

LOCATION MAP
SCALE: N.T.S.

GENERAL NOTES

1. TOTAL SITE AREA: 25.88 AC
2. ZONING DISTRICT: RESIDENTIAL - A (RA) AND RESOURCE PROTECTION 2
3. RECORD OWNER: THE SPRAGUE CORPORATION
1 RAM ISLAND FARM ROAD
CAPE ELIZABETH, ME. 04107
4. TAX MAP AND LOT NUMBER: R09, LOT 5B
5. BOUNDARY AND EXISTING CONDITIONS: BOUNDARY TAKEN FROM STANDARD BOUNDARY AND SUBDIVISION PLAT - LOT 5 PREPARED BY BH2M ENGINEERS LLC, DATE 6/1/99. TOPOGRAPHY PROVIDED BY SPURWINK SURVEYING, AUGUST 2022 - BENCHMARK: PAINT SPOT ON CONCRETE GATE POST ELEV = 75.15.
6. THE PARCEL SHOWN IS LOCATED IN THE RESIDENTIAL A (R-A) ZONE WITH THE FOLLOWING CURRENT DIMENSIONAL REQUIREMENTS:
- | REQUIRED | PROPOSED / EXISTING |
|--------------------|---------------------|
| LOT AREA: 80.00 SF | 25.82 AC |
| FRONTAGE: 125 FT | 882.44 FT |
| SETBACKS: | |
| FRONT: 40 FT | 40 FT |
| SIDE: 30 FT | 30 FT |
| REAR: 30 FT | 30 FT |
7. EROSION CONTROL MEASURES SHALL BE MANAGED IN ACCORDANCE WITH "ENVIRONMENTAL QUALITY HANDBOOK EROSION AND SEDIMENTATION CONTROL" PUBLISHED BY THE MAINE SOIL AND WATER CONSERVATION COMMISSION, DATED MARCH 1986 OR SUBSEQUENT REVISIONS THEREOF.

<u>REQUIRED</u>		<u>PROPOSED / EXISTING</u>
LOT AREA:	80,000 SF	25.82 AC
FRONTAGE:	125 FT	882.44 FT
SETBACKS:		
FRONT:	40 FT	40 FT
SIDE:	30 FT	30 FT
REAR:	30 FT	30 FT

LEGEND

EXISTING	
	PROPERTY LINE/R.O.W.
	ABUTTER LINE/R.O.W.
	MONUMENT
	IRON PIPE/ROD
<i>C/L</i>	CURVE/LINE NO.
	BUILDING
	EDGE PAVEMENT
	EDGE GRAVEL
	TREELINE
	CONTOURS
	OVERHEAD UTILITY
	UTILITY POLE
	EDGE WETLAND
	WETLANDS

Prepared For:

Owner:
The Sprague Corporation
1 Ram Island Farm Road
Cape Elizabeth, ME 04107

Applicant:
Fresh Pickins Farm
7a Ram Island Farm Road
Cape Elizabeth, ME 04107

Prepared By:

**Mitchell
& Associates**
LANDSCAPE ARCHITECTS
70 Center Street P: 207.774.4427
Portland, Maine 04101 F: 207.874-2460

line

FRESH PICKINS FARM

Bowery Beach Road
Cape Elizabeth, Maine

Date:

September 30, 2022

Issued For:

SITE PLAN REVIEW

Revisions:

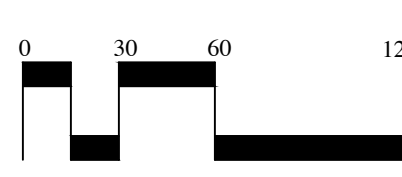
10-04-22 REVISED PER STAFF &
PLANNING BOARD REVIEW
COMMENTS

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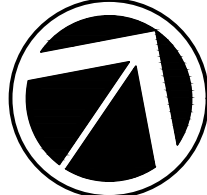
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EXISTING CONDITIONS PLAN

Scale: 1" = 60'-0"

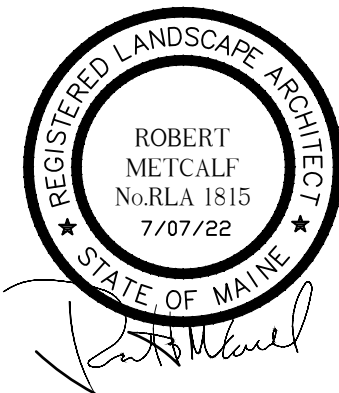


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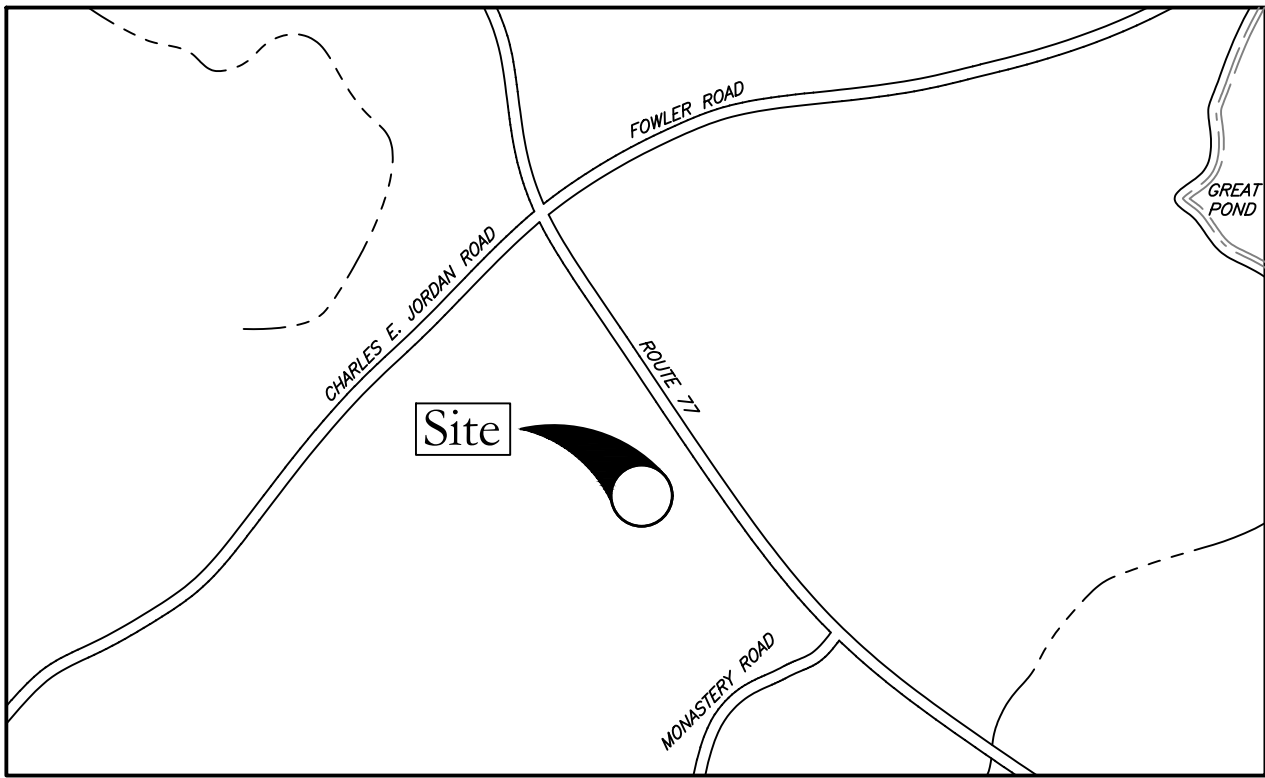
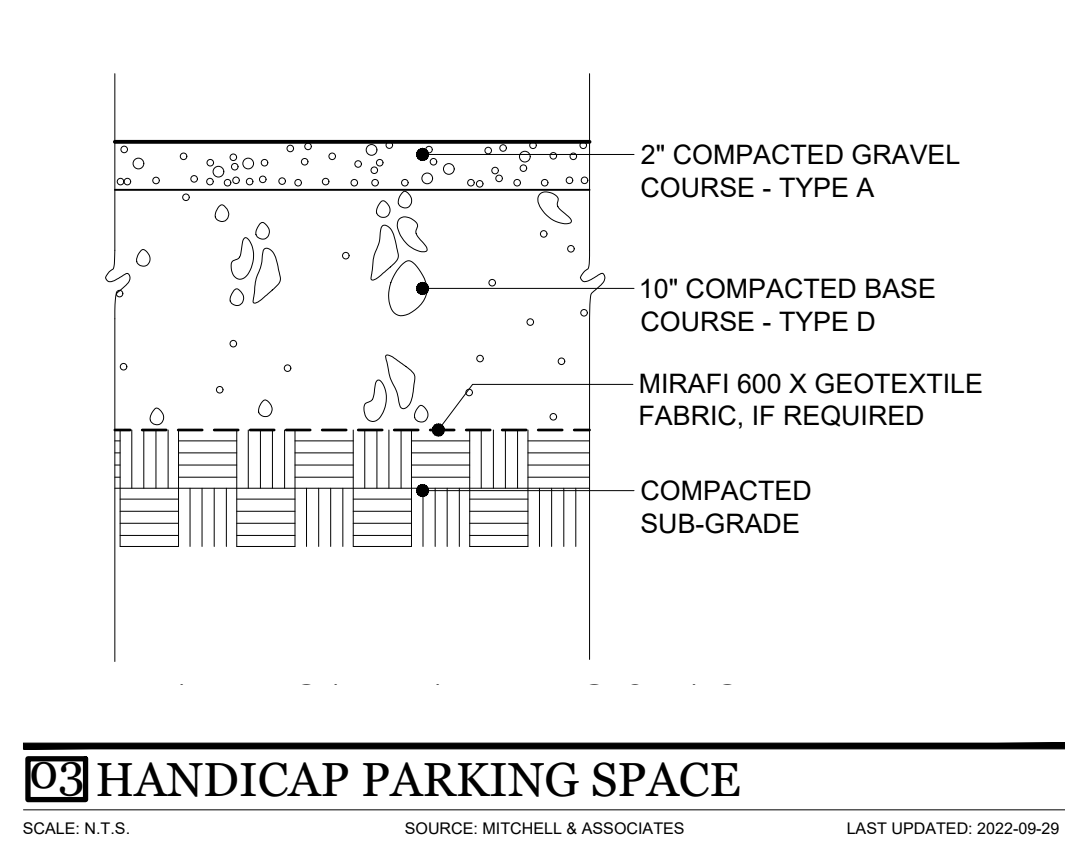
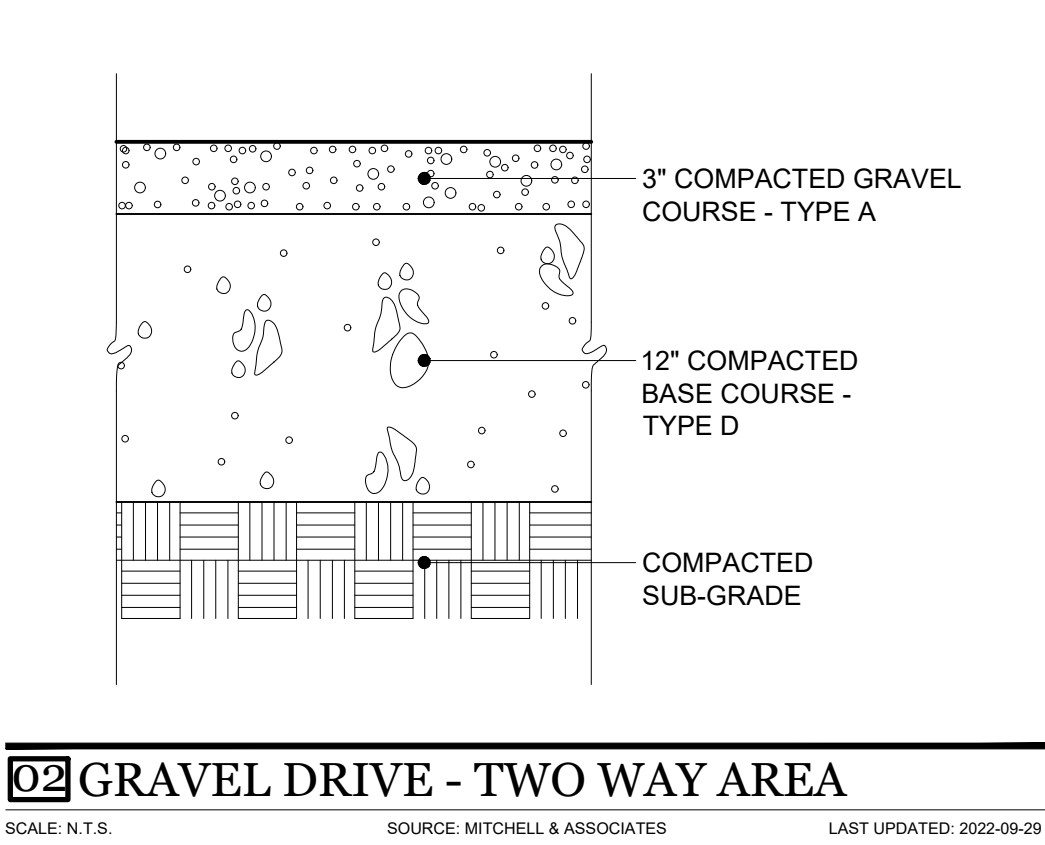
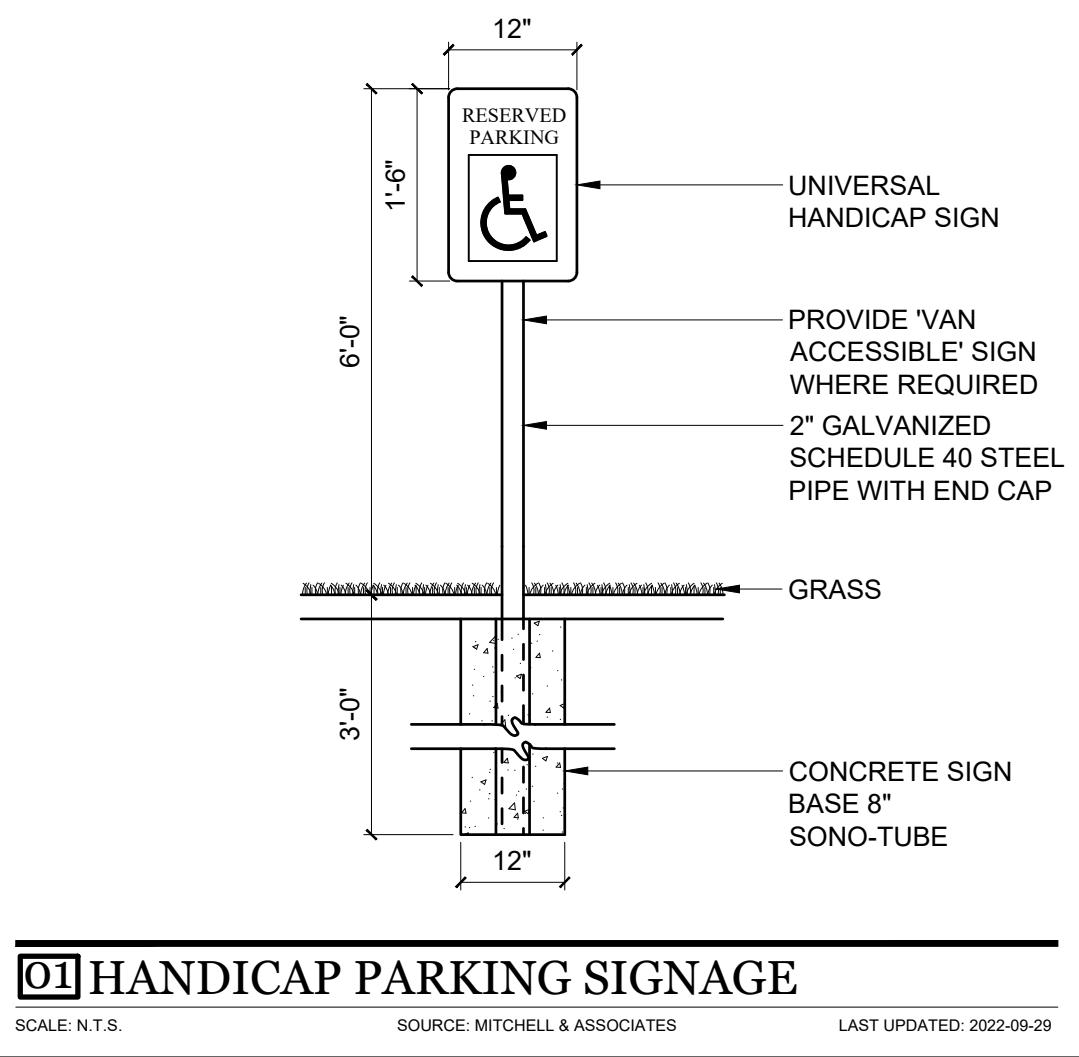
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| REAR: | 30 FT | 30 FT |
7. PARKING: REQUIRED 3/USE OR 1/333 S.F. PROPOSED 6 SPACES INCLUDING 1 HANDICAP SPACE FARM OR FISH MARKET (FARM STAND 440 S.F.)
8. EROSION CONTROL MEASURES SHALL BE MANAGED IN ACCORDANCE WITH "ENVIRONMENTAL QUALITY HANDBOOK EROSION AND SEDIMENTATION CONTROL" PUBLISHED BY THE MAINE SOIL AND WATER CONSERVATION COMMISSION, DATED MARCH 1986 OR SUBSEQUENT REVISIONS THEREOF.



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Cape Elizabeth, ME 04107

Applicant:
Fresh Pickins Farm
7a Ram Island Farm Road
Cape Elizabeth, ME 04107

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FRESH PICKINS FARM

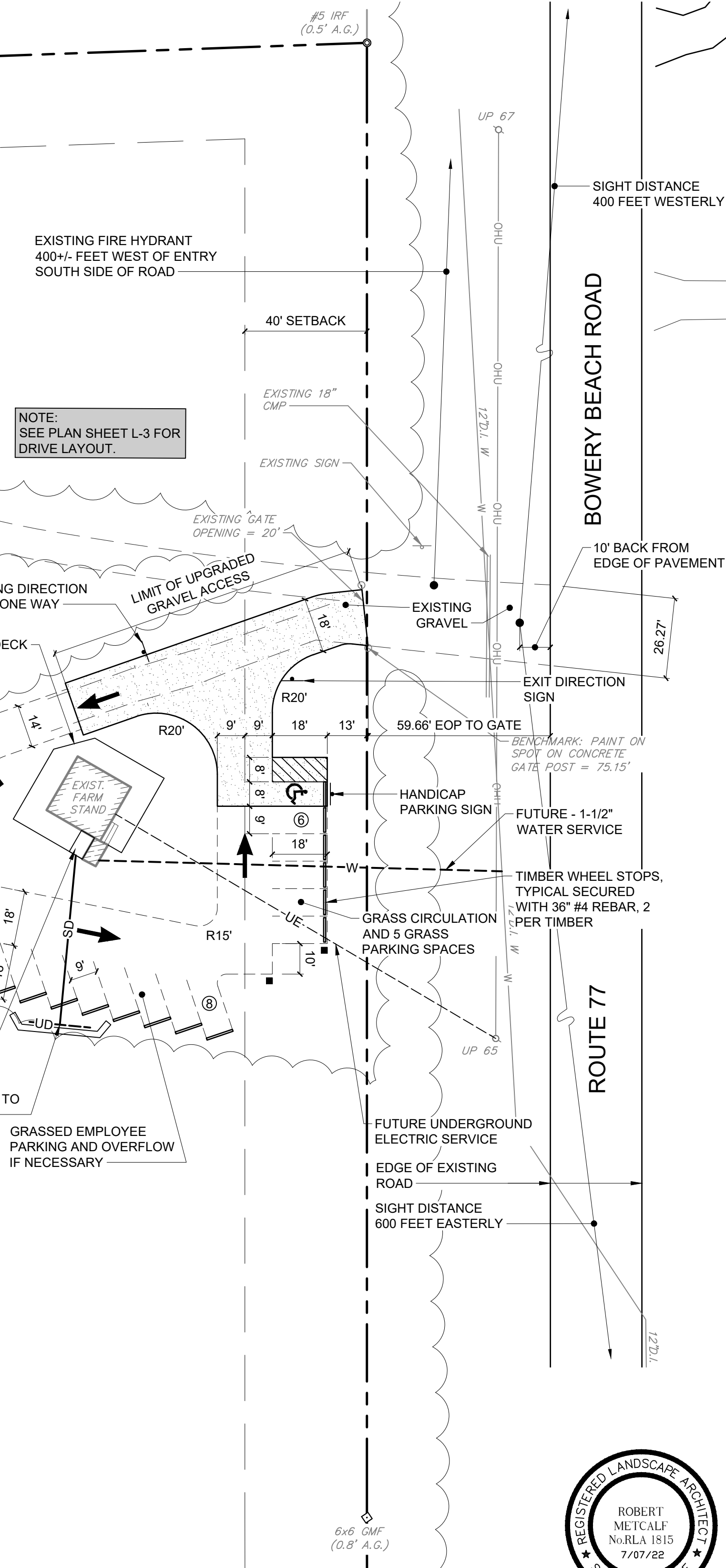
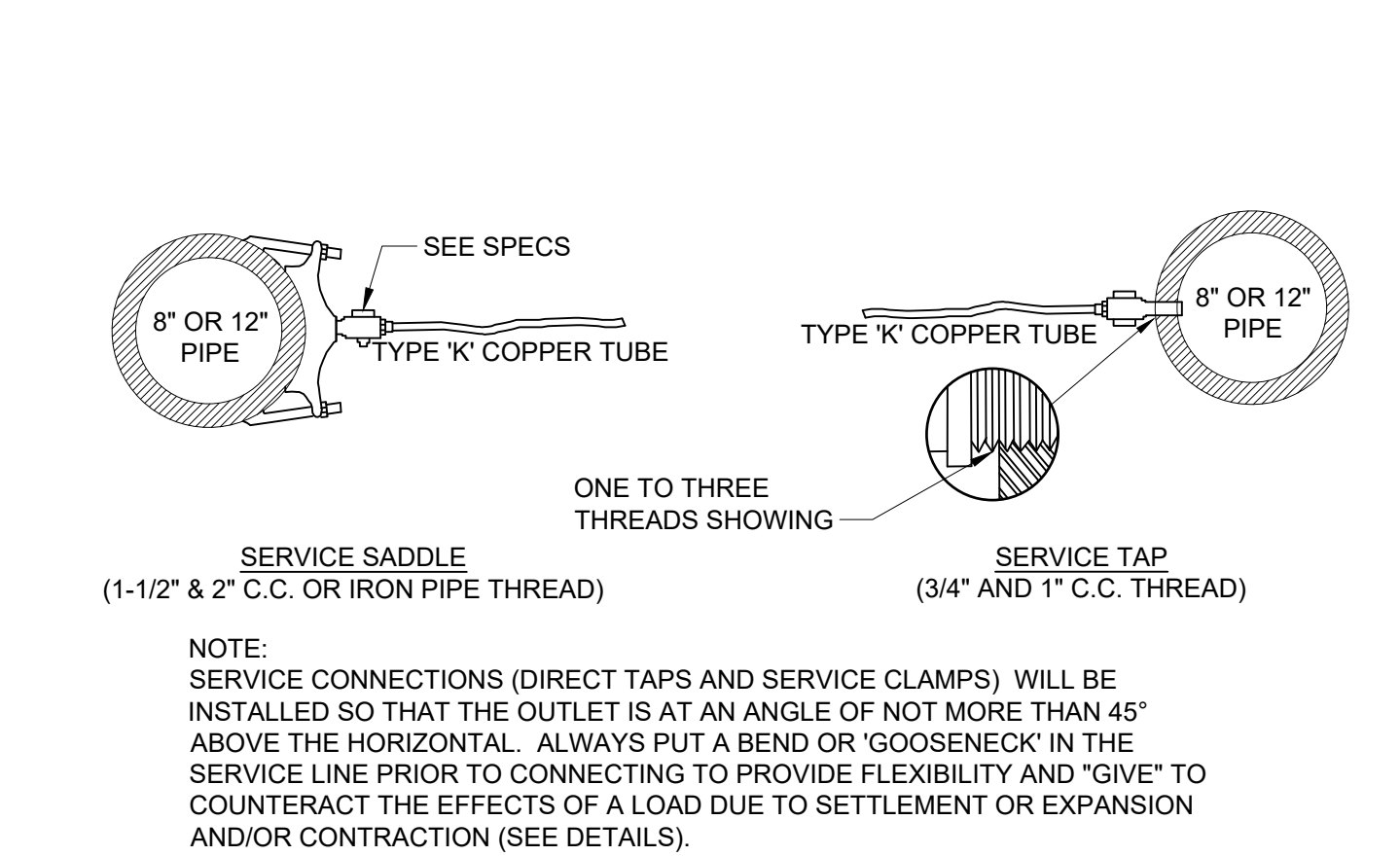
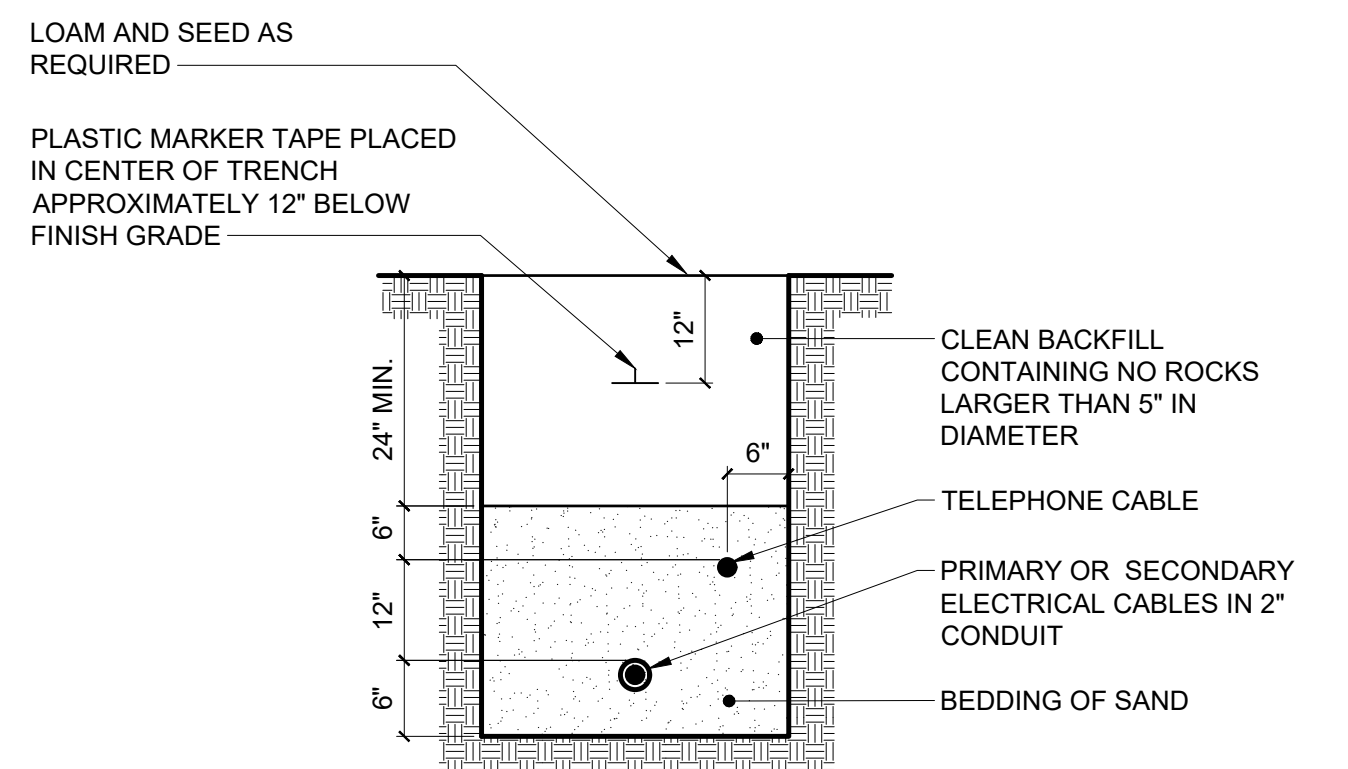
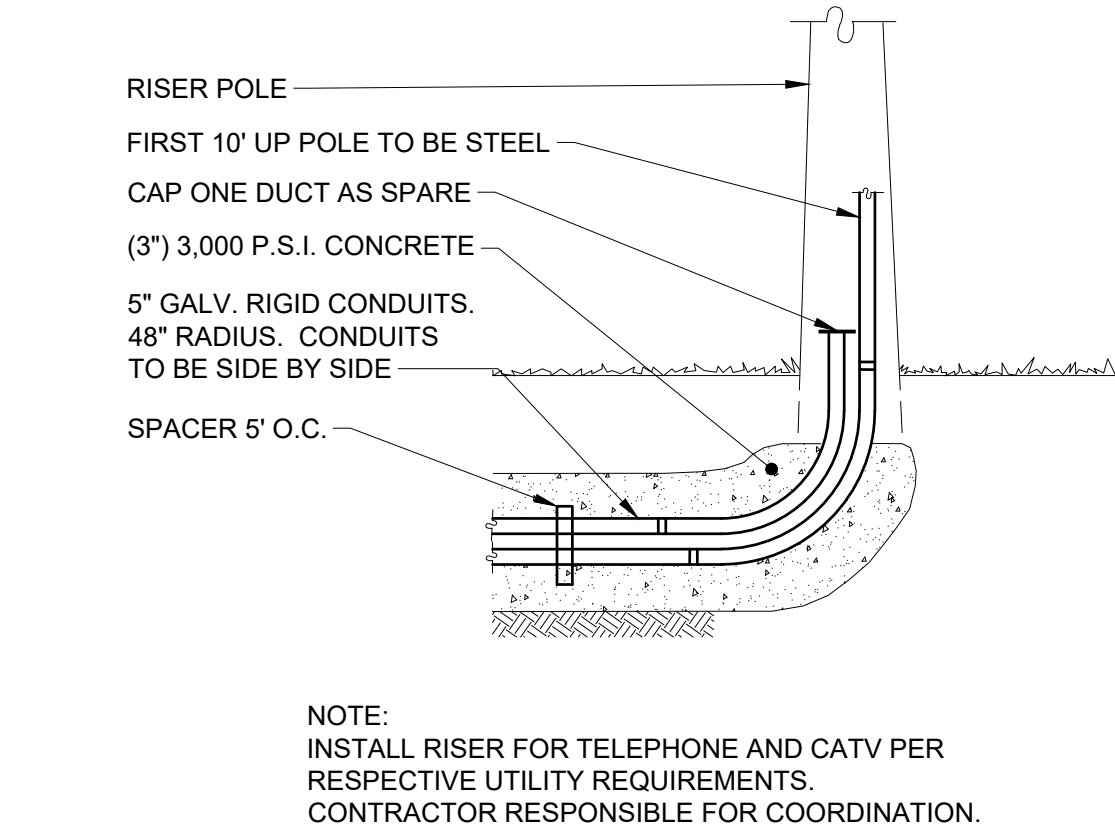
Cape Elizabeth, Maine

Bowery Beach Road

LEGEND

EXISTING	PROPOSED
PROPERTY LINE/R.O.W.	PROPERTY LINE/R.O.W.
ABUTTER LINE/R.O.W.	ABUTTER LINE/R.O.W.
MONUMENT	MONUMENT
IRON PIPE/ROD	IRON PIPE/ROD
CURVE/LINE NO.	CURVE/LINE NO.
BUILDING	BUILDING
EDGE PAVEMENT	EDGE PAVEMENT
EDGE GRAVEL	EDGE GRAVEL
TREELINE	TREELINE
CONTOURS	CONTOURS
OVERHEAD UTILITY	OVERHEAD UTILITY
UTILITY POLE	UTILITY POLE
FUTURE DRAIN	FUTURE DRAIN
FUTURE UG ELEC	FUTURE UG ELEC

FUTURE UTILITY SERVICE CONNECTION DETAILS



Date:

September 30, 2022

Issued For:

SITE PLAN REVIEW

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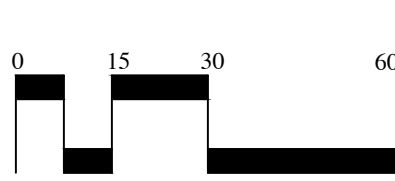
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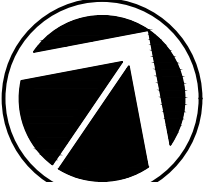
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SITE AND LAYOUT PLAN

Scale: 1" = 30'-0"

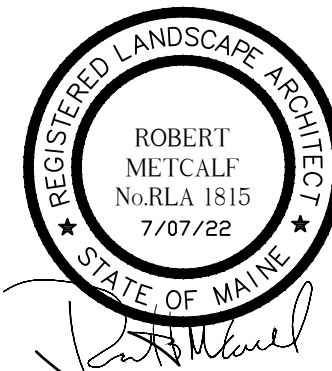


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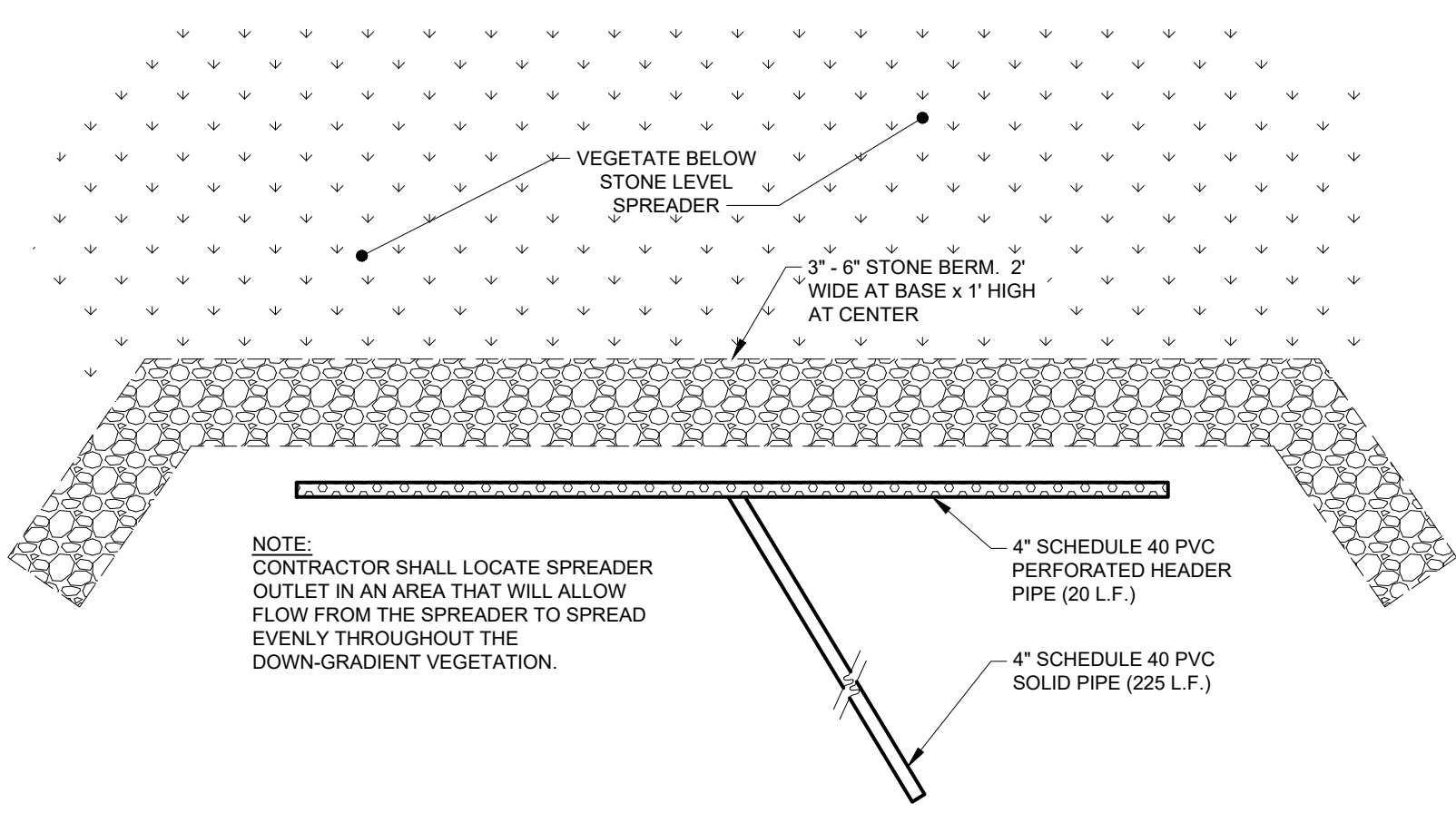
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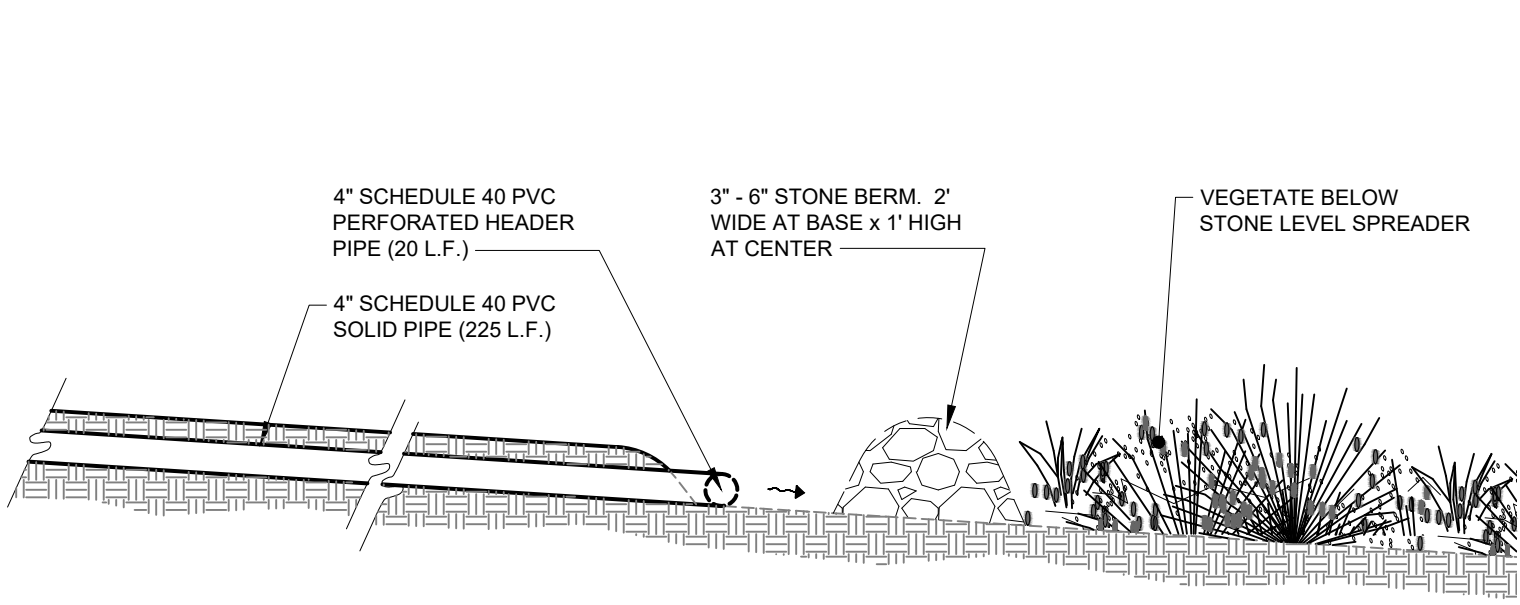
GRADING AND UTILITY NOTES

- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION FOR INSTALLATION OF ANY PART OF THIS WORK.
- CONTRACTOR SHALL AVOID ALL AREAS NOT REQUIRING GRADING. CONTRACTOR SHALL NOT DISTURB THESE AREAS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DIGSAFE (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- UTILITY SERVICE INSTALLATION SHALL BE COORDINATED WITH UTILITY PROVIDER AND INSTALLED PER REQUIRED STANDARDS. PRE-CONSTRUCTION MEETING REQUIRED.
- UTILITY SERVICE INSTALLATION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE TOWN OF CAPE ELIZABETH.



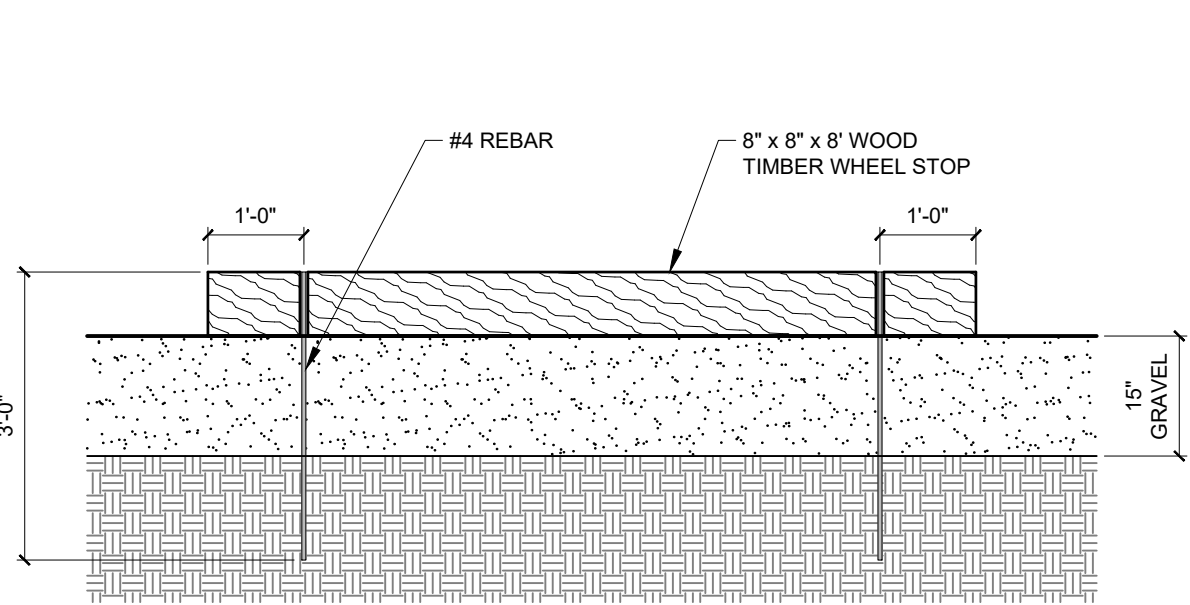
01 STONE LEVEL SPREADER DETAIL

SCALE: 1/4" = 1'-0" SOURCE: MITCHELL & ASSOCIATES LAST UPDATED: 2022-05-10



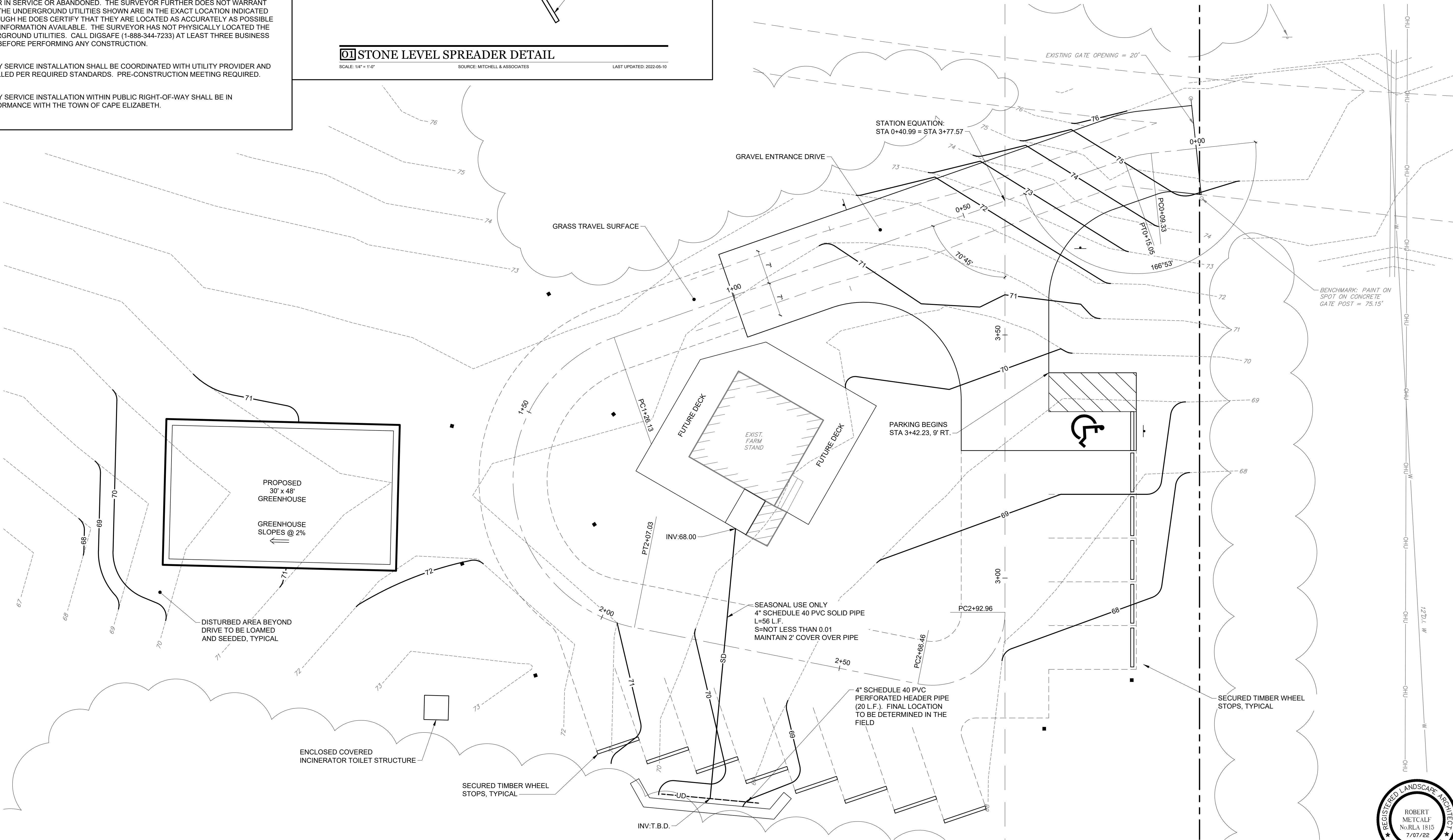
02 STONE LEVEL SPREADER SECTION

SCALE: 1/2" = 1'-0" SOURCE: MITCHELL & ASSOCIATES LAST UPDATED: 2022-05-10



03 SECURED TIMBER WHEEL STOP DETAIL

SCALE: 1/2" = 1'-0" SOURCE: MITCHELL & ASSOCIATES LAST UPDATED: 2022-09-22



Prepared For:

Owner:
The Sprague Corporation
1 Ram Island Farm Road
Cape Elizabeth, ME 04107
Applicant:
Fresh Pickins Farm
7a Ram Island Farm Road
Cape Elizabeth, ME 04107

Prepared By:

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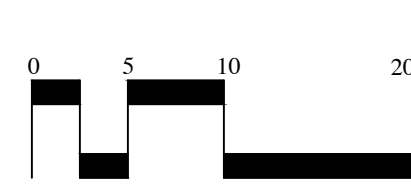
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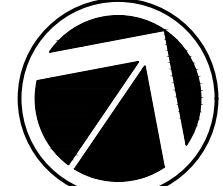
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GRADING PLAN

Scale: 1" = 10'-0"

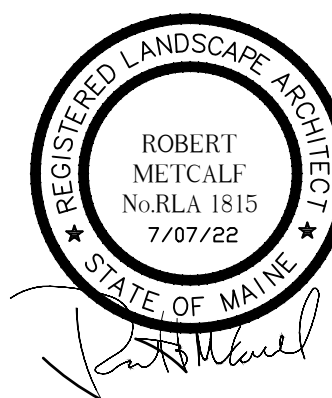


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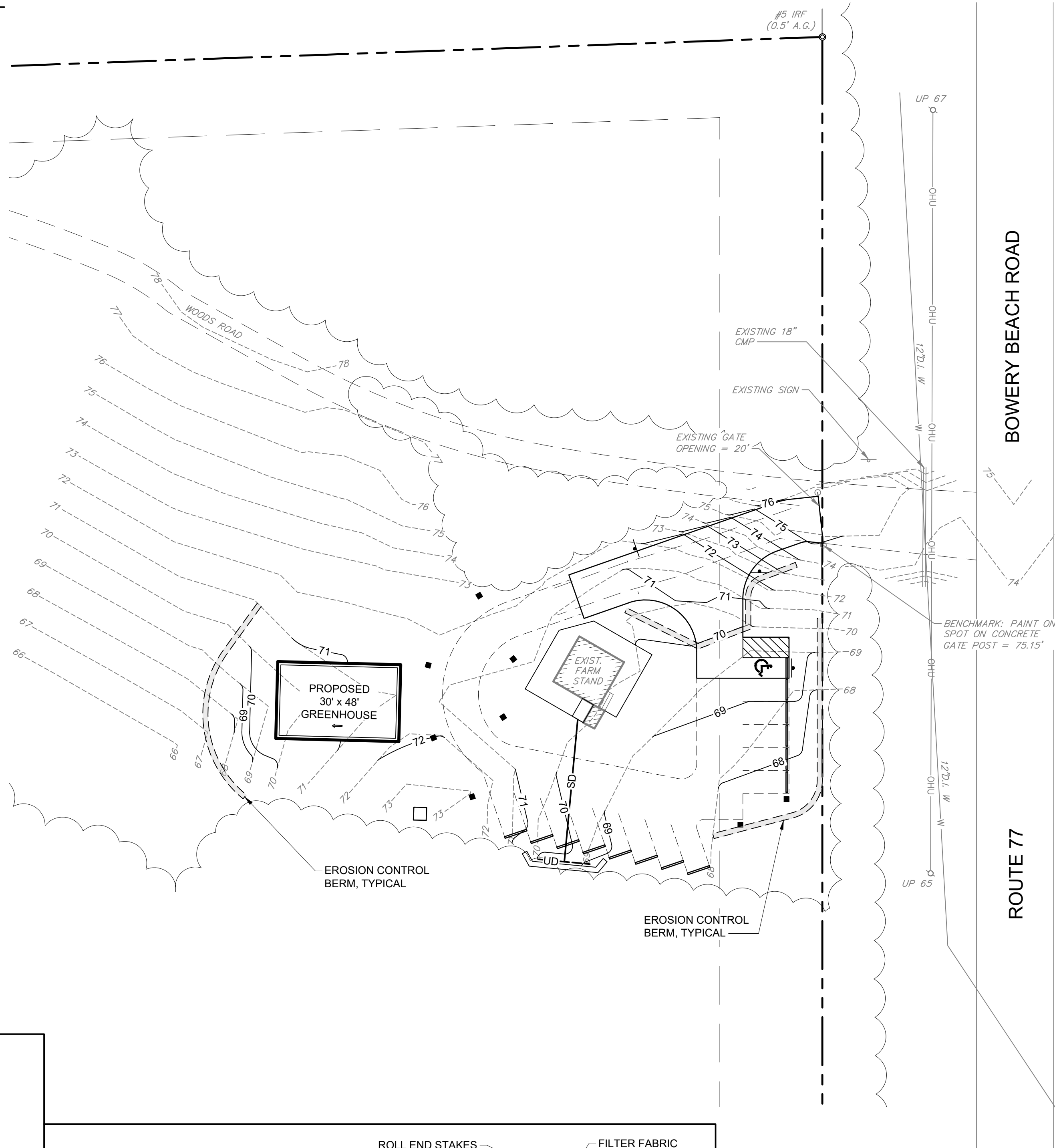
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CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS, ALLAY DUST AND TAKE WHATEVER MEASURES ARE NECESSARY TO ASSURE THE STREETS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
2. INSTALL UNDERGROUND SERVICE IN A SCHEDULE 40 PVC CONDUIT AT LOCATIONS WITHIN PAVEMENT, GRAVEL OR TRAFFIC AREAS. UNDERGROUND SERVICES IN TOWN R.O.W. SHALL BE INCASED IN CONCRETE.
3. EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON UTILITY OWNER RECORDS, FIELD SURVEY AND R.O.W. PLANS. CONTRACTORS SHALL CONTACT DIG-SAFE (1-888-344-7233) AT LEAST THREE (3) BUT NO MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A.
4. CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN ACCORDANCE WITH CURRENT M.D.O.T. STANDARD SPECIFICATIONS AND TOWN CONSTRUCTION STANDARDS.
5. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL INSPECT THE SITE FOR GENERAL CONDITIONS AND ANY SPECIAL REQUIREMENTS NECESSARY FOR PROJECT CONSTRUCTION. THESE COSTS SHALL BE INCLUDED IN CONTRACTOR'S BID.
6. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN PROJECT CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL STRUCTURES AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION OR AS DIRECTED BY DESIGN DRAWINGS.
7. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL PROVISIONS DEPICTED AND AS SPECIFIED ON PLANS.
8. SITE AND BUILDING CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
9. PRIOR TO ANY CONSTRUCTION AT THE SITE, REPRESENTATIVES OF THE OWNER, SITE CONTRACTOR AND THE SITE DESIGN ENGINEER SHALL ARRANGE FOR AND MEET WITH THE DIRECTOR OF PUBLIC WORKS TO DISCUSS THE SCHEDULING OF THE SITE CONSTRUCTION. ON OR BEFORE THAT MEETING, THE CONTRACTOR WILL PREPARE A DETAILED SCHEDULE AND MARKED-UP SITE PLAN INDICATING AREAS AND COMPONENTS OF THE WORK AND KEY DATES SHOWING DATE OF DISTURBANCE AND COMPLETION OF THE WORK. IF DISTURBED AREAS ARE NOT TO BE FINISHED (LOAMED, SEEDED AND MULCHED) WITHIN FOURTEEN (14) DAYS, THE SCHEDULE SHALL INDICATE THOSE AREAS TO BE PROTECTED WITH TEMPORARY SEEDING/MULCH.
10. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL CONFIRM SETBACKS AND BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND OWNER OF ANY DISCREPANCIES AFFECTING BUILDING OR SITE CONSTRUCTION.
11. ALL FILLS SHALL BE PLACED IN LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTION EQUIPMENT. MINIMUM COMPACTION SHALL BE 95% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHODS).
12. IMMEDIATELY UPON COMPLETION OF CUT/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND SPECIFIED ON PLANS.
13. REMOVE TOPSOIL AND ROUGHEN SUBGRADE TO ESTABLISH A SUITABLE INTERFACE FOR ALL FILLS. UNSUITABLE SOILS THAT EXTEND BELOW SUBGRADE ELEVATIONS SHALL BE REVIEWED WITH PROJECT LANDSCAPE ARCHITECT AND/OR OWNER TO DETERMINE IF OVER EXCAVATION IS REQUIRED.
14. FILL AREAS UNDER PAVEMENT SHALL BE GRANULAR BORROW. ALL OTHER FILL AREAS SHALL BE COMMON BORROW MATERIAL SUITABLE FOR EMBANKMENT CONSTRUCTION, FREE FROM FROZEN MATERIAL, PERISHABLE RUBBLE, PEAT, ORGANICS, ROCKS LARGER THAN 12" IN DIAMETER, VEGETATION AND OTHER MATERIAL UNSUITABLE FOR ROADWAY AND SUBGRADE CONSTRUCTION. EXCAVATED ONSITE MATERIAL MAY BE USED FOR FILL PROVIDED THE MATERIAL IS FREE OF UNSUITABLE MATERIAL DESCRIBED IN THIS NOTE AND UPON APPROVAL OF ENGINEER. GRANULAR BORROW AND COMMON BORROW SHALL COMPLY WITH M.D.O.T. SPECIFICATIONS.
15. SEE GRADING PLAN FOR ADDITIONAL DETAILS PERTAINING TO PROPOSED GRADES.



EROSION CONTROL NOTES

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER THE CONSTRUCTION. THIS PLAN IS BASED ON THE MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES, OCTOBER, 2016.

A. PROPOSED DEVELOPMENT

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW GREENHOUSE AND GRADING ASSOCIATED WITH ACCESS DRIVE UPGRADE. SITE IMPROVEMENTS INCLUDE: GRADING OPERATIONS, LAYOUT OF PARKING DELINEATION TIMBERS AND ALL OTHER PERTINENT SITE IMPROVEMENT REQUIREMENTS AS PER THE SITE PLAN ORDINANCES FOR THE TOWN OF CAPE ELIZABETH, MAINE.

B. EROSION CONTROL PRACTICES/TEMPORARY MEASURES

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

EACH GROUND AREA, OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE MINIMIZED AND SHALL BE STABILIZED WITHIN 15 DAYS OF INITIAL DISTURBANCE OF SOIL AND SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN DAYS OF FINAL GRADING. THIS STATEMENT APPLIES TO DISTURBED AREAS BEYOND THE LIMITS OF THE PROPOSED BUILDING. EXPOSED AREAS SHALL BE STABILIZED PRIOR TO A RAIN EVENT.

TEMPORARY SOIL STABILIZATION SHALL BE EITHER BY TEMPORARY MULCHING, TEMPORARY SEEDING, PERMANENT BASE GRAVEL, OR ASPHALT BINDER COURSE AS FOLLOWS:

TEMPORARY SEEDING: SEED SHALL BE AROOSTOOK RYE APPLIED AT 2.60#/1000 SF. LIME SHALL BE AGRICULTURAL GROUND LIMESTONE APPLIED AT 138#/1000 SF. FERTILIZER SHALL BE 10-10-10 CLASSIFICATION APPLIED AT 13.8#/1000 SF. MULCH SHALL CONSIST OF HAY AND STRAW MULCH AND SPREAD EVENLY AT A RATE OF 70-90#/1000 SF. TEMPORARY SEEDINGS SHALL ONLY BE MADE BETWEEN APRIL 15 AND OCTOBER 1, AND SHALL NOT BE PLACED OVER SNOW.

TEMPORARY MULCHING: MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER EVENLY AT A RATE OF 150-200#/1000 SF. TEMPORARY MULCH SHALL BE REMOVED PRIOR TO PERMANENT SOIL STABILIZATION. MULCH MUST NOT BE PLACED OVER SNOW. SNOW SHALL BE REMOVED PRIOR TO MULCHING.

PERMANENT BASE GRAVEL: BASE GRAVEL UNDER PAVEMENT SHALL BE SUITABLE AS TEMPORARY SOIL STABILIZATION UNDER THE FOLLOWING CONDITIONS:

- a) SLOPES SHALL BE LESS THAN EIGHT PERCENT.
- a) GRAVEL SHALL MEET THE SPECIFICATIONS FOR BASE OR SUBBASE GRAVEL FOR THE PROPOSED COMPLETED PAVEMENT.

C. EROSION CONTROL PRACTICES/PERMANENT MEASURES

THE FOLLOWING PERMANENT MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

1. PERMANENT SEEDING SHALL BE PERFORMED DURING CONSTRUCTION. OPERATIONS AS EACH DISTURBED AREA HAS BEEN BROUGHT TO FINISH GRADE. PERMANENT SEEDINGS SHALL BE MADE AS DORMANT SEEDING AFTER THE FIRST KILLING FROST. DORMANT SEEDING AND MULCH SHALL BE USED AT TWO TIMES THE PERMANENT SEEDING AND MULCHING RATE SHOWN BELOW FOR BOTH LAWN AS WELL AS EMBANKMENTS. SEED, LOAM, LIME, FERTILIZER AND MULCH ARE TO BE AS FOLLOWS:

SEED: THE SEED MIXTURE SHALL CONSIST OF SEED PROPORTIONED BY WEIGHT. ALL SEED SHALL BE FRESH, CLEAN, "NEW CROP" SEED. HARMLESS INERT MATTER AND WEED SEEDS SHALL BE PERMITTED UP TO ONE PERCENT OF THE GROSS WEIGHT OF EACH VARIETY OF SEED. ALL SEED SUPPLIED SHALL BE PACKED IN APPROVED CONTAINERS BEARING THE MANUFACTURER'S NAME AND ANALYSIS OF CONTENTS. THE FOLLOWING MATERIALS AND APPLICATION RATES SHALL BE REQUIRED FOR PERMANENT SEEDING:

LAWN:	
CREeping RED RESCUE:	0.69#/1000 SF
KENTUCKY BLUEGRASS:	0.57#/1000 SF
PERENNIAL RYEGRASS:	0.46#/1000 SF
RED TOP:	0.12#/1000 SF
TOTAL:	1.84#/1000 SF

LOAM: SHALL BE FREE OF GRASSES, ROOTS, LARGE STONE AND INORGANIC DEBRIS. PLACE LOAM AT FOUR INCHES MINIMUM DEPTH OVER ALL DISTURBED AREAS. FINAL GRADING OF ALL LAWN AREAS TO BE APPROVED BY LANDSCAPE ARCHITECT BEFORE SEEDING.

LIME: LIME SHALL BE AGRICULTURAL GROUND LIMESTONE AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY. FERTILIZER: FERTILIZER SHALL BE 10-20-20 CLASSIFICATION AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY.

MULCH: MULCH SHALL CONSIST OF HAY OR STRAW MULCH. MULCH SHALL BE SPREAD EVENLY AT A RATE OF TWO AND ONE HALF TONS PER ACRE OVER ALL SEEDING. AFTER APPLICATION, THE MULCH SHALL BE THOROUGHLY WETTED. IN STEEP AREAS, THE MULCH SHALL BE HELD IN PLACE BY THE USE OF JUTE EROSION CONTROL NETTING OR APPROVED ALTERNATIVE NETTING MATERIAL. NOTE: ALL EXPOSED SOIL MUST BE COVERED REGARDLESS OF MULCHING RATES SPECIFIED.

THE CONTRACTOR SHALL MAINTAIN THE SEEDED AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OR THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROPER WATERING, PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE REFERTILIZED, RESEEDED AND REMULCHED.

D. WINTER CONDITIONS

EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS./1,000 S.F. (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE, DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

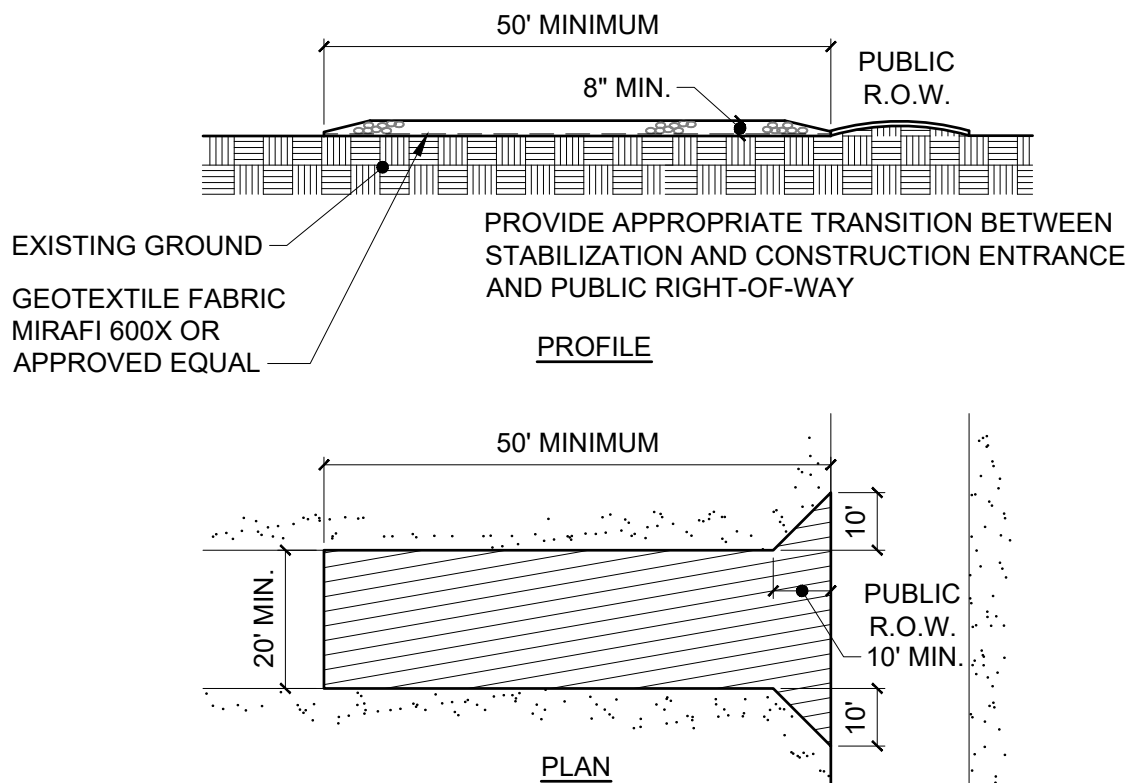
E. CONSTRUCTION SEQUENCE

1. THE GENERAL SEQUENCE OF WORK SHALL BE AS FOLLOWS:
1. INSTALL EROSION CONTROL DEVICES. (SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND OR SEDIMENT BARRIER.)
2. TEMPORARILY STABILIZE DISTURBED AREAS BY MULCHING ALL EXPOSED SOIL WITHIN 15 DAYS OF INITIAL DISTURBANCE.
3. CONSTRUCTION OF GREENHOUSE.
4. COMPLETE SITE CONSTRUCTION WORK.
5. CONSTRUCT GRAVEL DRIVE IMPROVEMENTS.
6. INSTALL PERMANENT VEGETATION ON ALL EXPOSED AREAS WITHIN 15 DAYS OF FINAL GRADING; AND
7. PERFORM CONTINUING MAINTENANCE ON ALL EROSION AND SEDIMENTATION CONTROL DEVICES AND MEASURES.

F. SITE INSPECTION & MAINTENANCE

WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAINFALLS OF 0.5" OVER A CONSECUTIVE 24-HOUR PERIOD, SHALL BE CONDUCTED BY THE SITE CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT. NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE SITE CONTRACTOR AFTER STORM EVENTS. DISPOSAL OF ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR.

CONTINUED TEMPORARY MAINTENANCE AND LONG TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF FRESH PICKINS FARM OR ASSIGNS.



NOTES:

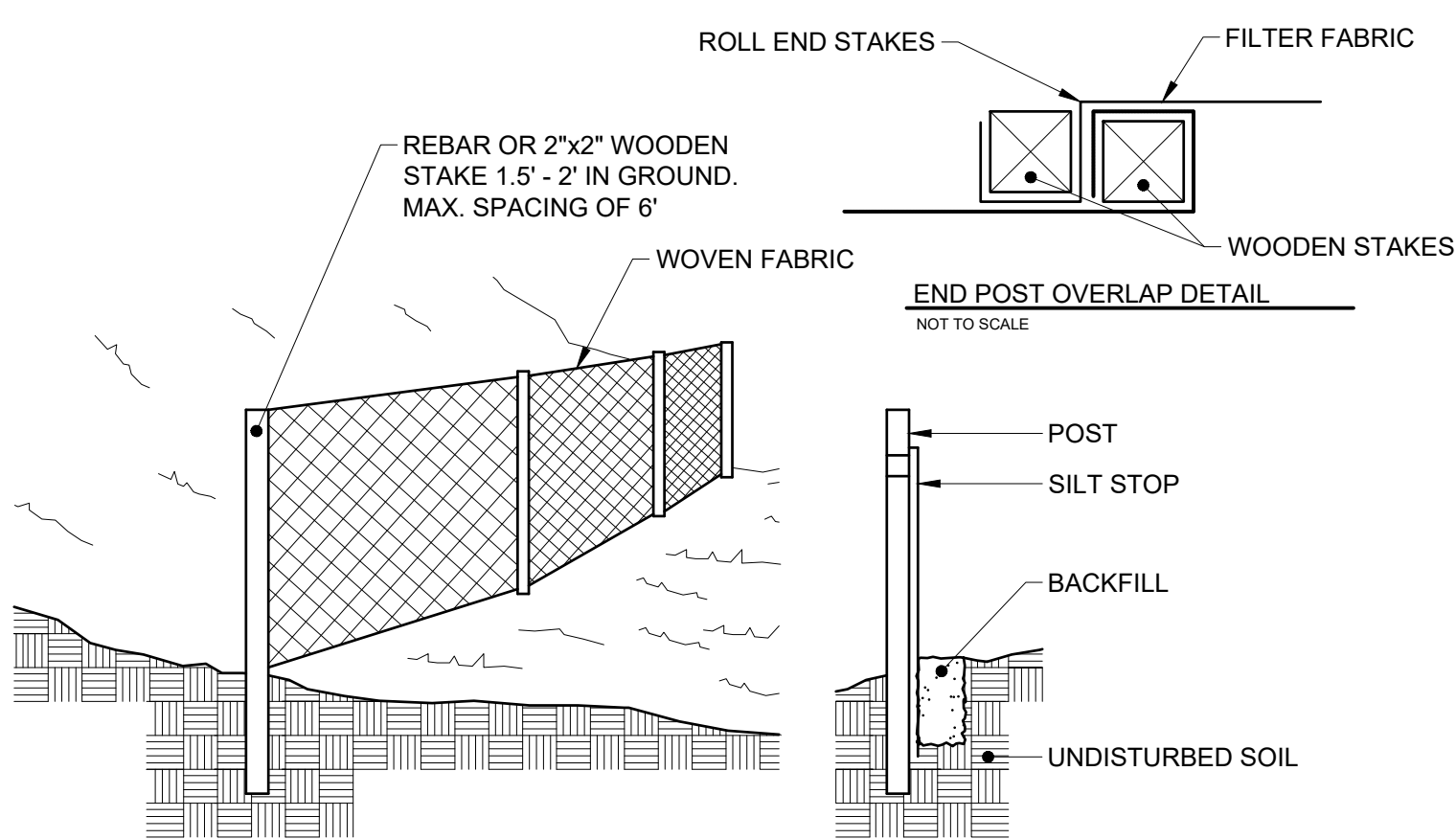
1. STONE SIZE: AASHTO DESIGNATION M 43, SIZE NO. 2 (2.5" TO 1.5"). USE CRUSHED STONE.
2. LENGTH: AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS: NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONES AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

01 STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.

SOURCE: MITCHELL & ASSOCIATES

LAST UPDATED: 2020-02-07



NOTES:

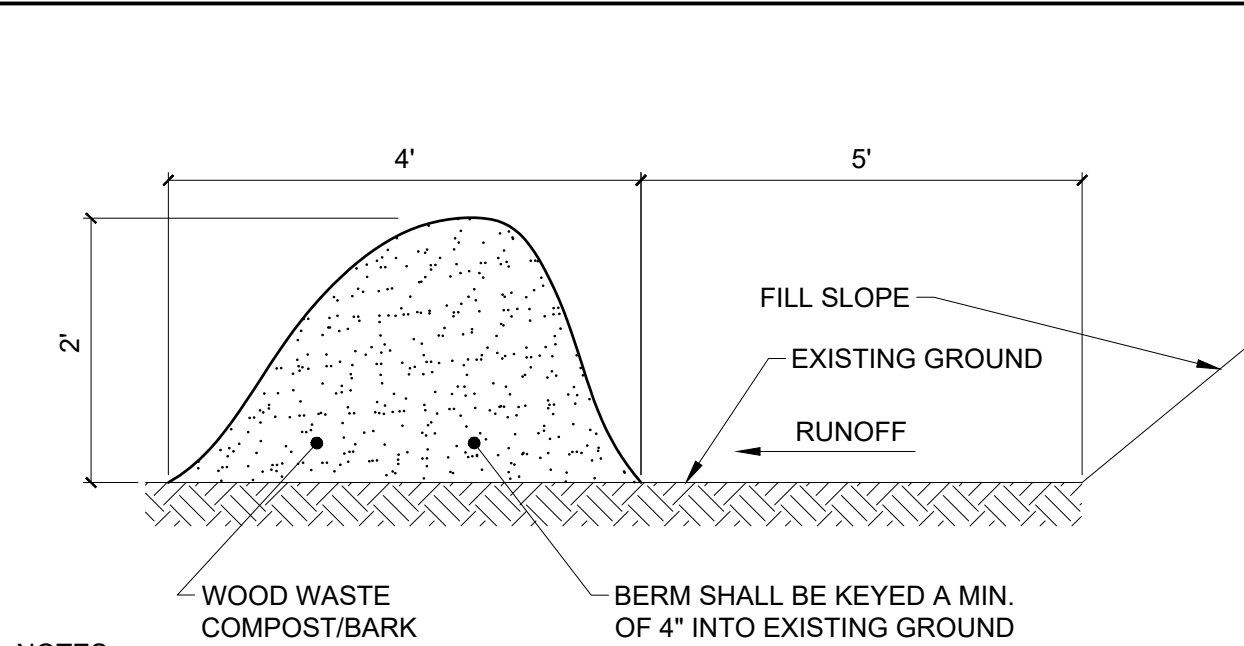
1. SILT FENCE TO BE INSTALLED PARALLEL TO EXISTING CONTOURS DOWNSLOPE FROM AREAS OF SOIL DISTURBANCE.
2. SILT FENCE TO BE SECURELY ATTACHED TO THE UPSLOPE SIDE OF THE SUPPORTING STAKES.
3. BOTTOM 4 TO 6 INCHES OF SILT FENCE TO BE BURIED IN SLOPE AND BACKFILLED WITH COMPACTED SOIL.
4. INSPECTION SHALL BE MADE AFTER EVERY RAINFALL WITH REMOVAL OF EXCESSIVE SEDIMENT AND REPAIR OF THE FENCE ACCOMPLISHED PROMPTLY.
5. SILT FENCE AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS PERMANENT EROSION CONTROL MEASURES HAVE BEEN ESTABLISHED.

02 FILTER BARRIER

SCALE: N.T.S.

SOURCE: MITCHELL & ASSOCIATES

LAST UPDATED: 2019-09-05



NOTES:

1. THE WOOD WASTE COMPOST/BARK MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - A. MOISTURE CONTENT - 30-60%.
 - B. pH - 5.0 - 8.0.
 - C. SCREEN SIZE - 100% LESS THAN 3", MAX. 70% LESS THAN 1".
 - D. NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION.
 - E. NO STONES LARGER THAN 2" IN DIAMETER.
 - F. SILTS, CLAYS OR SUGAR SANDS ARE NOT ACCEPTABLE IN THE MIX.
2. THE COMPOST BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.
3. THE WOOD WASTE COMPOST/BARK FILTER BERM MAY BE USED IN LIEU OF SILTATION FENCE, AT THE TOE OF SHALLOW SLOPES, ON FROZEN GROUND, LEDGE OUT CROPS, VERY ROOTED FORESTED AREA OR AT THE EDGE OF GRAVEL PARKING AREAS.

03 EROSION CONTROL BERM

SCALE: N.T.S.

SOURCE: MITCHELL & ASSOCIATES

LAST UPDATED: 2019-09-05

Prepared For:

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FRESH PICKINS FARM

Cape Elizabeth, Maine

Bowery Beach Road

Date:

September 30, 2022

Issued For:

SITE PLAN REVIEW

Revisions:

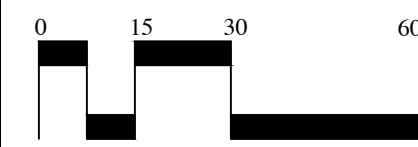
10-04-22 REVISED PER STAFF & PLANNING BOARD REVIEW COMMENTS

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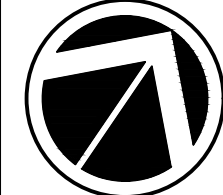
Title:

EROSION CONTROL PLAN, NOTES & DETAILS

Scale: 1" = 30'-0"



North:



Sheet No.:

L-4

