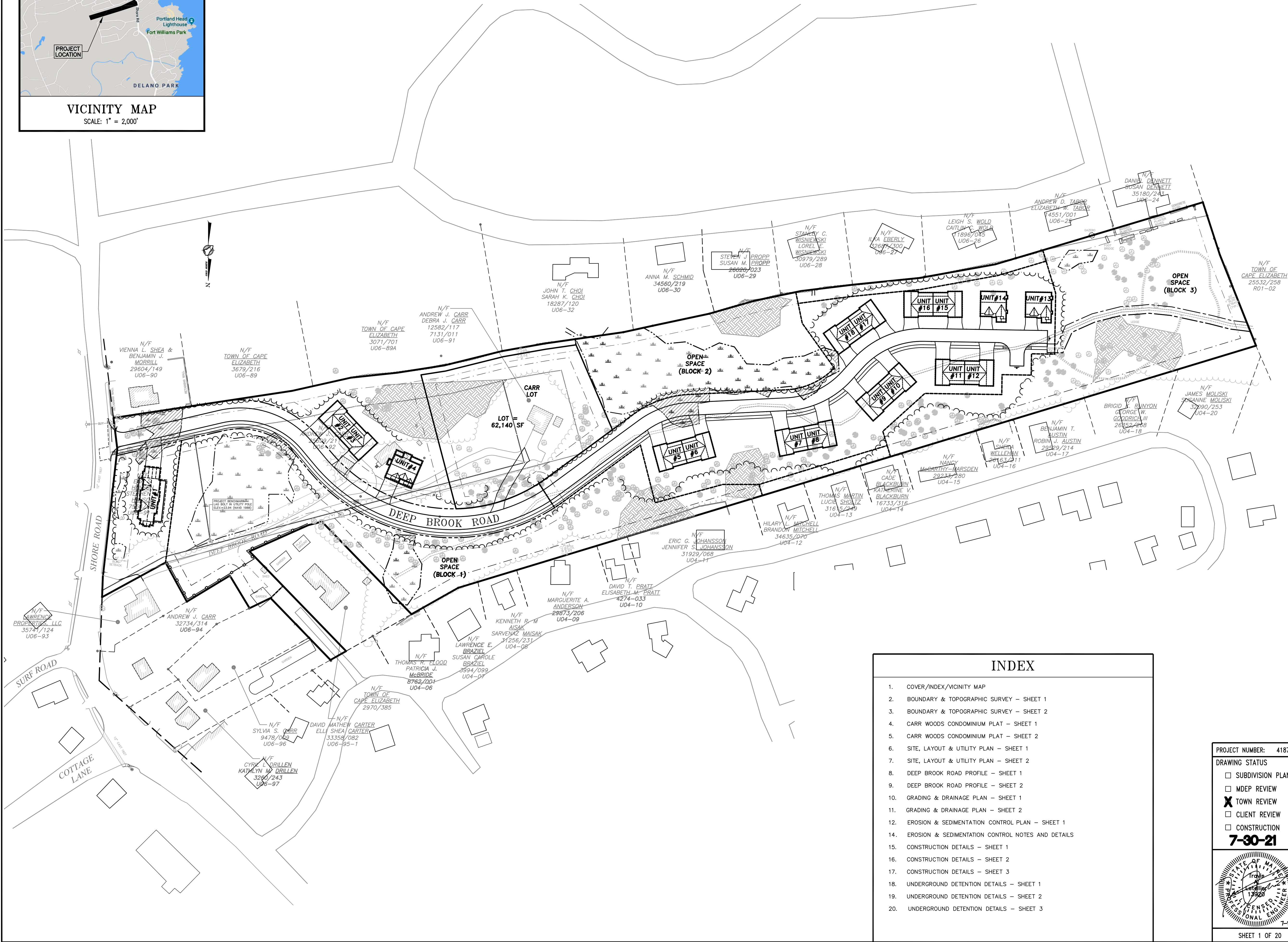
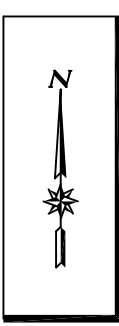


PROPOSED SUBDIVISION - CARR WOODS
10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE



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ABUTTERS

ASSESSOR'S MAP	PARCEL NUMBER	OWNER'S NAME
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U04	07	LAWRENCE E. BRAZIEL & SUSAN CAROLE BRAZIEL 22 WOOD ROAD, CAPE ELIZABETH, ME 04107 BOOK 3994, PAGE 099
U04	08	KENNETH R. MAISK & SARVENAZ MAISK 7 COTTAGE LANE, CAPE ELIZABETH, ME 04107 BOOK 31256, PAGE 231
U04	09	MARGUERITE A. ANDERSON 28 WOOD ROAD, CAPE ELIZABETH, ME 04107 BOOK 29873, PAGE 206
U04	10	DAVID T. PRATT & ELIZABETH M. PRATT 748 GRAY ROAD, GORHAM, ME 04038 BOOK 4274, PAGE 033
U04	11	ERIC G. JOHANSSON & JENNIFER S. JOHANSSON 2 ROCKY HILL ROAD, CAPE ELIZABETH, ME 04107 BOOK 31929, PAGE 088
U04	12	HILARY L. MITCHELL & BRANDON MITCHELL 20 IVIE ROAD, CAPE ELIZABETH, ME 04107 BOOK 34635, PAGE 070
U04	13	THOMAS MARTIN & LUCIE SHOLTZ 10 ROCKY HILL ROAD, CAPE ELIZABETH, ME 04107 BOOK 31615, PAGE 249
U04	14	CADE T. BLACKBURN & KATHERINE V. BLACKBURN 14 ROCKY HILL ROAD, CAPE ELIZABETH, ME 04107 BOOK 16733, PAGE 316
U04	15	NANCY McARTHUR-MARSDEN 20 ROCKY HILL ROAD, CAPE ELIZABETH, ME 04107 BOOK 29233, PAGE 280
U04	16	SHEILA WELLEHAN 62 ELMERE AVENUE, SOUTH PORTLAND, ME 04106 BOOK 26163, PAGE 211
U04	17	BENJAMIN T. AUSTIN & ROBIN J. AUSTIN 23 VERMONT AVENUE, PORTLAND, ME 04103 BOOK 29529, PAGE 214
U04	18	BRIGID K. RUNYON & GEORGE W. GOODRICH III 30 ROCKY HILL ROAD, CAPE ELIZABETH, ME 04107 BOOK 26352, PAGE 268
U04	20	JAMES MOLISKI & SUSANNE MOLISKI 6 DEAN WAY, CAPE ELIZABETH, ME 04107 BOOK 32090, PAGE 253
R01	02	TOWN OF CAPE ELIZABETH 320 OCEAN HOUSE ROAD, CAPE ELIZABETH, ME 04107 BOOK 25532, PAGE 258
		TOWN OF CAPE ELIZABETH 320 OCEAN HOUSE ROAD, CAPE ELIZABETH, ME 04107 BOOK 2970, PAGE 385
U06	24	DANIEL DENNETT & SUSAN DENNETT 25 BROOKS LANE, LITTLE DEER ISLE, ME 04650 BOOK 35180, PAGE 243
U06	25	ANDREW D. TABOR & ELIZABETH W. TABOR 14 FARM HILL ROAD, CAPE ELIZABETH, ME 04107 BOOK 14551, PAGE 001
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U06	27	ILKA EBERLY 29 LITTLEJOHN ROAD, CAPE ELIZABETH, ME 04107 BOOK 32687, PAGE 300
U06	28	STANLEY C. WISNIEWSKI & LOREL E. WISNIEWSKI 444 8TH STREET, WASHINGTON, DC 20004 BOOK 30979, PAGE 289
U06	29	STEVEN J. PROPP & SUSAN M. PROPP 23 LITTLEJOHN ROAD, CAPE ELIZABETH, ME 04107 BOOK 26020, PAGE 023
U06	30	ANNA M. SCHMID 21 LITTLEJOHN ROAD, CAPE ELIZABETH, ME 04107 BOOK 34560, PAGE 219
U06	32	JOHN T. CHOI & SARAH K. CHOI 3 STARBOARD DRIVE, CAPE ELIZABETH, ME 04107 BOOK 18287, PAGE 120
U06	89A	TOWN OF CAPE ELIZABETH 320 OCEAN HOUSE ROAD, CAPE ELIZABETH, ME 04107 BOOK 3071, PAGE 701
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U06	90	VIENNA L. SHEA & BENJAMIN J. MORRILL 67 THOMAS STREET, PORTLAND, ME 04102 BOOK 29604, PAGE 149
U06	93	LAWRENCE PROPERTIES, LLC PO BOX 303, CAPE NEDDICK, ME 03902 BOOK 35741, PAGE 124
U06	94	ANDREW J. CARR 10 DEEP BROOK ROAD, CAPE ELIZABETH, ME 04107 BOOK 32734, PAGE 314
U06	96	SYLVIA S. CARR 10 DEEP BROOK ROAD, CAPE ELIZABETH, ME 04107 BOOK 9478, PAGE 009
U06	97	CYRIL L. DRILLEN & KATHLYN M. DRILLEN 489 OCEAN STREET, SOUTH PORTLAND, ME 04106 BOOK 3260, PAGE 243
U06	95-1	DAVID MATHEW CARTER & ELLI SHEA CARTER 12 WOODS ROAD, CAPE ELIZABETH, ME 04107 BOOK 33358, PAGE 082

THIS PLAN IS FOR REVIEW
PURPOSES ONLY AND IS NOT
INTENDED FOR CONSTRUCTION
OR RECORDING

Revision	By	Date	Change
2	SMA	7/30/21	REVISED PER TOWN COMMENTS
1	SMA	4/30/21	SUBMITTED FOR MAJOR SUBDIVISION REVIEW

PROJECT NUMBER: 41875 ACAD FILE: 41875-COVER.DWG SCALE: 1" = 80' DATE: APRIL 30, 2021

DRAWING STATUS

☐ SUBDIVISION PLAN

☐ MDEP REVIEW

☒ TOWN REVIEW

☐ CLIENT REVIEW

☐ CONSTRUCTION

7-30-21

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LEGEND

- #5 REBAR WITH PLASTIC CAP (PROPOSED)
- FOUND REBAR CAPPED #2117
- FOUND IRON (SIZE & TYPE AS NOTED)
- FOUND MONUMENT (SIZE & TYPE AS NOTED)
- FOUND DRILL HOLE
- UTILITY POLE (NUMBER AS NOTED)
- GUY WIRE ANCHOR
- FOUND DECIDUOUS TREE (SIZE & TYPE AS NOTED)
- FOUND CONIFEROUS TREE (SIZE & TYPE AS NOTED)
- TREE LINE (APPROXIMATE)
- STONEWALL
- BOUNDARY LINE
- EASEMENT LINE
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- RIGHT-OF-WAY LINE
- ABUTTER LINE
- BUILDING SETBACK
- OVERHEAD UTILITY
- FORMER DEED LINES
- NOW OR FORMERLY OWNED BY
- DEED BOOK AND PAGE
- TAX MAP-LOT
- PARENTHESES DENOTE RECORD DATA

PLAN REFERENCES

- "PLAN OF THE ARMSTRONG PROPERTY IN CAPE ELIZABETH", BY E.C. JORDAN, DATED NOVEMBER 1899, ON FILE AT OWEN HASKELL, INC.
- "PLAN OF PROPERTY IN CAPE ELIZABETH, MAINE FOR HARVARD M. ARMSTRONG" BY H.I. JORDAN, C.E., DATED MARCH, 1940, ON FILE AT OWEN HASKELL, INC.
- "PLAN OF THE ARMSTRONG PROPERTY IN CAPE ELIZABETH, MAINE", DATED 1896, RECORDED IN PLAN BOOK 8 PAGE 91.
- "BOUNDARY SURVEY PLAN OF OLD POST OFFICE AND STORE LOTS, 971 & 973 SHORE ROAD, CAPE ELIZABETH, MAINE" BY SEBAGO TECHNIQS, DATED JUNE 3, 2015, NOT RECORDED.
- "BOUNDARY SURVEY, 35 LITTLEJOHN ROAD, CAPE ELIZABETH, MAINE" BY OEST ASSOCIATES, INC., DATED MAY, 2003, NOT RECORDED.
- "AMENDED SUBDIVISION PLAN, SHERWOOD FOREST, CAPE ELIZABETH, MAINE" BY LAND USE CONSULTANTS, DATED AUGUST 10, 1984, RECORDED IN PLAN BOOK 151, PAGE 8.
- "PLAN OF CAPE COTTAGE WOODS", 4 SEPARATE PLANS SHOWING PORTIONS OF CAPE COTTAGE WOODS, DATED FROM APRIL 1931 THROUGH JULY 1936, RECORDED IN PLAN BOOK 20, PAGE 7, PLAN BOOK 20, PAGE 44, PLAN BOOK 23, PAGE 33 AND PLAN BOOK 23, PAGE 34.
- "PLAN OF LAND IN CAPE ELIZABETH, MAINE FOR TOWN OF CAPE ELIZABETH", BY OWEN HASKELL, DATED AUGUST 23, 1968 AND RECORDED IN PLAN BOOK 78, PAGE 15.

Revised:	By:	Date:	Change:
PROJECT: 41875.1		DRAWING NAME: 41875.1.dwg	
ISSUED: OCTOBER 28, 2019		SCALE: 1"=40'	FB # 464
DRAWN BY: ASF/DRB			
FIELD BY: ASF/DPH		FIELD DATE: 10/03/2019	CHECKED BY: DWM / DRB

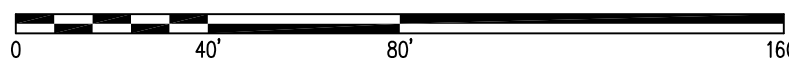
BOUNDARY AND TOPOGRAPHIC SURVEY
10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE

Owner:
ANDREW CARR, DEBRA CARR & ENA HANSON
10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107

Prepared For:
ANDREW CARR



SURVEYING • ENGINEERING • LAND PLANNING
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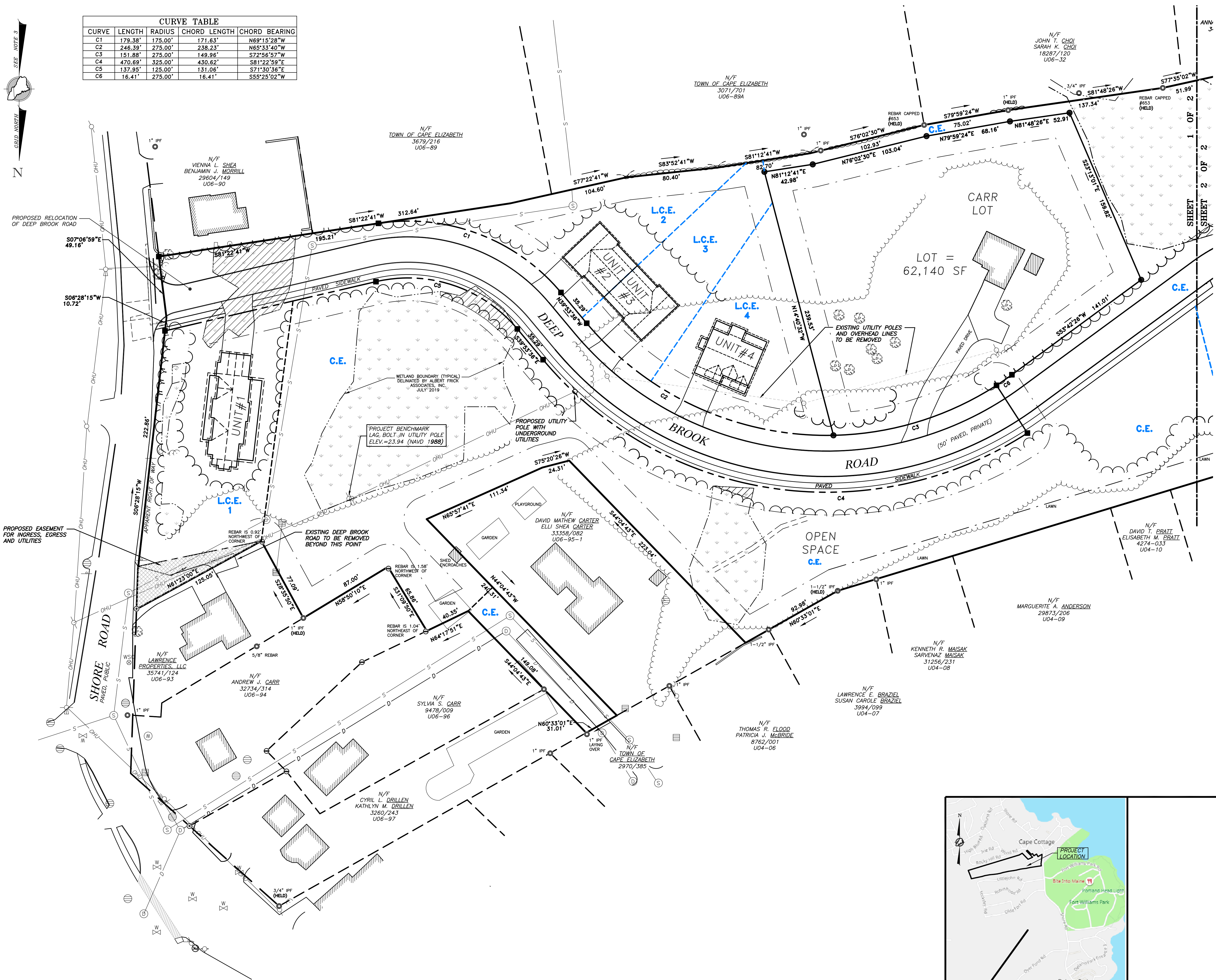
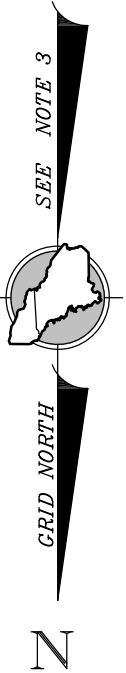
Preliminary

DANNY R. BOLENDER
MAINE PROFESSIONAL LAND SURVEYOR No. 2244

DATE

SURVEY SHEET 2 OF 2
SHEET X OF X

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C1	179.38'	175.00'	171.63'	N69°15'28"W
C2	246.39'	275.00'	238.23'	N65°33'40"W
C3	151.88'	275.00'	149.96'	S72°56'57"W
C4	470.69'	325.00'	430.62'	S81°22'59"E
C5	137.95'	125.00'	131.06'	S71°30'36"E
C6	16.41'	275.00'	16.41'	S55°25'02"W




LEGEND

- #5 REBAR WITH PLASTIC CAP (PROPOSED)
- FOUND REBAR CAPPED #2117
- FOUND MAGNAIL WITH WASHER #2117
- FOUND IRON (SIZE & TYPE AS NOTED)
- FOUND DRILL HOLE
- EASEMENT MARKER
- UTILITY POLE (NUMBER AS NOTED)
- GUY WIRE ANCHOR
- DECIDUOUS TREE
- CONIFEROUS TREE
- TREE LINE (APPROXIMATE)
- STONEWALL
- BOUNDARY LINE
- EDGE OF PAVEMENT
- RIGHT-OF-WAY LINE
- ABUTTER LINE
- BUILDING SETBACK
- OVERHEAD UTILITY
- NOW OR FORMERLY OWNED BY
- DEED BOOK AND PAGE
- TAX MAP-LOT
- COMMON ELEMENT
- LIMITED COMMON ELEMENT

NOTES

- RECORD OWNER OF THE PARCELS SURVEYED ARE AS FOLLOWS: (ALL DEEDS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.)
U6-91: ANDREW J. CARR AND DEBRA J. CARR;
DEED REFERENCES: BOOK 12582, PAGE 117, BOOK 7131, PAGE 012, BOOK 7131, PAGE 011.
AREA: 23,436 S.F.
U6-91A: ENA S. HANSON AND STEPHEN M. HANSON;
DEED REFERENCE: BOOK 7553, PAGE 084.
AREA: 33,920 S.F.
U6-92: ANDREW J. CARR;
DEED REFERENCE: BOOK 25669, PAGE 211.
AREA: 2.11 ACRES
U6-94A & 95: ENA S. HANSON AND ANDREW J. CARR;
DEED REFERENCES: BOOK 33383, PAGE 210, BOOK 33383, PAGE 217, BOOK 33633, PAGE 254, BOOK 21917, PAGE 233.
AREA: 10.80 ACRES (EXCLUDING OVERLAP AREA OF 3,545 S.F.)
TOTAL COMBINED AREA IS: 14.22 ACRES.
- THE PARCELS SURVEYED ARE IDENTIFIED ON THE TOWN OF CAPE ELIZABETH TAX ASSESSOR'S MAP U6, PARCELS 91, 91A, 92, 94A & 95.
- THE BEARINGS SHOWN ON THIS PLAN ARE BASED ON MAINE COORDINATE SYSTEM OF 1983, WEST ZONE, GRID NORTH.
- PLAN REFERENCES:
a. "BOUNDARY AND TOPOGRAPHIC SURVEY, 10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC., DATED OCTOBER 28, 2019, NCS PROJECT NO. 41875.1.
- THE WIDTH OF SHORE ROAD VARIES. THE RIGHT-OF-WAY SHOWN IS BASED ON PLAN REFERENCE 4.g. AND MONUMENTATION FOUND.
- REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD: (SEE PLAN REFERENCE 4.g.)
- AS OF THE ORIGINAL DATE OF THIS PLAN, THE PARCEL SURVEYED IS LOCATED PARTIALLY IN THE RC ZONE AND PARTIALLY IN THE RP2 ZONE. OTHER MUNICIPAL AND STATE OVERLAY ZONES MAY EXIST AND APPLY. BEFORE PROCEEDING ON ANY PROJECT WE RECOMMEND VERIFYING CURRENT ZONE AND ALL APPLICABLE SETBACKS AND RESTRICTIONS WITH THE APPROPRIATE AGENCIES.
- THE UTILITIES SHOWN ON THIS PLAN WERE FROM FIELD OBSERVATION ONLY. THERE MAY BE OTHER UTILITIES EXISTING THAT ARE NOT SHOWN. CONTACT DIG-SAFE (888)DIG-SAFE PRIOR TO ANY EXCAVATION WORK.

Revision:	By:	Date:	Change:
PROJECT:	41875.1	DRAWING NAME:	41875.1.dwg
ISSUED:	JULY 27, 2021	SCALE:	1"=40'
FIELD BY:	ASF/DPH	FIELD DATE:	10/03/2019
Drawing Name and Location:		FB #	464
CARR WOODS CONDOMINIUM PLAT		DRAWN BY:	ASF/DRB
10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE		CHECKED BY:	DMM / DRB
Owner:			
ANDREW CARR, DEBRA CARR & ENA HANSON			
10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107			
Prepared For:			
ANDREW CARR			



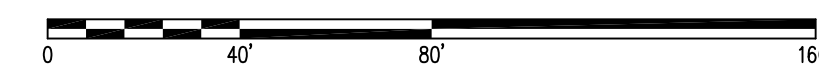
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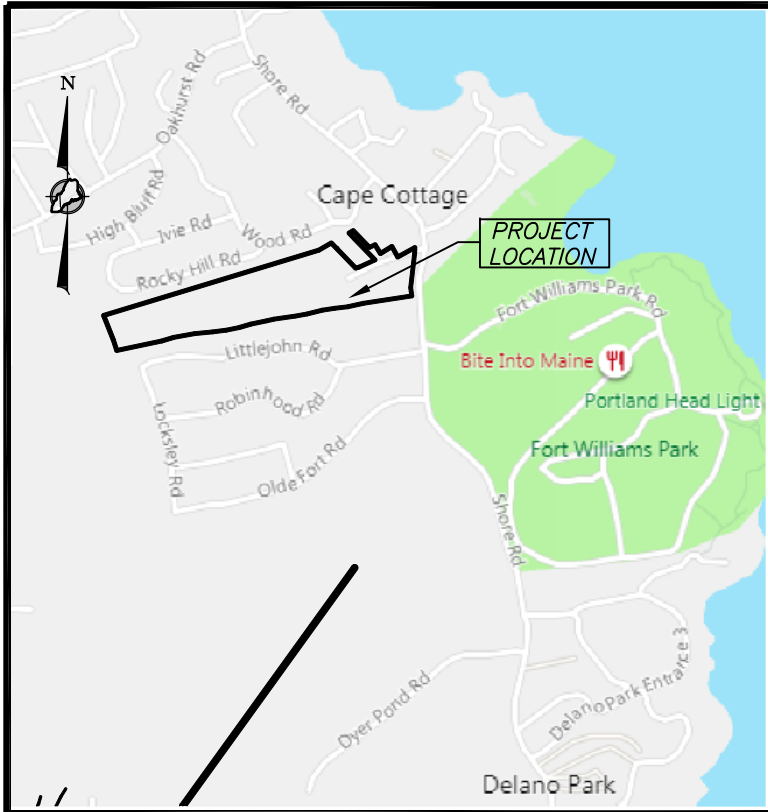


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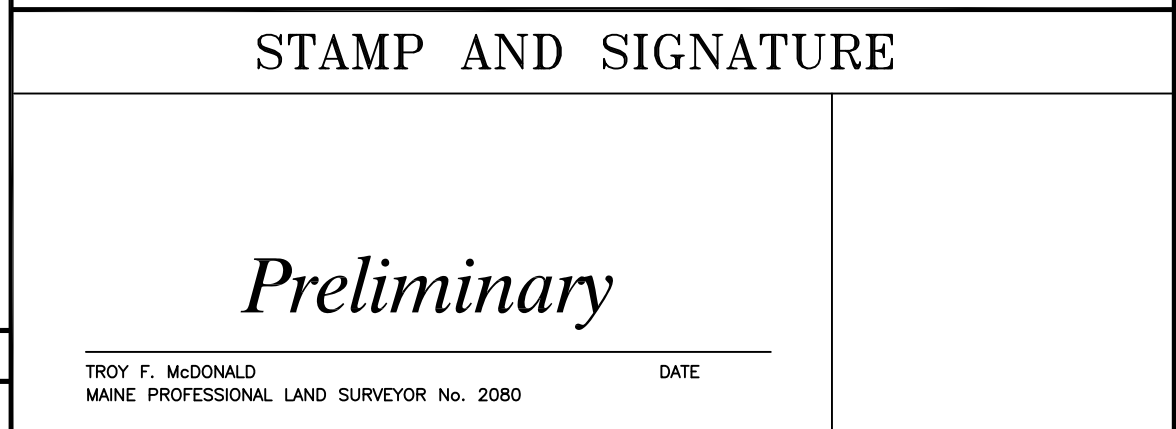
TROY F. McDONALD
MAINE PROFESSIONAL LAND SURVEYOR No. 2080

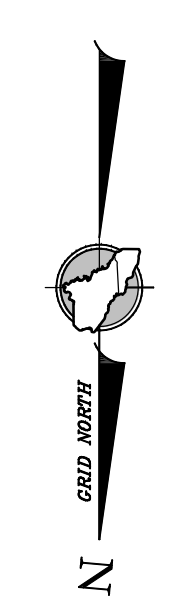
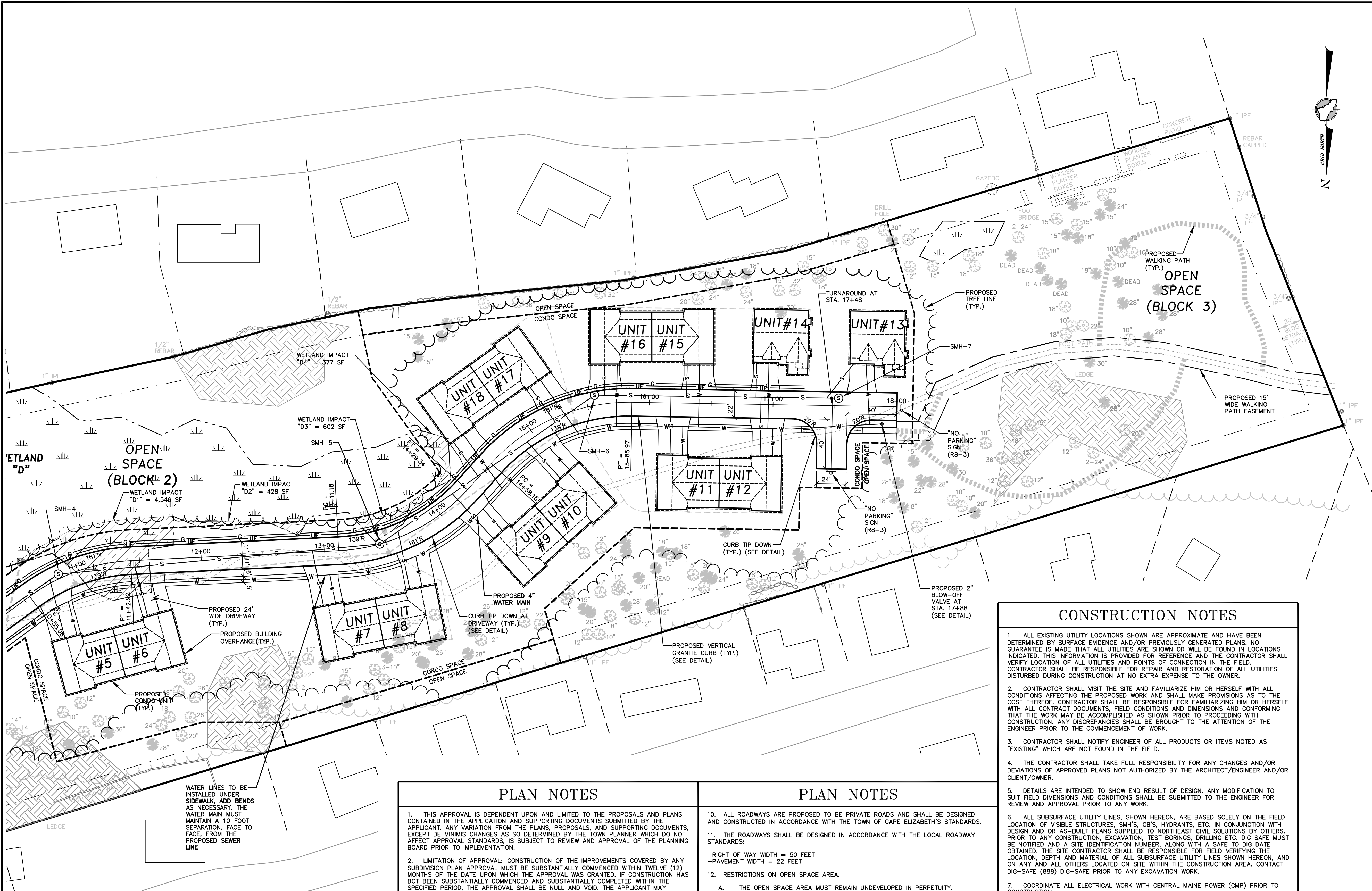
DATE



VICINITY MAP
N.T.S.

SURVEY SHEET 1 OF 2
SHEET 4 OF 20





LEGEND	
	BOUNDARY LINE
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	RIGHT-OF-WAY LINE
	ABUTTER
	EXISTING EASEMENT
	EXISTING WETLAND
	EXISTING BUILDING SETBACK
	EXISTING UTILITY POLE
	EXISTING OVERHEAD UTILITY
	EXISTING HYDRANT
	EXISTING GATE VALVE
	EXISTING WATER SHUT OFF
	EXISTING WATER LINE
	EXISTING CATCH BASIN
	EXISTING DRAIN MANHOLE
	EXISTING DRAIN LINE
	EXISTING SEWER MANHOLE
	EXISTING SEWER LINE
	EXISTING TREE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	PROPOSED BUILDING SETBACK
	PROPOSED WATER LINE
	PROPOSED UTILITY & GUY
	PROPOSED OVERHEAD UTILITIES
	PROPOSED UNDERGROUND UTILITIES
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER LINE
	PROPOSED GAS LINE
	PROPOSED DRAIN LINE
	PROPOSED CATCH BASIN
	PROPOSED OUTLET CONTROL STRUCTURE
	PROPOSED EASEMENT
	PROPOSED WETLAND IMPACT

WETLAND IMPACT	
IMPACT "A1" =	4,603 SF
IMPACT "B1" =	1,055 SF
IMPACT "C1" =	178 SF
IMPACT "D1" =	4,546 SF
IMPACT "D2" =	428 SF
IMPACT "D3" =	602 SF
IMPACT "D4" =	377 SF
TOTAL IMPACT =	11,789 SF
A TIER 1 NRPA PERMIT IS REQUIRED.	

STRIPING KEY:
SSW = SINGLE SOLID WHITE
* SEE DETAILS FOR ADDITIONAL PAVEMENT MARKINGS

CONSTRUCTION NOTES

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND HAVE BEEN DETERMINED BY SURFACE EVIDENCE AND/OR PREVIOUSLY GENERATED PLANS. NO GUARANTEE IS MADE THAT ALL UTILITIES ARE SHOWN OR WILL BE FOUND IN LOCATIONS INDICATED. THIS INFORMATION IS PROVIDED FOR REFERENCE AND THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AND POINTS OF CONNECTION IN THE FIELD. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND RESTORATION OF ALL UTILITIES DISTURBED DURING CONSTRUCTION AT NO EXTRA EXPENSE TO THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
- THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND/OR DEVIATIONS OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSIONS AND CONDITIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
- ALL SUBSURFACE UTILITY LINES, SHOWN HEREON, ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, SMH'S, CB'S, HYDRANTS, ETC. IN CONJUNCTION WITH DESIGN AND OR AS-BUILT PLANS SUPPLIED TO NORTHEAST CIVIL SOLUTIONS BY OTHERS. PRIOR TO ANY CONSTRUCTION, EXCAVATION, TEST BORINGS, DRILLING, ETC. DIG SAFE MUST BE NOTIFIED AND A SITE IDENTIFICATION NUMBER, ALONG WITH A SAFE TO DIG DATE OBTAINED. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON, AND ON ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA. CONTACT DIG-SAFE (888) DIG-SAFE PRIOR TO ANY EXCAVATION WORK.
- COORDINATE ALL ELECTRICAL WORK WITH CENTRAL MAINE POWER (CMP) PRIOR TO CONSTRUCTION.
- ALL PAVEMENT MARKINGS AND PAINT STRIPING TO MEET THE STANDARDS OF THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL SEWER LINE WORK SHALL MEET PORTLAND WATER DISTRICT STANDARDS. COORDINATE ALL WORK WITH THE PWD PRIOR TO CONSTRUCTION.
- ALL WATER LINE WORK SHALL MEET PORTLAND WATER DISTRICT STANDARDS.
- THE EXISTING DEEP BROOK ROAD WILL BE REMOVED AT THE CONCLUSION OF SITE CONSTRUCTION WORK WITH THE EXCEPTION OF A SMALL SECTION THAT WILL CONTINUE TO ACT AS A DRIVEWAY FOR THE RESIDENCE AT 983 SHORE ROAD. THE AREA DISTURBED WILL BE GRADED FLAT, LOAMED AND SEEDED.
- ALL DISTURBED LAND WITHIN THE TEMPORARY CONSTRUCTION LAYDOWN AREA SHALL BE GRADED, LOAMED AND SEEDED AT THE CONCLUSION OF CONSTRUCTION.
- DURING CONSTRUCTION THE CONTRACTOR MUST MAINTAIN UTILITY SERVICES TO ANDREW AND DEBRA CARR'S HOUSE. ANY MINOR INTERRUPTIONS TO SERVICE SHALL REQUIRE 24 HOURS' NOTICE.
- ALL TREE CUTTING SHALL OCCUR BETWEEN OCTOBER 16 AND APRIL 19 OF ANY YEAR TO THE MAXIMUM EXTENT PRACTICABLE AND NO TREE CUTTING SHALL OCCUR BETWEEN JUNE 1 AND JULY 31 OF ANY YEAR IN ORDER TO MINIMIZE POTENTIAL IMPACTS TO FEDERALLY LISTED NORTHERN LONG EARED BATS.
- A PRE-CONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO THE START OF WORK.
- ALL ROOFS SHALL INCORPORATE A GUTTER SYSTEM THAT COLLECTS STORMWATER. THE GUTTER SYSTEM SHALL BE HARD PIPES INTO THE UNDERGROUND DRAINAGE SYSTEM UNDER ROAD/DRIVEWAY OR DIRECTED TO A STABILIZED LOCATION THAT WILL DRAIN TO THE SITES COLLECTION SYSTEM.

PLAN NOTES

- THIS APPROVAL IS DEPENDENT UPON AND LIMITED TO THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED BY THE APPLICANT. ANY VARIATION FROM THE PLANS, PROPOSALS, AND SUPPORTING DOCUMENTS, EXCEPT DE MINIMIS CHANGES AS SO DETERMINED BY THE TOWN PLANNER WHICH DO NOT AFFECT APPROVAL STANDARDS, IS SUBJECT TO REVIEW AND APPROVAL OF THE PLANNING BOARD PRIOR TO IMPLEMENTATION.
- LIMITATION OF APPROVAL: CONSTRUCTION OF THE IMPROVEMENTS COVERED BY ANY SUBDIVISION PLAN APPROVAL MUST BE SUBSTANTIALLY COMMENCED WITHIN TWELVE (12) MONTHS OF THE DATE UPON WHICH THE APPROVAL WAS GRANTED. IF CONSTRUCTION HAS NOT BEEN SUBSTANTIALLY COMMENCED AND SUBSTANTIALLY COMPLETED WITHIN THE SPECIFIED PERIOD, THE APPROVAL SHALL BE NULL AND VOID. THE APPLICANT MAY REQUEST AN EXTENSION OF THE APPROVAL DEADLINE PRIOR TO EXPIRATION OF THE PERIOD. SUCH REQUEST MUST BE IN WRITING AND MUST BE MADE TO THE PLANNING BOARD. THE PLANNING BOARD MAY GRANT UP TO TWO (2) 1 YEAR EXTENSIONS TO THE PERIODS IF THE APPROVED PLAN CONFORMS TO THE ORDINANCES IN EFFECT AT THE TIME THE EXTENSION IS GRANTED AND ANY AND ALL FEDERAL AND STATE APPROVALS AND PERMITS ARE CURRENT.
- NO PLAN OF A SUBDIVISION OF LAND WITHIN THE MUNICIPAL BOUNDARIES, WHICH WOULD CONSTITUTE A SUBDIVISION AS DEFINED HEREIN SHALL HEREAFTER BE FILED OR RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS UNTIL A FINAL PLAN THEREOF SHALL HAVE BEEN APPROVED BY THE PLANNING BOARD IN ACCORDANCE WITH ALL OF THE REQUIREMENTS, DESIGN STANDARDS, AND CONSTRUCTION SPECIFICATIONS SET FORTH IN THE TOWN ORDINANCE.
- THIS PLAN SHALL BE RECORDED WITHIN 90 DAYS OF FINAL SUBDIVISION APPROVAL AND SIGNING OF THE PLAN BY THE TOWN OF CAPE ELIZABETH PLANNING BOARD. THE APPLICANT SHALL PROVIDE THE TOWN PLANNER WITH THE PLAN BOOK NUMBER AND PAGE NUMBER UPON RECORDING OF THE SUBDIVISION PLAN AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- CLEARING LIMITS SHALL BE FLAGGED AND APPROVED BY THE PEER REVIEW ENGINEER PRIOR TO THE PRECONSTRUCTION CONFERENCE.
- COORDINATE ELECTRIC SERVICE WITH CMP.
- TRANSFORMER AND PULL BOX FINAL LOCATIONS TO BE DETERMINED UPON REVIEW FROM CMP.
- THE PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD PLAIN.
- ALL RESIDENTIAL BUILDINGS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE EQUIPPED WITH AUTOMATIC FIRE CONTROL SPRINKLERS.

PLAN NOTES

- ALL ROADWAYS ARE PROPOSED TO BE PRIVATE ROADS AND SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF CAPE ELIZABETH'S STANDARDS.
- THE ROADWAYS SHALL BE DESIGNED IN ACCORDANCE WITH THE LOCAL ROADWAY STANDARDS:
 - RIGHT OF WAY WIDTH = 50 FEET
 - PAVEMENT WIDTH = 22 FEET
- RESTRICTIONS ON OPEN SPACE AREA.
 - A. THE OPEN SPACE AREA MUST REMAIN UNDEVELOPED IN PERPETUITY.
 - B. NO SOIL, LOAM, PEAT, SAND, GRAVEL, CONCRETE, ROCK, OR OTHER MINERAL SUBSTANCE, REFUSE, TRASH, VEHICLE BODIES OR PARTS, RUBBISH, DEBRIS, JUNK WASTE, POLLUTANTS OR OTHER FILL MATERIAL MAY BE PLACED, STORED OR DUMPED ON THE OPEN SPACE AREA, NOR MAY THE TOPOGRAPHY OF THE AREA BE ALTERED OR MANIPULATED IN ANY WAY.
 - C. NO VEGETATION MAY BE CUT OR REMOVED FROM THE OPEN SPACE AREA WITH THE EXCEPTION OF DEAD, DYING AND DANGEROUS TREES.
 - D. NO BUILDING OR OTHER TEMPORARY OR PERMANENT STRUCTURE MAY BE CONSTRUCTED, PLACED, OR PERMITTED TO REMAIN ON THE OPEN SPACE AREA, EXCEPT FOR A SIGN, UTILITY POLE OR FENCE.
 - E. NO TRUCKS, CARS, DIRT BIKES, ATVS, BULLDOZERS, BACKHOES, OR OTHER MOTORIZED VEHICLES OR MECHANICAL EQUIPMENT MAY BE PERMITTED ON THE OPEN SPACE AREA.
 - F. ANY ACTIVITY ON OR USE OF THE OPEN SPACE INCONSISTENT WITH THE PURPOSE OF THESE RESTRICTIONS IS PROHIBITED.
- THE WETLANDS ON THE PLAN MAY NOT BE DISTURBED, UNLESS PERMITS ARE RECEIVED FROM MAINE DEP AND US ARMY CORPS OF ENGINEERS.
- THE "OVERLAP AREA" IDENTIFIED ON THE SURVEY PLAN HAS NOT BEEN COUNTED TOWARDS THE OVERALL NET DENSITY OF THE LOT.
- ALL WORK SHALL BE SUBJECT TO THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER LAW PERMIT _____ AND NATURAL RESOURCES PROTECTION ACT PERMIT _____.
- WETLAND, STREAM AND VERNAL POOL DELINEATION WAS CONDUCTED BY ALBERT FRICK ASSOCIATES IN JULY 2020 AND RE-VERIFIED IN APRIL 2021.

STORMWATER NOTES

STORMWATER MAINTENANCE REQUIREMENTS:
(A) A MAINTENANCE AGREEMENT FOR THE STORM WATER RUNOFF SYSTEM TO BE EXECUTED WITH THE TOWN OF CAPE ELIZABETH AND FILED WITH THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
(B) AFTER CONSTRUCTION IS COMPLETE, PROVIDE ANNUALLY A CERTIFICATION TO THE CAPE ELIZABETH PUBLIC WORKS DEPARTMENT THAT THE STORM WATER RUNOFF SYSTEM HAS BEEN INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE POST CONSTRUCTION STORM WATER INSPECTION AND MAINTENANCE PLAN APPROVED FOR THIS SITE.

EASEMENT NOTES

- PROPOSED 50' WIDE EMERGENCY ACCESS EASEMENT, CENTERED ON CONDO DRIVEWAY AND TURN AROUND, TO TOWN.
- PROPOSED 10' WIDE PUBLIC ACCESS EASEMENT OVER SIDEWALK, FROM SHORE ROAD TO WALKING TRAIL.

BUFFER NOTE

- 10' WIDE NO CUT BUFFER AROUND ENTIRE PROPERTY BOUNDARY.

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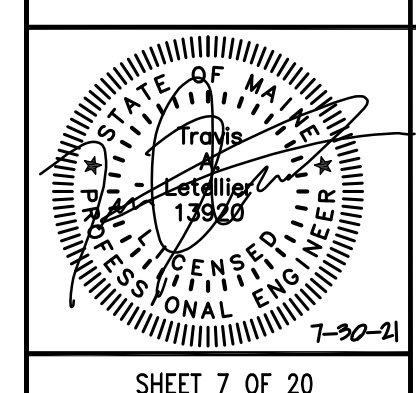
Revision	By	Date	Change
2	SMA	7/30/21	REVISED PER TOWN COMMENTS
1	SMA	4/30/21	SUBMITTED FOR MAJOR SUBDIVISION REVIEW

PROJECT NUMBER: 41875 ACAD FILE: 41875-SITE.DWG SCALE: 1" = 40' DATE: APRIL 30, 2021

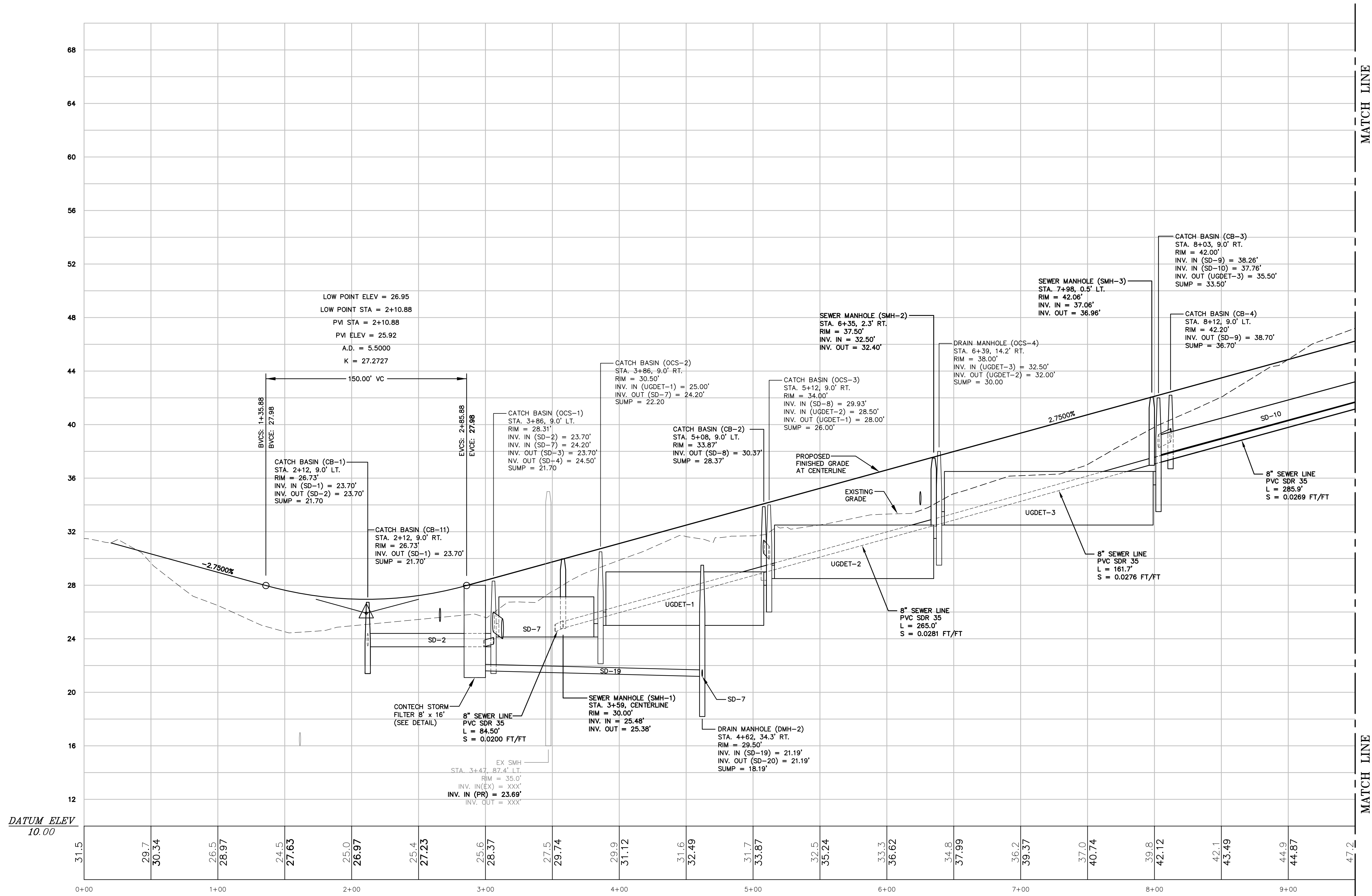
SITE, LAYOUT & UTILITY PLAN - SHEET 2

PROPOSED SUBDIVISION - CARR WOODS
10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107

Owner/Applicant:
ANDREW CARR, DEBRA CARR & ENA HANSON



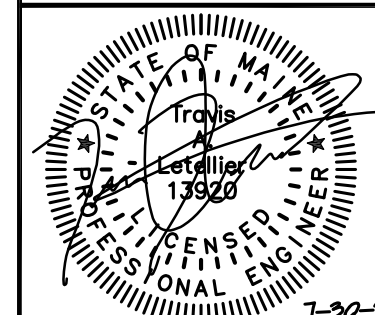
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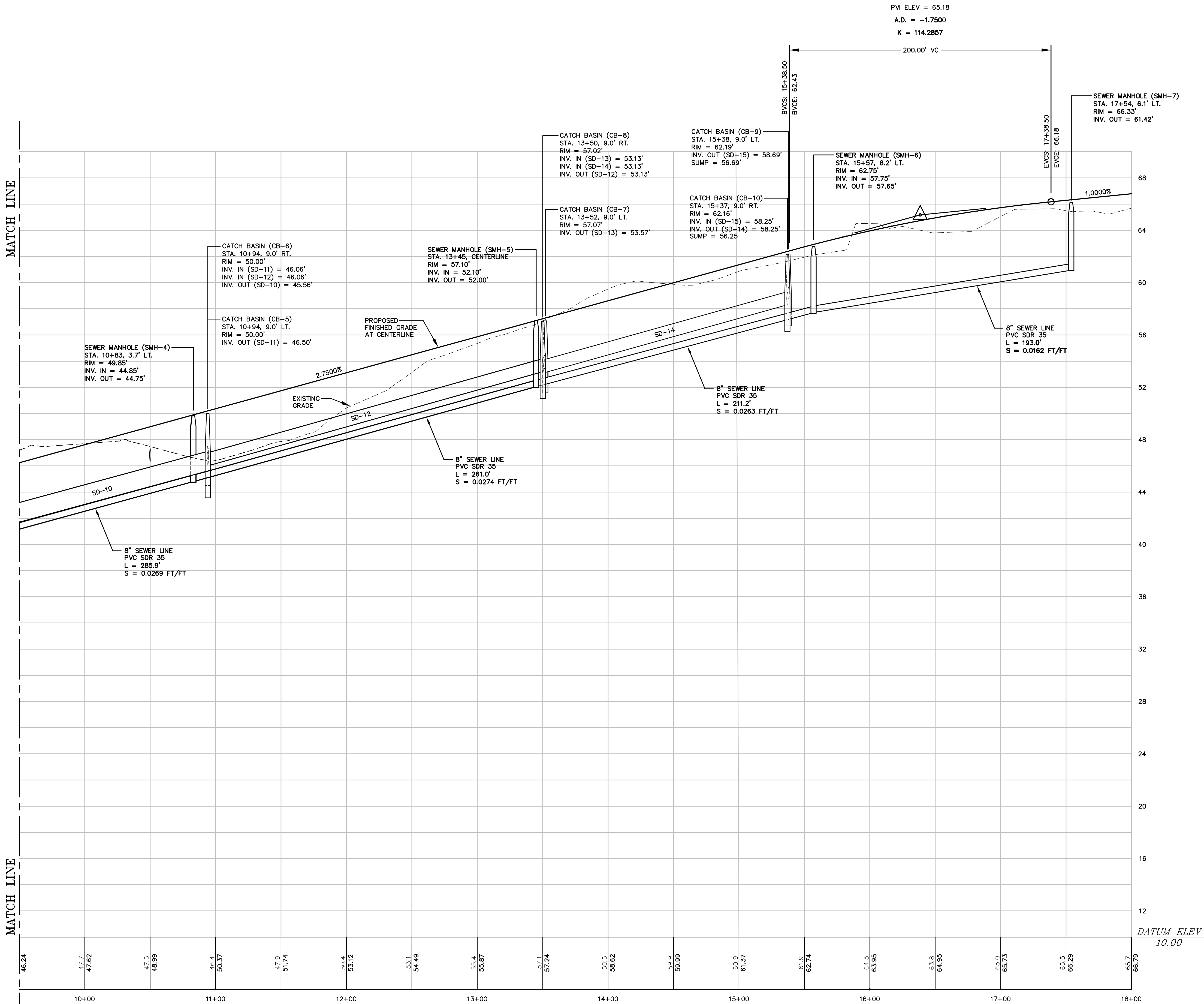
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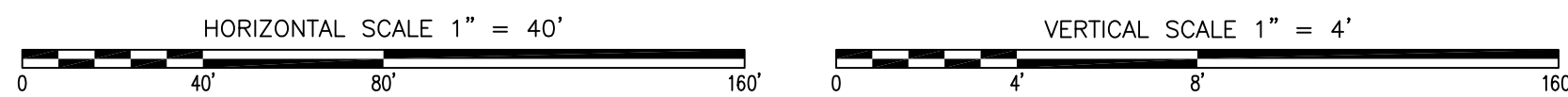
PROJECT NUMBER: 41875	ACAD FILE: 41875-PROFILE.DWG	SCALE: 1" = 40'	DATE: APRIL 30, 2021
Drawing Name: DEEP BROOK ROAD PROFILE - SHEET 1			
Project Name: PROPOSED SUBDIVISION - CARR WOODS 10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107			
Owner/Applicant: ANDREW CARR, DEBRA CARR & ENA HANSON			



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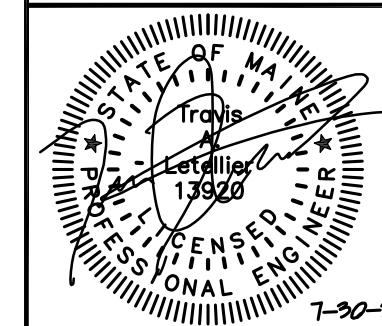
DEEP BROOK ROAD PROFILE



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PROJECT NUMBER: 41875	ACAD FILE: 41875-PROFILE.DWG	SCALE: 1" = 40'	DATE: APRIL 30, 2021
Drawing Name: DEEP BROOK ROAD PROFILE - SHEET 2			
Project Name: PROPOSED SUBDIVISION - CARR WOODS 10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107			
Owner/Applicant: ANDREW CARR, DEBRA CARR & ENA HANSON			

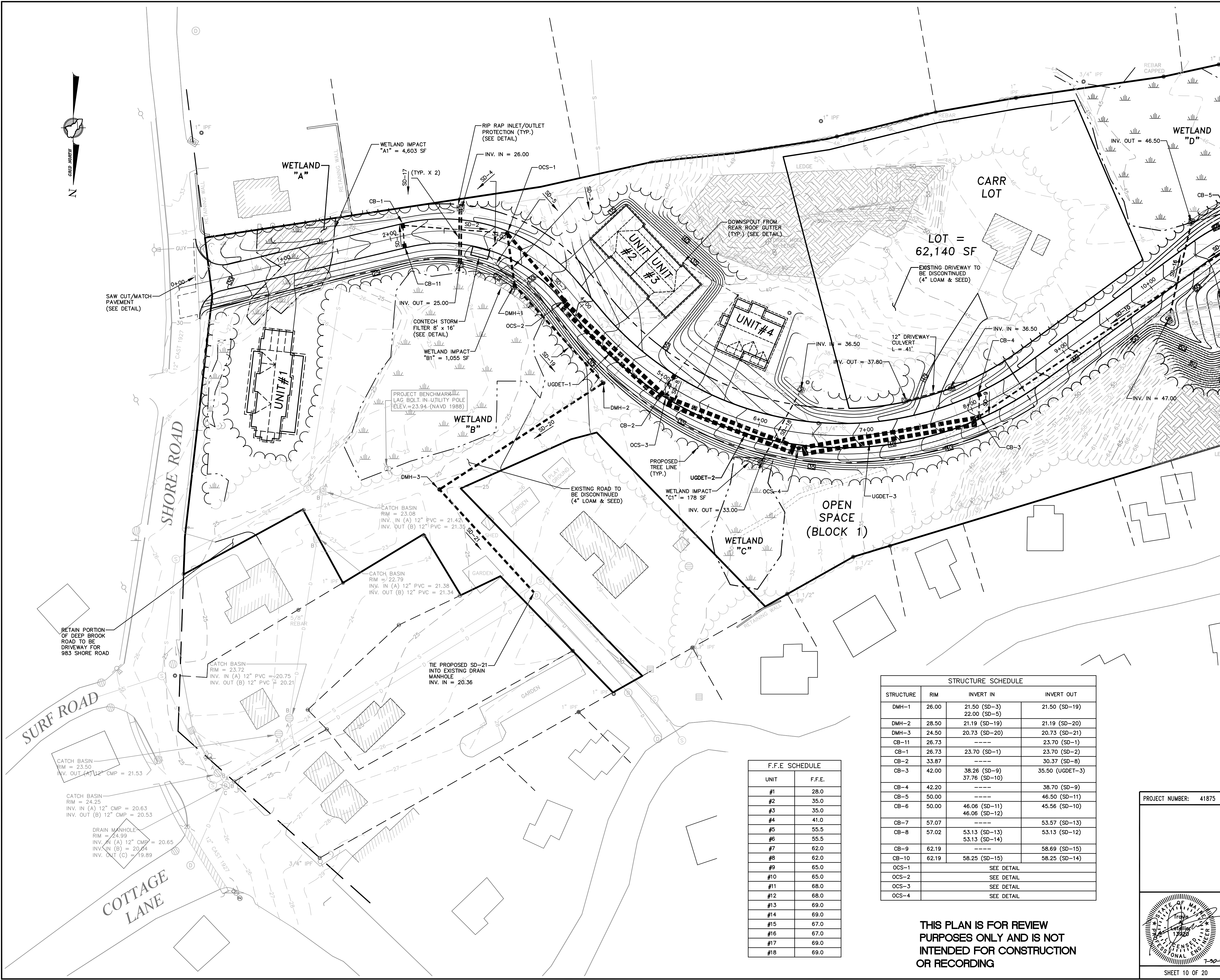


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0 40' 80' 160'



LEGEND

	BOUNDARY LINE
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	RIGHT-OF-WAY LINE
	ABUTTER
	EXISTING EASEMENT
	EXISTING WETLAND
	EXISTING UTILITY POLE
	EXISTING CATCH BASIN
	EXISTING DRAIN MANHOLE
	EXISTING DRAIN LINE
	EXISTING SEWER MANHOLE
	EXISTING SEWER LINE
	EXISTING TREE
	EXISTING TREE LINE
	EXISTING GATE VALVE
	PROPOSED CONTOUR
	PROPOSED TREE LINE
	PROPOSED DRAIN LINE
	PROPOSED CATCH BASIN
	PROPOSED OUTLET CONTROL STRUCTURE
	PROPOSED WETLAND IMPACT

WETLAND IMPACT:
IMPACT "A1" = 4,603 SF
IMPACT "B1" = 1,055 SF
IMPACT "C1" = 178 SF
IMPACT "D1" = 4,548 SF
IMPACT "D2" = 428 SF
IMPACT "D3" = 602 SF
IMPACT "D4" = 377 SF
TOTAL IMPACT = 11,789 SF
A TIER 1 NRPA PERMIT IS REQUIRED.

NOTES

PIPE SCHEDULE				
PIPE	PIPE DIAMETER	PIPE LENGTH	PIPE SLOPE (FT/FT)	TYPE
SD-1	12"	14'	FLAT	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-2	12"	92'	FLAT	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-3	24"	45'	0.0444	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-4	6"	22'	0.020	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-5	6"	35'	0.0029	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-6	12"	210'	0.001	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-7	36"	77'	FLAT	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-8	12"	14'	0.0314	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-9	12"	16'	0.0275	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-10	18"	285'	0.0273	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-11	12"	14'	0.0314	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-12	12"	251'	0.0282	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-13	12"	14'	0.0314	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-14	12"	179'	0.0286	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-15	12"	14'	0.0314	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-16	18"	92'	0.005	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-17 (2)	12"	50'	0.020	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-18	12"	75'	0.033	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-19	24"	117'	0.0026	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-20	24"	176'	0.0026	CORRUGATED HDPE (SMOOTH INTERIOR)
SD-21	24"	127'	0.0026	CORRUGATED HDPE (SMOOTH INTERIOR)

STRUCTURE SCHEDULE			
STRUCTURE	RIM	INVERT IN	INVERT OUT
DMH-1	26.00	21.50 (SD-3) 22.00 (SD-5)	21.50 (SD-19)
DMH-2	28.50	21.19 (SD-19)	21.19 (SD-20)
DMH-3	24.50	20.73 (SD-20)	20.73 (SD-21)
CB-11	26.73	---	23.70 (SD-1)
CB-1	26.73	23.70 (SD-1)	23.70 (SD-2)
CB-2	33.87	---	30.37 (SD-8)
CB-3	42.00	38.26 (SD-9) 37.76 (SD-10)	35.50 (UGDET-3)
CB-4	42.20	---	38.70 (SD-9)
CB-5	50.00	---	46.50 (SD-11)
CB-6	50.00	46.06 (SD-11) 46.06 (SD-12)	45.56 (SD-10)
CB-7	57.07	---	53.57 (SD-13)
CB-8	57.02	53.13 (SD-13) 53.13 (SD-14)	53.13 (SD-12)
CB-9	62.19	---	58.69 (SD-15)
CB-10	62.19	58.25 (SD-15)	58.25 (SD-14)
OCS-1	SEE DETAIL		
OCS-2	SEE DETAIL		
OCS-3	SEE DETAIL		
OCS-4	SEE DETAIL		

F.F.E. SCHEDULE	
UNIT	F.F.E.
#1	28.0
#2	35.0
#3	35.0
#4	41.0
#5	55.5
#6	55.5
#7	62.0
#8	62.0
#9	65.0
#10	65.0
#11	68.0
#12	68.0
#13	69.0
#14	69.0
#15	67.0
#16	67.0
#17	69.0
#18	69.0

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2	SMA	7/30/21	REVISED PER TOWN COMMENTS
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PROJECT NUMBER: 41875 ACAD FILE: 41875-GRADING.DWG SCALE: 1" = 40' DATE: APRIL 30, 2021

Drawing Name:
GRADING & DRAINAGE PLAN - SHEET 1

Project Name:
PROPOSED SUBDIVISION - CARR WOODS
10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107

Owner/Applicant:
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0 40' 80' 160'

E:\LAND PROJECT\41875\41875 CARR - SHORE RD - CAPE ELIZABETH\PLANSET\41875-GRADING.DWG



MEET EXIST. GROUND

2'-0"

2'-0"

2'-0"

MEET EXIST. GROUND

2:1

1'-0"

6"

6" RIP-RAP STONE
D₉₀ = 3"

DOWN SPOUT

PROPOSED HOUSE

4" LOAM & SEED

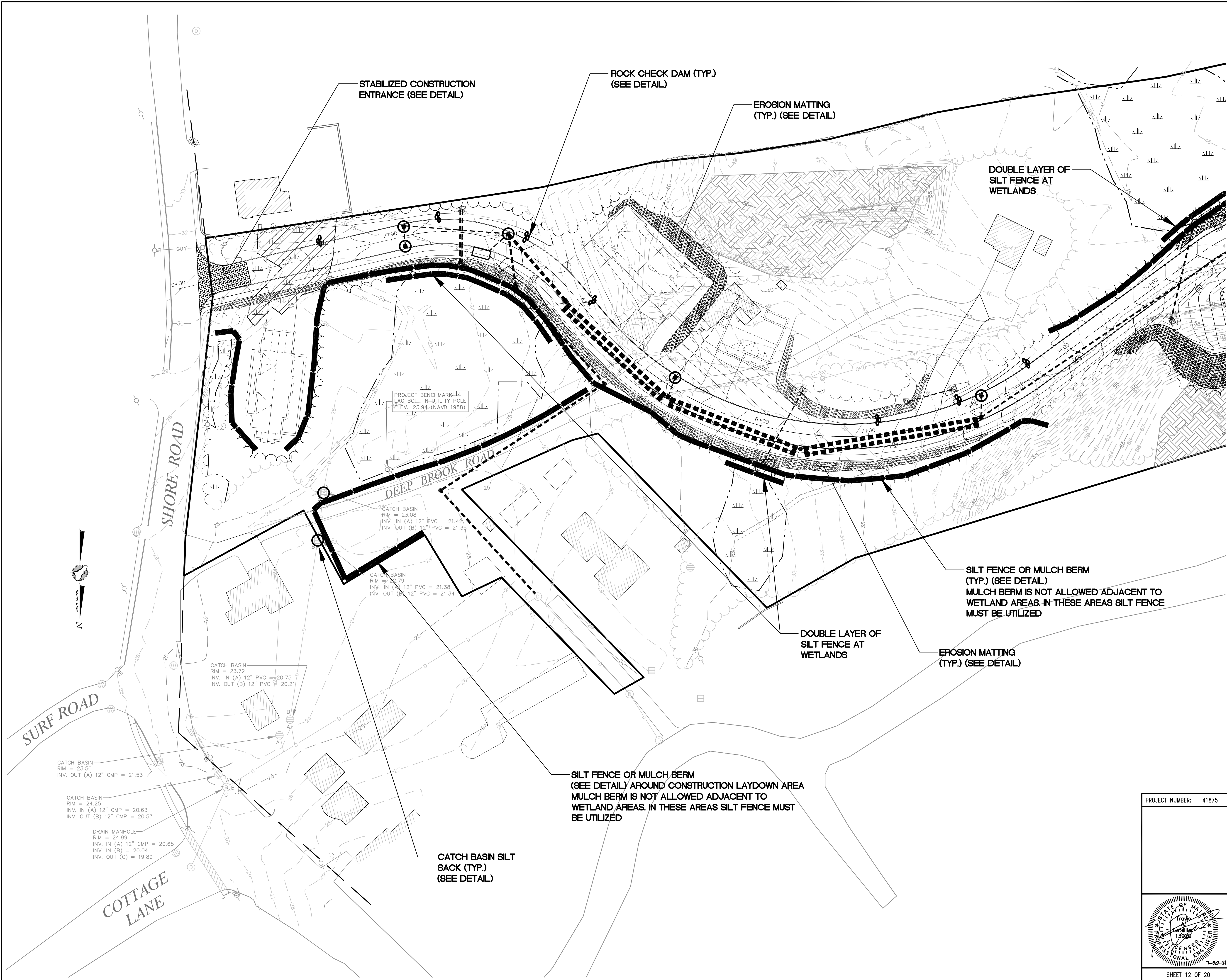
PROVIDE 2" RIGID INSULATION ABOVE PIPE WHERE COVER IS LESS THAN 4.0'

STAINLESS STEEL PIPE CLAMP (ATTACH TO FOUNDATION WALL WITH HILTI BOLTS OR APPROVED EQUAL)

4" 45° ELBOW ADS-N12 PIPE OR APPROVED EQUAL

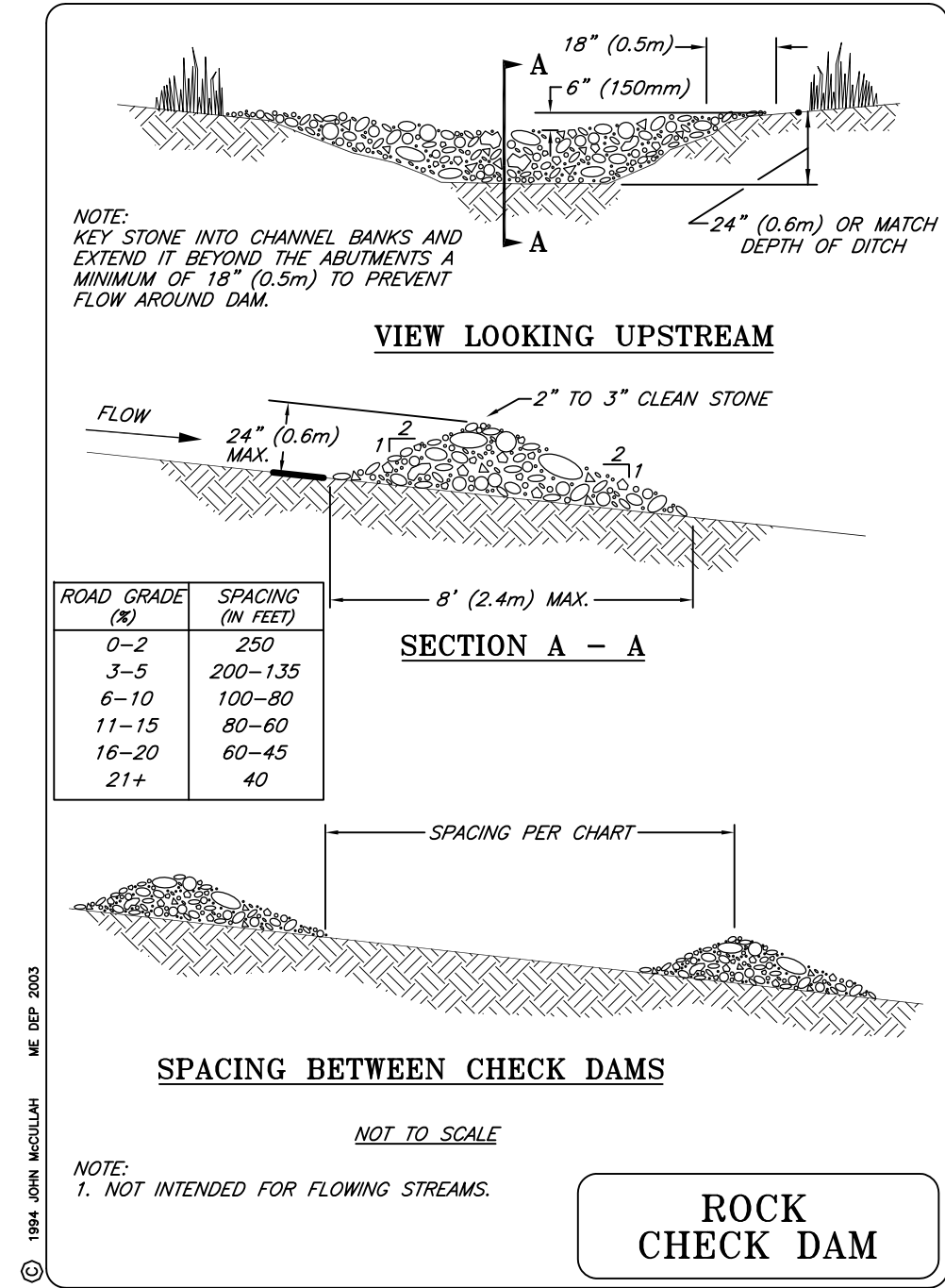
4" DIA. ADS-N12 PIPE OR APPROVED EQUAL

4" X 4" WYE ADS-N12 PIPE OR APPROVED EQUAL



LEGEND

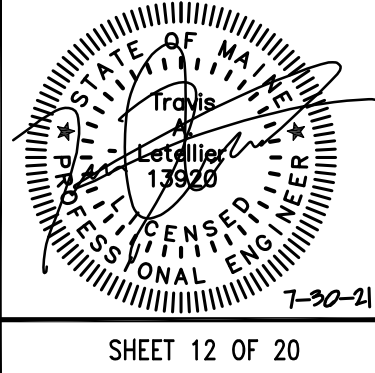
- MULCH BERM/EROSION CONTROL MIX OR SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL MATTING
- CATCH BASIN INLET PROTECTION (SILT SACK)
- ROCK CHECK DAM




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Drawing Name: EROSION & SEDIMENTATION CONTROL PLAN SHEET 1			
Project Name: PROPOSED SUBDIVISION - CARR WOODS 10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107			
Owner/Applicant: ANDREW CARR, DEBRA CARR & ENA HANSON			





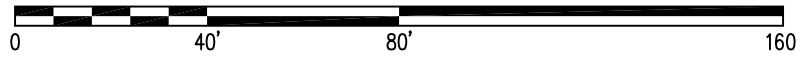
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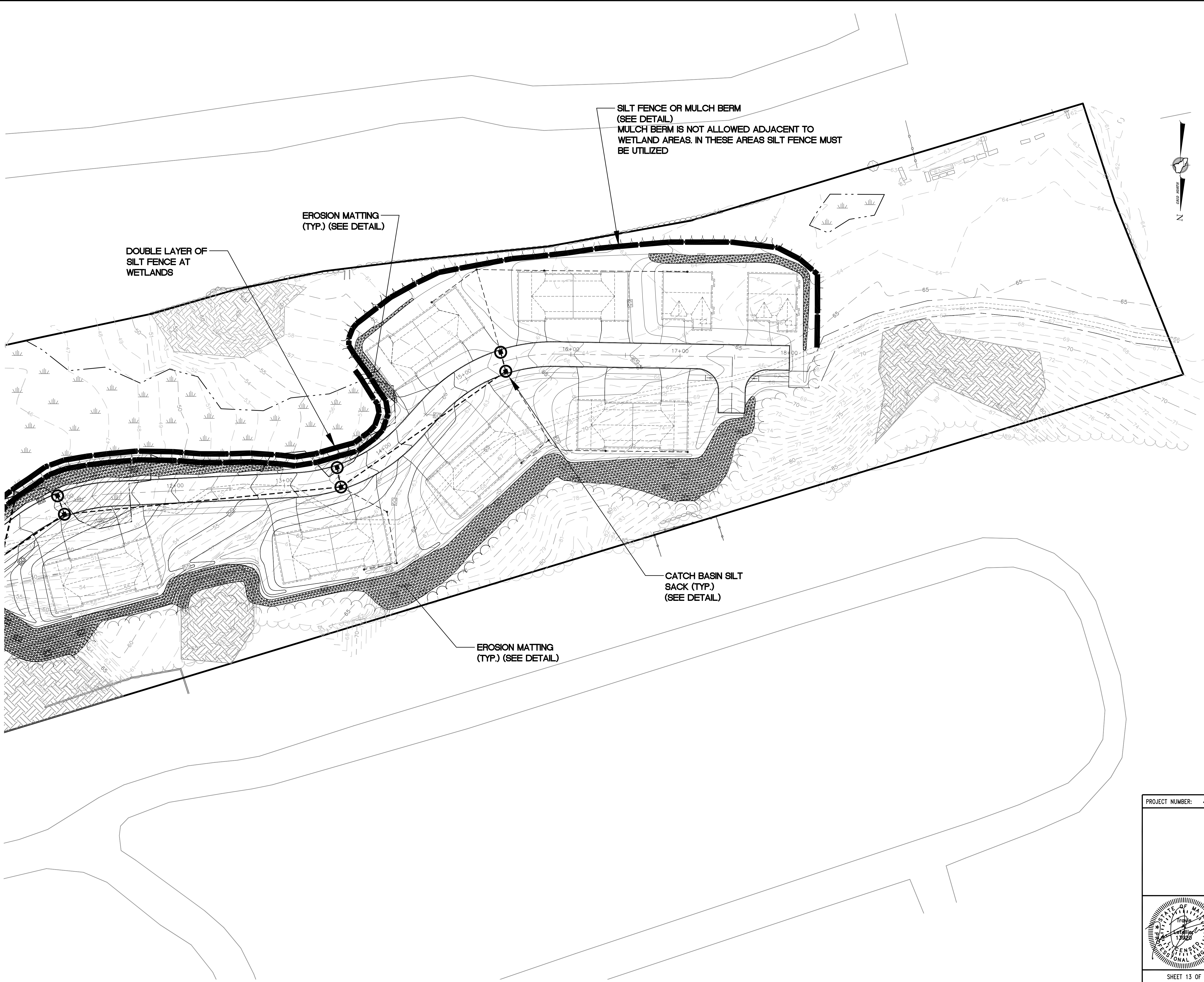
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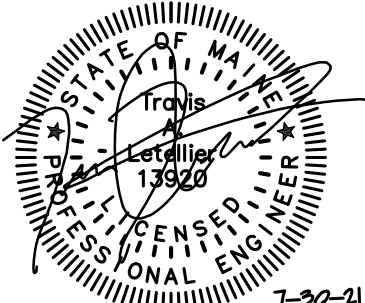
LEGEND

- MULCH BERM/EROSION CONTROL MIX OR SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL MATTING
- CATCH BASIN INLET PROTECTION (SILT SACK)
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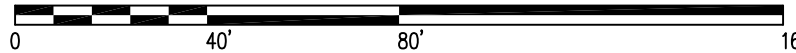
PROJECT NUMBER: 41875	ACAD FILE: 41875-EROSION.DWG	SCALE: 1" = 40'	DATE: APRIL 30, 2021
Drawing Name: EROSION & SEDIMENTATION CONTROL PLAN SHEET 2			
Project Name: PROPOSED SUBDIVISION – CARR WOODS 10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107			
Owner/Applicant: ANDREW CARR, DEBRA CARR & ENA HANSON			



SHEET 13 OF 20



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EROSION AND SEDIMENTATION CONTROL PLAN NOTES

SEDIMENTATION AND EROSION FOR THIS PROJECT IS BASED UPON SOUND CONSERVATION PRACTICES, AND ADHERES TO THE STANDARDS DETAILED IN MAINE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP) BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, DATED OCTOBER 2016. THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE AFOREMENTIONED PUBLICATION AND COMPLY WITH THE PRACTICES PRESENTED THEREIN.

A PERSON WHO CONDUCTS, OR CAUSES TO BE CONDUCTED, AN ACTIVITY THAT INVOLVES FILLING, DISPLACING OR EXPOSING SOIL OR OTHER EARTHEN MATERIALS SHALL TAKE MEASURES TO PREVENT UNREASONABLE EROSION OF SOIL OR SEDIMENT BEYOND THE PROJECT SITE OR INTO A PROTECTED NATURAL RESOURCE. SUCH MEASURES SHALL BE BASED ON §480-B, EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE THE ACTIVITY BEGINS. MEASURES MUST REMAIN IN PLACE AND FUNCTIONAL UNTIL THE SITE IS PERMANENTLY STABILIZED. ADEQUATE AND TIMELY TEMPORARY AND PERMANENT STABILIZATION MEASURES MUST BE TAKEN.

1 EROSION AND SEDIMENTATION CONTROL

1.1 POLLUTION PREVENTION. MINIMIZE DISTURBED AREAS AND PROTECT NATURAL DOWNGRADIENT BUFFER AREAS TO THE EXTENT PRACTICABLE. CONTROL STORMWATER VOLUME AND VELOCITY WITHIN THE SITE TO MINIMIZE SOIL EROSION. MINIMIZE THE DISTURBANCE OF STEEP SLOPES. CONTROL STORMWATER DISCHARGES, INCLUDING BOTH PEAK FLOW RATES AND VOLUMES, TO MINIMIZE EROSION AT OUTLETS. THE DISCHARGE MAY NOT RESULT IN EROSION OF ANY OPEN DRAINAGE CHANNELS, SWALES, STREAM CHANNELS OR STREAM BANKS, UPLAND, OR COASTAL OR ESTUARINE WETLANDS OFF THE PROJECT SITE. WHENEVER PRACTICABLE, NO DISTURBANCE ACTIVITIES SHOULD TAKE PLACE WITHIN 50 FEET OF ANY PROTECTED NATURAL RESOURCE. IF DISTURBANCE ACTIVITIES TAKE PLACE BETWEEN 30 FEET AND 50 FEET OF A PROTECTED NATURAL RESOURCE, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE PROTECTED NATURAL RESOURCE, PERMITTER EROSION CONTROLS MUST BE DOUBLED. IF DISTURBANCE ACTIVITIES TAKE PLACE LESS THAN 30 FEET FROM ANY PROTECTED NATURAL RESOURCE, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE PROTECTED NATURAL RESOURCE, PERMITTER EROSION CONTROLS MUST BE DOUBLED AND DISTURBED AREAS MUST BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 7 DAYS.

1.2 SEDIMENT BARRIERS. PRIOR TO CONSTRUCTION, PROPERLY INSTALL SEDIMENT BARRIERS AT THE DOWNGRADIENT EDGE OF ANY AREA TO BE DISTURBED AND ADJACENT TO ANY DRAINAGE CHANNELS WITHIN THE DISTURBED AREA. SEDIMENT BARRIERS SHOULD BE INSTALLED DOWNGRADIENT OF SOIL OR SEDIMENT STOCKPILES AND STORMWATER PREVENTED FROM RUNNING ONTO THE STOCKPILE. MAINTAIN THE SEDIMENT BARRIERS BY REMOVING AND REPAIRING AS NEEDED, OR REMOVING AND REPLACING THE BARRIER UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED. WHERE A DISCHARGE TO A STORM DRAIN INLET OCCURS, IF THE STORM DRAIN CARRIES WATER DIRECTLY TO A SURFACE WATER AND YOU HAVE AUTHORITY TO ACCESS THE STORM DRAIN INLET, YOU MUST INSTALL AND MAINTAIN PROTECTION MEASURES THAT REMOVE SEDIMENT FROM THE DISCHARGE.

1.3 STABILIZED CONSTRUCTION ENTRANCE. PRIOR TO CONSTRUCTION, PROPERLY INSTALL A STABILIZED CONSTRUCTION ENTRANCE (SCE) AT ALL POINTS OF EGRESS FROM THE SITE. THE SCE IS A STABILIZED PAD OF AGGREGATE, UNDERLAIN BY A GEOTEXTILE FILTER FABRIC, USED TO PREVENT TRAFFIC FROM TRACKING MATERIAL AWAY FROM THE SITE ONTO PUBLIC ROWS. MAINTAIN THE SCE UNTIL ALL DISTURBED AREAS ARE STABILIZED.

1.4 TEMPORARY STABILIZATION. WITHIN 7 DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES IN AN AREA THAT WILL NOT BE WORKED FOR MORE THAN 7 DAYS, STABILIZE ANY EXPOSED SOIL WITH MULCH, RIPRAP, OR OTHER NON-ERODIBLE COVER. STABILIZE AREAS WITHIN 75 FEET OF A WETLAND OR WATERBODY WITHIN 48 HOURS OF THE INITIAL DISTURBANCE OF THE SOIL OR PRIOR TO ANY STORM EVENT, WHICHEVER COMES FIRST.

1.5 REMOVAL OF TEMPORARY MEASURES. REMOVE ANY TEMPORARY CONTROL MEASURES, SUCH AS SILT FENCE, WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED. REMOVE ANY ACCUMULATED SEDIMENTS AND STABILIZE.

1.6 PERMANENT STABILIZATION. IF THE AREA WILL NOT BE WORKED FOR MORE THAN ONE YEAR OR HAS BEEN WORKED FOR MORE THAN ONE YEAR, PERMANENTLY STABILIZE THE AREA WITHIN 7 DAYS BY PLANTING VEGETATION, SEEDING, SOIL, OR THROUGH THE USE OF PERMANENT MULCH, OR RIPRAP, OR ROAD SUB-BASE. USING VEGETATION TO STABILIZE AREAS IS THE PREFERRED METHOD. SELECT PLANTS FOR THE LIGHT, MOISTURE, AND SOIL CONDITIONS; AMEND AREAS OF DISTURBED SUBSOILS WITH TOPSOIL, COMPOST, OR FERTILIZERS; PROTECT SEEDING AREAS WITH MULCH OR, IF NECESSARY, AND LOCATIONS WHERE ADDITIONAL BMPs ARE NEEDED. FOR EACH BMP REQUIRING MAINTENANCE, BMP NEEDING REPLACEMENT, AND LOCATION NEEDING ADDITIONAL NOTE. THE LOG THE CORRECTIVE ACTION TAKEN AND WHEN IT WAS TAKEN. THE LOG MUST BE MADE ACCESSIBLE TO DEPARTMENT STAFF AND A COPY MUST BE PROVIDED FROM VEHICLE TRAFFIC. EXCESSIVE PEDESTRIAN AND DEBRIS, TO CONCENTRATED RUNOFF UNTIL THE VEGETATION IS WELL-ESTABLISHED WITH 90% COVER BY HEALTHY VEGETATION. IF NECESSARY, AREAS MUST BE REWORKED AND RESTABILIZED IF GERMINATION IS SPARSE, PLANT COVERAGE IS SPOTTY, OR TOPSOIL EROSION IS EVIDENT. ONE OR MORE OF THE FOLLOWING MAY APPLY TO A PARTICULAR SITE.

1.6.1 SEEDING AREAS. FOR SEEDING AREAS, PERMANENT STABILIZATION MEANS A 90% COVER OF THE DISTURBED AREA WITH MATURE, HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILTING OF THE TOPSOIL.

1.6.2 SODDED AREAS. FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.

1.6.3 PERMANENT MULCH. FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH. PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.

1.6.4 RIPRAP. FOR AREAS STABILIZED WITH RIPRAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIPRAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRIEL OR APPROVED EQUIVALENT TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIPRAP. STONE MUST BE SIZED APPROPRIATELY. IT IS RECOMMENDED THAT ANGULAR STONE BE USED.

1.6.5 AGRICULTURAL USE. FOR CONSTRUCTION PROJECTS ON LAND USED FOR AGRICULTURAL PURPOSES (E.G., PIPELINES ACROSS CROP LAND), PERMANENT STABILIZATION MAY BE ACCOMPLISHED BY RETURNING THE DISTURBED LAND TO AGRICULTURAL USE.

1.6.6 PAVED AREAS. FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SURFACE IS COMPLETELY COVERED. PROVIDED IT IS FREE OF FINE MATERIALS THAT MAY RUNOFF WITH A RAIN EVENT.

1.6.7 DITCHES, CHANNELS, AND SWALES. FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH A 90% COVER OF HEALTHY VEGETATION, WITH A WELL-GRADED RIPRAP LINING, TURF REINFORCEMENT MAT, OR WITH ANOTHER NON-EROSIVE LINING SUCH AS CONCRETE OR ASPHALT PAVEMENT. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE CHANNEL LINING, UNDERCUTTING OF THE CHANNEL BANKS, OR DOWN-CUTTING OF THE CHANNEL.

1.7 WINTER CONSTRUCTION. "WINTER CONSTRUCTION" IS CONSTRUCTION ACTIVITY PERFORMED DURING THE PERIOD FROM NOVEMBER 1 THROUGH APRIL 15. IF DISTURBED AREAS ARE NOT STABILIZED WITH PERMANENT MEASURES BY NOVEMBER 1 OR NEW SOIL DISTURBANCE OCCURS AFTER NOVEMBER, BUT BEFORE APRIL 15, THEN THESE AREAS MUST BE PROTECTED AND RUNOFF FROM THEM MUST BE CONTROLLED BY ADDITIONAL MEASURES AND RESTRICTIONS.

1.7.1 SITE STABILIZATION. FOR WINTER STABILIZATION, HAY MULCH IS APPLIED AT TWICE THE STANDARD TEMPORARY STABILIZATION RATE. AT THE END OF EACH CONSTRUCTION DAY, AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE STABILIZED. MULCH MAY NOT BE SPREAD ON TOP OF SNOW.

1.7.2 SEDIMENT BARRIERS. ALL AREAS WITHIN 75 FEET OF A PROTECTED NATURAL RESOURCE (I.E. STREAM THROAT, ETC.) MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS.

1.7.3 DITCH. ALL VEGETATED DITCH LINES THAT HAVE NOT BEEN STABILIZED BY NOVEMBER 1, OR WILL BE WORKED DURING THE WINTER CONSTRUCTION PERIOD, MUST BE STABILIZED WITH AN APPROPRIATE STONE LINING BACKED BY AN APPROPRIATE GRAVEL BED OR GEOTEXTILE UNLESS SPECIFICALLY RELEASED FROM THIS STANDARD BY THE DEPARTMENT.

1.7.4 SLOPES. MULCH NETTING MUST BE USED TO ANCHOR MULCH ON ALL SLOPES GREATER THAN 8% UNLESS EROSION CONTROL BLANKETS OR EROSION CONTROL MIX IS BEING USED ON THESE SLOPES.

1.8 STORMWATER CHANNELS, DITCHES, SWALES, AND OTHER OPEN STORMWATER CHANNELS MUST BE DESIGNED, CONSTRUCTED, AND STABILIZED USING MEASURES THAT ACHIEVE LONG-TERM EROSION CONTROL. DITCHES, SWALES, AND OTHER OPEN STORMWATER CHANNELS MUST BE SIZED TO HANDLE, AT A MINIMUM, THE EXPECTED VOLUME RUN-OFF. EACH CHANNEL SHOULD BE CONSTRUCTED IN SECTIONS SO THAT THE SECTION'S GRADING, SHAPING, AND INSTALLATION OF THE PERMANENT LINING CAN BE COMPLETED THE SAME DAY. IF A CHANNEL'S FINAL GRADING OR LINING INSTALLATION MUST BE DELAYED, THEN DIVERSION BERMS MUST BE USED TO DIVERT STORMWATER AWAY FROM THE CHANNEL. PROPERLY-SPACED CHECK DAMS MUST BE INSTALLED IN THE CHANNEL TO SLOW THE WATER VELOCITY, AND A TEMPORARY LINING INSTALLED ALONG THE CHANNEL TO PREVENT SCOURING. PERMANENT STABILIZATION FOR CHANNELS IS ADDRESSED UNDER SECTION 1.6.7 ABOVE.

1.8.1 THE CHANNEL SHOULD RECEIVE ADEQUATE ROUTINE MAINTENANCE TO MAINTAIN CAPACITY AND PREVENT OR CORRECT ANY EROSION OF THE CHANNEL'S BOTTOM OR SIDE SLOPES.

1.8.2 WHEN THE WATERSHED DRAINING TO A DITCH OR SWALE IS LESS THAN 1 ACRE OF TOTAL DRAINAGE AND LESS THAN ¼ ACRE OF IMPERVIOUS AREA, DIVERSION OF RUNOFF TO ADJACENT WOODED OR OTHERWISE VEGETATED BUFFER AREAS IS ENCOURAGED WHERE THE OPPORTUNITY EXISTS.

1.9 SEDIMENT BASINS. SEDIMENT BASINS MUST BE DESIGNED TO PROVIDE STORAGE FOR EITHER THE CALCULATED RUNOFF FROM A 2-YEAR, 24-HOUR STORM OR OUTLET FOR 3,600 CUBIC FEET OF CAPACITY PER ACRE DRAINING TO THE BASIN. OUTLET STRUCTURES MUST DISCHARGE WATER FROM THE SURFACE OF THE BASIN. WHENEVER POSSIBLE, EROSION CONTROLS AND VELOCITY DISSIPATION DEVICES MUST BE USED IF THE DISCHARGING WATERS ARE LIKELY TO CREATE A TURBULENCE ACCUMULATED SEDIMENT MUST BE REMOVED AS NEEDED FROM THE BASIN TO MAINTAIN AT LEAST ¼ OF THE DESIGN CAPACITY OF THE BASIN. THE USE OF CATIONIC TREATMENT CHEMICALS, SUCH AS POLYMER GELS, OR OTHER CHEMICALS THAT CONTAIN AN OVERALL POSITIVE CHARGE DESIGNED TO REDUCE TURBIDITY IN STORMWATER MUST RECEIVE PRIOR APPROVAL FROM THE DEPARTMENT. WHEN REQUESTING APPROVAL FOR CATIONIC TREATMENT CHEMICALS, YOU MUST DESCRIBE APPROPRIATE CONDITIONS AND IMPLEMENTATION PROCEDURES TO ENSURE THE USE WILL NOT LEAD TO A VIOLATION OF WATER QUALITY STANDARDS. IN ADDITION, YOU MUST SPECIFY THE TYPE(S) OF SOIL LIKELY TO BE TREATED ON THE SITE, CHEMICALS TO BE USED AND HOW THEY ARE TO BE APPLIED AND IN WHAT QUANTITY. ANY MANUFACTURER'S RECOMMENDATIONS, AND ANY TRAINING HAD BY PERSONNEL WHO WILL HANDLE AND APPLY THE CHEMICALS.

1.10 ROADS, GRAVEL AND PAVED ROADS MUST BE DESIGNED AND CONSTRUCTED WITH CROWNS OR OTHER MEASURES, SUCH AS WATER BARS, TO ENSURE THAT STORMWATER IS DELIVERED IMMEDIATELY TO ADJACENT STABLE DITCHES, VEGETATED BARRIER AREAS, CATCH BASINS, OR STREET DRAINAGE INLETS.

1.11 CULVERTS. CULVERTS MUST BE SIZED TO AVOID UNINTENDED FLOODING OF UPLAND AREAS OR FREESTANDING CULVERTS. CULVERTS MUST BE PROTECTED WITH APPROPRIATE MATERIALS FOR THE EXPECTED ENTRANCE VELOCITY, AND PROTECTION MUST EXTEND AT LEAST AS HIGH AS THE EXPECTED MAXIMUM ELEVATION OF STORAGE BEHIND THE CULVERT. PRIOR TO DESIGN, DESIGN MUST INCORPORATE MEASURES, SUCH AS APRONS, TO PREVENT SCOUR OF THE STREAM CHANNEL. OUTLET PROTECTION MEASURES MUST BE DESIGNED TO STAY WITHIN THE CHANNEL LIMITS. THE DESIGN MUST TAKE ACCOUNT OF TAILWATER DEPTH.

1.12 PARKING AREAS. PARKING AREAS MUST BE CONSTRUCTED TO ENSURE RUNOFF IS DELIVERED TO ADJACENT SWALES, CATCH BASINS, CURB CUTTERS, OR BUFFER AREAS WITHOUT ERODING AREAS DOWNSLOPE. THE PARKING AREAS SUBBASE COMPACTION AND GRADING MUST BE DONE TO ENSURE RUNOFF IS EVENLY DISTRIBUTED TO ADJACENT BUFFERS OR SIDE SLOPES. CATCH BASINS MUST BE LOCATED AND DESIGNED TO PREVENT EROSION AT THE INLET. PREVENT INFLOW OF PEAK RUNOFF RATES WITHOUT BY-PASS OF RUNOFF TO OTHER AREAS.

2 INSPECTION AND MAINTENANCE

2.1 DURING CONSTRUCTION. THE FOLLOWING STANDARDS MUST BE MET DURING CONSTRUCTION.

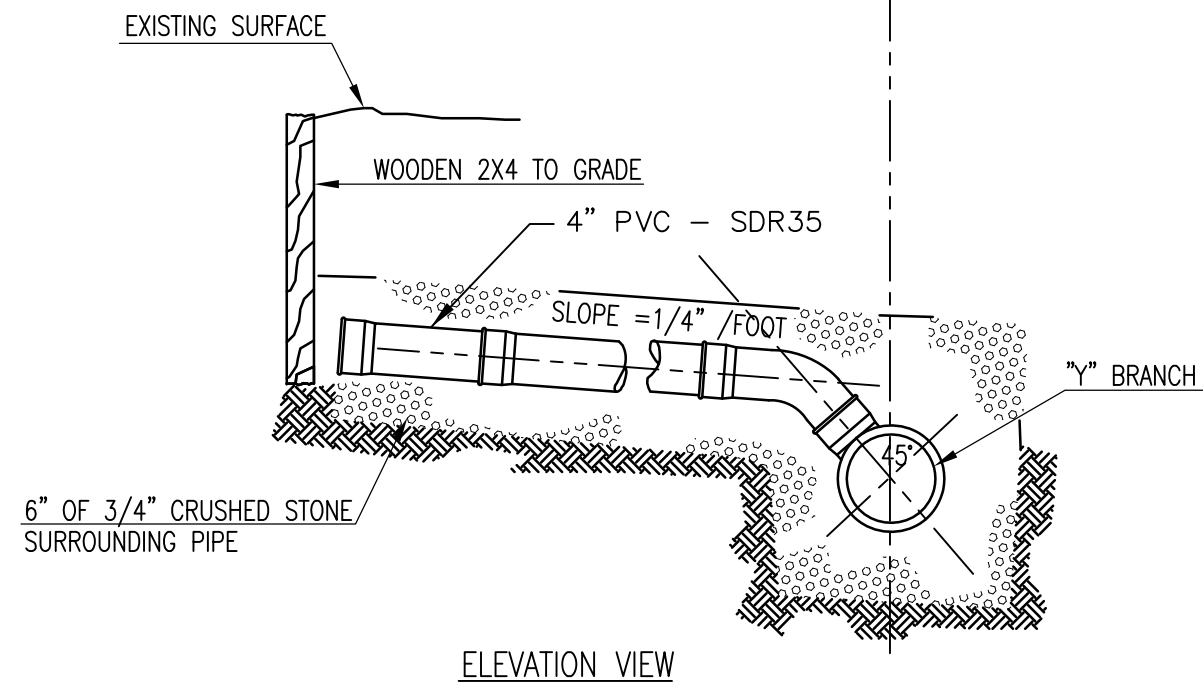
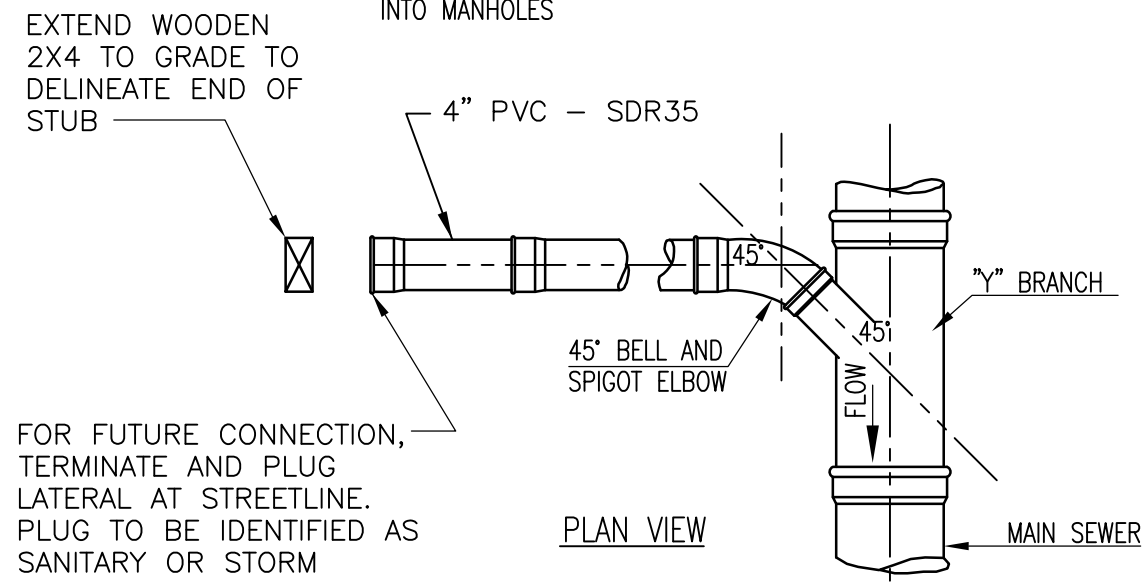
2.1.1 INSPECTION AND CORRECTIVE ACTION. INSPECT DISTURBED AND IMPERVIOUS AREAS. EROSION CONTROL MEASURES MATERIALS STORAGE AREAS THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. INSPECT THESE AREAS AT LEAST ONCE A WEEK AS WELL AS BEFORE AND WITHIN 24 HOURS AFTER A STORM EVENT (RAINFALL), AND PRIOR TO COMPLETING PERMANENT STABILIZATION MEASURES. A PERSON WITH KNOWLEDGE OF EROSION AND STORMWATER CONTROL, INCLUDING THE STANDARDS AND CONDITIONS IN THE PERMIT, SHALL CONDUCT THE INSPECTIONS.

2.1.2 MAINTENANCE. IF BEST MANAGEMENT PRACTICES (BMPs) NEED TO BE REPAIRED, THE REPAIR WORK SHOULD BE INITIATED UPON DISCOVERY OF THE PROBLEM BUT NO LATER THAN THE END OF THE NEXT WORKDAY. IF ADDITIONAL BMPs OR SIGNIFICANT REPAIRS ARE NEEDED, REPAIRS SHOULD BE IMPLEMENTED MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT (RAINFALL). ALL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE PERMANENTLY STABILIZED.

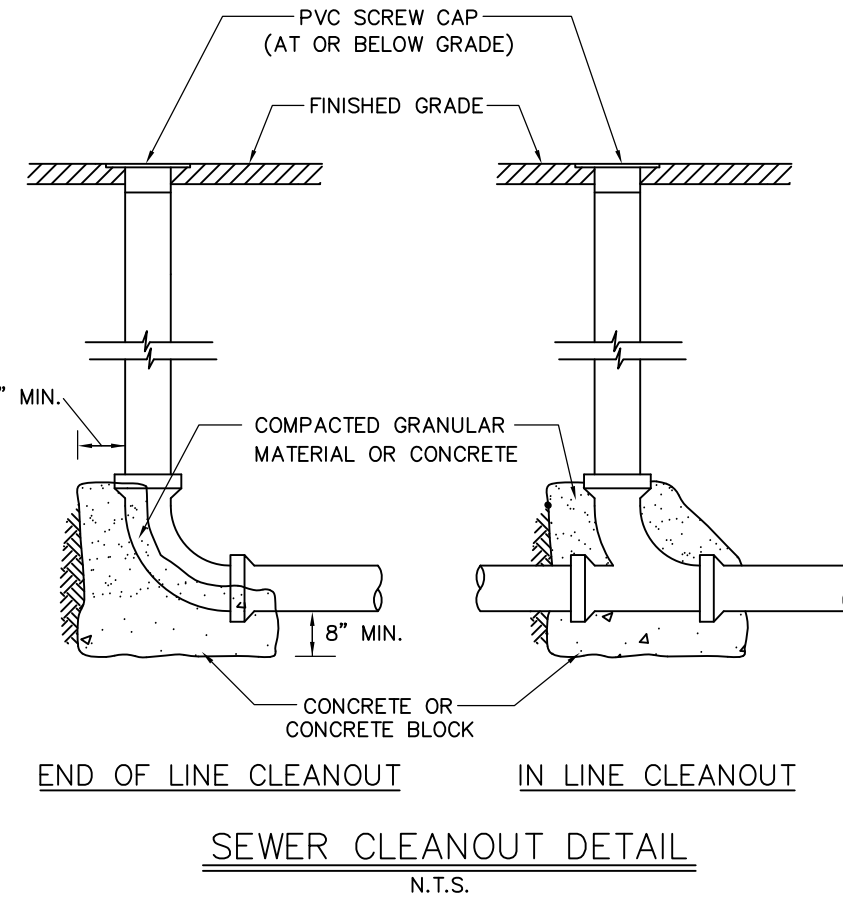
2.1.3 DOCUMENTATION. KEEP A LOG (REPORT) SUMMARIZING THE INSPECTIONS AND ANY CORRECTIVE ACTION TAKEN. THE LOG MUST INCLUDE THE NAME(S) AND QUALIFICATIONS OF THE PERSON MAKING THE INSPECTIONS, THE DATE(S) OF THE INSPECTIONS, AND MAJOR OBSERVATIONS ABOUT THE OPERATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES. STORAGE AREAS, AND VEHICLES ACCESS POINTS TO THE PARCEL. MAJOR OBSERVATIONS MUST INCLUDE BMPs THAT NEED MAINTENANCE, BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE, AND SELECTED THOSE COMPONENTS OF THE SYSTEM IN COMPLIANCE WITH DEPARTMENT STANDARDS. UPON SUCH ASSUMPTION OF RESPONSIBILITY, AND APPROVAL BY THE DEPARTMENT, THE MUNICIPALITY OR QUASI-MUNICIPAL DISTRICT, OR IS PLACED UNDER THE JURISDICTION OF A LEGALLY CREATED ASSOCIATION THAT WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SYSTEM. A MUNICIPALITY OR QUASI-MUNICIPAL DISTRICT CHOOSES TO ACCEPT A STORMWATER MANAGEMENT SYSTEM, OR A COMPONENT OF A STORMWATER SYSTEM, MUST PROVIDE A LETTER TO THE DEPARTMENT STATING THAT IT ASSUMES RESPONSIBILITY FOR THE SYSTEM. THE LETTER MUST SPECIFY THE COMPONENTS OF THE SYSTEM FOR WHICH THE MUNICIPALITY OR DISTRICT WILL ASSUME RESPONSIBILITY, AND THAT THE MUNICIPALITY OR DISTRICT AGREES TO MAINTAIN THOSE COMPONENTS OF THE SYSTEM IN COMPLIANCE WITH DEPARTMENT STANDARDS. UPON SUCH ASSUMPTION OF RESPONSIBILITY, AND APPROVAL BY THE DEPARTMENT, THE MUNICIPALITY OR QUASI-MUNICIPAL DISTRICT, OR IS PLACED UNDER THE JURISDICTION OF A LEGALLY CREATED ASSOCIATION THAT WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SYSTEM. THE LETTER MUST SPECIFY THE COMPONENTS OF THE SYSTEM FOR WHICH THE MUNICIPALITY OR DISTRICT WILL ASSUME RESPONSIBILITY, AND THAT THE MUNICIPALITY OR DISTRICT AGREES TO MAINTAIN THOSE COMPONENTS OF THE SYSTEM IN COMPLIANCE WITH DEPARTMENT STANDARDS. 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NOTES:

1. LOCATION / WARNING TAPE SHALL BE INSTALLED OVER CENTERLINE OF PIPE AT A MAXIMUM OF 24 INCHES BELOW FINISH GRADE.
2. HOUSE LATERALS SHALL NOT BE CONNECTED DIRECTLY INTO MANHOLES

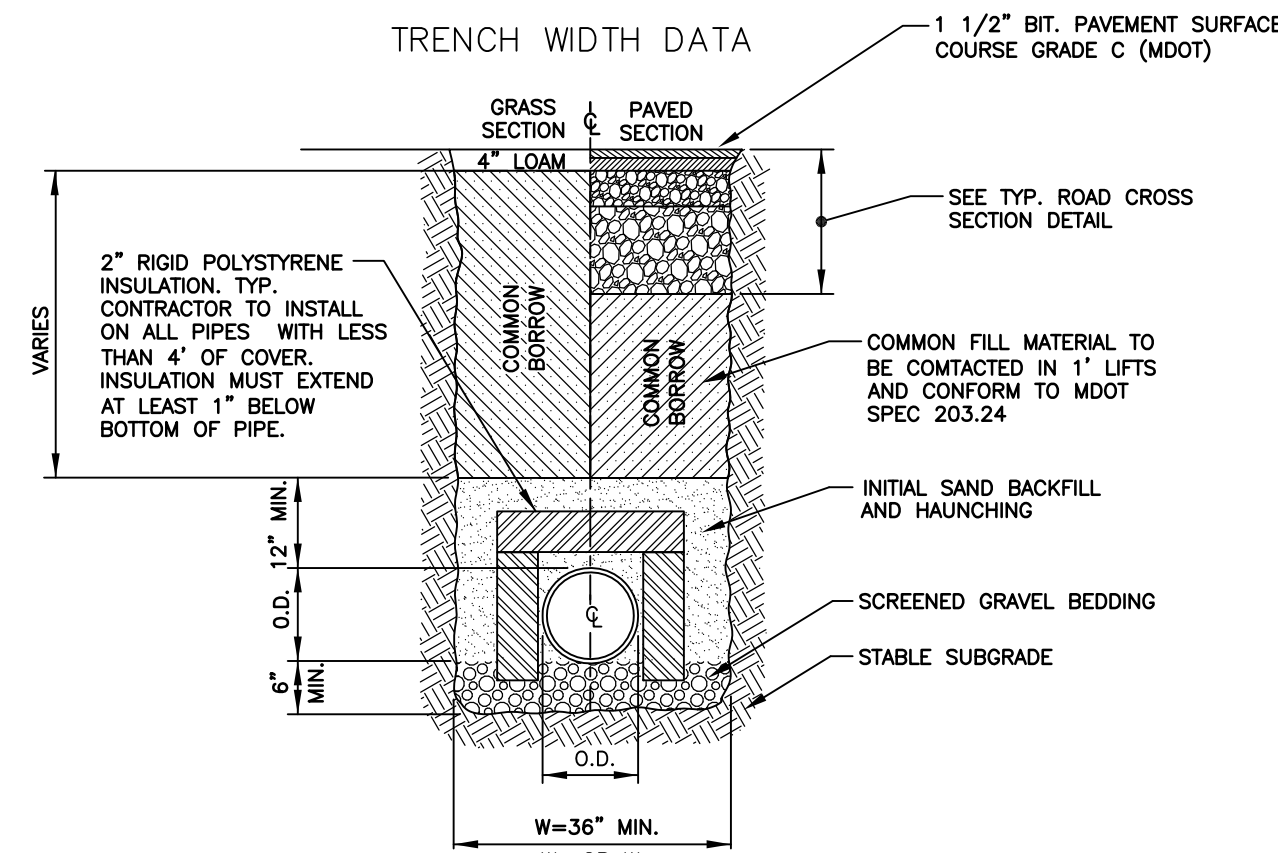


TYPICAL SANITARY SEWER
HOUSE LATERAL "Y" CONNECTION DETAILS
NOT TO SCALE

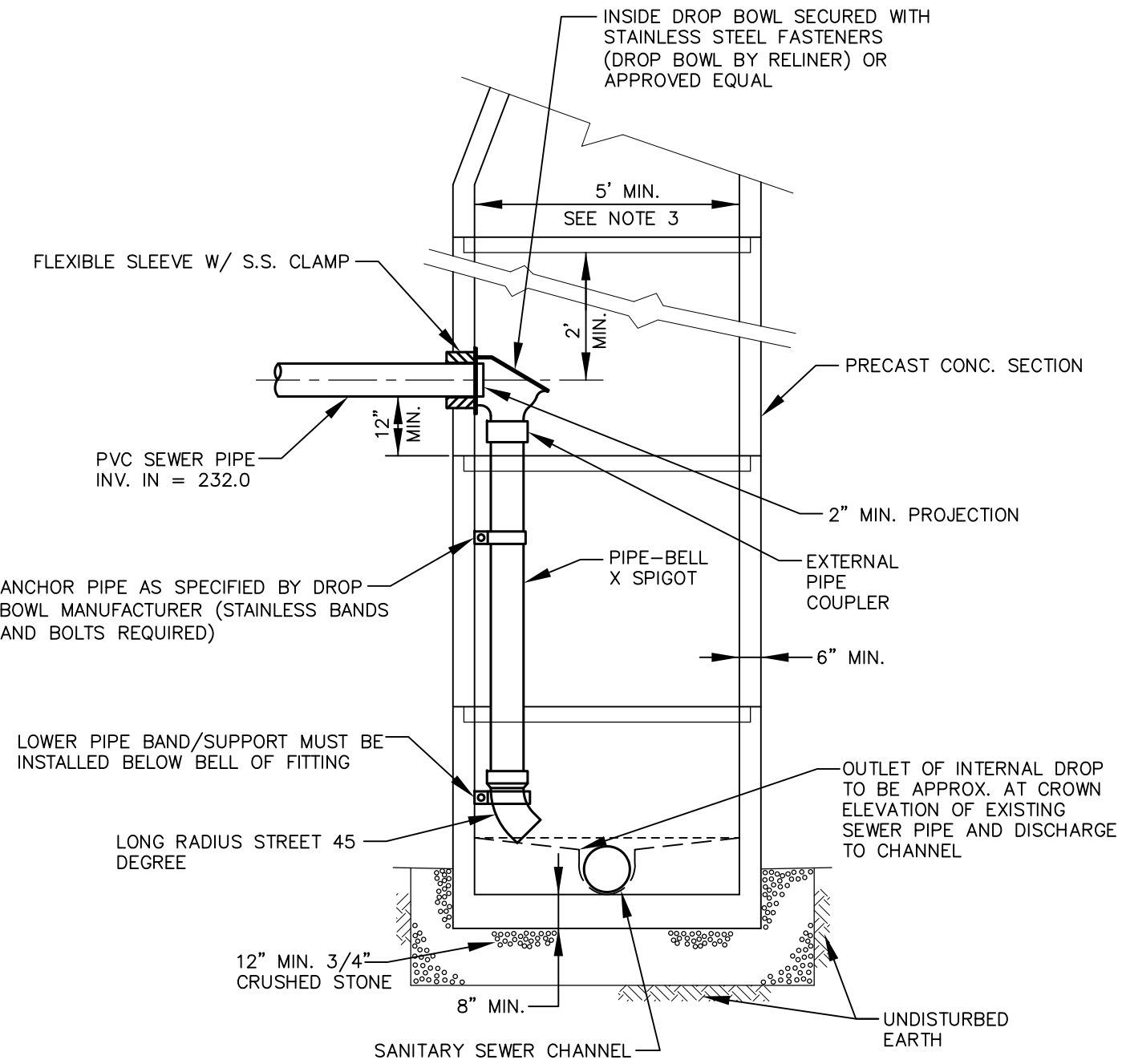


TRENCH WIDTH Ws OR Wu	Ws	Wu
DIAMETER OF PIPE D	UNSHEETED	SHEETED
12" AND SMALLER	3'-0"	4'-2"
15"	3'-2"	4'-4"
18"	3'-6"	4'-8"
21"	3'-10"	5'-0"
24"	4'-2"	5'-4"
27"	4'-6"	5'-8"
30"	4'-10"	6'-0"
36"	5'-6"	6'-8"
42"	6'-2"	7'-4"
48"	6'-10"	8'-0"

TRENCH WIDTH DATA



SEWER TRENCH SECTION
N. T. S.

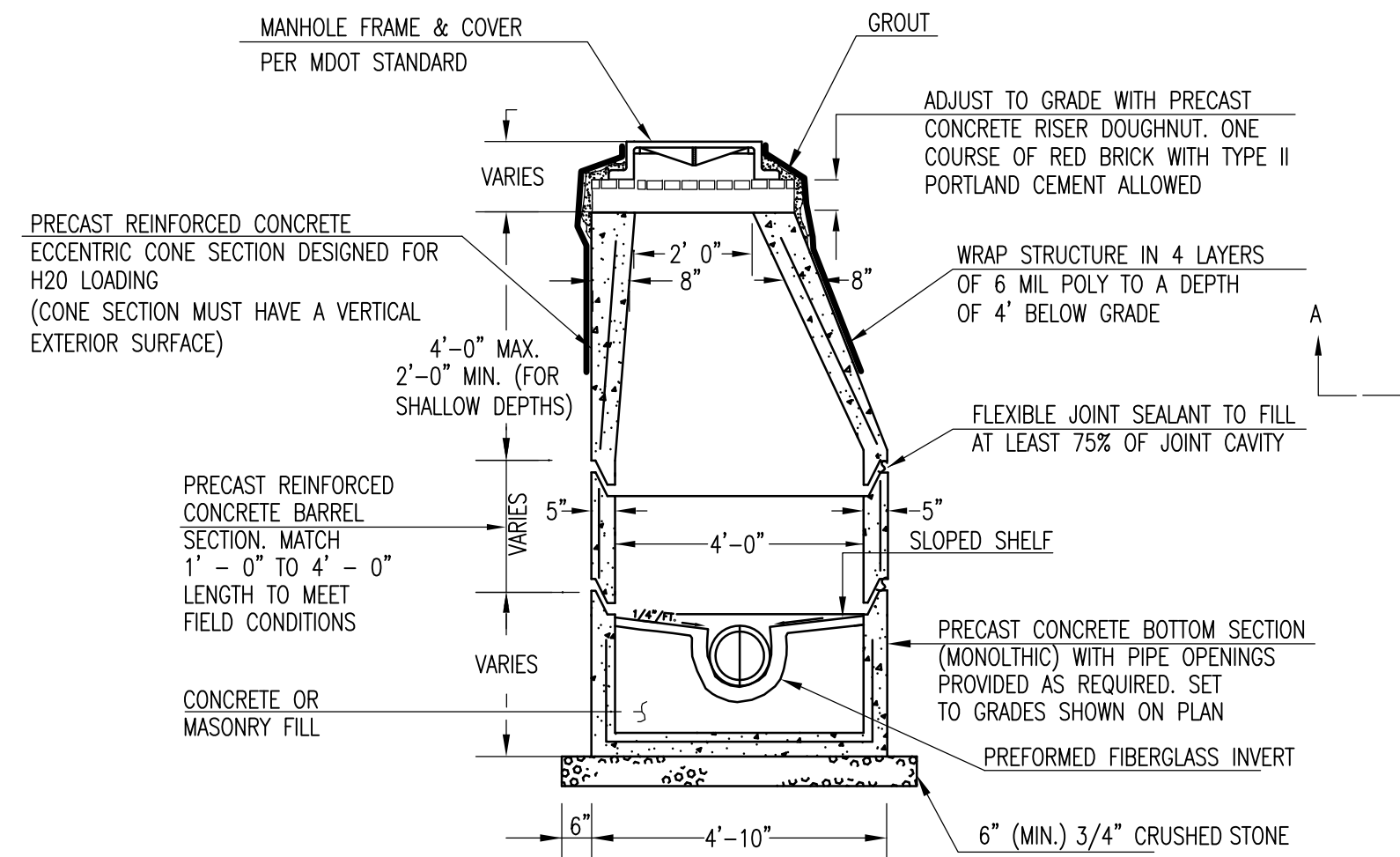


NOTES:

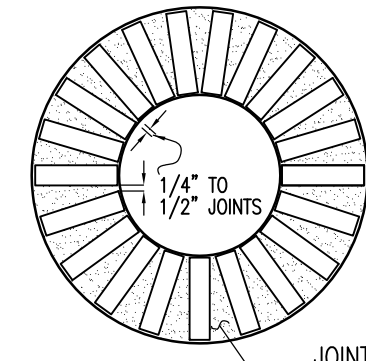
1. DROP MANHOLE INSIDE DIAMETER IS TO BE 5 FEET.
2. DIMENSIONS AND CONSTRUCTION OF DROP MANHOLE TO BE SIMILAR TO TYPICAL MANHOLE EXCEPT AS SHOWN.
3. SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION.
4. INTERNAL DROP REQUIRES PERMISSION FROM SEWER DEPARTMENT PRIOR TO USE.
5. CONE REPLACEMENT AND/OR REPOSITIONING MAY BE REQUIRED.
6. MINIMUM INSIDE DROP TO BE 36" (INVERT OF THE INCOMING PIPE TO THE INVERT OF THE OUTLET OF THE INTERNAL DROP).

DROP SEWER MANHOLE INSIDE CONNECTION

N.T.S.



SECTION A - A



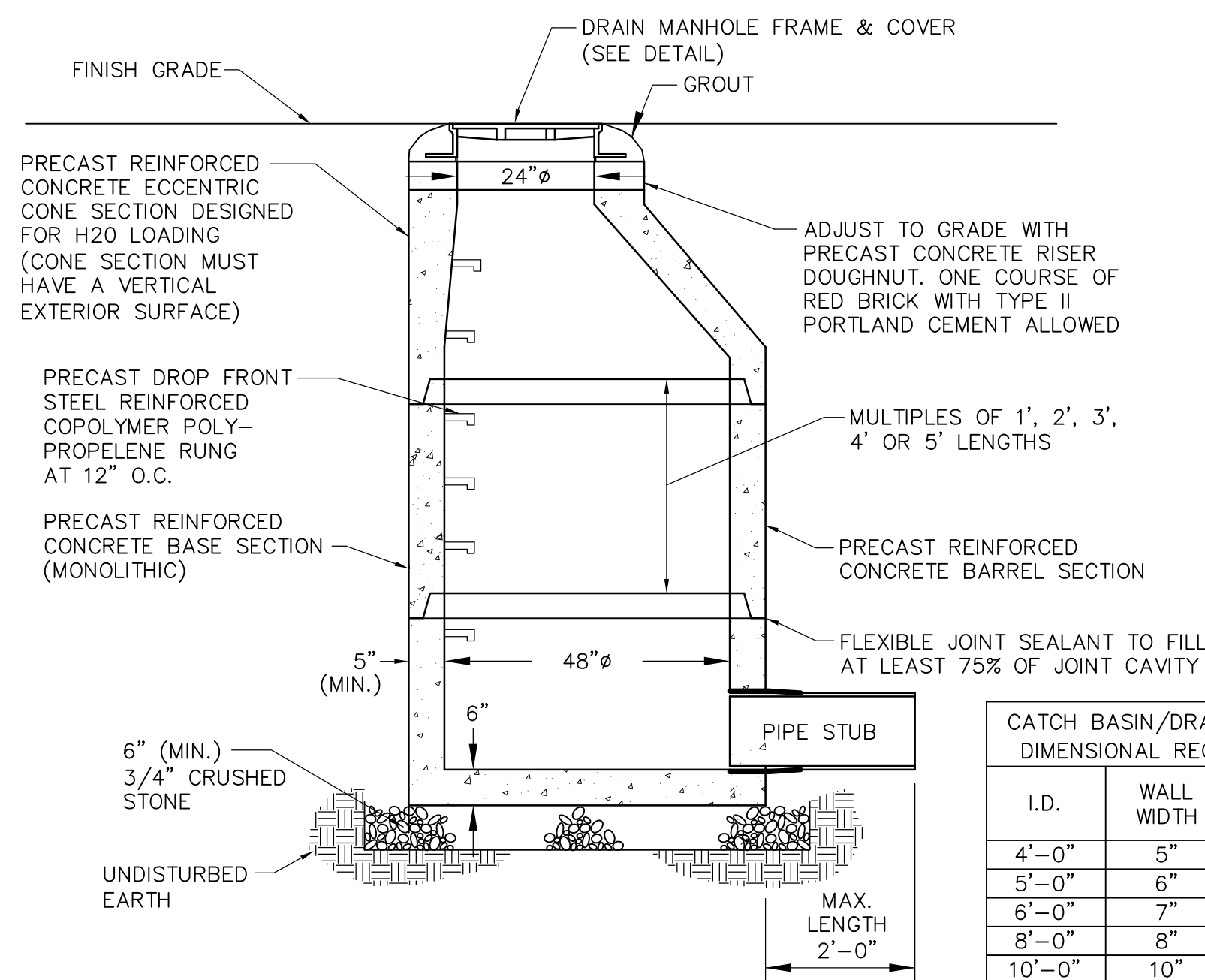
BRICK JOINT DETAIL

I.D.	WALL WIDTH	FLOOR THICKNESS
4'-0"	5"	6"
5'-0"	6"	6"
6'-0"	7"	6"
8'-0"	8"	8"
10'-0"	10"	9"

NOTE:

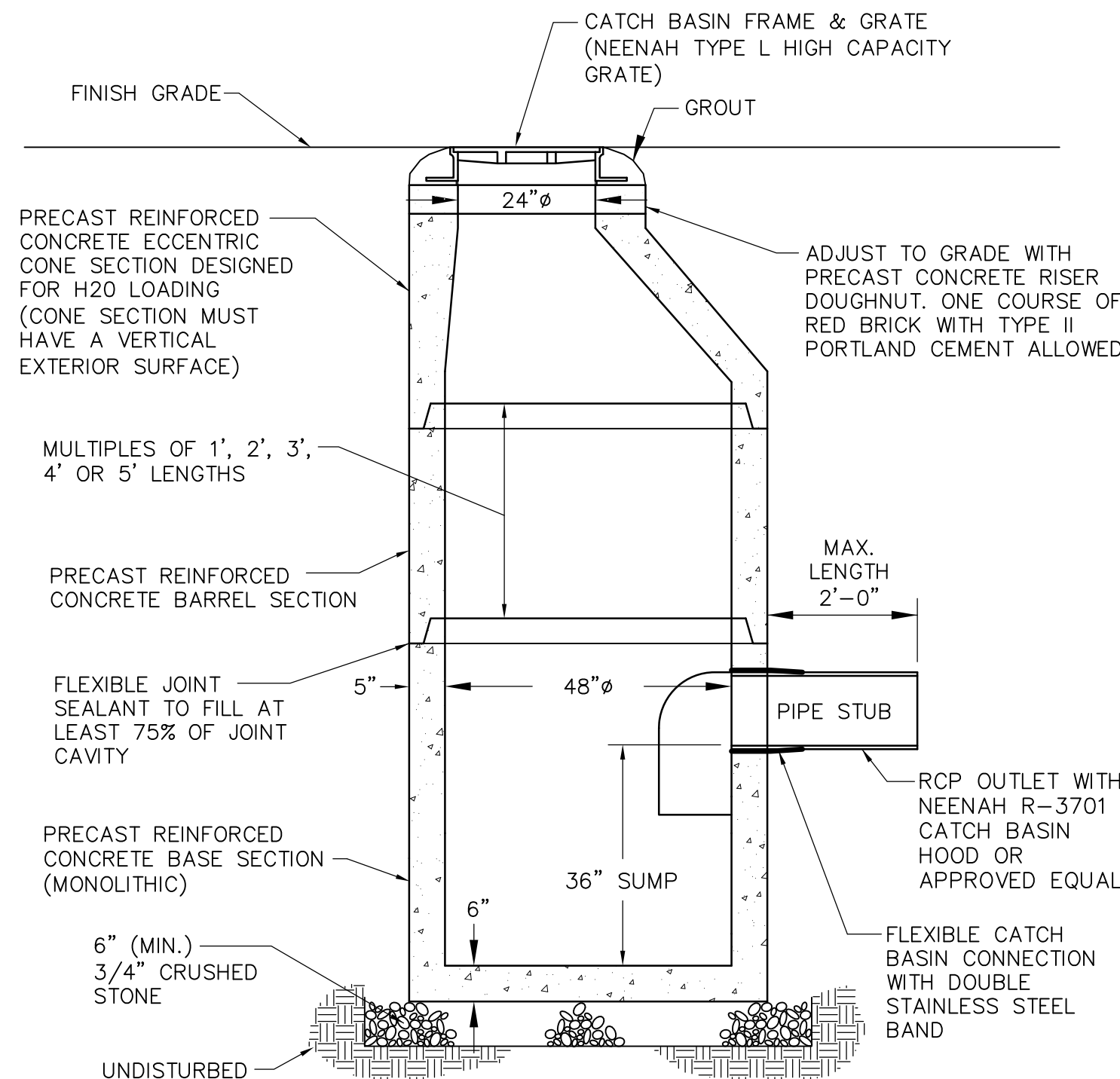
MANHOLE, FRAME AND COVER SHALL BE DESIGNED TO WITHSTAND HS-20 LOADING.

PRECAST CONCRETE SEWER MANHOLE TYPE "A"
NOT TO SCALE



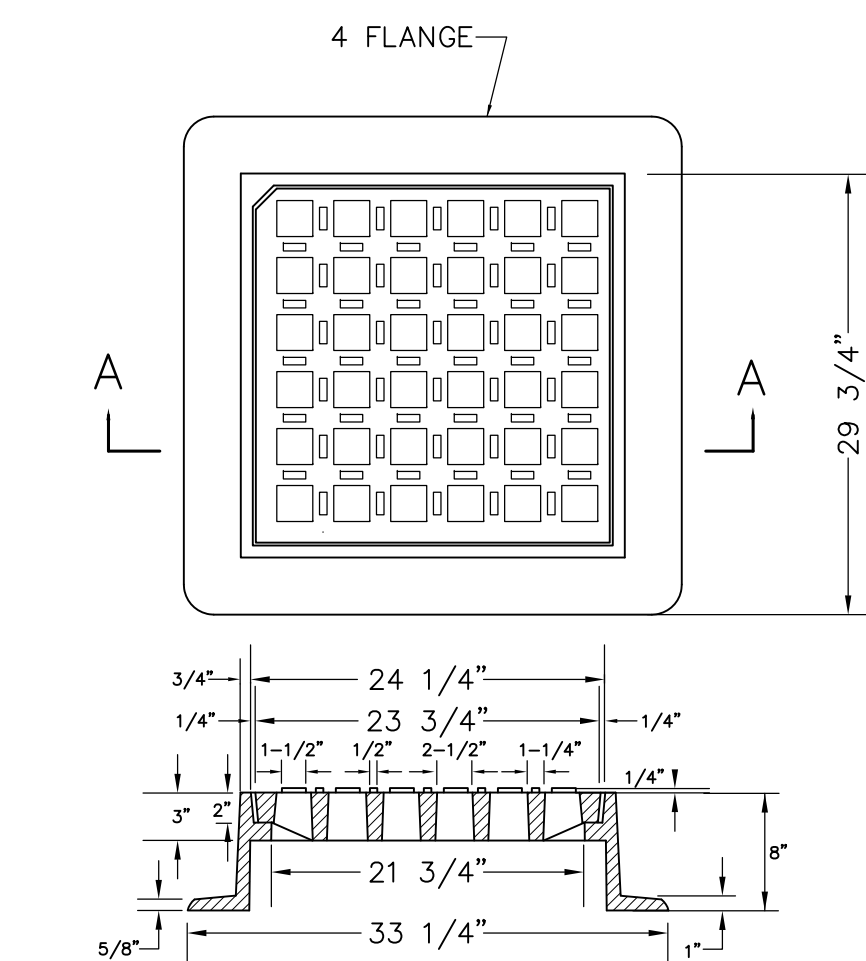
PER MDOT ITEM 604.15

PRECAST CONCRETE DRAIN MANHOLE
N.T.S.



PER MDOT ITEM 604.

PRECAST CONCRETE CATCH BASIN DETAIL
N.T.S.



CATCH BASIN FRAME AND GRATE
N.T.S.

THIS PLAN IS FOR REVIEW
PURPOSES ONLY AND IS NOT
INTENDED FOR CONSTRUCTION
OR RECORDING

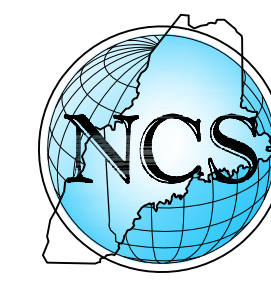
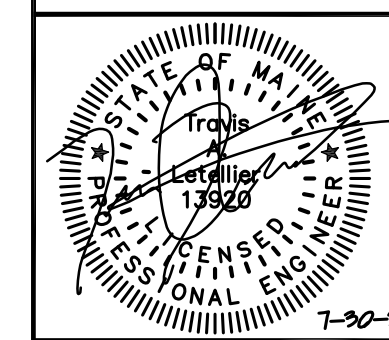
Revision	By	Date	Change
2	SMA	7/30/21	REVISED PER TOWN COMMENTS
1	SMA	4/30/21	SUBMITTED FOR MAJOR SUBDIVISION REVIEW

PROJECT NUMBER: 41875	ACAD FILE: 41875-DETAILS.DWG	SCALE: AS NOTED	APRIL 30, 2021
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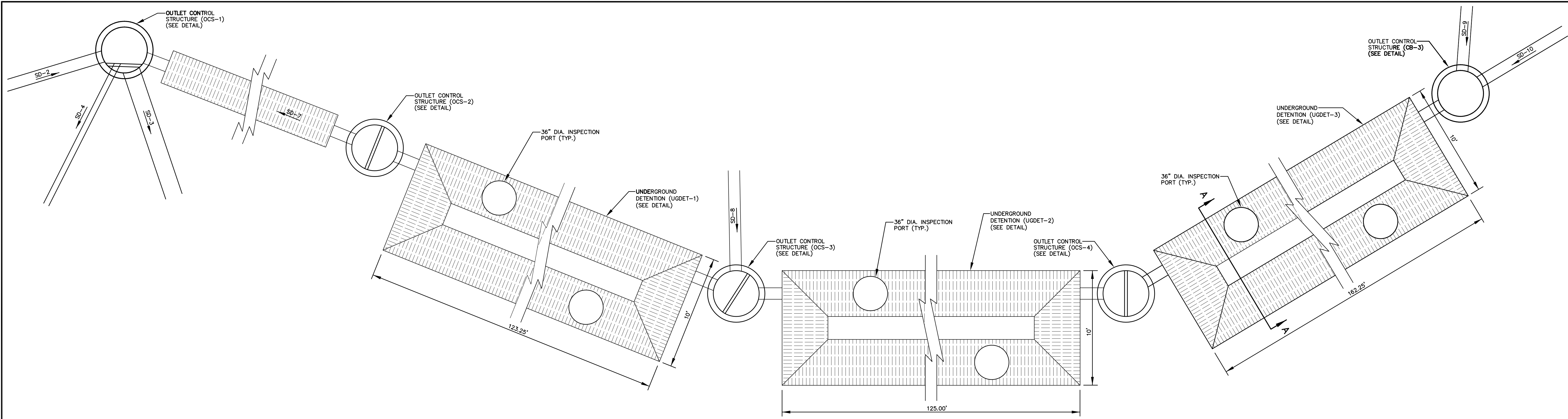
Drawing Name:
CONSTRUCTION DETAILS - SHEET 3

Project Name and Location:
PROPOSED SUBDIVISION - CARR WOODS
10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107

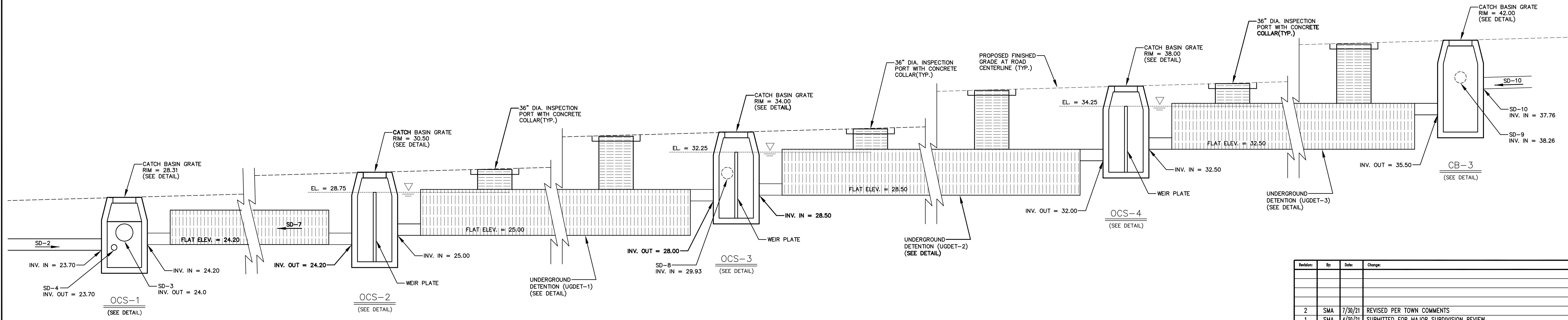
Prepared For:
ANDREW CARR, DEBRA CARR & ENA HANSON



SURVEYING • ENGINEERING • LAND PLANNING
Northeast Civil Solutions
INCORPORATED
381 PAYNE ROAD, SCARBOROUGH, MAINE 04074
tel 207.883.1000 fax 207.883.1001 e-mail / website info@northeastcivilsolutions.com www.northeastcivilsolutions.com



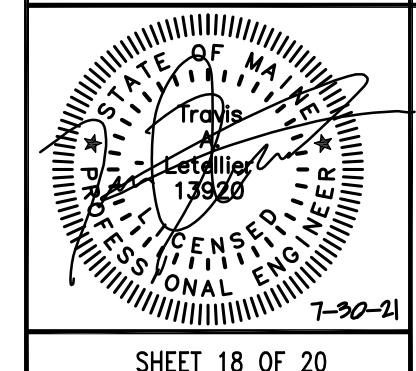
UNDERGROUND DETENTION (PLAN VIEW)
SCALE: 1" = 4'




UNDERGROUND DETENTION (SECTION VIEW)
SCALE: 1" = 4'

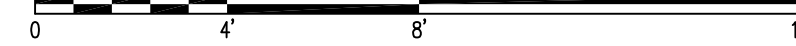
Revision	By	Date	Change
2	SMA	7/30/21	REVISED PER TOWN COMMENTS
1	SMA	4/30/21	SUBMITTED FOR MAJOR SUBDIVISION REVIEW

PROJECT NUMBER: 41875	ACAD FILE: 41875-UG DET.DWG	SCALE: 1" = 4'	DATE: APRIL 30, 2021
Drawing Name: UNDERGROUND DETENTION DETAILS - SHEET 1			
Project Name: PROPOSED SUBDIVISION - CARR WOODS 10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107			
Owner/Applicant: ANDREW CARR, DEBRA CARR & ENA HANSON			





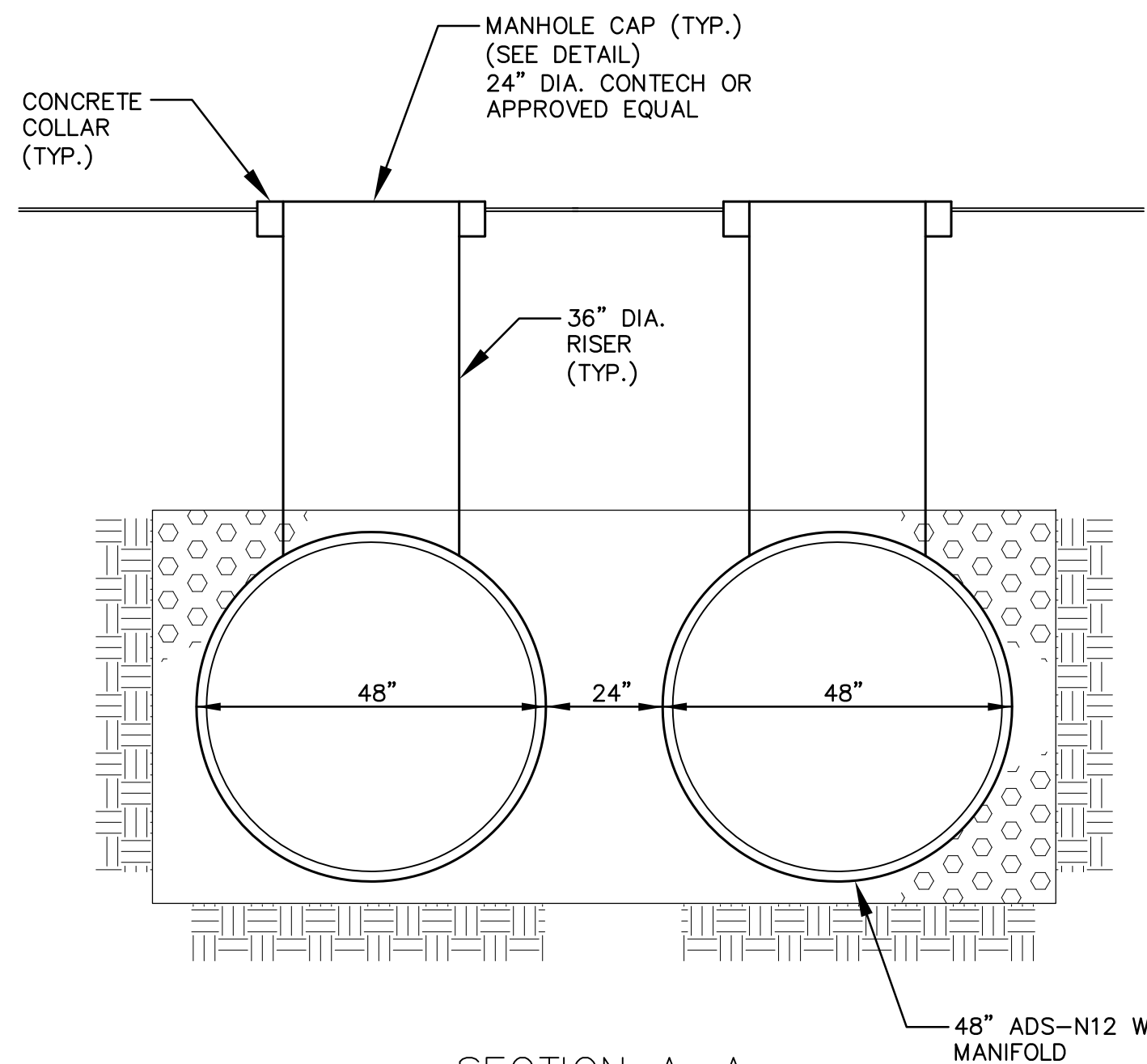
Northeast Civil Solutions
INCORPORATED
381 PAYNE ROAD, SCARBOROUGH, MAINE 04074
tel 207.883.1000 fax 207.883.1001 e-mail / website info@northeastcivilsolutions.com www.northeastcivilsolutions.com



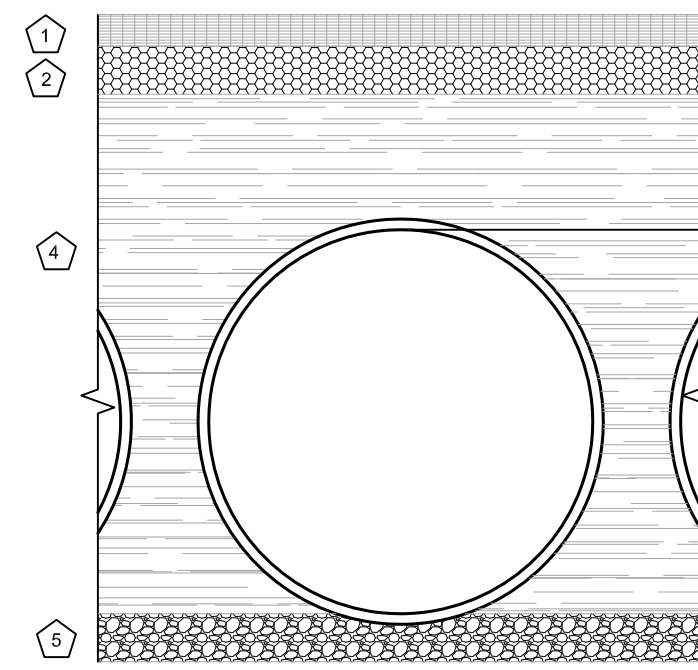
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E:\LAND PROJECT\11000\41875 CARR - SHORE RD - CAPE ELIZABETH\PLANSET\41875-UG DET.DWG



SECTION A-A
NOT TO SCALE



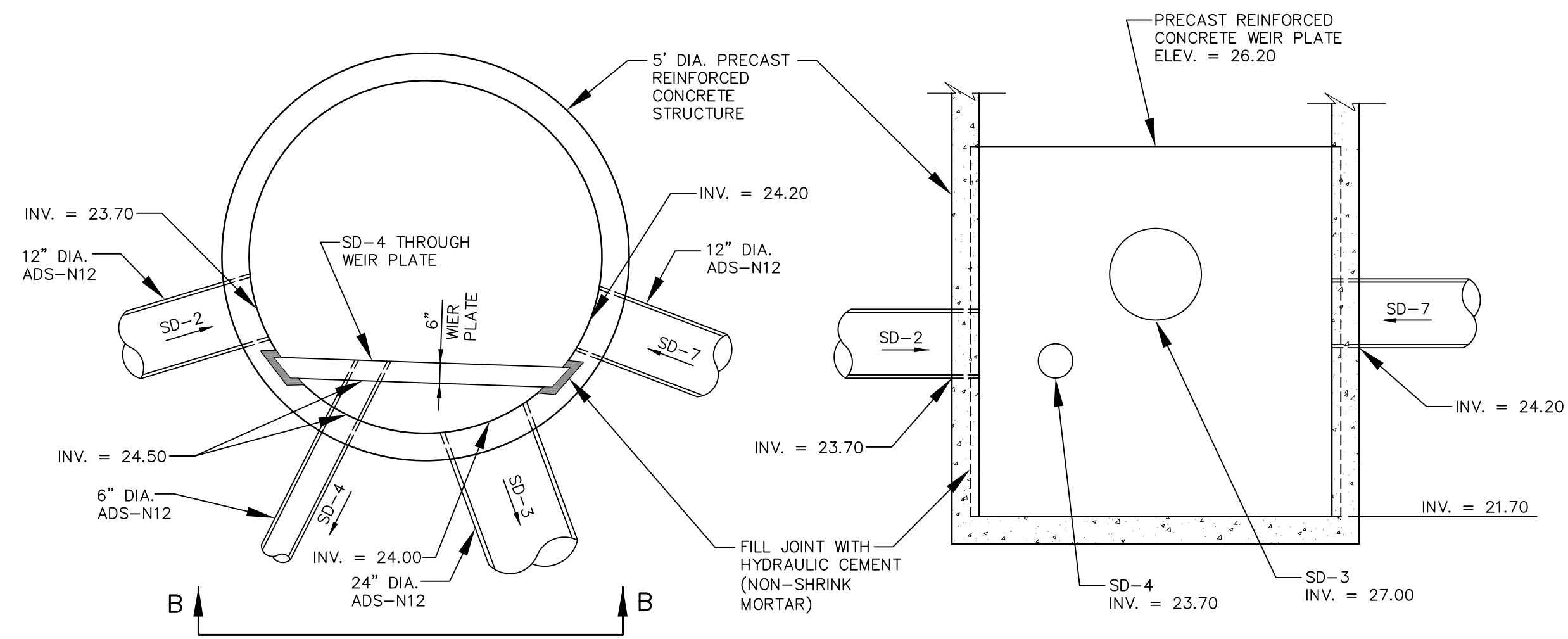
GRAVEL BEDDING MATERIAL DETAIL
NOT TO SCALE

FOUNDATION/BEDDING PREPARATION
PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, 4" - 6" OF A WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

BACKFILL

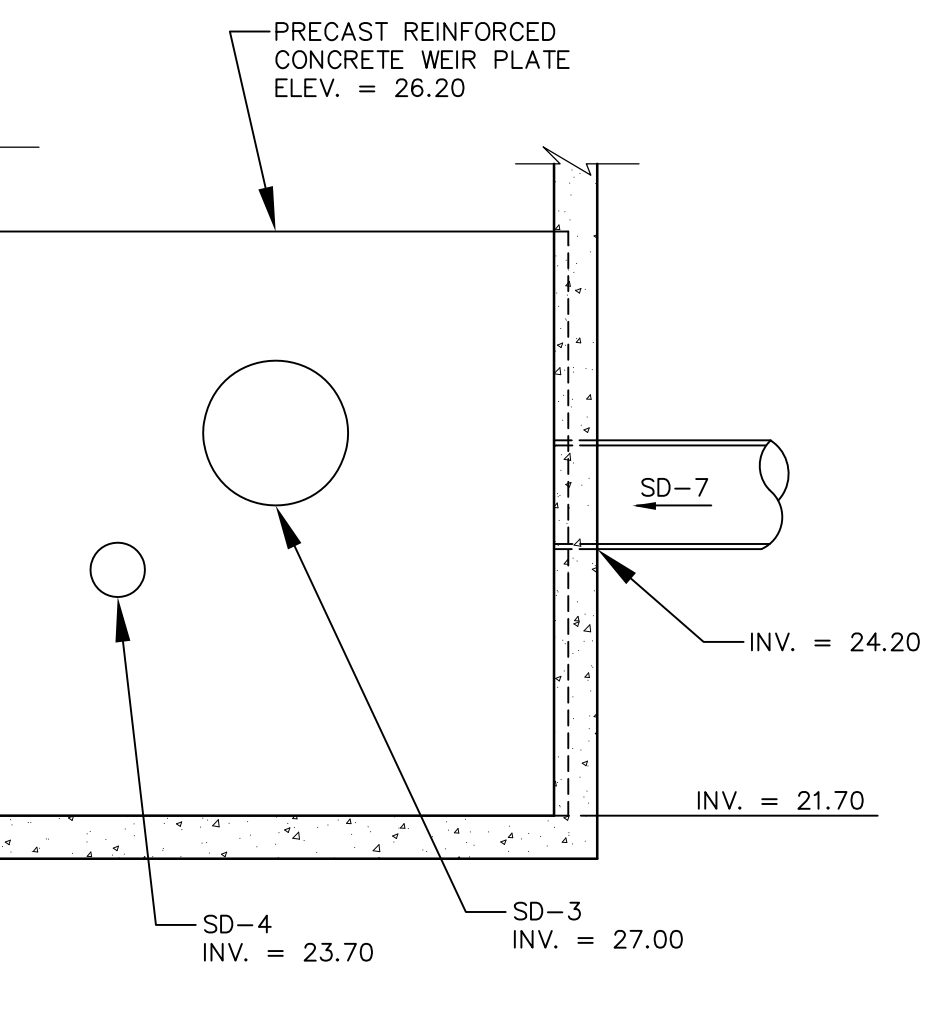
THE BACKFILL SHALL BE AN A1, A2 OR A3 GRANULAR FILL PER AASHTO M145, OR A WELL-GRADED GRANULAR FILL AS APPROVED BY THE SITE ENGINEER (SEE INSTALLATION GUIDELINES). THE MATERIAL SHALL BE PLACED IN 6" LOOSE LIFTS AND COMPACTED TO 90% AASHTO T99 STANDARD PROCTOR DENSITY. WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (16") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.

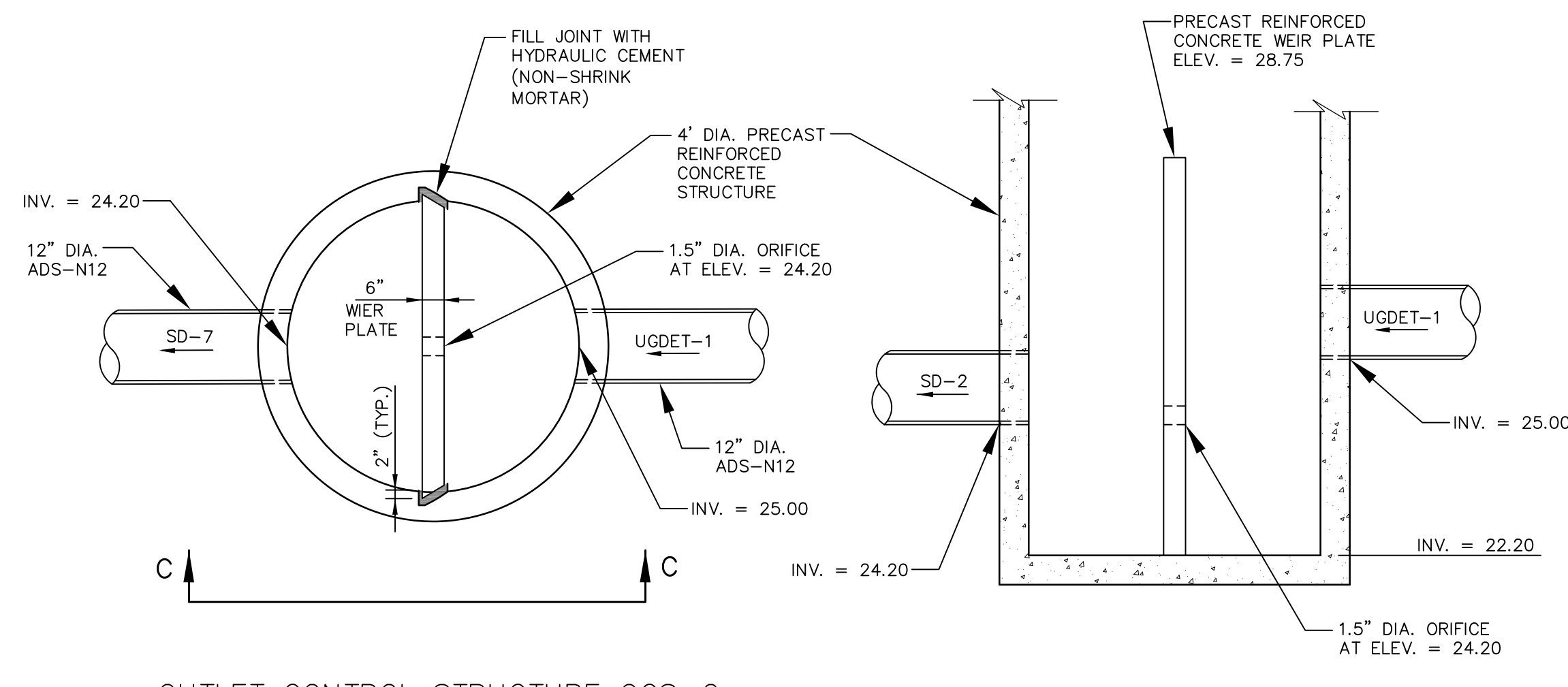


OUTLET CONTROL STRUCTURE OCS-1
NOT TO SCALE

NOTE: STRUCTURE TO BE DESIGNED TO WITHSTAND HS-20 LOADING

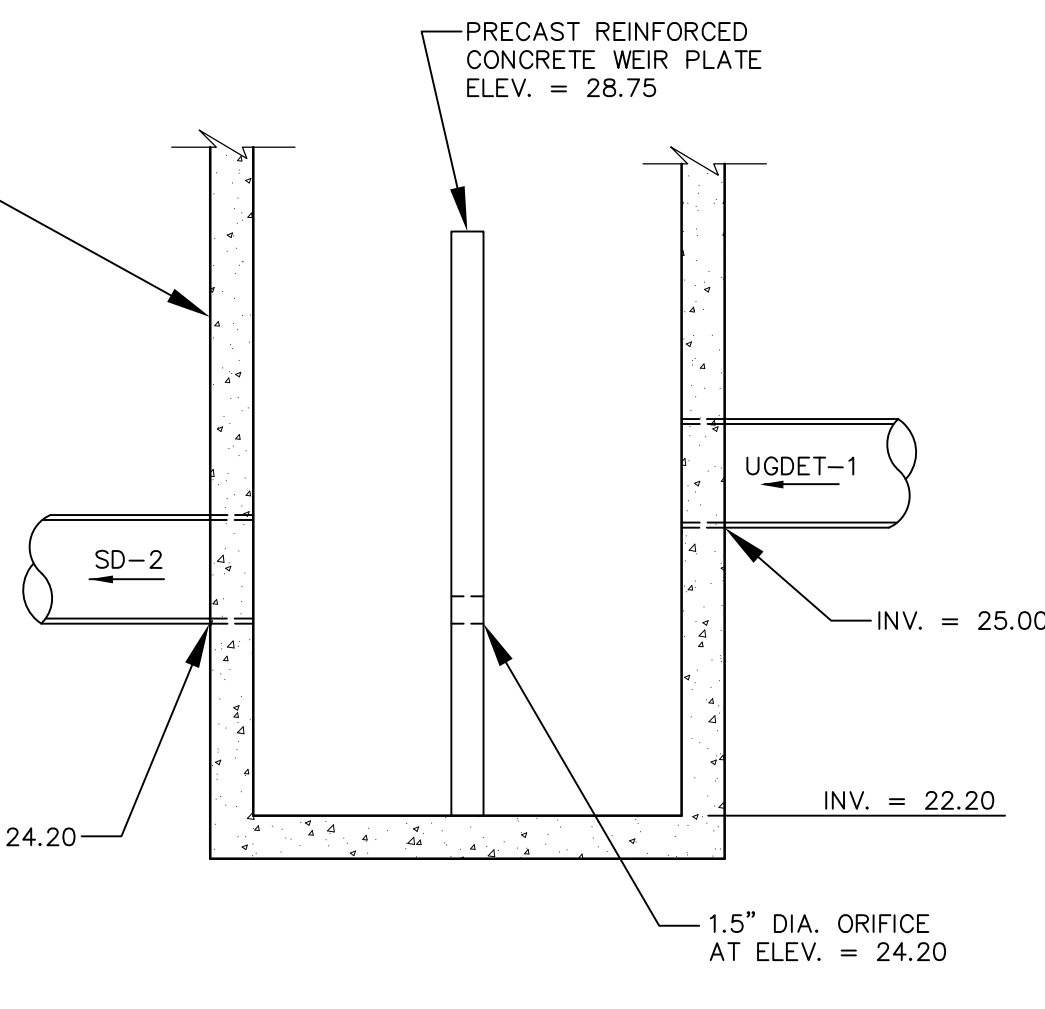


SECTION B-B (WEIR PLATE)
NOT TO SCALE

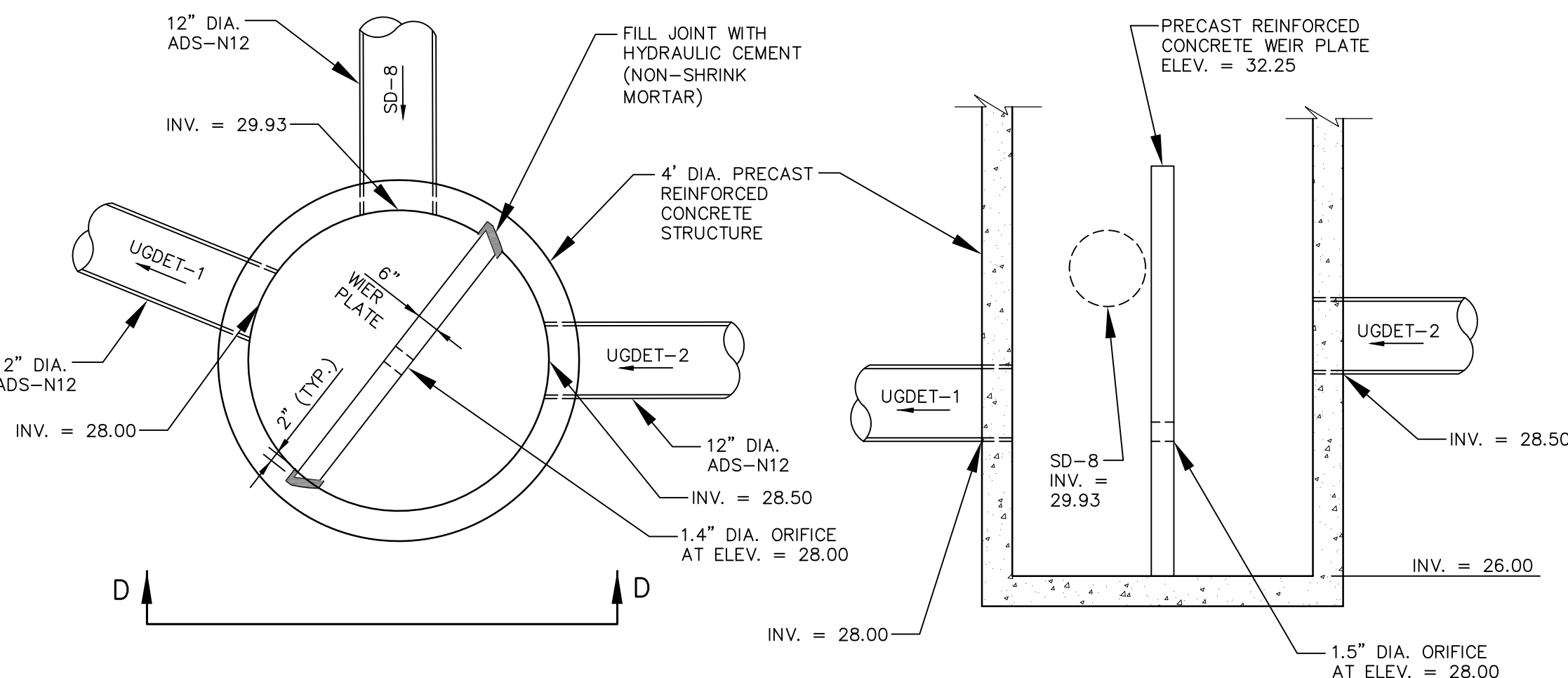


OUTLET CONTROL STRUCTURE OCS-2
NOT TO SCALE

NOTE: STRUCTURE TO BE DESIGNED TO WITHSTAND HS-20 LOADING

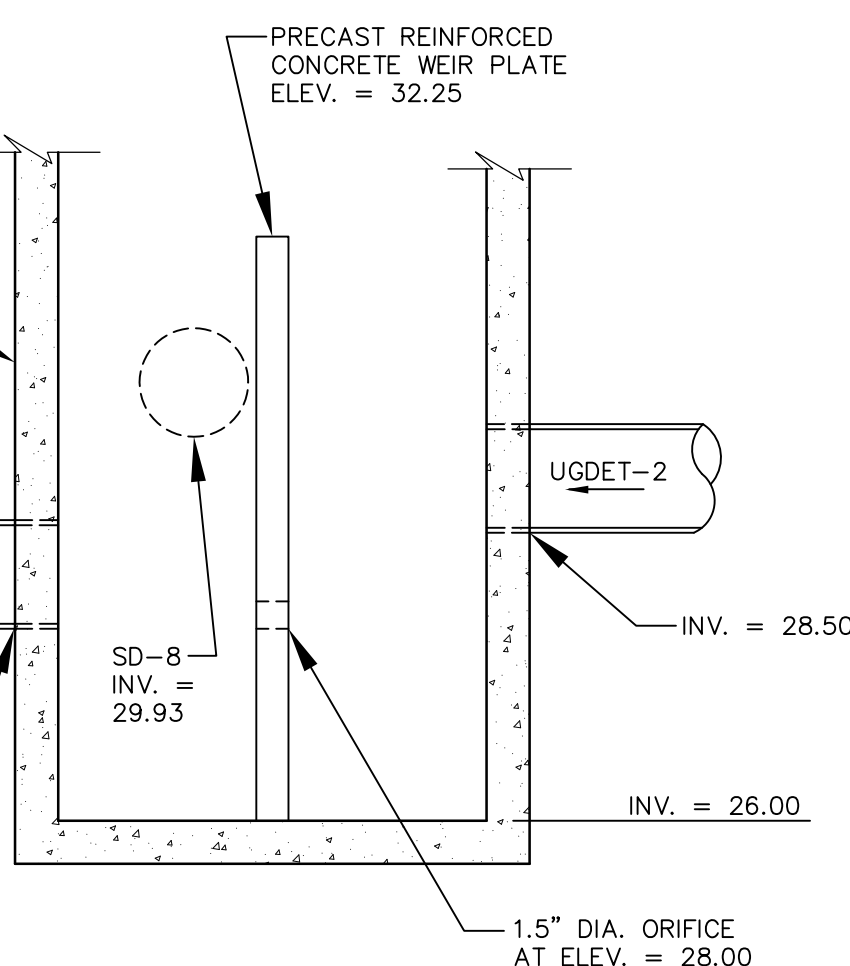


SECTION C-C (WEIR PLATE)
NOT TO SCALE

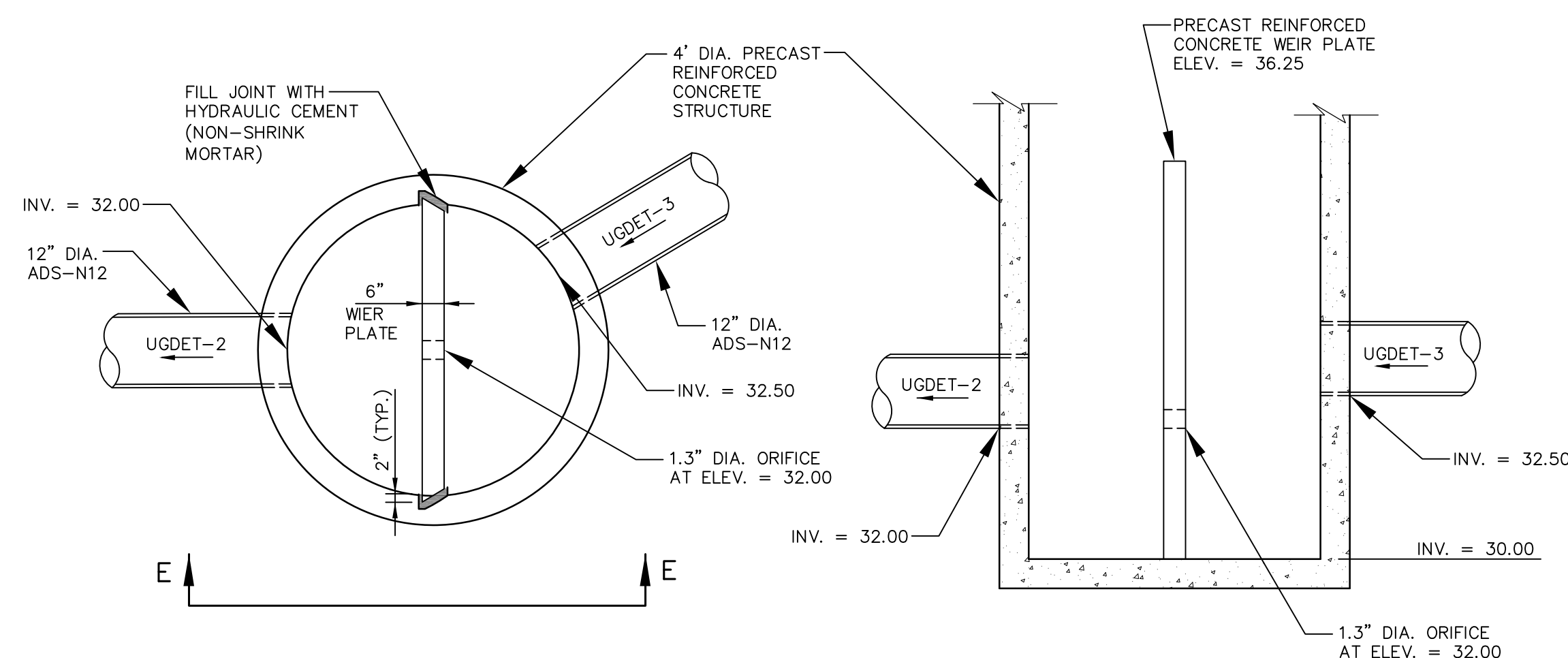


OUTLET CONTROL STRUCTURE OCS-3
NOT TO SCALE

NOTE: STRUCTURE TO BE DESIGNED TO WITHSTAND HS-20 LOADING

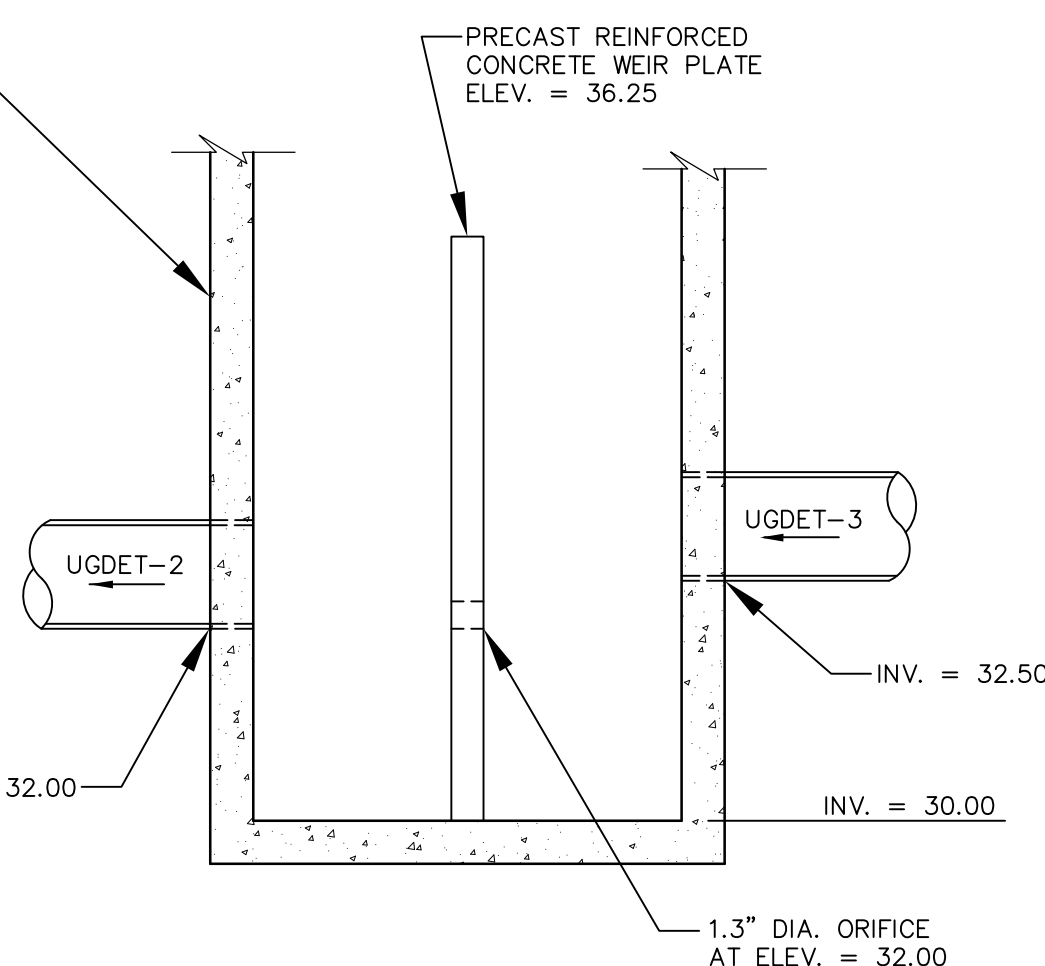


SECTION D-D (WEIR PLATE)
NOT TO SCALE

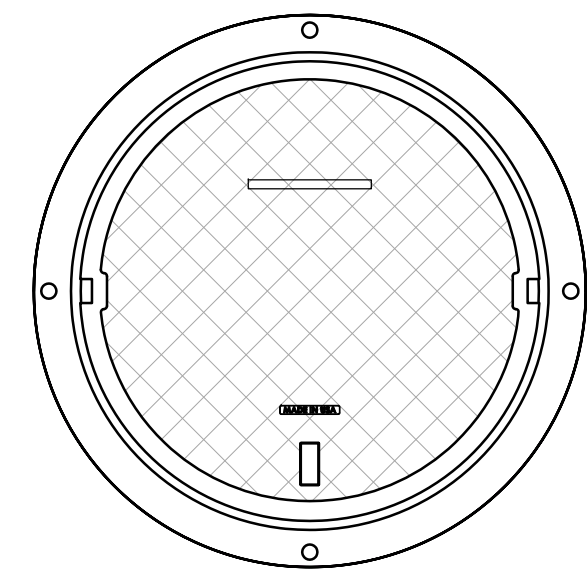


OUTLET CONTROL STRUCTURE OCS-4
NOT TO SCALE

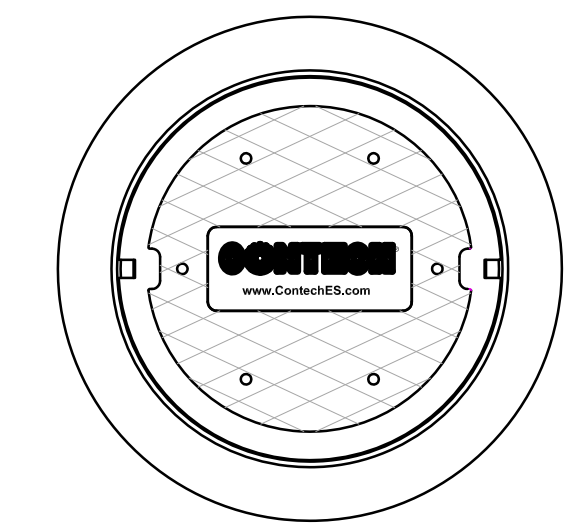
NOTE: STRUCTURE TO BE DESIGNED TO WITHSTAND HS-20 LOADING



SECTION E-E (WEIR PLATE)
NOT TO SCALE



HATCH
(Ø36" CAST INTO SLAB)
N.T.S.

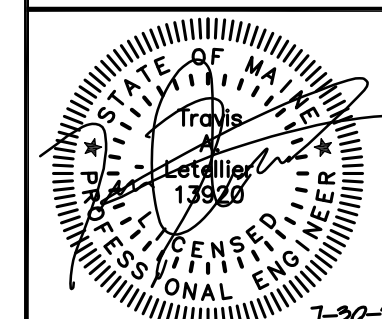


FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

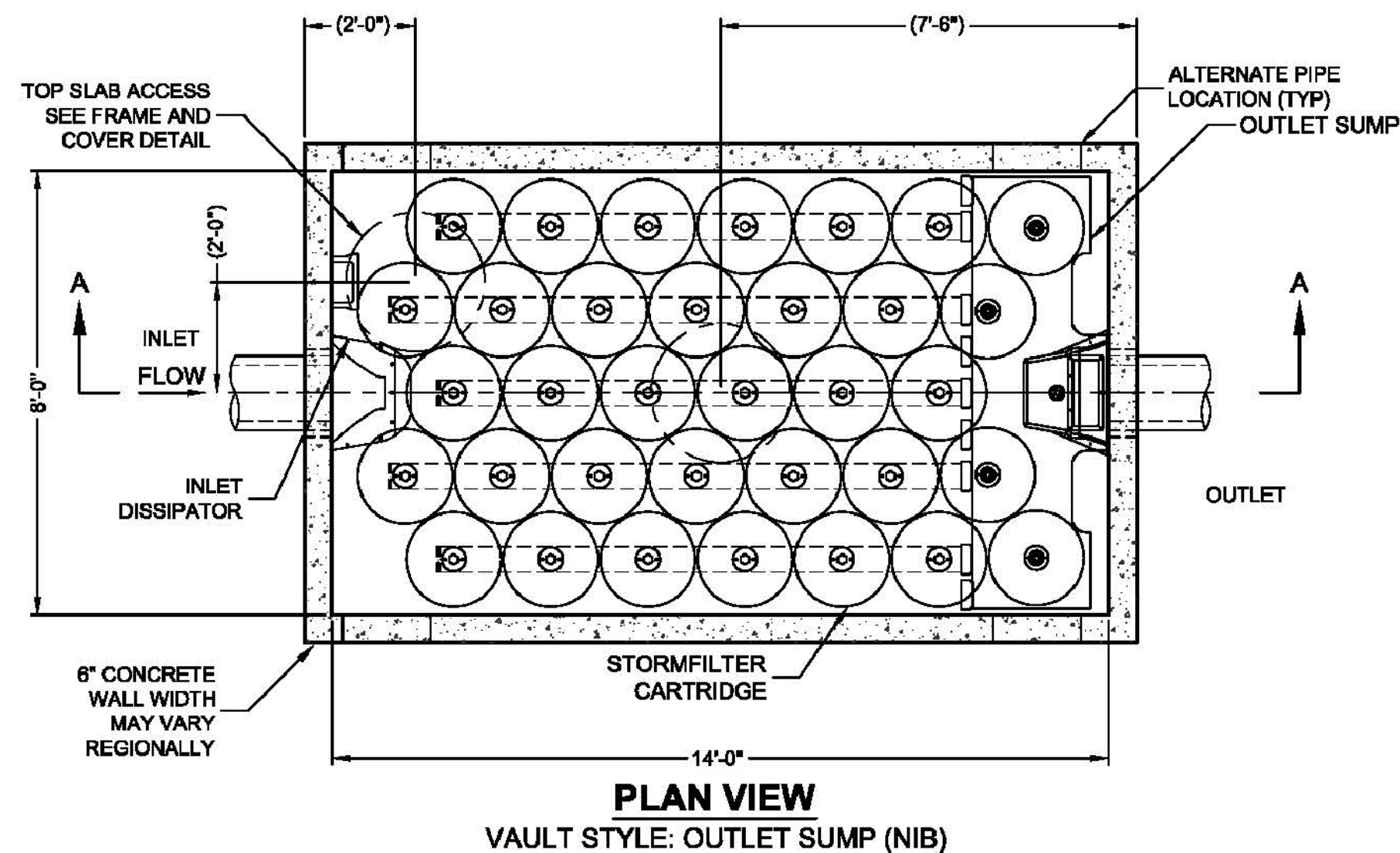
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Revision	By	Date	Change
2	SMA	7/30/21	REVISED PER TOWN COMMENTS
1	SMA	4/30/21	SUBMITTED FOR MAJOR SUBDIVISION REVIEW

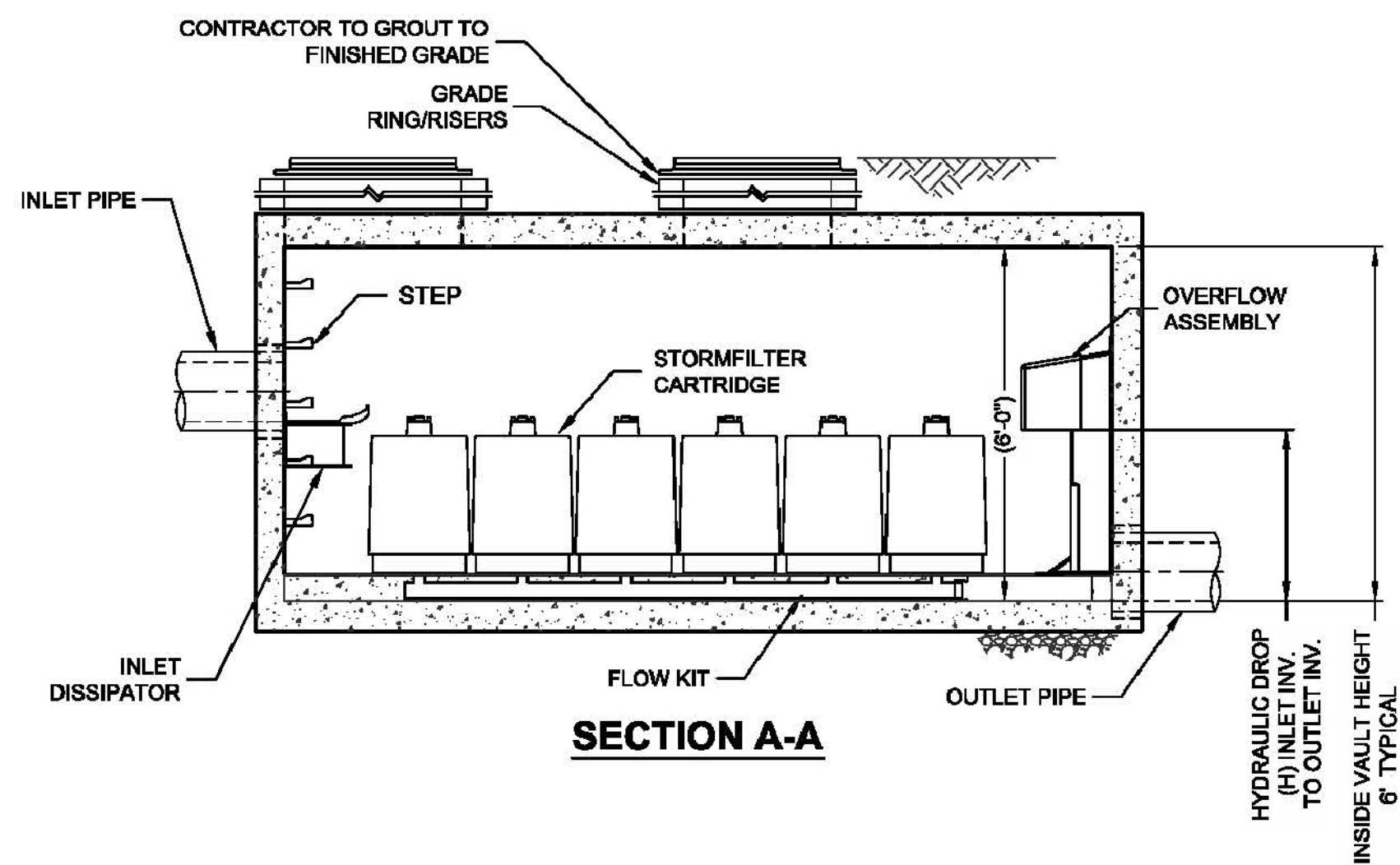
PROJECT NUMBER: 41875	ACAD FILE: 41875-UG DET.DWG	SCALE: AS NOTED	DATE: APRIL 30, 2021
Drawing Name: UNDERGROUND DETENTION DETAILS - SHEET 2			
Project Name: PROPOSED SUBDIVISION - CARR WOODS 10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107			
Owner/Applicant: ANDREW CARR, DEBRA CARR & ENA HANSON			



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PLAN VIEW
VAULT STYLE: OUTLET SUMP (NIB)



SECTION A-A



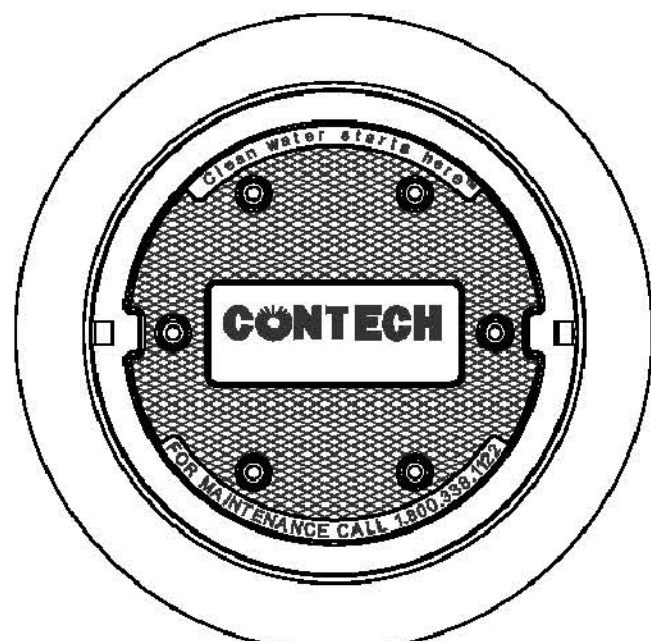
STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD VAULT STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (34). VAULT STYLE OPTIONS INCLUDE INLET BAY (27), INLET BAY/OUTLET BAY (22), OUTLET BAY (29), INLET BAY/FULL HEIGHT BAFFLE (28), FULL HEIGHT BAFFLE WALL (25). STORMFILTER 8X14 PEAK HYDRAULIC CAPACITY IS 1.8 CFS. IF THE SITE CONDITIONS EXCEED 1.8 CFS AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION

CARTRIDGE HEIGHT	LOW DROP		
RECOMMENDED HYDRAULIC DROP (H)	1.8"		
SPECIFIC FLOW RATE (gpm/sf)	2 gpm/sf	1.67* gpm/sf	1 gpm/sf
CARTRIDGE FLOW RATE (gpm)	10	8.35	5

* 1.67 gpm/sf SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID				*
WATER QUALITY FLOW RATE (cfs)				*
PEAK FLOW RATE (cfs)				*
RETURN PERIOD OF PEAK FLOW (yrs)				*
CARTRIDGE HEIGHT (27", 18", LOW DROP(LD))				*
NUMBER OF CARTRIDGES REQUIRED				*
CARTRIDGE FLOW RATE				*
MEDIA TYPE (PERLITE, ZPG, PSORB)				*
PIPE DATA:		I.E.	MATERIAL	DIAMETER
INLET PIPE #1		*	*	*
INLET PIPE #2		*	*	*
OUTLET PIPE		*	*	*
UPSTREAM RIM ELEVATION				*
DOWNSTREAM RIM ELEVATION				*
ANTI-FLOTATION BALLAST			WIDTH	HEIGHT
			*	*
NOTES/SPECIAL REQUIREMENTS:				
* PER ENGINEER OF RECORD				

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 8' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M308 AND BE CAST WITH THE CONTECH LOGO.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).
- STORMFILTER STRUCTURE SHALL BE PRECAST CONFORMING TO ASTM C-857 AND AASHTO LOAD FACTOR DESIGN METHOD.

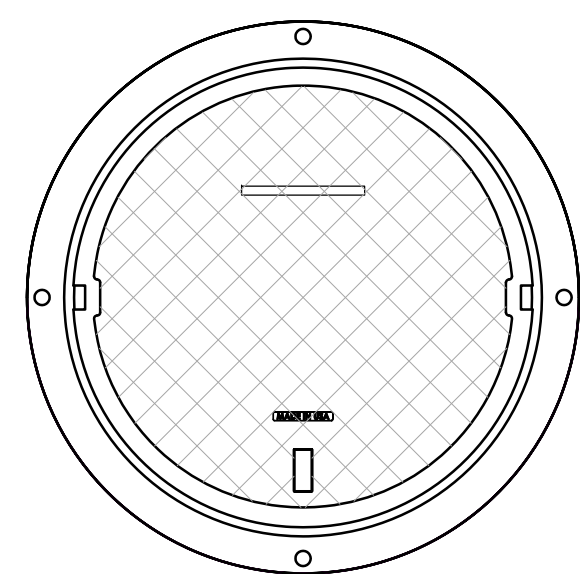
INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER VAULT (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL VAULT SECTIONS AND ASSEMBLE VAULT.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

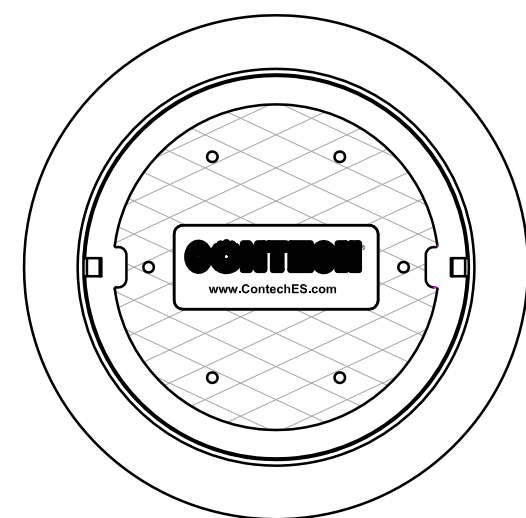


www.contechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

SF0814
STORMFILTER
STANDARD DETAIL



HATCH
(Ø36" CAST INTO SLAB)
N.T.S.

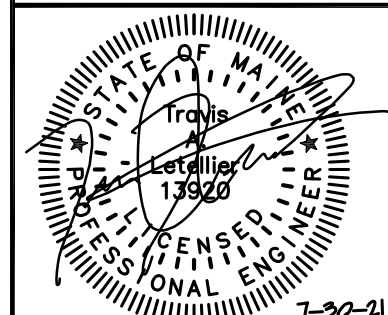


FRAME AND COVER
(DIAMETER VARIES)
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PROJECT NUMBER: 41875	ACAD FILE: 41875-UG DET.DWG	SCALE: AS NOTED	DATE: APRIL 30, 2021
Drawing Name: UNDERGROUND DETENTION DETAILS - SHEET 2			
Project Name: PROPOSED SUBDIVISION - CARR WOODS 10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107			
Owner/Applicant: ANDREW CARR, DEBRA CARR & ENA HANSON			



SHEET 20 OF 20



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LEGEND

SP1

LINK

S1

SUBCATCHMENT

P1

POND

PRE-DEVELOPMENT DRAINAGE SUBCATCHMENT

TIME OF CONCENTRATION PATH

SOILS BOUNDARY

SOILS LEGEND

SYMBOL	SOIL TYPE	HSG
DeB	DEERFIELD LOAMY FINE SAND, 0-3% SLOPES	A
HsC	LYMAN-ABRAM COMPLEX, 0-8% SLOPES, VERY ROCKY	D
HsC	LYMAN-ABRAM COMPLEX, 8-15% SLOPES, VERY ROCKY	D
Wa	WALPOLE FINE SANDY LOAM	A/D

THE SOURCE OF THE SOIL TYPES AND BOUNDARIES IS THE NATIONAL COOPERATIVE SOIL SURVEY (NCSS).

NOTES

Tc PATH TABLE

SUBCAT	Tc PATH	FLOW SHEET	LENGTH	SLOPE (FT/FT)
S1	A-B	SHALLOW CONC	100'	0.0400
	B-C	SHALLOW CONC	723'	0.0200
	C-D	SHALLOW CONC	1332'	0.0188
	D-E	PIPE CHANNEL	306'	0.0050
S2	A-B	SHALLOW CONC	100'	0.1000
	B-C	SHALLOW CONC	352'	0.0620

NOTE:
OFF-SITE CONTOURS TAKEN FROM TOWN GIS DATA.

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PROJECT NUMBER: 41875	ACAD FILE: 41875-DRAINAGE.DWG	SCALE: 1" = 80'	DATE: APRIL 30, 2021
Drawing Name: PRE-DEVELOPMENT DRAINAGE AREA PLAN			
Project Name: PROPOSED SUBDIVISION - CARR WOODS 10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107			
Owner/Applicant: ANDREW CARR, DEBRA CARR & ENA HANSON			

SEAL

Professional Engineer

7-30-21

NCS

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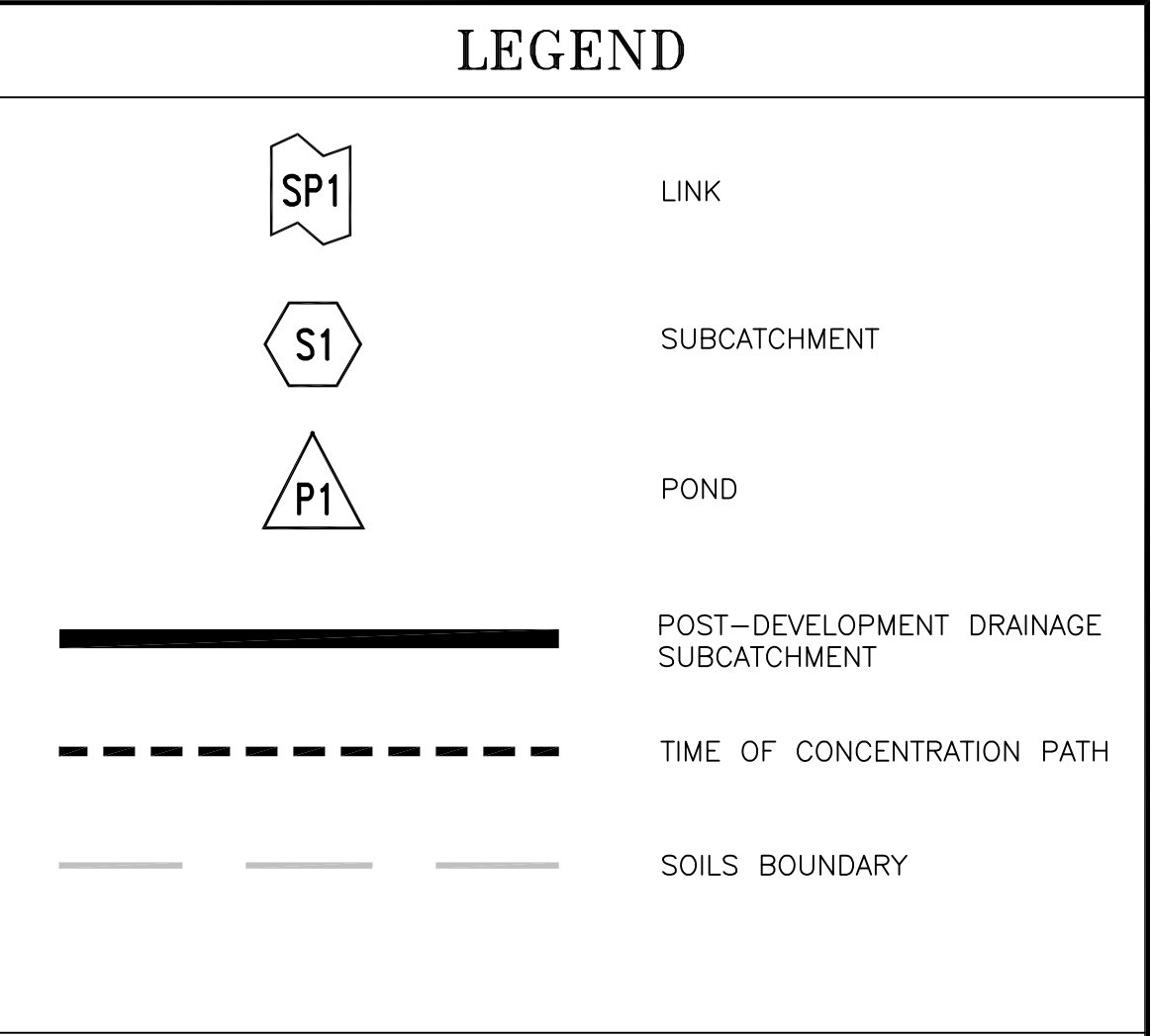
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E:\LAND PROJECT\1000\41875 CARR - SHORE RD - CAPE ELIZABETH\PLANSET\41875-DRAINAGE.DWG



SOILS LEGEND		
SYMBOL	SOIL TYPE	HSG
DeB	DEERFIELD LOAMY FINE SAND, 0–3% SLOPES	A
HsC	LYMAN–ABRAM COMPLEX, 0–8% SLOPES, VERY ROCKY	D
HsC	LYMAN–ABRAM COMPLEX, 8–15% SLOPES, VERY ROCKY	D
Wa	WALPOLE FINE SANDY LOAM	A/D

THE SOURCE OF THE SOIL TYPES AND BOUNDARIES IS THE NATIONAL COOPERATIVE SOIL SURVEY (NCSS).

NOTES

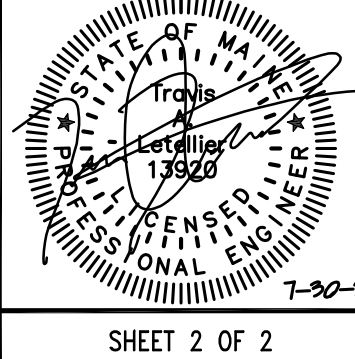
SUBCAT	Tc PATH	FLOW	LENGTH	SLOPE (FT/FT)
S10	A-B	SHEET	100'	0.0400
	B-C	SHALLOW CONC	30'	0.5000
	C-D	SHALLOW CONC	810'	0.0250
	D-E	PIPE CHANNEL	93'	0.0100
	E-F	SHALLOW CONC	930'	0.0200
	F-G	PIPE CHANNEL	56'	0.0100
	G-H	SHALLOW CONC	248'	0.0100
	H-I	PIPE CHANNEL	316'	0.0040
S11		DIRECT ENTRY		
S12		DIRECT ENTRY		
S13		DIRECT ENTRY		
S10	A-B	SHEET	100'	0.0400
	B-C	SHALLOW CONC	352'	0.0620

NOTE:
OFF-SITE CONTOURS TAKEN FROM TOWN GIS DATA.

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Drawing Name: POST-DEVELOPMENT DRAINAGE AREA PLAN			
Project Name: PROPOSED SUBDIVISION - CARR WOODS 10 DEEP BROOK ROAD, CAPE ELIZABETH, MAINE 04107			
Owner/Applicant: ANDREW CARR, DEBRA CARR & ENA HANSON			



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0 80' 160' 320'